

12 June 2020

Department of Planning Industry & Environment  
Locked Bag 5022  
Parramatta, NSW 2124

To whom it may concern,

**Submission to the Department of Planning, Industry & Environment in response to the Sydney Metro West Environmental Impact Statement - Concept and Stage 1**

**Site 4B, Lot 1, 2, 3, 4 & 5 in DP1205285**

Fitzpatrick Investments Pty Ltd ("**Fitzpatrick**") is the long term lessee of Site 4B (Lot 1, 2, 3, 4 & 5 in DP1205285), Sydney Olympic Park ("**Site 4B**") and owner developer of the commercial premises known as The Avenue constructed on Site 4B. This submission is in response to the Sydney Metro West Environmental Impact Statement ("**EIS**") Documentation placed on exhibition on the 30<sup>th</sup> April 2020.

Fitzpatrick has maintained an ongoing dialogue with the Sydney Olympic Park Authority ("**SOPA**") with regard to Site 4B, and the impacts of the Sydney Olympic Park Masterplan 2030, as well as the proposed Sydney Metro West project. The most recent submission made on our behalf by Ethos Urban, made following the announcement of the Sydney Olympic Park Metro Station ("**Metro Station**") location, has been attached as Annexure A for your reference.

Whilst we are supportive of the proposed development, given Site 4B is directly adjacent the Metro Station we wish to make clear:

- The primary access into the Avenue is via Herb Elliot Avenue and a small laneway (Lot 5 in DP 1205285) leading into access to the basement carpark. Whilst we have noted the EIS has confirmed road closures will not prevent access for tenants we wish to confirm that the laneway should not be obstructed.
- Fitzpatrick will require a full dilapidation report of the building and basement to be completed to our satisfaction at the cost of the Department or their agents/contractors prior to works commencing.
- Fitzpatrick has an existing State Significant Development Approval (06\_0273) for the construction of a second commercial premises on Site 4B (stamped drawings can be found at Annexure B).

- As per the Sydney Olympic Park Masterplan 2030 (2018 Review), the site has a proposed mixed use zoning and the potential for a maximum height of 45 storeys. Without detailed information concerning the station excavation we have been unable to establish whether the construction will affect any future basement parking proposed for this development. We acknowledge the Department's advice that no existing approvals will be affected and would like confirmation that if further excavation on the Fitzpatrick site is proposed if a further application is made to reflect the mixed use zoning sought.
- Chapter 7 of the EIS contemplates place making strategies for the proposed Metro Station and surrounds via the creation of east west links between the proposed metro station and Olympic Boulevard. Fitzpatrick support this strategy however request further details around what this would entail. The Sydney Olympic Park Masterplan 2030 provided for a new street which would run behind Site 4B. Fitzpatrick would request details as to whether there is any design departure from this in principal design.

We accept that there will be issues in respect to noise and vibration during the construction process which may cause distress to our tenants, and expect that these will be mitigated as much as possible. We look forward to receiving further detail around this project prior to its successful commencement.

Yours faithfully  
**Fitzpatrick Investments Pty Ltd**

A handwritten signature in black ink, appearing to be 'Jamie Stewart', written over a faint circular stamp.

**Jamie Stewart**  
**Project Director**

**Annexure A – Ethos Urban Submission dated 3 Feb 2020\**

**Annexure B – MOD 5 MP06\_0273**

Charles Moore  
CEO  
Sydney Olympic Park Authority  
Level 1, 8 Australia Avenue, Sydney Olympic Park

Dear Mr Moore,

**SUBMISSION TO SYDNEY OLYMPIC PARK AUTHORITY IN RESPONSE TO THE SYDNEY  
METRO WEST SYDNEY OLYMPIC PARK STATION ON THE MASTERPLAN 2030 (2018 REVIEW)  
SITE 4B, SYDNEY OLYMPIC PARK**

## **Executive Summary**

The purpose of this letter, written to the Sydney Olympic Park Authority, prepared by Ethos Urban on behalf of Fitzpatrick Investments Pty Ltd, long-term leaseholder of Site 4B, Sydney Olympic Park ("the site"), is to justify and seek amendment of the Central Precinct Land Use Plan within the Masterplan 2030 (2018 Review) to apply mixed use zoning across the entire Site 4B. Currently the majority of the site is zoned as commercial and a small portion of the site in the south-west corner, bordering Olympic Boulevard, is zoned Mixed Use.

A meeting between Fitzpatrick Investments and SOPA on the 22 November 2019 occurred in relation to the impact of the new metro station location on future development interests of the site and how the Masterplan 2030 (2018 Review) aligns with the metro station objectives. Following a high level review of the Masterplan 2030 (2018 Review) in response to the October 2019 release of the Sydney Metro West plan, and consideration of the following planning documents:

- Greater Sydney Region Plan and Central City District Plan
- Future Transport Strategy 2056
- Better Placed

A number of questions regarding the zoning of the site were raised. The issues discussed within this letter in regards to the current zoning, considering the before-mentioned Sydney Metro West plan and relevant planning documents, include;

- The current size of the mixed use zone on the site (24m x 24m) restricts the ability to design and build a viable mixed use floor plate with residential apartments.
- The site's location in close proximity to the new metro station should be optimised to enable an integrated solution to business, office, residential, retail and other development needs.
- Flexibility and design excellence on site is restricted due to the varied land use zones. To realise the full potential benefits of a design competition a consistent land use zone should be applied.
- To meet the objectives of the Better Placed planning policy, a whole of site approach will ensure a design that is better for the community.
- At a precinct scale the introduction of the new metro station in the area adjacent to the east of the site creates a greater opportunity for Mixed Use in the north-western area of the central precinct.
- Queuing to the metro station will occur along the streets surrounding Site 4B. These streets have the opportunity to provide activation and slow down movement of crowds into the metro station.

Previous submissions by Fitzpatrick Investments Pty Ltd to the Sydney Olympic Park Authority have been attached as appendices with this letter. These submissions in 2015 and 2016 similarly recommend the expansion of the mixed commercial and residential land use zoning across the whole site.

The close proximity of the new metro station to Site 4B, unlocks new opportunities for the site and the surrounding vicinity, further supporting these recommendations. In conclusion the letter recommends that the mixed use zone is extended over the entire site to allow for a design response that integrates mixed uses, complementing the new metro station location.

## 1.0 Previous Submissions

Ethos Urban (previously known as JBA) has prepared two other submissions on behalf of Fitzpatrick Investments for Site 4B. These submissions to SOPA are dated 15 November 2016 and 22 July 2015.

### 1.1 15 November 2016 Submission

The submission on 15 November 2016 included a building height study prepared by Bates Smart Architects and is attached in this submission (**Attachment B**). This study investigated the option of a mixed-use commercial and residential tower located on the southern part of Site 4B.

The following was noted in the JBA submission:

#### Issues include:

- The existing mixed use commercial and residential zone size and dimensions are too small to develop a mixed use tower development
- FSR of 8:1 (with assumed 10% floor space bonus) does not match the 45 storey building height limit
- The mandatory 28m podium height to provide for possible variation in response to built form transition along Olympic Boulevard

#### Actions/Approach:

- Consider widening the mixed commercial and residential land use zoning
- Consider FSR up to 9:1\*
- Consider providing a variation exception to the 28m mandatory podium height along Olympic Boulevard to allow for a transition from the Pullman Hotel to the north and the sites to the south of Site 4B.

*\* Whilst the Bates Smart Architects building height study has modelled a FSR for the site of 9.6:1, based upon only four levels of podium. Where two levels are required to comply with the 28m mandatory podium height, this would result in additional floor space and therefore a higher FSR. As such, a 9:1 FSR (plus 10% floor space bonus at 9.9:1) provides design flexibility for the future development of Site 4B in accordance with the desired future character of Sydney Olympic Park under the 2016 Review.*

### 22nd July 2015 Submission

The submission on the 22 July 2015 provided planning commentary on the Master Plan 2030 as it relates to Site 4B and suggested amendments to Master Plan 2030 for SOPA to consider as part of its five year review process. The planning commentary focused on the restrictive commercial land use zoning of Site 4B that has to date hindered the intended development potential of the site given market demand does not support such large scale commercial towers in Sydney Olympic Park. Furthermore, large floor plate sizes are required to facilitate commercial development (i.e. 1,500m<sup>2</sup> to 2,500m<sup>2</sup>) which is not compatible with the slender towers envisaged along Olympic Boulevard under Master Plan 2030. The following was noted in the JBA submission:

#### Issues include:

- Failure to recognise the transitional scale of towers in Sydney Olympic Park.
- Maximum building heights of 20-32 storeys.
- Restrictive commercial land use zoning limits development outcomes.
- Restrictive land use separation.

#### Actions/Approach:

- Consider taller buildings up to 45 storeys.
- Consider FSR up to 10:1.
- Consider Mixed Use Commercial and Residential zone for the Site and the wider Central Precinct to encourage activation of the locality and minimise the potential for 'over planned' precincts and public domain.
- Maintain desired setbacks to Olympic Boulevard.

This submission supported heights of up to 45 storeys for mixed use development with activation at ground level with retail floor space and smaller scale commercial suites at Levels 1 to 6 to diversify the commercial offering within Sydney Olympic Park.



The following was therefore suggested to amend Master Plan 2030 to enable a mixed use tower development that fulfils the development potential of Site 4B:

- Amendment to Figure 5.6 – Central Precinct Site Floor Space Ratios Plan to allow an FSR of 10:1 on Site.
- Amendment to Figure 5.7 – Central Precinct Land Uses Plan to allow Mixed Commercial and Residential on Site.
- Amendment to Figure 5.8 – Central Precinct Building Heights Plan to allow development of 32 – 45 storeys in the Tower Zone.

## 2.0 Subject Site

### 2.1 Sydney Olympic Park

The site is located within Sydney Olympic Park in the City of Parramatta Local Government Area. Sydney Olympic Park is approximately 640 hectares and situated centrally between the Sydney CBD (14km) and the Parramatta CBD (10km). Nearby centres include Auburn, Strathfield, Burwood, Rhodes and Ashfield. The precinct is the premier venue for major sporting and entertainment venues, with a developing town centre with employment and residential community in a high-amenity parkland setting.



Figure 1. Site Location

Source: Nearmaps

SCALE 1:7500 @ A4

## 2.2 Central Precinct

Within Sydney Olympic Park the site forms part of the Central Precinct, an area bounded by Murray Rose Avenue, Olympic Boulevard, Sarah Durack Avenue and Australia Avenue. The Central Precinct is recognised within the Masterplan 2030 (2018 Review) as a precinct that will:

*"...Continue to transform into a vibrant, high density mixed use Town Centre with a strong commercial office and retail area to the north and a residential character along Figtree Drive. New tree lined streets will transform the precinct into a lively and walkable area. At the heart of the precinct, a new public urban park is prominently located to provide informal recreation and to create a strong identity for the precinct."*

*Section 5.2 Central Precinct Sydney Olympic Park Masterplan 2030, 2018 Review.*

The site is located within the north-western section of the Central Precinct. The northern part of the Central Precinct focuses on civic, retail, commercial, educational, community and entertainment uses whilst the southern section is intended to be focused on high density residential along a green corridor. Commercial buildings will provide a noise buffer between the residential buildings and the stadiums.

## 2.3 The site

The site is located on Olympic Boulevard, immediately to the south of the Pullman Hotel and opposite the Sydney Olympic Park Aquatic Centre. An 8 storey Commercial Building was completed on the site (fronting Herb Elliot Avenue) in 2014. The site has approval for a 10 storey commercial building (fronting Olympic Boulevard) however it has not commenced due to a lack of demand for the large scale commercial space within Sydney Olympic Park.

The site has an area of 4,163m<sup>2</sup>. Under the current Floor Space Ratio control of 8:1, future development of the site has a maximum Gross Floor Area of 33,304m<sup>2</sup>. Stage 1 (8 Storey Commercial Building) on site has a GFA of 9,774m<sup>2</sup> which allows for a further GFA for Stage 2 of 23,530m<sup>2</sup> under the current FSR controls.

### 3.0 Sydney Metro West

The Sydney Metro West plan released in October 2019 proposes new metro stations at Westmead, Parramatta, Sydney Olympic Park, North Strathfield, Burwood North, Five Dock, The Bays and Sydney CBD, with potential stations at Rydalmere and Pyrmont.



Figure 2. Map of Sydney Metro West Sydney Station Locations

Source: Sydney Metro West Scoping Report

The Sydney Metro West Sydney Olympic Park Station will be located in the heart of the growing Sydney Olympic Park town centre and central precinct. The Sydney Metro West Scoping Report states:

*“The metro station would be located to the east of Olympic Boulevard between Herb Elliott Avenue and Figtree Drive. The Sydney Olympic Park Master Plan identifies this precinct as a higher density, mixed-use neighbourhood with commercial offices, retail and residential uses.”*

*Sydney Olympic Park Metro Station, Concept Description - Chapter 6*

There are two proposed entrances to the Sydney Olympic Park Metro Station; one between Herb Elliot Avenue and Figtree Drive, and one off Dawn Fraser Avenue. As marked on the station location image below.

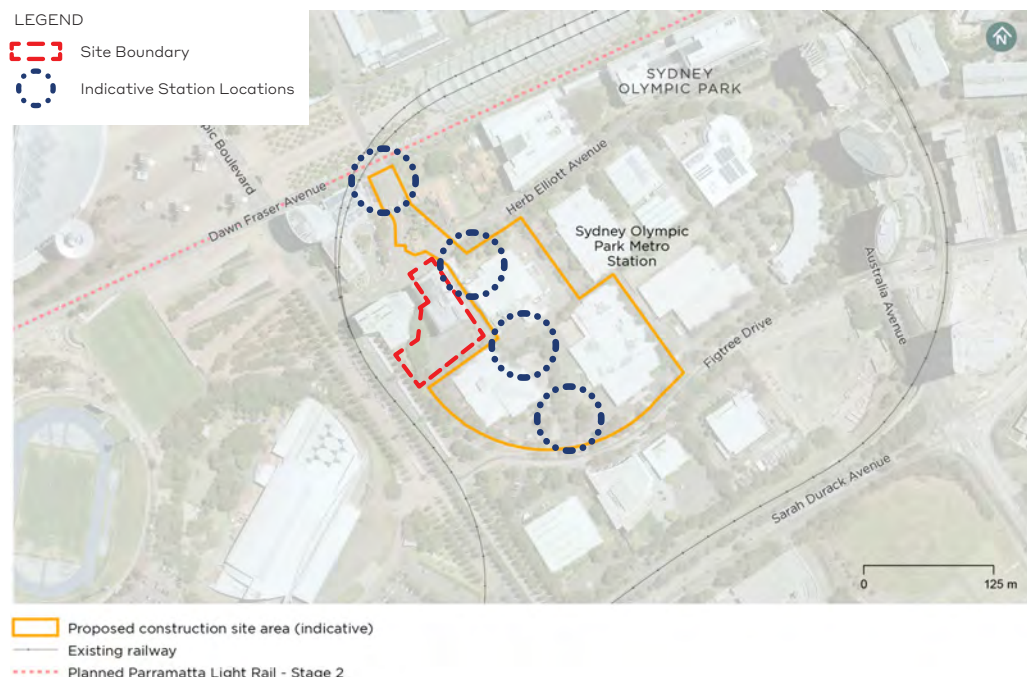


Figure 3. Proposed Sydney Olympic Park Station Site Location

Source: Sydney Metro West Scoping Report



## 4.0 Masterplan 2030 (2018 Review)

The Sydney Olympic Park Masterplan 2030 came into effect on the 10th of March 2010 and was prepared in accordance with the requirements of the Sydney Olympic Park Authority Act 2001 and the SEPP (State Significant Precincts) 2005. The purpose of the Sydney Olympic Park Masterplan is to:

- Provide a comprehensive approach to the development of Sydney Olympic Park;
- Ensure Sydney Olympic Park becomes an attractive and vibrant town within Metropolitan Sydney;
- Protect the role of Sydney Olympic Park as the premier destination for cultural, entertainment, recreation and sporting events;
- Protect and enhance the public domain;
- Protect the role of Sydney Olympic Park parklands; and
- Provide detailed planning and design principles and controls to encourage development that responds to its context and contributes to the quality of the built environment and the future character and cultural significance of the site.

The SEPP (State Significant Precincts) 2005 specifies that the provisions of the Sydney Olympic Park Master Plan are to be reviewed every five years. The review allows for updates to ensure that the Sydney Olympic Park Master Plan aligns with current and relevant strategic planning frameworks.

The State Environmental Planning Policy (State Significant Precincts) 2005 Sydney Olympic Park Land Zoning Map, zones the site and the entire Central Precinct as B4 Mixed Use. Under this SEPP, B4 Mixed Use has the objectives to:

1. Protect and promote the major events capability of the Sydney Olympic Park site and to ensure that it becomes a premium destination for major events,
2. Integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling
3. Ensure that the Sydney Olympic Park site becomes an active and vibrant town centre within metropolitan Sydney
4. Provide for a mixture of compatible land uses
5. Encourage diverse employment opportunities
6. Promote ecologically sustainable development and minimise any adverse effect of land uses on the environment
7. Encourage the provision and maintenance of affordable housing

Schedule 3 State Significant Precincts, State Environmental Planning Policy (State Significant Precincts) 2005

On the 28 August 2018, the then NSW Planning Minister approved the Masterplan (2018 Review). The review sought amendments to the SEPP (State Significant Precincts) 2005 and the Sydney Olympic Park Masterplan 2030. The review of the Sydney Olympic Park Master Plan 2030 identifies the opportunities to transform the precinct into a thriving urban centre with a new school, with five additional or enhanced parks, employment opportunities, residential communities and retail

The 2018 Review notes the following key matters in respect to Site 4B:

### 4.1 Land Uses

Figure 5.7 Central Precinct Land Uses Plan (reproduced as Figure 4 in this submission) provides further specification of land uses within the Central Precinct. This figure shows how the majority of the site is zoned as Commercial and a small section of the site in the south-west corner, bordering Olympic Boulevard, is zoned Mixed Use. Mixed Use in the Masterplan 2030 (2018 Review) is defined as including Commercial, Residential, Hotels and Serviced Apartments. This land use for the site is the same as in the Masterplan 2030 (2016 Review).

*To simplify reference to the existing land use classification of the site the term Mixed Commercial will be used to define the current land use of the entire site.*

Figure 4. Central Precinct Land Uses  
Source: Sydney Olympic Park Masterplan 2030 (2018 Review)

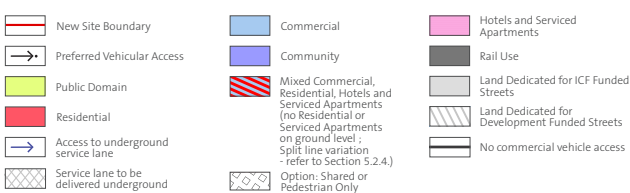
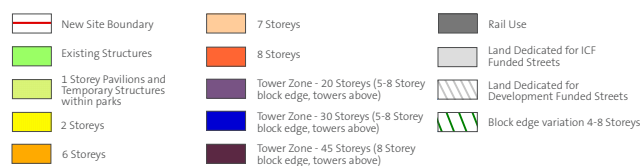


Figure 5. Central Precinct Building Heights  
Source: Sydney Olympic Park Masterplan 2030 (2018 Review)



## 4.2 Building Heights

Figure 5.8 Central Precinct Building Heights Plan (reproduced as Figure 5 in this submission) highlights the site as having a 45 storey building height with 8 storeys block edge and a tower above. This is the same as in the Masterplan 2030 (2016 Review).

## 4.3 Building Setbacks

Figure 5.9 Central Precinct Building Zone and Setbacks Plan (reproduced as Figure 6 in this submission) highlights the site as having no minimum setbacks and the ability to build to the line (minimum 90%) along the northern, southern and western boundaries. Along the western edge, fronting Olympic Boulevard, there is a setback between 5 metres and 10 metres for anything above 8 storeys.

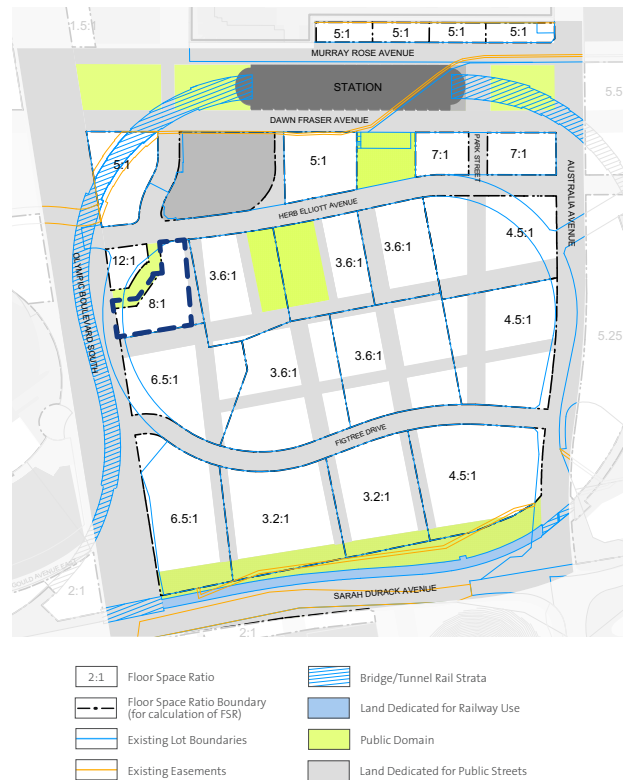
## 4.4 Floor Space Ratio

Figure 5.6 Central Precinct Floor Spaces Ratios Plan (reproduced as Figure 7 in this submission) highlights the site as having an 8:1 FSR, the same as in the Masterplan 2030, 2016 Review. This would represent a target GFA of 33,304m<sup>2</sup> on the site, that correlates to 23,530m<sup>2</sup> of FSR remaining on the Site after subtracting the existing Stage 1 GFA.

Figure 6. Central Precinct Building Zones and Setbacks  
 Source: Sydney Olympic Park Masterplan 2030 (2018 Review)



Figure 7. Central Precinct Floor Space Ratios  
 Source: Sydney Olympic Park Masterplan 2030 (2018 Review)



#### 4.5 Street Hierarchy

Figure 3.6 Street Hierarchy (reproduced as Figure 8 in this submission) identifies the street hierarchy of the Central Precinct and those surrounding the site. The street to the north of the site is identified as a Town Street, to the east and south Local Streets and to the west a Civic Street, Olympic Boulevard (South).

Olympic Boulevard South (Street 2) is one of the seven civic streets in Sydney Olympic Park and provides a high level of pedestrian amenity and active street frontages. During major events this street functions as a primary pedestrian route.

The Town Street to the north of the site (Street 14) is an existing street that will have continuous commercial and retail uses along both frontages and there is a historical abattoir precinct forming part of the street edge near the site. This street is identified as one of the major retail streets in the Central Precinct with sheltered footpaths to promote pedestrian use.

The Local Street to the south of the site (Street 19) has been identified in the Masterplan 2030 (2018 Review) as a central shopping street that will be characterised by continuous commercial and retail uses, with retail at street level and commercial and residential above.

#### 4.6 Public Open Spaces

Figure 3.5 Planned Public Open Spaces (reproduced as Figure 9 in this submission) highlights the site as being adjacent to a new public domain, the existing road that is located to the west of the site. There is also the inclusion of a new Urban Park / Place in the Central Precinct located between Herb Elliott Avenue and a New Street. The Masterplan 2030 (2018 Review) states this Urban Park will have an important placemaking role and will inform the character, identity and attractiveness of the precinct. Within the precinct is a heritage site to the north of the site that will also function as a local park for the community.

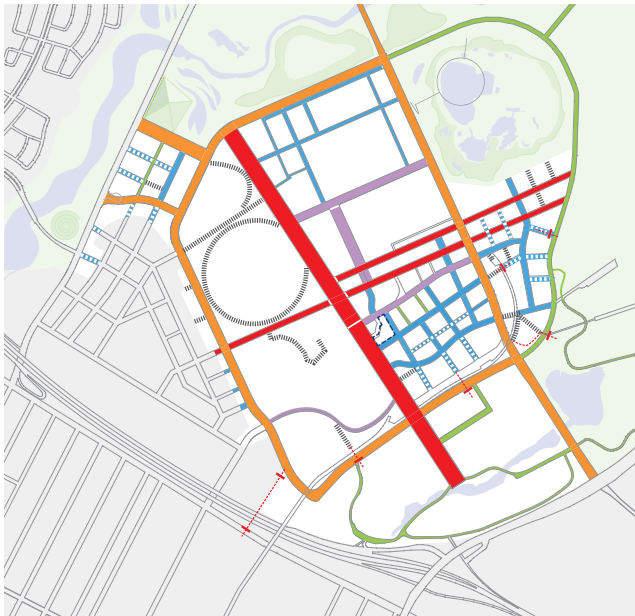
## 4.7 Public Art Strategy

Figure 3.7 Public Art Sites (reproduced as Figure 10 in this submission) identifies the public domain adjacent to the site (to the west) as being a site for both new permanent works and curatorial / temporary sites for public art.

LEGEND  
 Site Boundary

Figure 8. Street Hierarchy

Source: Sydney Olympic Park Masterplan 2030 (2018 Review)



**Key**

- ICF Funded Civic Streets
- ICF Funded Perimeter Avenues and Connecting Streets
- ICF Funded Park Edge Streets
- ICF Funded Town Streets
- ICF Funded Local Streets
- Pedestrian Connections or Bridge Pedestrian Connections
- Development Funded Streets
- Through Site Link

Figure 9. Planned Public Open Space

Source: Sydney Olympic Park Masterplan 2030 (2018 Review)



**Key**

- Events Places
- Urban Parks and Places
- Urban Places
- Local Parks
- Landscape Corridor
- Public Parklands
- Venue or Building Forecourts
- Public Space Shared with Venues
- 1. Olympic Boulevard and Plaza
- 2. Yulang Square
- 3. Fig Grove
- 4. Cathy Freeman Park
- 5. Station Square
- 6. Jacaranda Square
- 7. Stockroute Park
- 8. Abattoir Garden
- 9. Brickpit Park

Figure 10. Public Art

Source: Sydney Olympic Park Masterplan 2030 (2018 Review)



**Key**

- Parks, Landscape Corridors, Public Squares, Forecourts and Boulevards
- Sites for New Permanent Works
- New Curatorial/Temporary Sites

## **5.0 Relevant EPIs, Policies and Guidelines**

### **5.1 Greater Sydney Region Plan and Central City District Plan**

The Greater Sydney Region Plan (Region Plan) is the overarching vision for Sydney. The plan sets out new objectives for intensive growth and development of Sydney commensurate to population growth. The plan is underpinned by four key focal areas to promote productivity, liveability, sustainability and infrastructure & collaboration across Sydney.

In the Region Plan and the Central City District Plan, Sydney Olympic Park is identified as being a strategic centre within the Greater Parramatta to Olympic Peninsula (GPOP). The GPOP area includes the Westmead Health and Education Precinct; advanced technology and urban services in Camellia, Rydalmere, Silverwater and Auburn; and the Sydney Olympic Park lifestyle precinct. GPOP plays a critical role in shaping and supporting Sydney's growth and development within the Region Plan.

Sydney Olympic Park is identified as being an area that supports the district's arts and cultural facilities, open space, recreational facilities and employment. In addition, Sydney Olympic Park is also identified as part of a State-led initiative for additional housing capacity. The vision for the future of Sydney Olympic Park includes investment into public transport specifically, the Parramatta Light Rail and Sydney Metro West, housing, education and health uses. Over the next 20 years Sydney Olympic Park will further develop world-class sporting event venues, residential, commercial and residential activities into a lifestyle precinct.

### **5.2 Future Transport Strategy 2056**

The Future Transport Strategy 2056, and the Greater Sydney Services and Infrastructure Plan sets the framework for the NSW Government to deliver an integrated transport system, and identifies the key strategies and focuses to support Greater Sydney as it grows and develops over the next 40 years.

The location of the site in close proximity to both the new Metro Station and the existing Sydney Olympic Park Station supports the achievement of the 30 minute city goal, as the site is within the Sydney Olympic Park strategic centre, can be accessed from, and is accessible to the nearest strategic and metropolitan centres (being Rhodes and Greater Parramatta) by public transport within 30 minutes.

### **5.3 Better Placed**

Better Placed is an integrated design policy for the built environment, developed in 2017 by the NSW Government Architect Office. The Government Architect's Office highlighted the following objectives within this design policy:

- Better Fit – contextual, local and of its places;
- Better Performance – sustainable, adaptable and durable;
- Better for community – inclusive, connected and diverse;
- Better for people – safe, comfortable and liveable;
- Better working – functional, efficient and fit for purpose;
- Better value – creating and adding value; and
- Better look and feel – engaging, inviting and attractive.

## **6.0 Questions in Response to Masterplan 2030 (2018 Review)**

### **6.1 Building restrictions due to the size of the existing mixed use zone**

The current area of the mixed use zone on the site has dimensions of 24m by 24m. This site area is not large enough to create a viable mixed use floor plate with residential apartments. For residential uses to be successfully introduced onto this site (considering the retention of the existing commercial building completed in 2014) the mixed use zone would need to extend the whole length of the southern boundary. The previous submission in November 2016 explored this idea with Bates Smart developing a concept for a residential building along the southern boundary of the site. With the introduction of the new metro station in close proximity to the site the extension of the mixed use zoning to allow for residential floor plates is supported.

Furthermore, the inclusion of mixed uses (hotel, residential, commercial, office and retail) on this site is supported by the objectives of the B4 Mixed Use Zoning under State Environmental Planning Policy (State



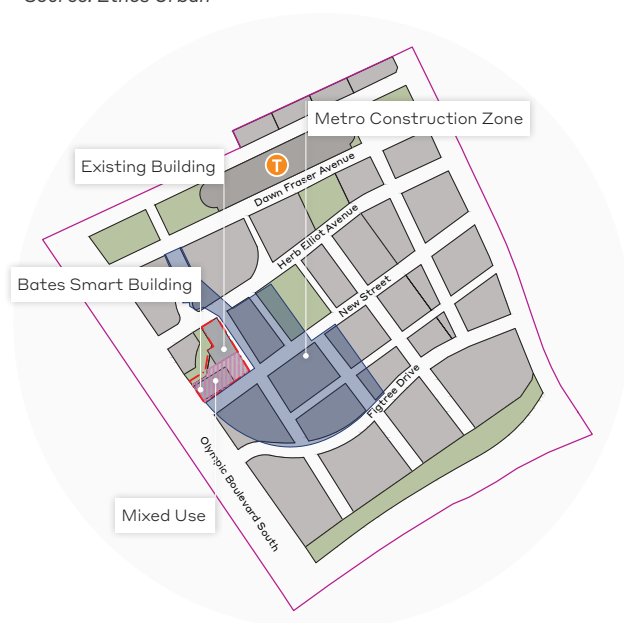
Significant Precincts) 2005 (the SSP SEPP) 2005)). The entire site possessing a consistent mixed use will enable compatible uses to be integrated onto the site in a well considered, efficient and high quality manner.

The location of the site in close proximity to the metro station will enable an integrated solution to business, office, residential, retail and other development needs in an accessible location, maximising public transport use and encouraging walking and cycling. Apartments in close proximity to metro stations enable a transit based lifestyle where individuals are not reliant on or require personal cars. The new metro station location brings into discussion the current land uses in the surrounding vicinity. The inclusion of mixed use land near the metro station and the town centre of the Central Precinct will contribute to a diverse, active and vibrant town centre.

Figure 11. Existing Mixed Use on Site  
Source: Ethos Urban



Figure 12. Extended Mixed Use on Site  
Source: Ethos Urban



## 6.2 Flexibility and Design Excellence

In accordance with the requirements of the SSP SEPP and the Sydney Olympic Park Masterplan 2030 (2018 Review) (Section 4.6.10), a Design Excellence Competition would be required for this site. .

To realise the full potential benefits of a design competition in delivering a high-quality and site-responsive outcome on this site a consistent land use zone should be applied to the entire site to provide flexibility to achieve the best design response. The land use of the site should be amended from Mixed Commercial (existing) to Mixed Use (proposed). A consistent land use zone will enable for a design that meets the Better Placed objectives of the NSW Government by allowing for an integrated and truly mixed-use development. A consistent land use will enable for a design that better fits into its context, location and place. A design that better fits into its context will ensure the following can be achieved:

- *Buildings and spaces that resonate and fit within the community are better maintained, cared for and looked after;*
- *Cohesive, integrated and well-designed places are highly desirable places to live and work and attract more investment; and*
- *Upfront costs and investments are protected through good design which retains quality and relevance over time.*  
(Better Placed).

A consistent land use will enable for a design that is better for the community, introducing residential uses in close proximity to the Metro Station that support close access to services and achieve progress towards the realisation of the '30-minute city'. This will allow for "multiple environmental and health benefits that are created through walkable access, cycling and public transport. Private car usage, traffic impacts, air pollution, greenhouse gas emissions and household transport costs will be reduced." (Better Placed). Furthermore, the site's close proximity to a metro station provides the opportunity for the site to explore "a range of housing and tenure types that allow for resilience in the face of changing housing requirements" (Better Placed).

Figure 13. Mixed Use Zone over whole Site  
Source: Ethos Urban



### 6.3 Town Centre characterised by Commercial Buildings

The existing Mixed Use land in the central precinct acts as a buffer between both commercial and residential uses to the external sporting event facilities. With the introduction of the new metro station in the area adjacent to the east of the site there is now a greater opportunity for Mixed Use in the north-western area of the central precinct to support activity within this area of the centre throughout the day and evening.

Placing residential buildings in close proximity to metro stations is a best practice concept and should be considered in the future masterplanning of the area in response to the Sydney Olympic Park Metro Station location. Similar to the eastern edge of the central precinct, the Mixed Use land should encompass entire blocks along the western boundary (excluding sites with hotel uses).

Figure 14. Existing Mixed Use Area  
Source: Ethos Urban

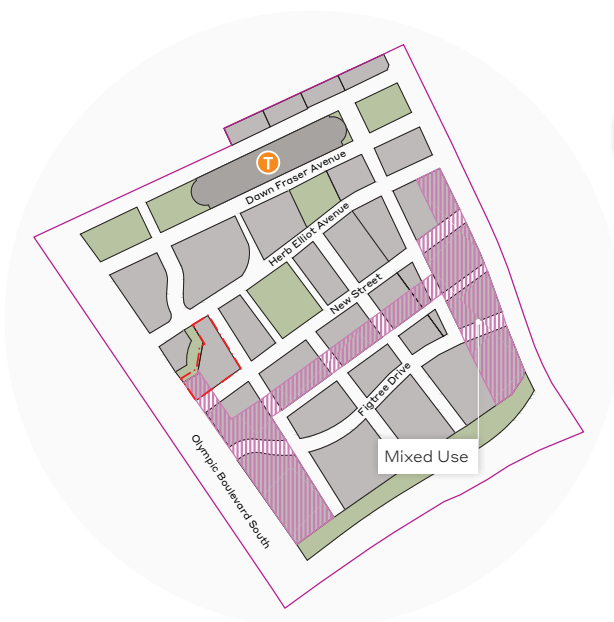
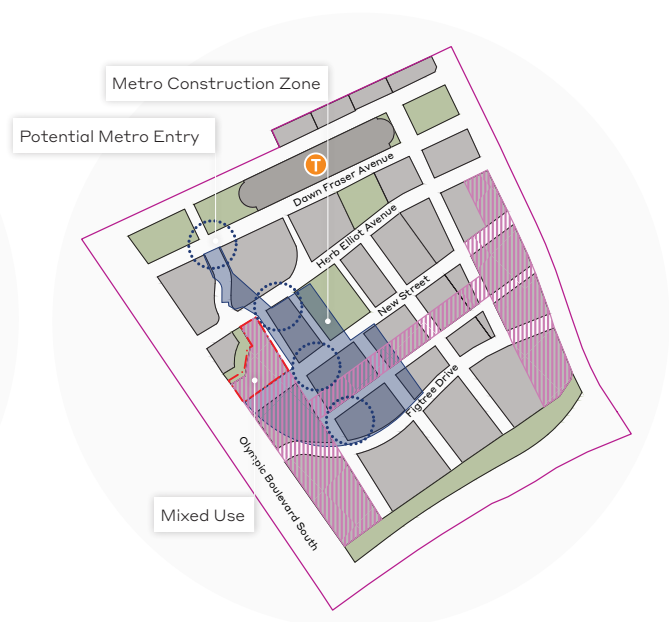


Figure 15. Proposed Mixed Use Area  
Source: Ethos Urban



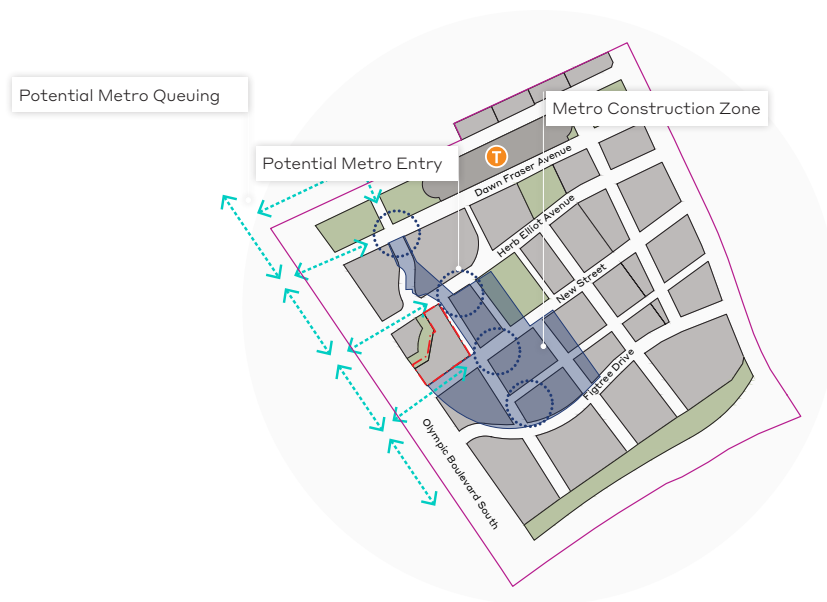
## 6.4 Queuing to the New Metro Station

With the introduction of the metro corridor adjacent to the east of the site the Local Streets (Street 19 and 21) and Town street (Street 14) connecting the Olympic Boulevard South to the metro station entrances (specific locations unknown) will become highly used and activated during event times. These streets have the opportunity to provide activation and slow down movement of crowds into the metro station by offering other uses and activities. A whole-of-site response would enable a place better for community and better for people, with:

- *Streets and public spaces which are welcoming and accessible for all*
- *Environments which support accessibility and social interaction promote community physical and mental health, reducing longer-term health impacts and costs, are more vibrant, interesting and safe.*
- *Places which feel safe and comfortable attract people and investment.*  
(Better Placed)

The provision of a single land use across the site (Mixed Use) would allow for a holistic future design response that can successfully meet the Better Placed objectives.

Figure 16. Possible Queuing Routes to Metro Station  
Source: Ethos Urban



## 7.0 Recommendations

To ensure design excellence outcomes for the site, in response to the new Metro Station location and the implications this will have on the surrounding context, we seek the following amendments to the Masterplan 2030 (2018 Review) and therefore the SSP SEPP:

- Amendment to Figure 5.7 – Amend Central Precinct Land Use Plan to apply Mixed Use zone across the entire site .

Figure 17. Mixed Use over whole Site  
Source: Ethos Urban



## 8.0 Conclusion

In conclusion, Fitzpatrick Investments fully welcomes the location of the new Sydney Olympic Park Metro Station and understands the implications of this on the Masterplan 2030 (2018 Review). The close proximity of the new metro station to our site, Site 4B, unlocks new opportunities for us and the surrounding vicinity. The recommendations above demonstrates an opportunity to transform this site into a thriving urban centre with enhanced employment, residential and commercial development.

Furthermore, the mixed commercial and residential zone designated on Site 4B is too small in area to provide for a mixed use tower development fronting Olympic Boulevard as intended by the 2016 and 2018 Review. The extension of this zone over the entire site will allow for a design response that integrates mixed uses, complementing the new metro station location.

Thank you for considering this submission in response to the Sydney Metro West Project and the Sydney Olympic Park Masterplan 2030 (2018 Review). We look forward to the progression of the Masterplan 2030 and would be happy to meet to discuss the concepts within this letter with you in greater detail.

Should you have any queries about this matter, please do not hesitate to contact myself on 0409400223.

Yours faithfully,

Craig Allchin

*Director, Design*

Attachment A: November 2016 submission

Attachment B: Building Height Study dated November 2016 prepared by Bates Smart Architects

Attachment C: July 2015 submission



DW/BG  
15391  
15 November 2016

Mr Nick Hubble  
Acting Chief Executive Officer  
Sydney Olympic Park Authority  
Level 1, 8 Australia Avenue  
SYDNEY OLYMPIC PARK

Dear Nick

**SUBMISSION - SYDNEY OLYMPIC PARK MASTER PLAN 2016 REVIEW  
SITE 4B, SYDNEY OLYMPIC PARK**

This submission to the Sydney Olympic Park Master Plan 2030 2016 Review (2016 Review) has been prepared by JBA on behalf of Fitzpatrick Investments Pty Ltd who own Site 4B, Sydney Olympic Park ("**the site**"). State Environmental Planning Policy (State Significant Precincts) 2005 requires Sydney Olympic Park Authority (SOPA) to review the Master Plan every five years. As the Sydney Olympic Park Master Plan 2030 (Master Plan 2030) was adopted in 2010, the 2016 Review is the first review of the Master Plan. The 2016 Review has been placed on public exhibition between 10 October 2016 and 15 November 2016 and submissions from the public and stakeholders are invited.

Following a meeting between Fitzpatrick Investments and SOPA on 25 October 2016 in relation to the future development interests of the site and how well the 2016 Review supports and aligns with the intended direction for the site, this submission forms specific recommendations and suggestions to be considered as part of the formal review of submissions related to the public exhibition of the 2016 Review.

Fitzpatrick Investments welcomes the opportunity to provide comment on 2016 Review to ensure the successful long term development of Sydney Olympic Park to meet the needs of visitors, business and residents within this transitioning locality.

A building height study dated November 2016 prepared by *Bates Smart Architects* and is submitted with this submission at **Attachment A**. This study investigates the option of a mixed use commercial and residential tower located on the southern part of Site 4B.

**1.0 PREVIOUS SUBMISSION**

JBA has previously prepared a submission on behalf of Fitzpatrick Investments for Site 4B dated 22 July 2015 (**Attachment B**). This submission provided planning commentary on Master Plan 2030 as it relates to Site 4B and suggested amendments to Master Plan 2030 for SOPA to consider as part of its five year review process.

The planning commentary focused on the restrictive commercial land use zoning of Site 4B that has to date hindered the intended development potential of the site given market demand does not support such large scale commercial towers in Sydney Olympic Park. Furthermore, large floor plate sizes are required to facilitate commercial development (ie 1,500m<sup>2</sup> to 2,500m<sup>2</sup>) which is not compatible with the slender towers envisaged along Olympic Boulevard under Master Plan 2030. The following was noted in the JBA submission:

**Issues include:**

- *Failure to recognise the transitional scale of towers in Sydney Olympic Park.*
- *Maximum building heights of 20-32 storeys.*
- *Restrictive commercial land use zoning limits development outcomes.*
- *Restrictive land use separation.*

**Actions/Approach**

- *Consider taller buildings up to 45 storeys.*
- *Consider FSR up to 10:1.*
- *Consider Mixed Use Commercial and Residential zone for the Site and the wider Central Precinct to encourage activation of the locality and minimise the potential for 'over planned' precincts and public domain.*
- *Maintain desired setbacks to Olympic Boulevard.*

*This submission support heights of up to 45 storeys for mixed use development with activation at ground level with retail floor space and smaller scale commercial suites at Levels 1 to 6 to diversify the commercial offering within Sydney Olympic Park.*

The following was therefore suggested to amend Master Plan 2030 to enable a mixed use tower development to fulfil the development potential of Site 4B:

- *Amendment to Figure 5.6 – Central Precinct Site Floor Space Ratios Plan to allow an FSR of 10:1 on Site.*
- *Amendment to Figure 5.7 – Central Precinct Land Uses Plan to allow Mixed Commercial and Residential on Site.*
- *Amendment to Figure 5.8 – Central Precinct Building Heights Plan to allow development of 32 – 45 storeys in the Tower Zone.*

## **2.0 SUBJECT SITE**

The Site forms part of the Central Precinct, bounded by Dawn Fraser Avenue, Olympic Boulevard, Sarah Durack Avenue and Australia Avenue as outlined in **Figure 1** below.

Central Precinct is recognised within the 2016 Review as:

*"The precinct will continue to transform into a vibrant, high density mixed use Town Centre with a strong commercial office and retail area to the north and a residential character along Figtree Drive....."*

*Streets are characterised by 8 storey built edges (2m setback above 6 storeys) with defined corner buildings. Most of the streets will have retail frontages providing a highly activated area at street level and around the park. A zone of slender towers, between 30-45 storeys will be setback above 8 (2m setback above 6 storeys) storey podiums along Olympic Boulevard and Australia Avenue."*

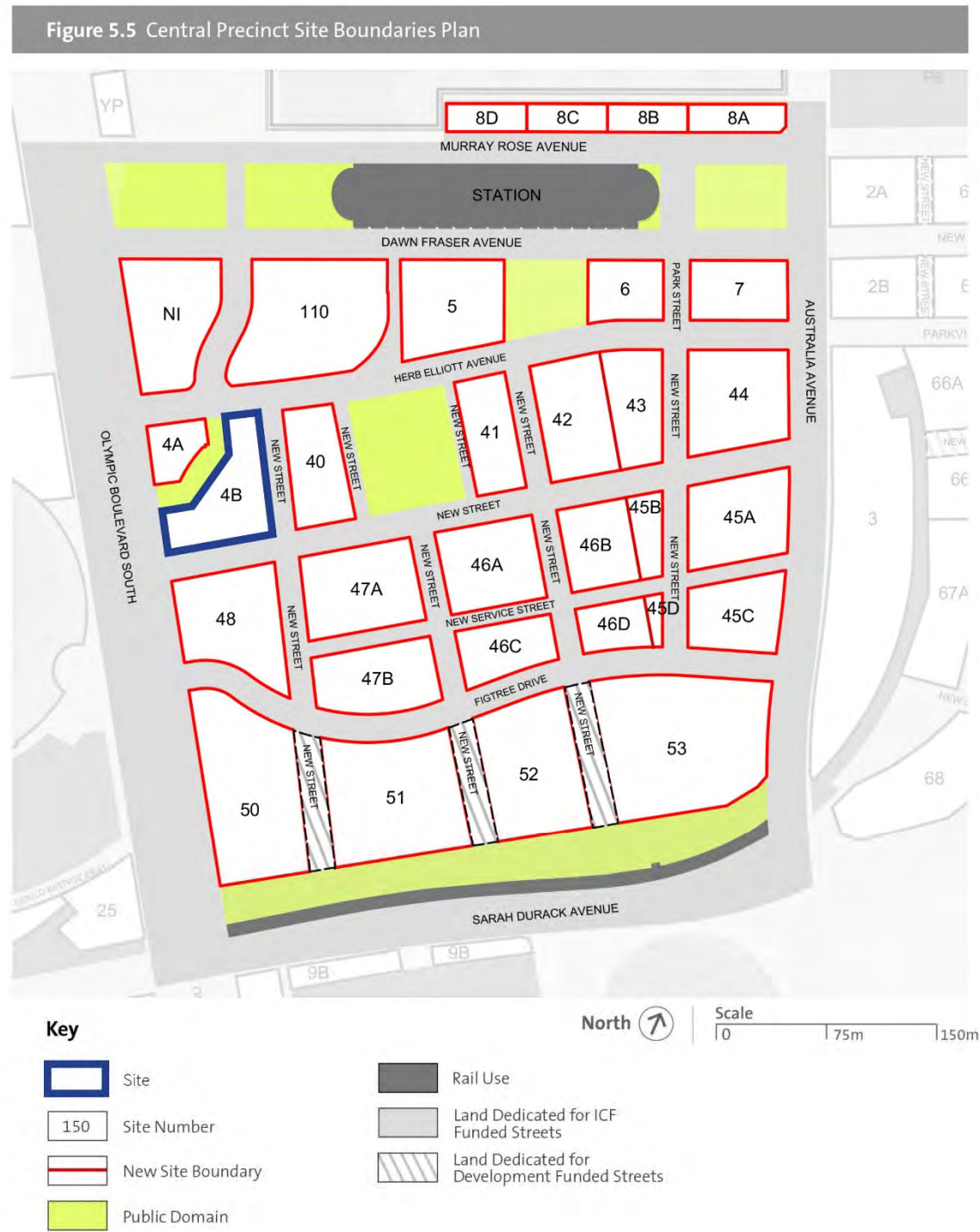
The site is located on Olympic Boulevard, immediately to the south of the Pullman Hotel and opposite the Sydney Olympic Park Aquatic Centre.

An 8 storey Commercial Building was completed on the site (fronting Herb Elliot Avenue) in 2014. The site has approval for a 10 storey commercial building (fronting Olympic Boulevard) however it has not commenced due to a lack of demand for the large scale commercial space within Sydney Olympic Park.

The site has an area of 4,163m<sup>2</sup>. Under the current Floor Space Ratio control of 6.5:1, future development of the site has a target Gross Floor Area of 27,060m<sup>2</sup>.

Stage 1 (8 Storey Commercial Building) on site has a GFA of 9,774m<sup>2</sup> which allows for a GFA for Stage 2 of 17,286m<sup>2</sup> under the current FSR controls.





**Figure 1 – Central Precinct Site Boundaries Plan**  
Source: 2016 Review

### 3.0 2016 REVIEW

#### 3.1 Section 5.2 Central Precinct

The purpose of the 2016 Review for the Central Precinct is to *“grow into a vibrant mixed-use centre, the review proposes a greater mix of uses while also improving connectivity with new streets and public open space. The review proposes non-residential uses and built form to buffer residential uses from event noise.”*

In terms of Site 4B the principal changes are described in the 2016 Review as comprising the following:

- *changing land use controls to encourage more mixed use development and promote after-hours activity, especially along Australia Avenue and Olympic Boulevard (as well as links through the Precinct) and around the new central park.*
- *changing building heights to align the tallest towers along north-south streets: Australia Avenue (30 storeys) and the Olympic Boulevard (45 storeys) to reinforce the significance of these streets.*
- *changing building heights to:*
  - *provide block edge podium development of six to eight storeys, with two storey retail along primary retail streets and within the commercial core generally*
  - *maintain a skyline of slender towers from 20 to 45 storeys, set back above the podium bases*
  - *changing building zones and setbacks to ensure well defined street edges, encourage continuous active frontages throughout the precinct and appropriate placement of tower development above a podium base*
  - *changing the FSR on currently underdeveloped sites to encourage high quality development and activity*

#### Floor Space Ratio

Figure 5.6 of the 2016 Review identifies Site 4B with a FSR of 8:1, up from 6.5:1 in Master Plan 2030 (**Figure 2**). This would represent a target GFA of 33,304m<sup>2</sup> on the site, that correlates to 23,530m<sup>2</sup> of FSR remaining on the Site after subtracting the existing Stage 1 GFA.

#### Building Height

Figure 5.8 of the 2016 Review identifies Site 4B as a “Tower Zone – 45 Storeys (8 Storey block edge, towers above)” (**Figure 3**). This has changed from Master Plan 2030 that indicates building heights of 20-32 storeys at the fronting Olympic Boulevard and 8 storeys on the eastern part of the site.

#### Setbacks

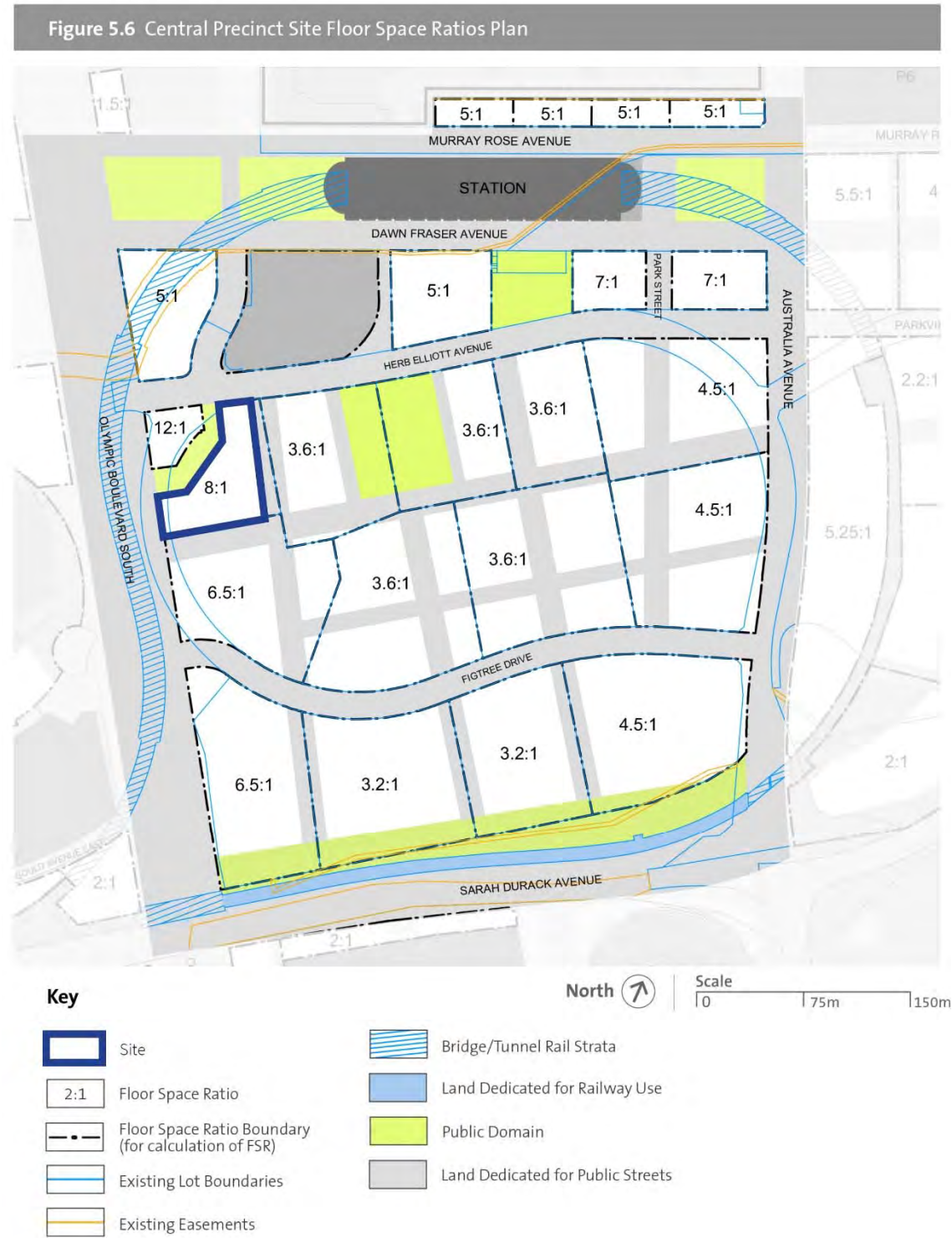
Figure 5.9 of the 2016 Review identifies the part of Site 4B fronting Olympic Boulevard as having a setback above 8 storeys between 5 metres and 10 metres, a setback along the New Street of 2m above 6 storeys and 90% minimum build to the street boundaries (**Figure 4**).

In this respect the 2016 Review is similar to Master Plan 2030 with the exception of the 2m setback along the New Street above 6 storeys and the 90% build to the New Street boundary.

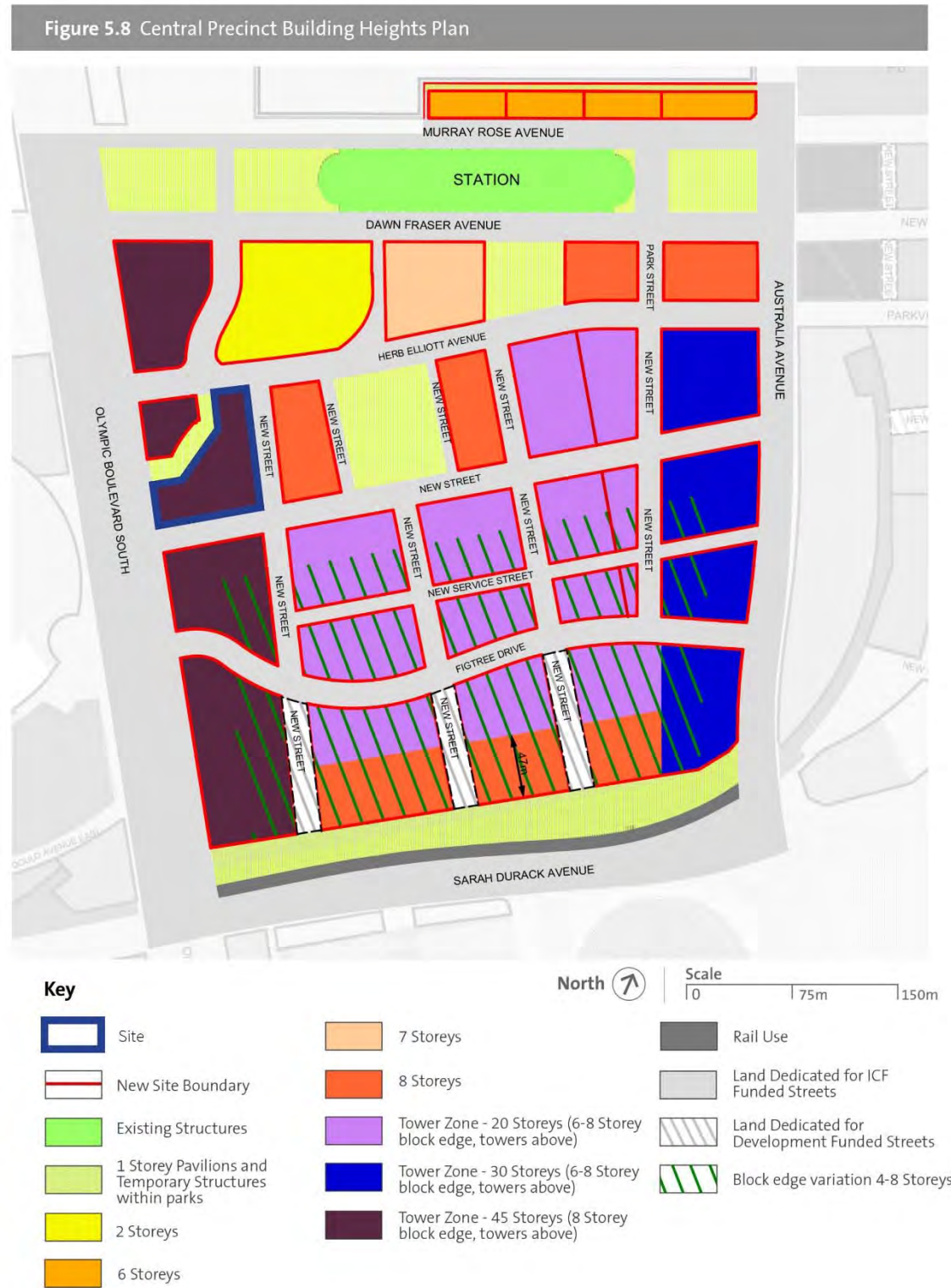
#### Land Uses

Figure 5.7 of the 2016 Review identifies the south western corner of the site as “Mixed Commercial, Residential, Hotels and Serviced Apartments”, with the remainder of the site being identified as “Commercial” (**Figure 5**). It is noted that Master Plan 2030 indicated the entire site as “Commercial”.





**Figure 2 – Central Precinct Site FSR Plan**  
*Source: 2016 Review*



**Figure 3 – Central Precinct Building Heights Plan**  
Source: 2016 Review





**Figure 4 – Central Precinct Building Zones and Setbacks Plan**  
Source: 2016 Review

Figure 5.7 Central Precinct Land Uses Plan



Figure 5 – Central Precinct Land Uses Plan  
Source: 2016 Review

### 3.2 Section 4.0 General Controls and Guidelines

This section provides the general planning controls and guidelines that apply to the entire Sydney Olympic Park town centre, including the Central Precinct. The following amendments contained within the 2016 Review are noted for the site:

- Minimum podium height increased from 26m to 28m along Olympic Boulevard
- Setback for towers along Olympic Boulevard between 5m and 10m above level 6
- Setback for towers along all other streets (ie New Street) 2m above level 6
- Floor plates above 15 storeys should not exceed 800m<sup>2</sup>
- Double height colonnade minimum height increased from 6m to 8m and extending along New Street frontage

Fitzpatrick Investments Pty Ltd has no in-principle objection to the proposed controls above, however when applied in conjunction with the Central Precinct Land Uses Plan (**Figure 5**) it would be impractical to construct a mixed use tower building on the section of the site identified as mixed use due to its minimal dimensions of approximately 24m x 24m (**Figure 6**).

Indeed, when applying the required setbacks for the tower element this reduces the dimensions of this mixed use area to approximately 14m-19m x 20m resulting in tower floor plates of between approximately 280m<sup>2</sup> and 380m<sup>2</sup> (depending upon setback from Olympic Boulevard). Clearly, tower floor plates of this size are impractical from an efficiency perspective and unviable from a commercial perspective, and less than half the maximum tower floor plate control of 800m<sup>2</sup> in the 2016 Review.



**Figure 6** – Central Precinct Land Uses Plan (extract) - mixed use approximate dimensions  
Source: 2016 Review



#### 4.0 ARCHITECTURAL CONCEPT

Fitzpatrick Investments has engaged Bates Smart Architects to prepare a building height study for Site 4B to test the relationship between the 45 storey building height limit and 8:1 maximum FSR applied to the site under the 2016 Review (**Attachment A**). The building height study provides a concept scheme based on the following parameters of the 2016 Review and an appropriate design response to Site 4B:

- Building height 45 storey limit (149m)
- 5m setback for tower from Olympic Boulevard
- 8m high colonnade along Olympic Boulevard and New Street
- 20m high podium (for transition between Pullman Hotel to north and future development sites to south)
- Ground floor retail and commercial/residential in podium with 4m floor to ceiling heights
- Articulated tower massing responding to floor plates over 600m<sup>2</sup> to be separated into split wings
- Residential tower floor plates are less than 800m<sup>2</sup>
- Residential tower with predominately north facing units
- 2m articulated side setbacks for residential tower
- Building footprint consistent with July 2015 submission that provides pocket park on south eastern corner of Site 4B
- Stage 1 constructed 8 storey commercial building on northern part of Site 4B

As can be seen with the building height study, a mixed use building with a slender residential tower that achieves an effective height of 45 storeys (ie 149m) generates a GFA of 30,067m<sup>2</sup>. Accordingly, the GFA for Site 4B (with existing commercial building) equates to 39,841m<sup>2</sup> or a FSR of 9.6:1.

Should a FSR of 8:1 be applied to Site 4B as proposed by the 2016 Review, the GFA for the site would equate to 33,304m<sup>2</sup>. This results in a residual GFA on the site of 23,530m<sup>2</sup>. Assuming design excellence is achieved a 10% bonus floor space is available for the site bringing the GFA of the site up to 36,634m<sup>2</sup> and FSR up to 8.8:1. Therefore when using the parameters above, a mixed use building with slender tower on Site B could only achieve a height of 40 storeys, which is inconsistent with the desired future character of Olympic Boulevard of the Central Precinct as expressed in the 2016 Review.

#### 5.0 SUGGESTED AMENDMENTS TO THE 2016 REVIEW

The 2016 Review notes the following in respect to Site 4B:

##### **Issues include:**

- Mixed use commercial and residential zone size and dimensions are too small to develop a mixed use tower development
- FSR of 8:1 (with assumed 10% floor space bonus) does not match the 45 storey building height limit
- The mandatory 28m podium height to provide for possible variation in response to built form transition along Olympic Boulevard

##### **Actions/Approach:**

- Consider widening the mixed commercial and residential land use zoning to reflect **Figure 7** below
- Consider FSR up to 9:1\*.
- Consider providing a variation exception to the 28m mandatory podium height along Olympic Boulevard to allow for a transition from the Pullman Hotel to the north and the sites to the south of Site 4B.

\* Whilst the Bates Smart Architects building height study has modelled a FSR for the site of 9.6:1, this is based upon only four levels of podium. Should an additional two levels be required to comply with the 28m mandatory podium height, this would result in additional floor space and therefore a higher FSR. As such, a 9:1 FSR (plus 10%

floor space bonus at 9.9:1) provides design flexibility for the future development of Site 4B in accordance with the desired future character of Sydney Olympic Park under the 2016 Review.



**Figure 7 – Central Precinct Land Uses Plan – proposed mixed use zone extension**  
Source: 2016 Review

## 6.0 RECOMMENDATIONS

In order to enable the proposed tower development outcome for the site we seek the following amendments to the 2016 Review (and therefore State Environmental Planning Policy (State Significant Precincts) 2005):

- Amendment to Figure 5.6 – Central Precinct Site Floor Space Ratios Plan to allow a FSR of 9:1 on Site 4B.
- Amendment to Figure 5.7 – Central Precinct Land Uses Plan to allow Mixed Commercial and Residential on a wider portion of the site as shown in **Figure 7** equating to dimensions approximately 50m (L) and 24m (W).
- Amendment to 4.6.8 Podium Design and Setbacks, providing a variation exception for Site 4B to the mandatory 28m podium height along Olympic Boulevard in order to achieve a podium transition from north to south along Olympic Boulevard.

## 7.0 CONCLUSION

In conclusion, we fully support the intention in the 2016 Review to allow for 45 storey tower development fronting Olympic Boulevard to create an appropriate urban context within Sydney Olympic Park, however when modelling the floor space required to achieve a 45 storey mixed use tower development on Site 4B, a 9:1 FSR would be required rather than the 8:1 FSR proposed. Furthermore, the mixed commercial and residential zone designated on Site 4B is too small in area to provide for a mixed use tower development fronting Olympic Boulevard as intended by the 2016 Review.

Thank you for considering this submission with regard to the 2016 Review of Sydney Olympic Park Master Plan 2030. We look forward to the progression of the 2016 Review and would be happy to discuss the concepts within this letter with you in greater detail.

Should you have any queries about this matter, please do not hesitate to contact myself or Bernard Gallagher on 02 9956 6962.

Yours faithfully,



**Daniel West**  
Principal Planner



**Bernard Gallagher**  
Director

Attachment A: Building Height Study dated November 2016 prepared by Bates Smart Architects  
Attachment B: July 2015 submission



# SITE 4B

## 45-STOREY HEIGHT LIMIT & 20M PODIUM

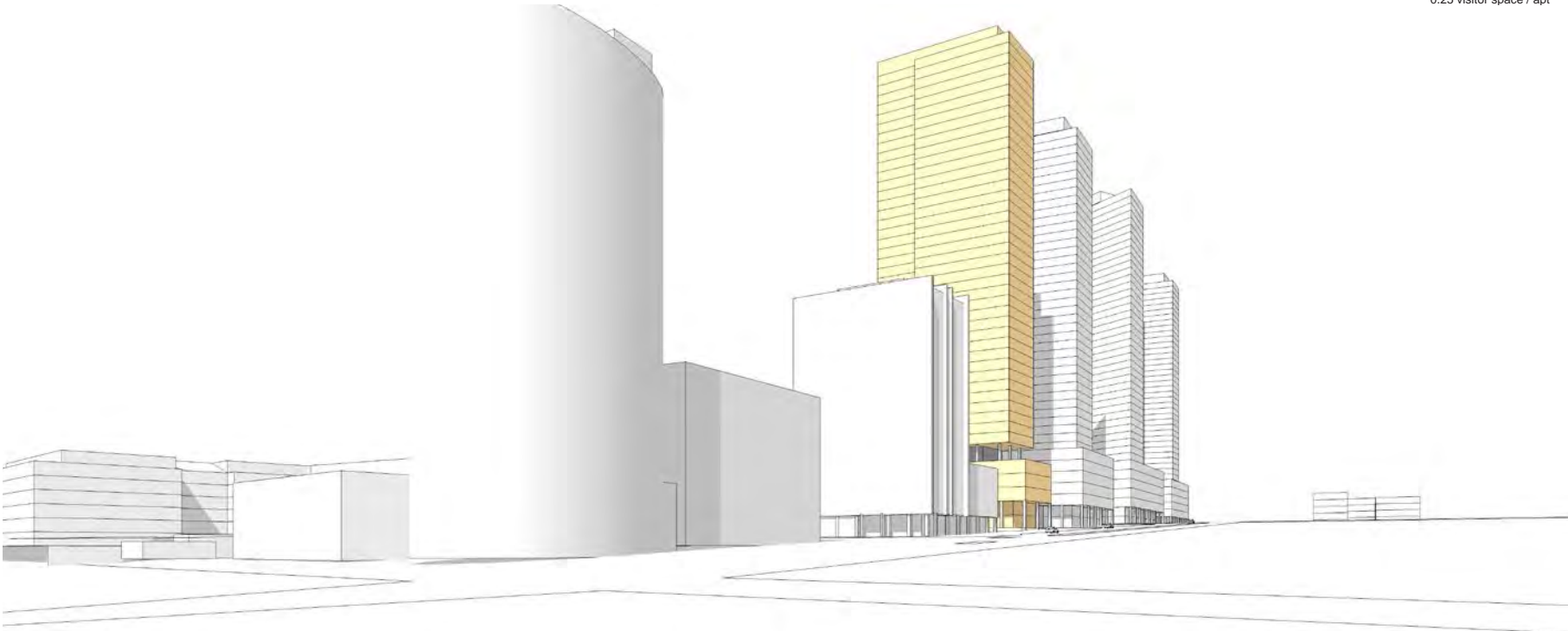
Site Summary											
Site Area		4163									
FSR		8.0 :1									
Allowable GFA		33304									
Stage 01 Existing GFA (commercial)		9774									
Stage 02 GFA (remaining)		23530									

	Existing Areas	GEA (sqm)/Floor	GBA (sqm)/Floor	GFA (sqm)/Floor	NSA (sqm)/Floor	No. of Floors	TOTAL STAGE 2 GFA	TOTAL STAGE 2 NSA	Apartment Numbers (assumed mix)				Stage 2 Parking Numbers (SOPA M'plan)	
	GFA (sqm)		Resi (89%xGEA);	Resi (87%xGBA)	Resi (80%xGBA)		Floors x GFA/Floor	Floors x NSA/Floor	1 Bedroom 55m2 (35%)	2 Bedroom 80m2 (60%)	3 Bedroom 105m2 (5%)	Total	GBA = total x 35sqm	No.
MAXIMISED TO 45-STOREY HEIGHT LIMIT 20m PODIUM														
Existing Commercial Stage 1	9774													
Plant (roof)		738	300			1								
Proposed Typical Tower level		911	823	713	658	39	27807	25678	124	213	18	354	17293	494
Podium roof (recreation)		300	267	100	n/a	1	100	n/a						
Proposed Podium level		1066	949	780	759	2	1560	1518	7	13	1	21	1022	29
Proposed Retail / lobby / loading		700	700	300	125	2	600	250					420	12
TOTAL	9774					45	30067	27446				375	18735	535

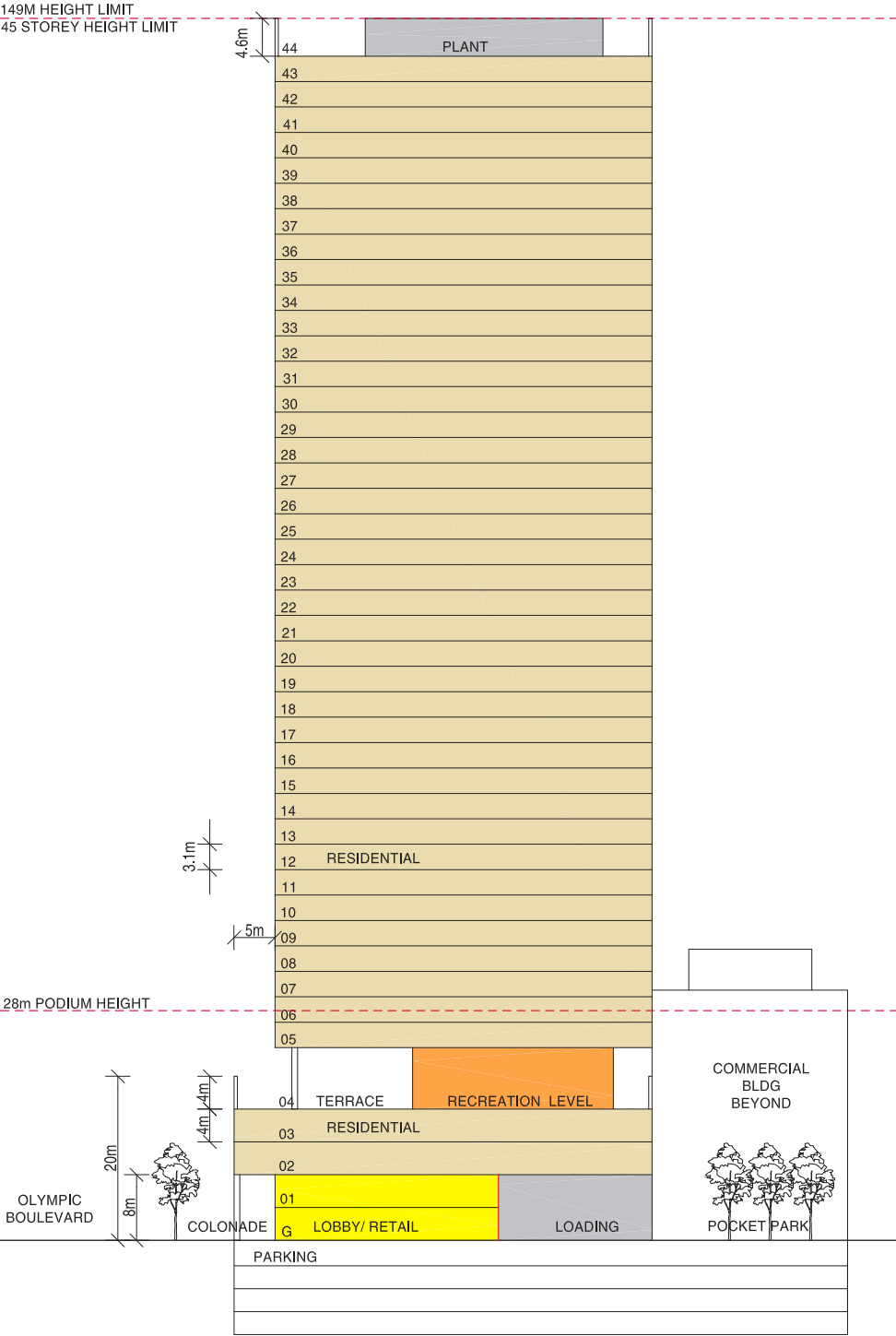
TOTAL SITE GFA  
TOTAL SITE FSR

39841.0  
9.6 :1

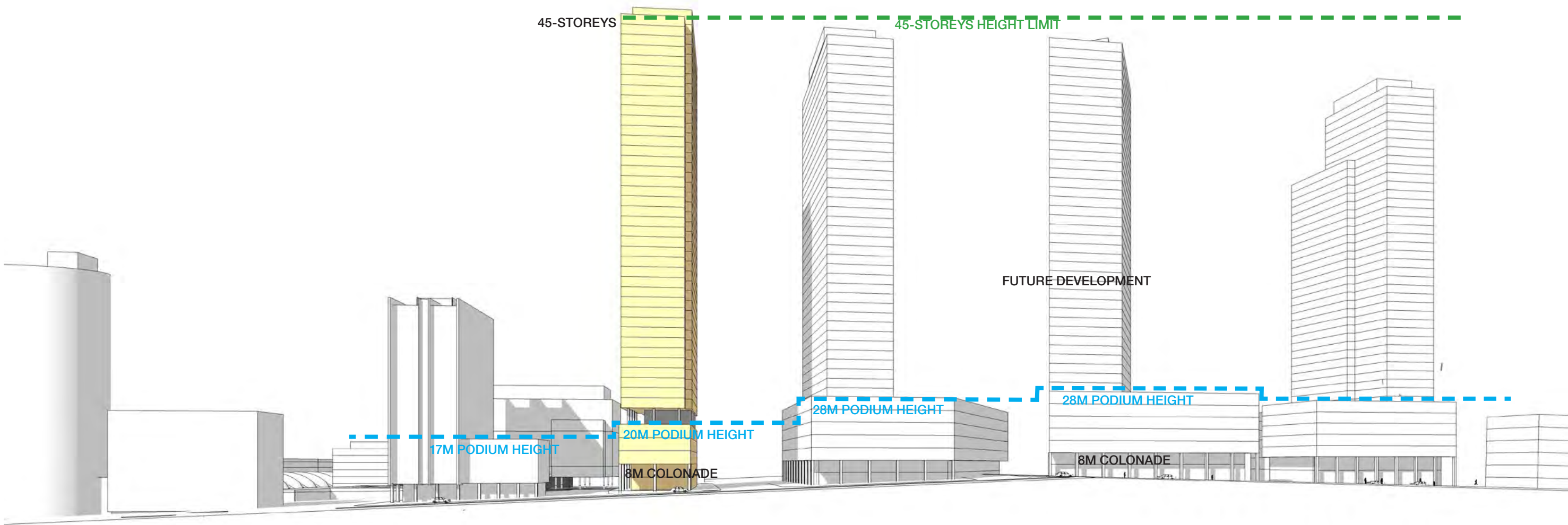
SOPA Masterplan Parking numbers  
1space / 50sqm retail GFA  
1space / 1bed  
1.2space / 2bed  
1.5space / 3bed  
0.25 visitor space / apt



VIEW LOOKING ALONG OLYMPIC BOULEVARD



# SITE 4B 45-STOREY HEIGHT LIMIT & 20M PODIUM



ELEVATIONAL VIEW OLYMPIC BOULEVARD





AH/BG  
15391  
22 July 2015

Alan Marsh  
CEO  
Sydney Olympic Park Authority  
Level 1, 8 Australia Avenue  
SYDNEY OLYMPIC PARK

Dear Alan,

**SUBMISSION TO SYDNEY OLYMPIC PARK MASTER PLAN 2030  
SITE 4B, SYDNEY OLYMPIC PARK**

This submission on the *Sydney Olympic Park Master Plan 2030* (Master Plan 2030) has been prepared by JBA on behalf of Fitzpatrick Investments P/L who own Site 4B, Sydney Olympic Park ("the site").

Following a meeting between Fitzpatrick Investments and Sydney Olympic Park Authority (SOPA) on 9 June 2015, in relation to the future development interests of the site and how well the Master Plan 2030 supports and aligns with intended direction for the site, this submission forms specific recommendations and suggestions to be considered as part of the formal review of Master Plan 2030.

Fitzpatrick Investments welcomes the opportunity to provide comment on the Master Plan 2030 to ensure the successful long term development of Sydney Olympic Park to meet the needs of visitors and residents within this transitioning locality.

'SOPA Site 4B – Building Height and Planning Study for a Mixed Use Tower' has been prepared by *Bates Smart Architects* and is submitted with this submission at **Appendix A**. This study investigates the option of a mixed use commercial and residential tower located on the Site.

**EXECUTIVE SUMMARY**

Future development of the site requires careful consideration of the transition along Olympic Boulevard within the context of wider Sydney Olympic Park.

The intent of the Master Plan 2030 seeks to allow greater building heights and tower development within the northern part of the Central Precinct to establish the building hierarchy within the wider Sydney Olympic Park however in the time since the Master Plan 2030 was prepared in September 2009, building heights across Sydney have dramatically increased.

In summary, we are of the opinion that the Master Plan 2030 should be the catalyst to see Sydney Olympic Park reach levels of growth, through increased building heights and mixed-use/residential land uses, to reflect current and future market demands.

## 1.0 THE SITE

The site forms part of the Central Precinct, bounded by Dawn Fraser Avenue, Olympic Boulevard, Sarah Durack Avenue and Australia Avenue as outlined in **Figure 1** below.

Central Precinct is recognised within the Master Plan 2030 as *“the vibrant hub of Sydney Olympic Park, Central will house over 360,000m<sup>2</sup> of commercial space, around 16,900m<sup>2</sup> of retail and be home to around 3,400 residents”*.

The site is located on Olympic Boulevard, immediately to the south of the Pullman Hotel and opposite the Sydney Olympic Park Aquatic Centre.

An 8 storey Commercial Building was completed on Site (fronting Herb Elliot Avenue) in 2014.

The Site has approval for a 10 storey commercial building (fronting Olympic Boulevard) however it has not commenced due to a lack of demand for the large scale commercial space within Sydney Olympic Park.

The site has an area of 4,163m<sup>2</sup>. Under the current Floor Space Ratio control of 6.5:1, future development of the site has a target Gross Floor Area of 27,060m<sup>2</sup>. Stage 1 (8 Storey Commercial Building) on site has a GFA of 9,774m<sup>2</sup> which allows for a GFA for Stage 2 of 17,286m<sup>2</sup> under the current FSR controls.



**Figure 1 – Central Precinct Site Boundaries Plan**  
Source: Master Plan 2030



## 2.0 COMMENTS ON MASTER PLAN 2030

The purpose of Master Plan 2030 is to “provide a comprehensive approach to the long-term development of Sydney Olympic Park” and “ensure Sydney Olympic Park continues to evolve into an active, vibrant town within metropolitan Sydney”.

Master Plan 2030 notes in respect to the subject site and the Central Precinct to provide “a zone of slender towers, 20-30 storeys high, defines Olympic Boulevard. Office buildings fronting Herb Elliot Avenue and Dawn Fraser Avenue and the new East West Street are up to eight storeys. New residential buildings are up to 10 storeys high and will be concentrated along Figtree Drive. They will provide an appropriate scale and density to support a vibrant town centre at Sydney Olympic Park”.

The first issue that needs to be reviewed is land uses for Site 4B and 48. Currently both envisage commercial uses. Site 4B is identified under Master Plan 2030 for commercial development with a Floor Space Ratio of 6.5:1 and building heights of 20-32 storeys at the fronting Olympic Boulevard and 8 storeys to the rear of the Site. Site 48 has the same controls.

The market demand for a commercial tower of 20-30 storeys at Sydney Olympic Park with 30,000m<sup>2</sup> plus Gross Floor Area does not currently exist. That scale of commercial building is currently too large for more mature markets (such as North Sydney and Macquarie Park).

Secondly, the required floor plates to facilitate a commercial tower would need to be approximately 1,500m<sup>2</sup> to 1,600m<sup>2</sup> which would not allow for a ‘slender tower’.

If ‘high rise slender towers’ is the desired outcome for the Olympic Boulevard then a residential use needs to be permitted on Site 4B.

This submission supports tower style development which define Olympic Boulevard however is mindful that there is not the demand for 30 storey commercial towers at Sydney Olympic Park with 30,000m<sup>2</sup> plus of Gross Floor Area as demonstrated by the lack of demand to develop the 10 storey commercial building approved on the Site.

In respect the site, under the Master Plan 2030, we note the following:

### ***Issues include:***

- Failure to recognise the transitional scale of towers in Sydney Olympic Park.
- Maximum building heights of 20-32 storeys.
- Restrictive commercial land use zoning limits development outcomes.
- Restrictive land use separation.

### ***Actions/Approach***

- Consider taller buildings up to 45 storeys.
- Consider FSR up to 10:1.
- Consider Mixed Use Commercial and Residential zone for the Site and the wider Central Precinct to encourage activation of the locality and minimise the potential for ‘over planned’ precincts and public domain.
- Maintain desired setbacks to Olympic Boulevard.

This submission support heights of up to 45 storeys for mixed use development with activation at ground level with retail floor space and smaller scale commercial suites at Levels 1 to 6 to diversify the commercial offering within Sydney Olympic Park.

In the time since the Master Plan 2030 was prepared in September 2009, building heights across Sydney have dramatically increased. The intent of the Master Plan 2030 seeks to allow greater

building heights and tower development within the northern part of the Central Precinct to establish the building hierarchy within the wider Sydney Olympic Park however the Master Plan is no longer reflective of tower development in Sydney and should allow for increased building heights.

As demonstrated via the recent towers approved on Australia Avenue, tall buildings can be easily accommodated within Sydney Olympic Park. The 'SOPA Site 4B – Building Height and Planning Study for a Mixed Use Tower' prepared by *Bates Smart Architects* details that the Site can successfully support an alternative height with an articulated tower that would '*anchor the zone of slender 20-30 storey towers on a consistent podium along Olympic Boulevard*'.

### 3.0 SUGGESTED AMENDMENTS FOR SITE 4B

In order to enable the proposed tower development outcome for the site we seek the following amendments to the Master Plan 2030:

- Amendment to Figure 5.6 – Central Precinct Site Floor Space Ratios Plan to allow an FSR of 10:1 on Site.
- Amendment to Figure 5.7 – Central Precinct Land Uses Plan to allow Mixed Commercial and Residential on Site.
- Amendment to Figure 5.8 – Central Precinct Building Heights Plan to allow development of 32 – 45 storeys in the Tower Zone.

### 4.0 CONCLUSION

In conclusion, we fully support the intention in the Master Plan to allow for tower development fronting Olympic Boulevard to create an appropriate urban context within Sydney Olympic Park however the Site would benefit from increased building heights and FSR's fronting Olympic Boulevard.

In order to achieve a successful tower development outcome for Site 4B a mixed-use zone is critical. As demonstrated by the fact that the site has approval for a 10 storey commercial building (fronting Olympic Boulevard) that has not commenced, the demand for the large scale commercial space within Sydney Olympic Park does not exist.

Thank you for considering this submission with regard to the Sydney Olympic Park Master Plan 2030. We look forward to the progression of the Master Plan and would be happy to discuss the concepts within this letter with you in greater detail.

Should you have any queries about this matter, please do not hesitate to contact me on 02 9409 4917 or [bgallagher@jbaurban.com.au](mailto:bgallagher@jbaurban.com.au).

Yours faithfully,

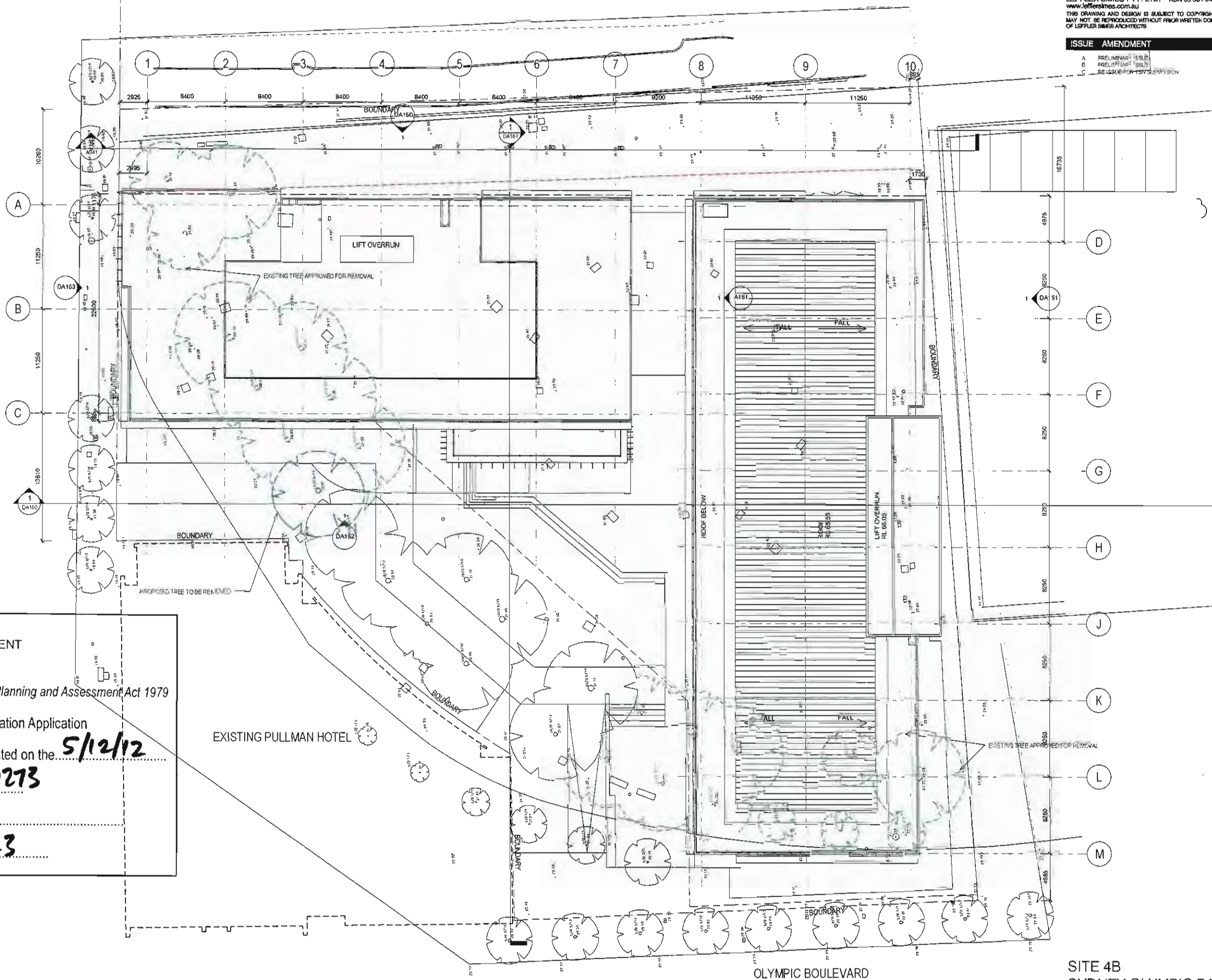


Bernard Gallagher  
*Director*

CC – Jamie Stewart

Enc. *Building Height and Planning Study* prepared by Bates Smart Architects

ISSUE	AMENDMENT	DATE
A	PRELIMINARY ISSUE	03/10/12
B	PRELIMINARY ISSUE	04/10/12
C	RE ISSUE FOR TSV SIGNOFF	23/11/12



NSW GOVERNMENT  
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. **MOD 3** granted on the **5/12/12**

in respect to MP **06-0273**

Signed **DLT**

Sheet No. **1** of **23**

1 SITE PLAN  
A041 Scale: 1:200

SITE 4B  
SYDNEY OLYMPIC PARK  
SITE PLAN

SCALE: 200 @ A1

SYDNEY  
MELBOURNE  
BRISBANE  
7 YOUNG ST NEUTRAL BAY NSW 2089 T: +61 2 99093344  
LEVEL 2 - 18 OLIVER LANE VIC 3000 T: +61 3 95546344  
2 - 280 BOUNDARY ST SPRING HILL QLD 4004 T: +61 7 31233844

PROJECT 3467  
DATE 04/10/12  
DRAWN JCK  
DWG NO. DA050 C

LEFFLER SIMES ARCHITECTS



**NSW GOVERNMENT**  
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. **MOD 3** granted on the **5/12/12**

in respect to MP **06-0213**

Signed **[Signature]**

Sheet No. **2** of **23**

**1 STAGING PLAN - STAGE 1**  
Scale: 1:200



- LEGEND**
- TURF/TEMPORARY LANDSCAPE ZONE
  - CONCRETE / TIMBER IN ACCORDANCE WITH LANDSCAPE PLANS
  - LANDSCAPE IN ACCORDANCE WITH LANDSCAPE PLANS
  - TEMPORARY LOADING DOCK
  - EXISTING SPRAY SEAL CARPARK / PATHWAYS
  - ELECTRICAL KIOSK
  - STAGE 2 SOUTH BUILDING CONSTRUCTION ZONE

**SITE 4B**  
**SYDNEY OLYMPIC PARK**  
**SITE STAGING PLAN -**  
**STAGE 1**

SYDNEY  
MELBOURNE  
BRISBANE

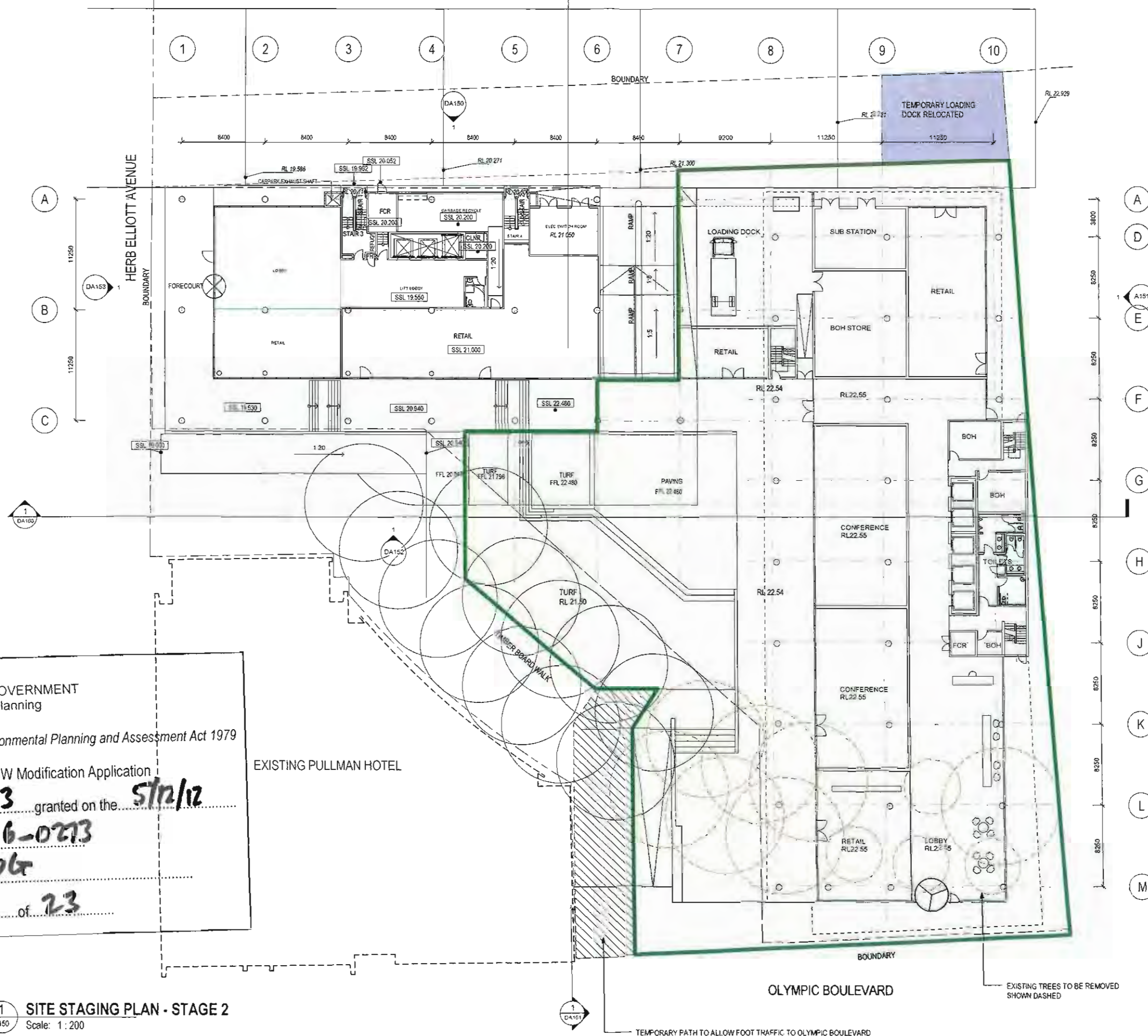
7 YOUNG ST NEUTRAL BAY NSW 2089 T: +61 2 99663344  
LEVEL 2 - 18 OLIVER LANE VIC 3000 T: +61 3 96543344  
2-290 BOUNDARY ST SPRING HILL QLD 4004 T: +61 7 31235544

PROJECT 3497  
DATE  
DRAWN RGG

DWG NO.  
**DA060**

**LEFFLER SIMES ARCHITECTS**





- LEGEND
- TURF/TEMPORARY LANDSCAPE ZONE
  - CONCRETE / TIMBER IN ACCORDANCE WITH LANDSCAPE PLANS
  - LANDSCAPE IN ACCORDANCE WITH LANDSCAPE PLANS
  - TEMPORARY LOADING DOCK
  - EXISTING SPRAY SEAL CARPARK / PATHWAYS
  - ELECTRICAL KIOSK
  - STAGE 2 SOUTH BUILDING CONSTRUCTION ZONE



NSW GOVERNMENT  
Planning

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Approved Section 75W Modification Application


No. **M003** granted on the **5/12/12**

in respect to MP **06-0273**

Signed **DG**

Sheet No. **3** of **23**

1 SITE STAGING PLAN - STAGE 2  
A150 Scale: 1:200

 **NSW GOVERNMENT**  
Planning

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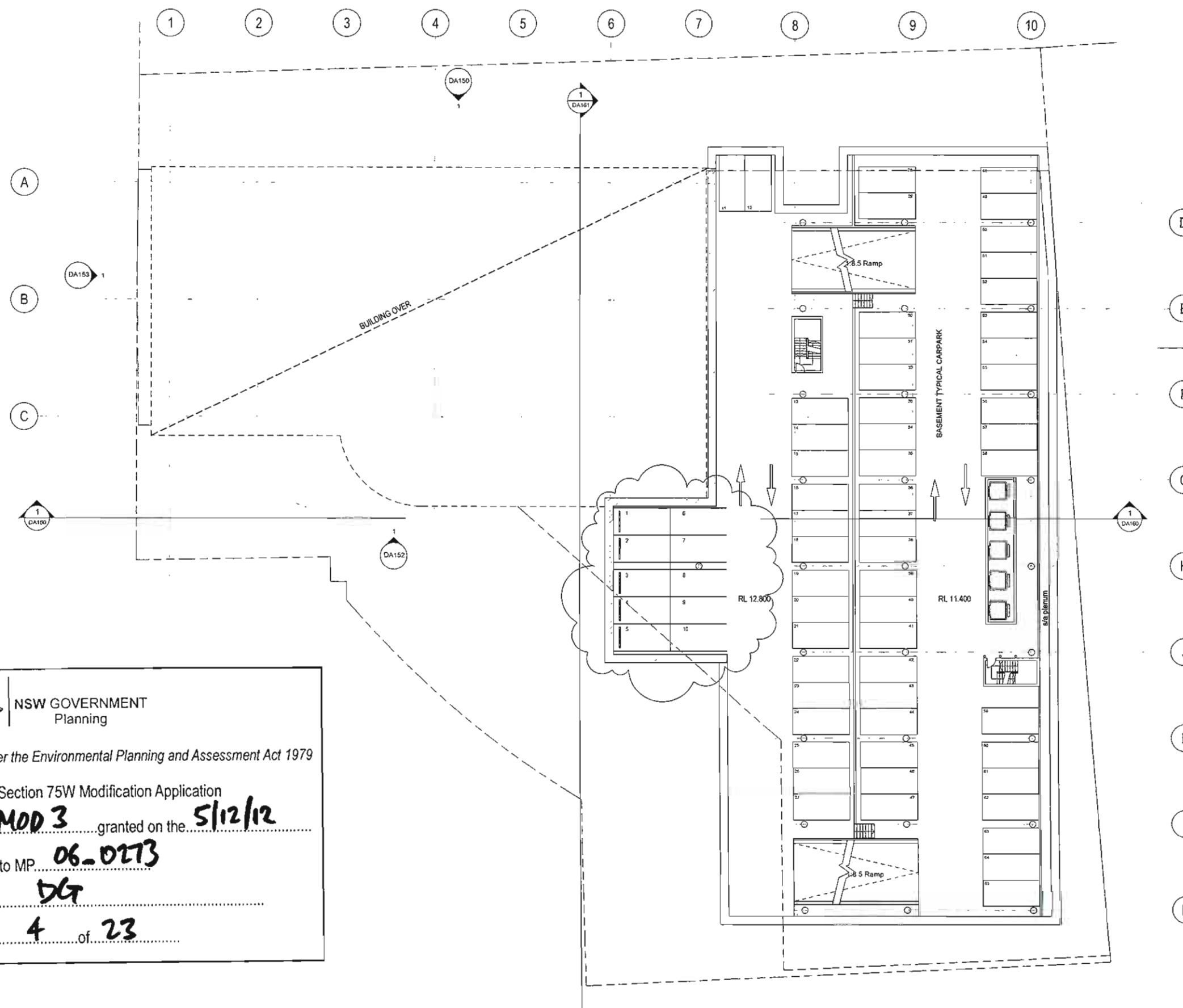
No. **MOD 3** granted on the **5/12/12**

in respect to MP **06-0273**

Signed **DGT**

Sheet No. **4** of **23**

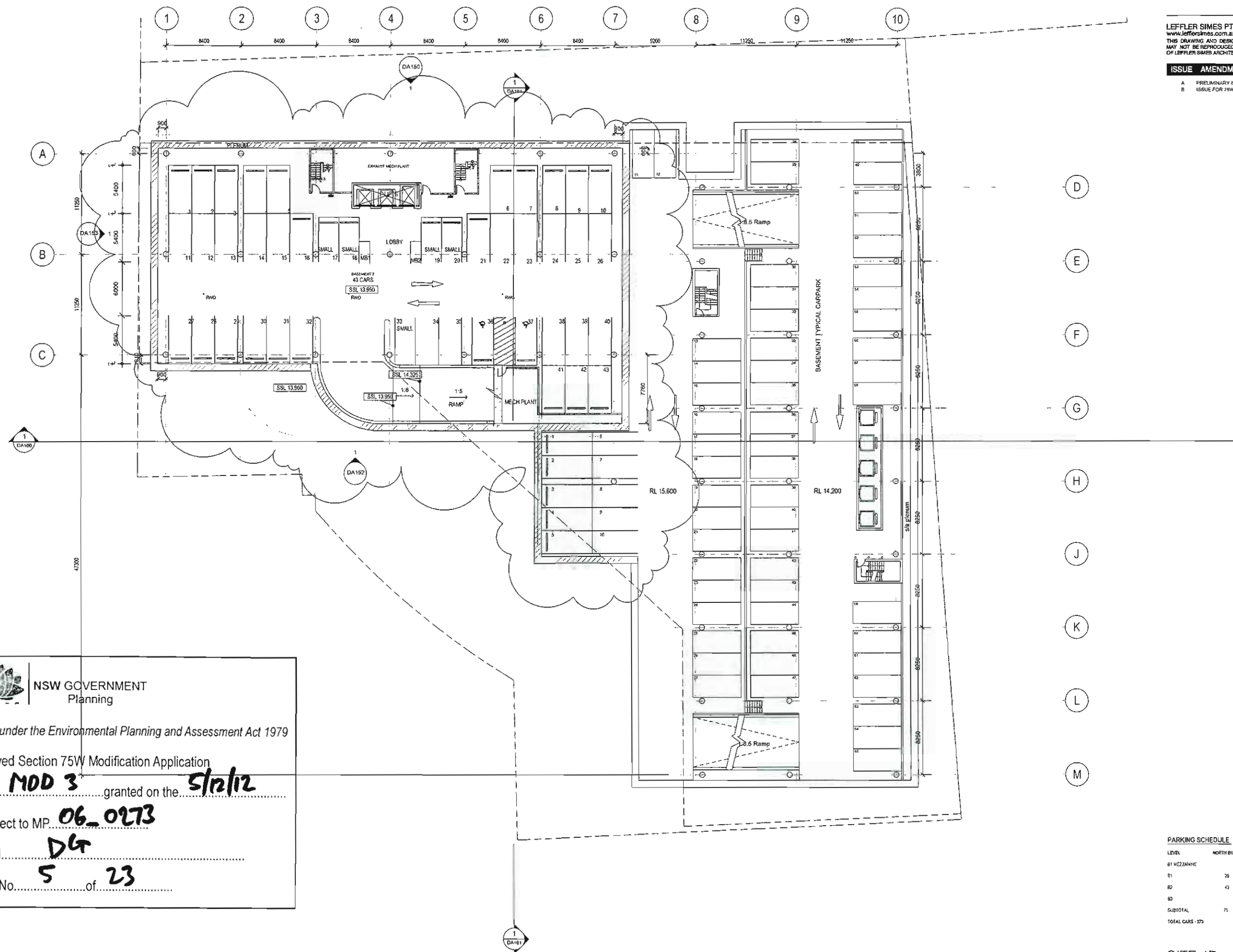
**1 BASEMENT 3**  
 A180 Scale: 1:200



PARKING SCHEDULE		
LEVEL	NORTH BUILDING	SOUTH BUILDING
B1 MEZZANINE	-	30
B1	28	34
B2	43	65
B3	-	65
SUBTOTAL	71	202
TOTAL CARS - 273		

**SITE 4B**  
**SYDNEY OLYMPIC PARK**  
**BASEMENT B3 PLAN**





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Planning

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No. **MOD 3** granted on the **5/12/12**

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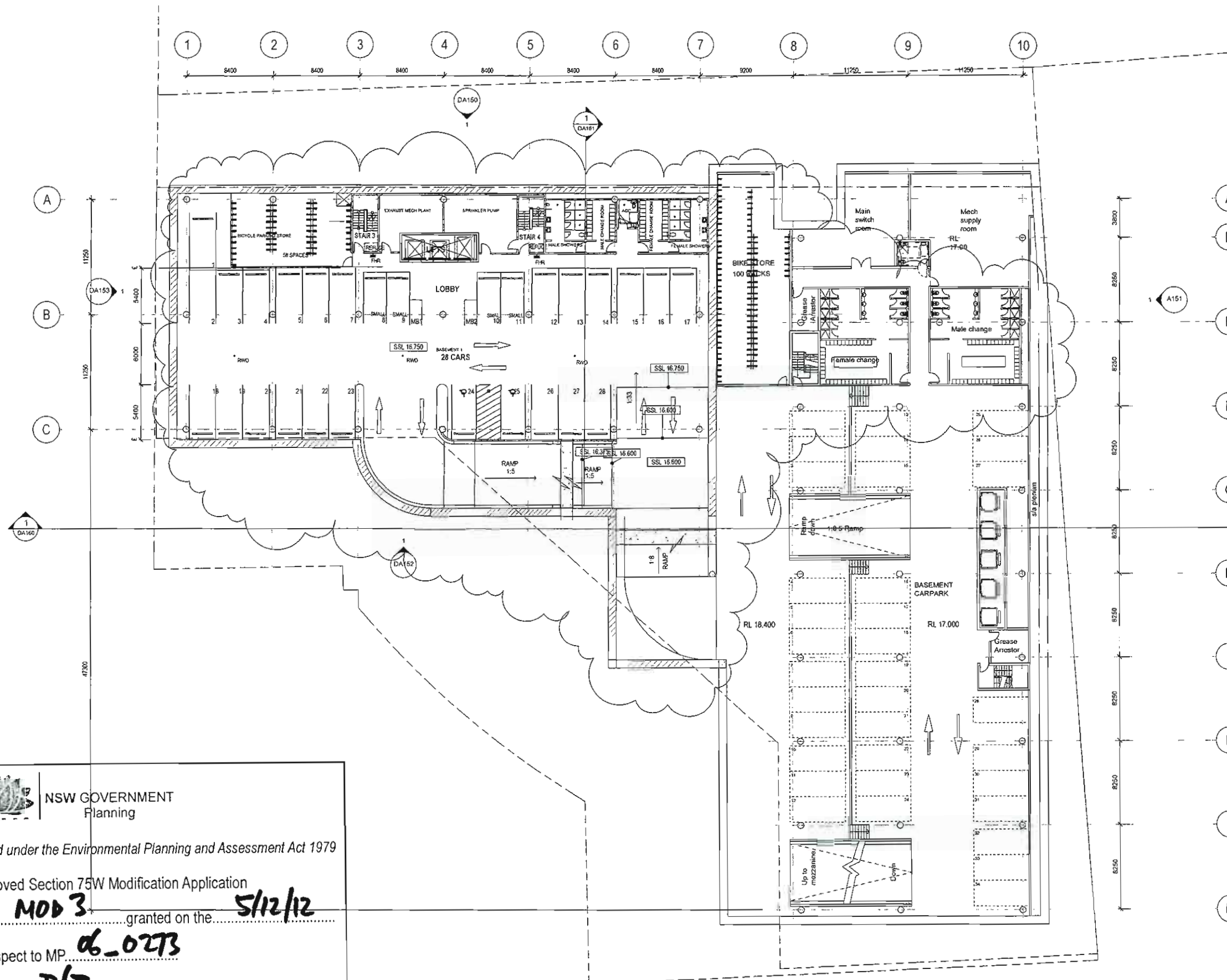
Sheet No. **5** of **23**


**1 BASEMENT 2**  
A150 Scale: 1: 200

**PARKING SCHEDULE**

LEVEL	NORTH BUILDING	SOUTH BUILDING
B1 MEZZANINE		38
B1	28	34
B2	43	65
B3		65
SUBTOTAL	71	202
TOTAL CARS - 273		

**SITE 4B**  
**SYDNEY OLYMPIC PARK**  
**BASEMENT B2 PLAN**



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No. **MOD 3** granted on the **5/12/12**

in respect to MP **06-0273**

Signed **DG**

Sheet No. **6** of **23**

**PARKING SCHEDULE**

LEVEL	NORTH BUILDING	SOUTH BUILDING
B1 MEZZANINE		30
B1	26	34
B2	43	65
B3		85
SUBTOTAL	71	209
TOTAL CARS - 273		

**1 BASEMENT 1**  
A160 Scale: 1:200

SCALE: 200 @ A1



SYDNEY  
MELBOURNE  
BRISBANE

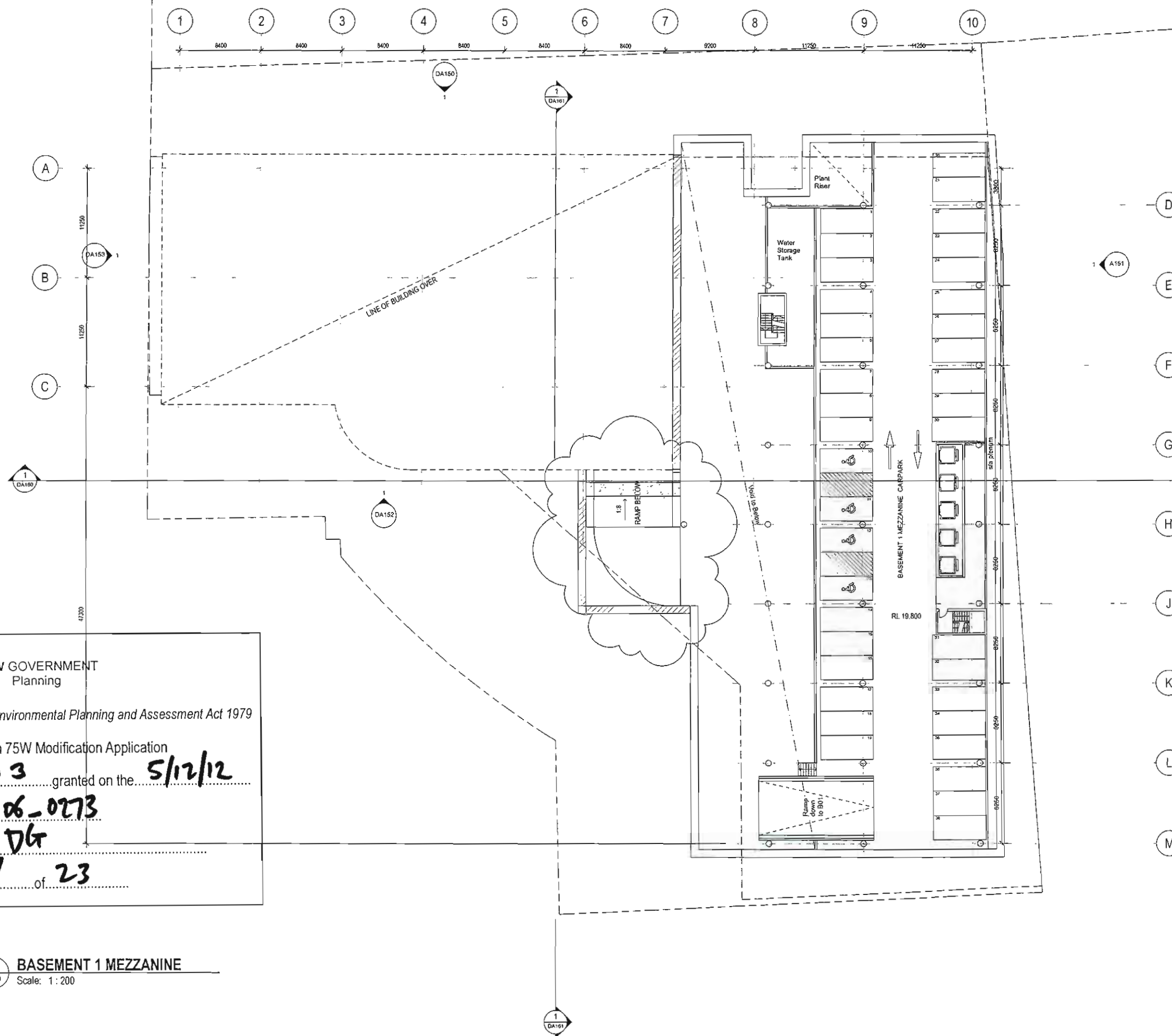
7 YOUNG ST NEUTRAL BAY NSW 2069 T: +61 2 99033344  
LEVEL 2 - 18 OLIVER LANE VIC 3000 T: +61 3 96546344  
2 - 200 BOUNDARY ST SPRING HILL QLD 4004 T: +61 7 21235344

PROJECT 3487  
DATE  
DRAWN RGG

DWG NO.  
**DA102 B**

**LEFFLER SIMES ARCHITECTS**

**SITE 4B  
SYDNEY OLYMPIC PARK  
BASEMENT B1 PLAN**



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Sheet No. **7** of **23**

**1** BASEMENT 1 MEZZANINE  
A160 Scale: 1:200

PARKING SCHEDULE

LEVEL	NORTH BUILDING	SOUTH BUILDING
B1 MEZZANINE		28
B1	26	34
B2	43	50
B3		65
SUBTOTAL	71	202
TOTAL CARS - 273		

SITE 4B  
SYDNEY OLYMPIC PARK  
BASEMENT B1 MEZZANINE

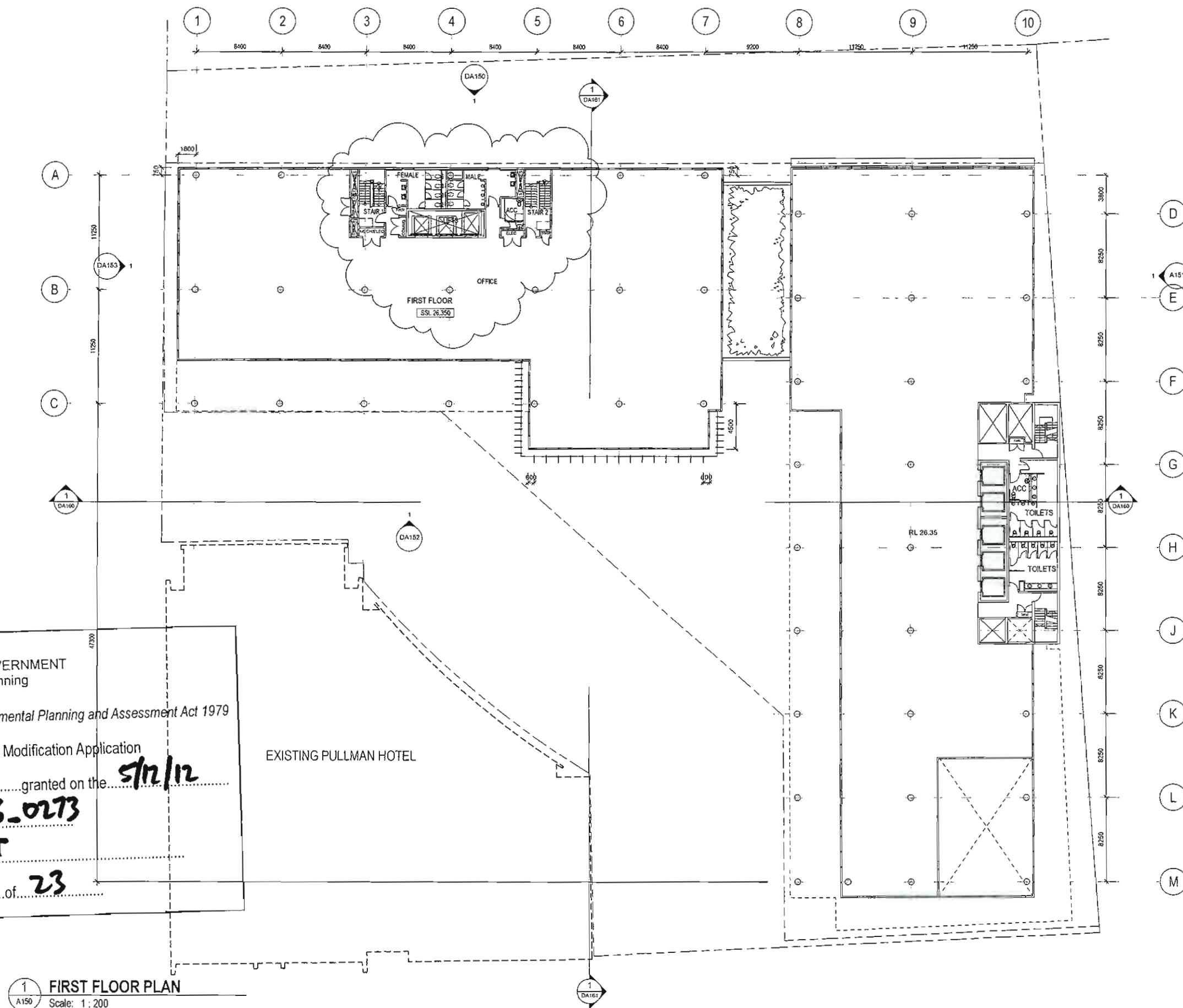




GFA SCHEDULE		
LEVEL	GFA NORTH BUILDING (sqm)	GFA SOUTH BUILDING
GROUND FLOOR	600	1100
FIRST FLOOR	1142	1300
SECOND FLOOR	1314	1825
THIRD FLOOR	1314	1625
FOURTH FLOOR	1206	1825
FIFTH FLOOR	1314	1625
SIXTH FLOOR	1247	1704
SEVENTH FLOOR	1247	1721
EIGHTH FLOOR		1721
NINTH FLOOR		1721
<b>TOTAL</b>	<b>9474</b>	<b>16856</b>

LEFFLER SIMES ARCHITECTS





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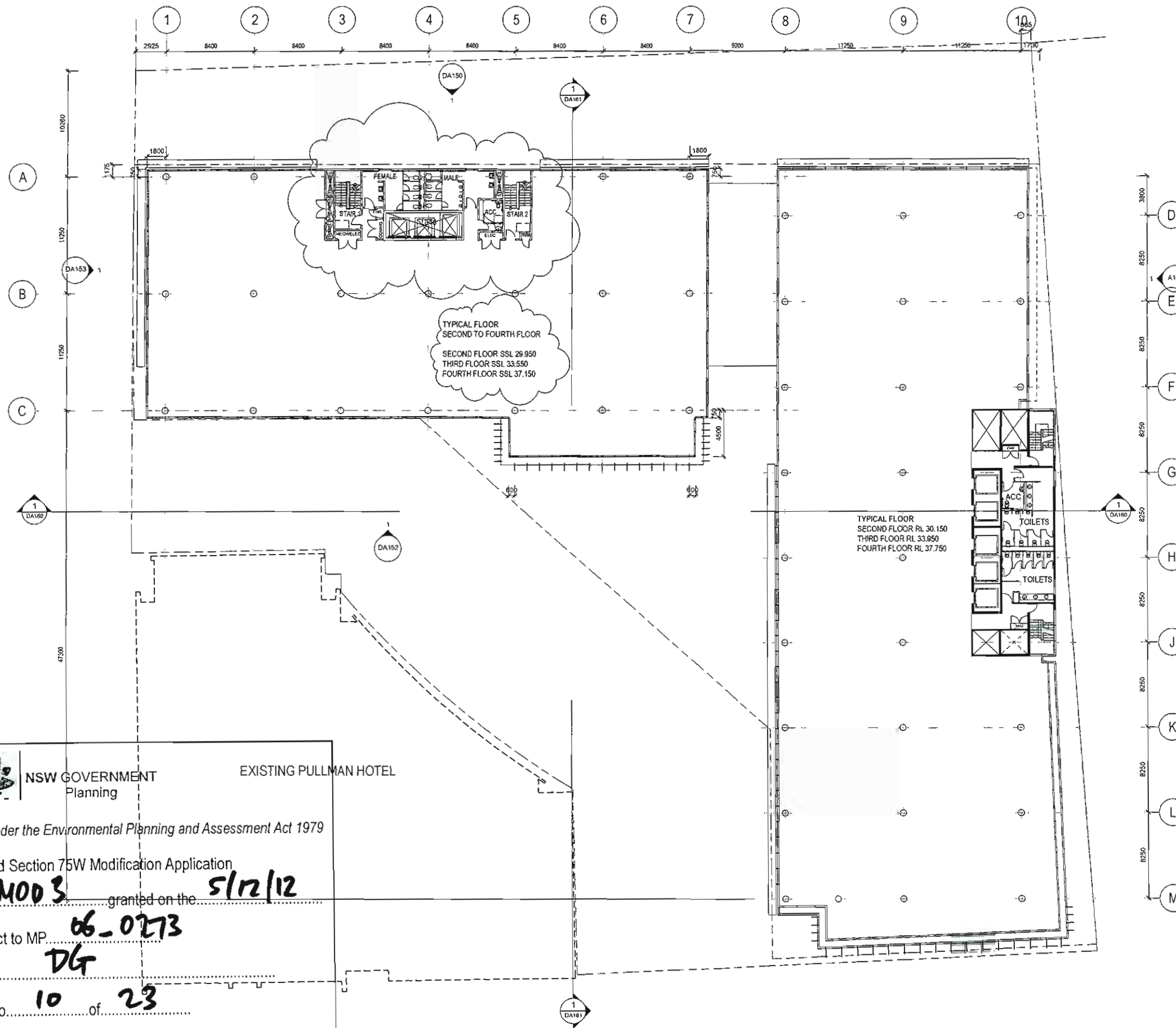
Sheet No. **9** of **23**

EXISTING PULLMAN HOTEL

GFA SCHEDULE

LEVEL	GFA NORTH BUILDING (sqm)	GFA SOUTH BUILDING
GROUND FLOOR	600	1100
FIRST FLOOR	1142	1258
SECOND FLOOR	1314	1825
THIRD FLOOR	1314	1825
FOURTH FLOOR	1256	1825
FIFTH FLOOR	1314	1825
SIXTH FLOOR	1247	1794
SEVENTH FLOOR	1247	1721
EIGHTH FLOOR		1721
NINTH FLOOR		1721
TOTAL	9474	16625

SITE 4B  
 SYDNEY OLYMPIC PARK  
 FIRST FLOOR PLAN



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 Planning

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 No. **M003** granted on the **5/12/12**  
 in respect to MP **66-0273**  
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 Sheet No. **10** of **23**

EXISTING PULLMAN HOTEL

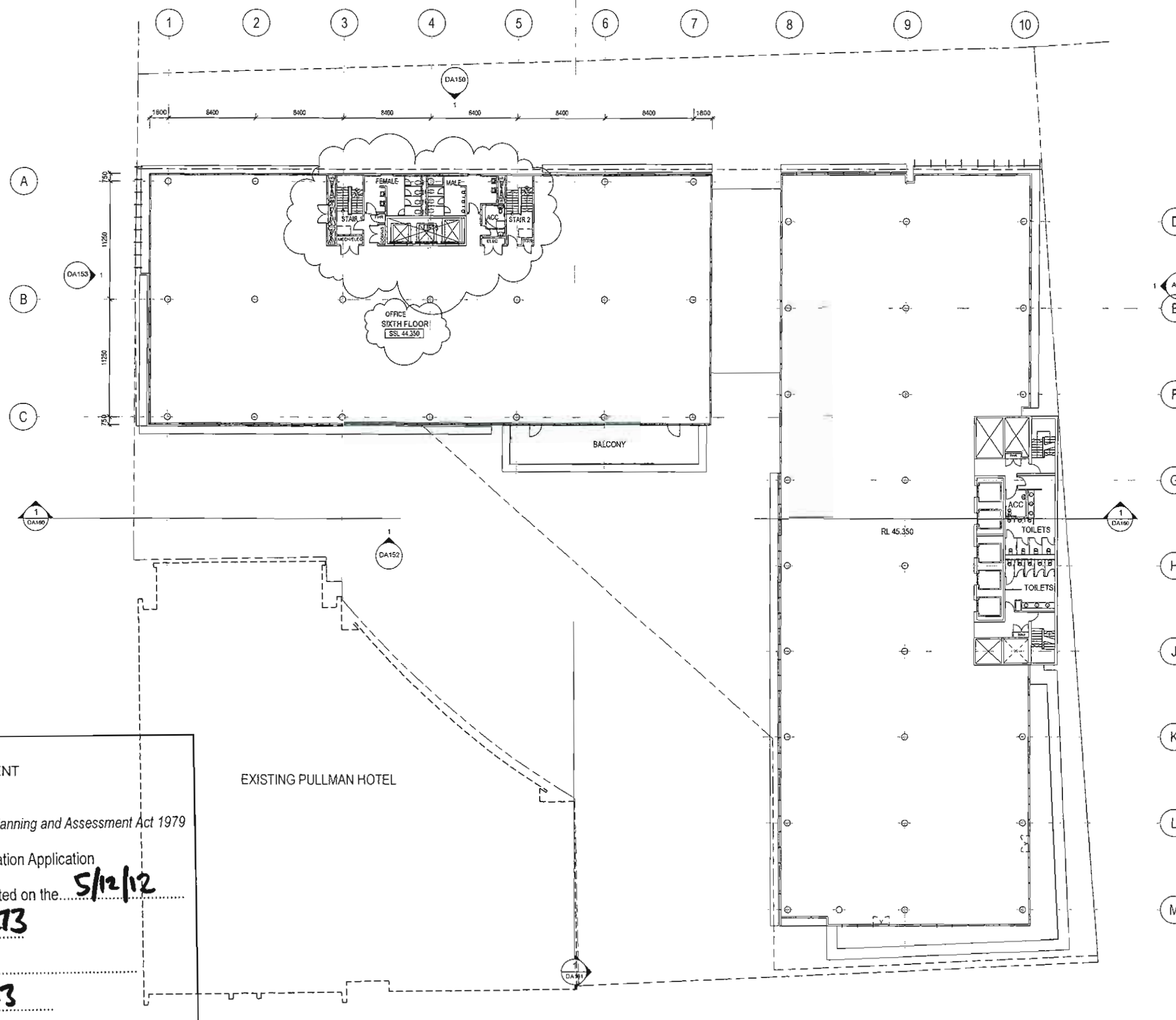
GFA SCHEDULE		
LEVEL	GFA NORTH BUILDING (sqm)	GFA SOUTH BUILDING (sqm)
GROUND FLOOR	000	1100
FIRST FLOOR	1142	1358
SECOND FLOOR	1314	1825
THIRD FLOOR	1314	1825
FOURTH FLOOR	1296	1825
FIFTH FLOOR	1314	1825
SIXTH FLOOR	1347	1704
SEVENTH FLOOR	1347	1721
EIGHTH FLOOR		1721
NINTH FLOOR		1721
TOTAL	9474	18625

**1 SECOND TO FOURTH FLOOR TYPICAL**  
 A150 Scale: 1:200

SITE 4B  
 SYDNEY OLYMPIC PARK  
 SECOND TO FOURTH  
 FLOOR TYPICAL







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Sheet No. **12** of **23**

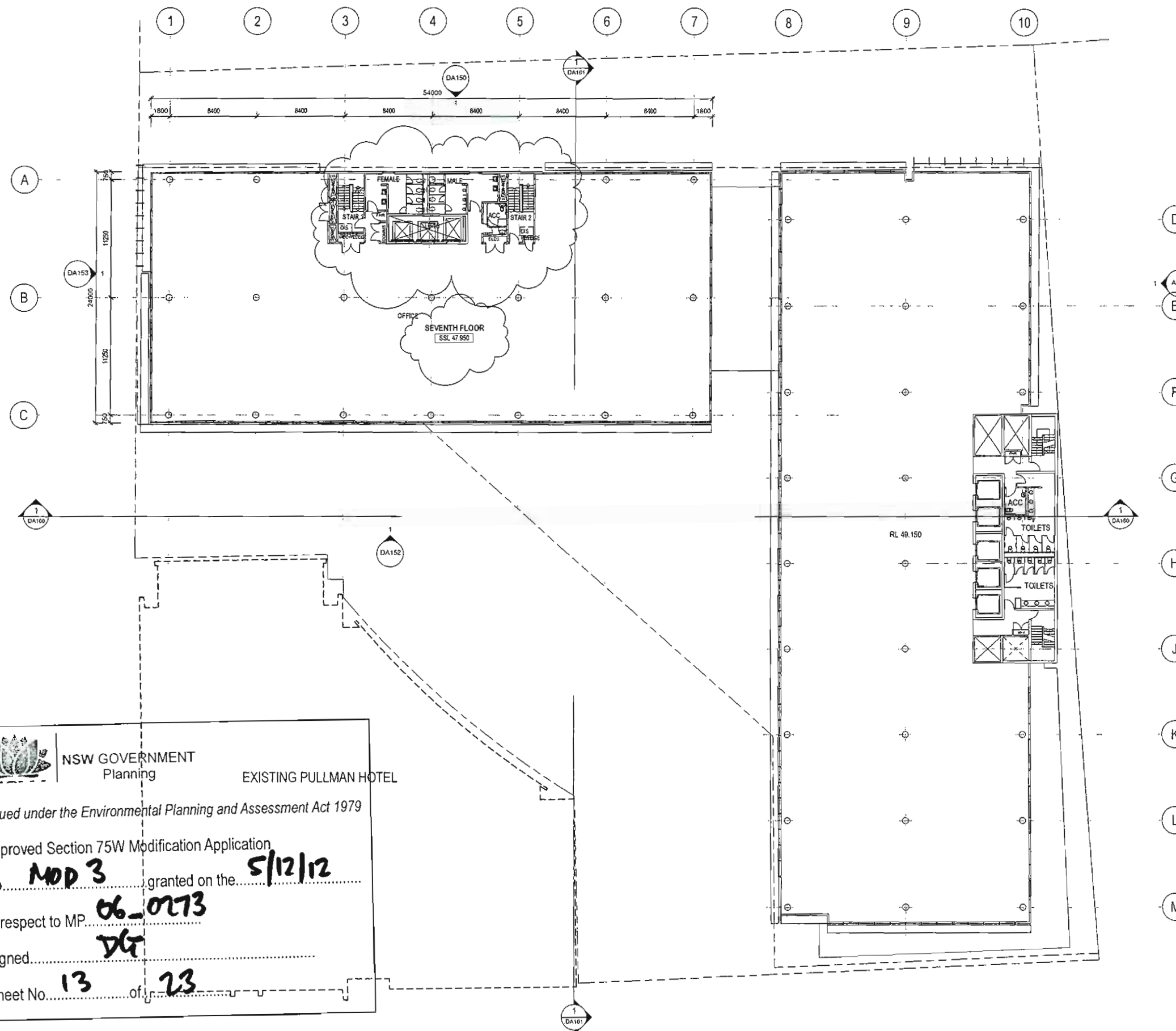
**GFA SCHEDULE**

LEVEL	GFA NORTH BUILDING (sqm)	GFA SOUTH BUILDING
GROUND FLOOR	600	1100
FIRST FLOOR	1142	1258
SECOND FLOOR	1314	1825
THIRD FLOOR	1314	1825
FOURTH FLOOR	1206	1825
FIFTH FLOOR	1314	1825
SIXTH FLOOR	1247	1704
SEVENTH FLOOR	1247	1721
EIGHTH FLOOR		1721
NINTH FLOOR		1721
<b>TOTAL</b>	<b>9074</b>	<b>16625</b>

**1 SIXTH FLOOR PLAN**  
A150 Scale: 1:200

**SITE 4B**  
**SYDNEY OLYMPIC PARK**  
**SIXTH FLOOR PLAN**





NSW GOVERNMENT  
Planning

EXISTING PULLMAN HOTEL

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in respect to MP **66-0273**

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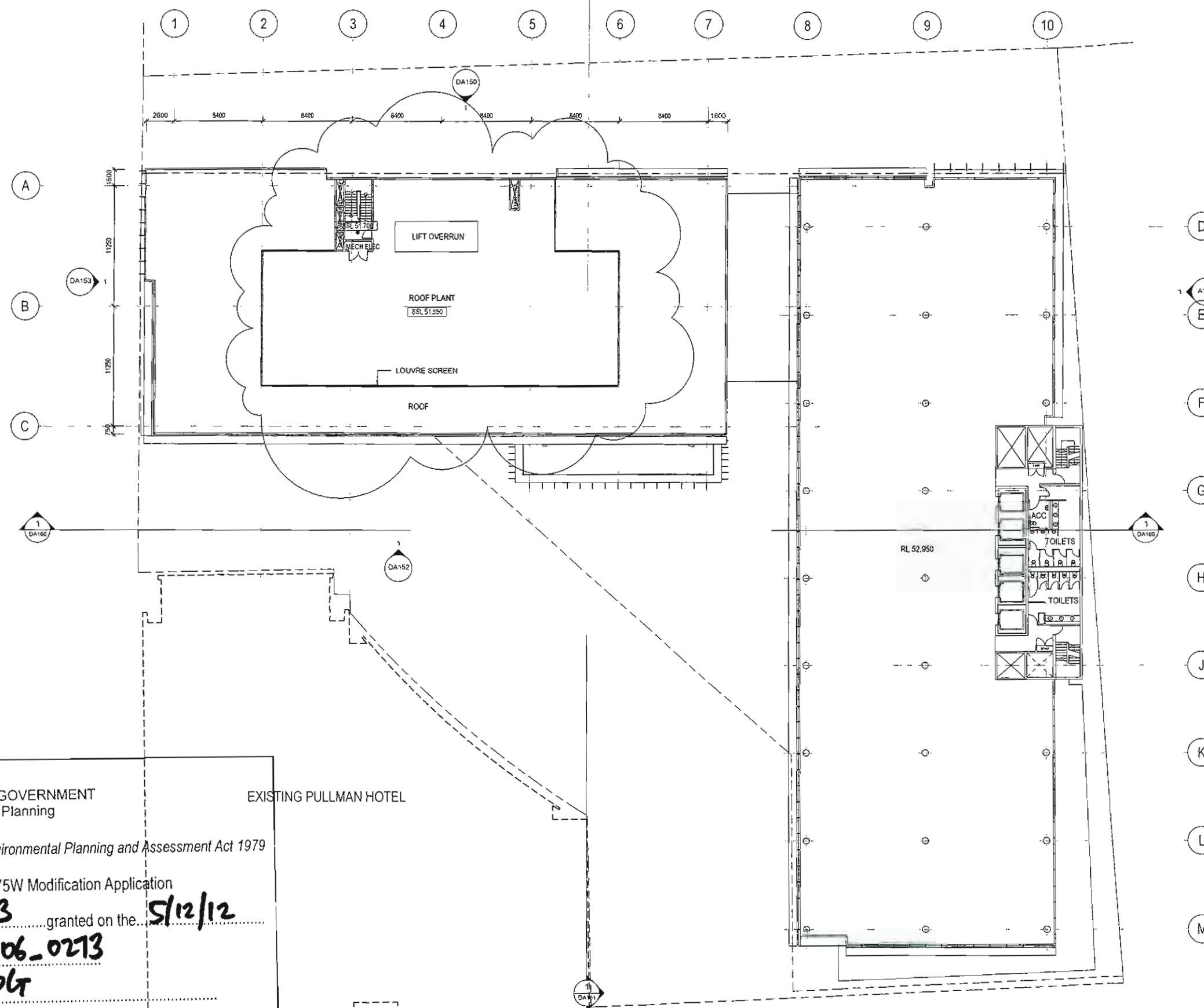
Sheet No. **13** of **23**


#### GFA SCHEDULE

LEVEL	GFA NORTH BUILDING	GFA SOUTH BUILDING
GROUND FLOOR	600	1100
FIRST FLOOR	1142	1358
SECOND FLOOR	1314	1825
THIRD FLOOR	1314	1825
FOURTH FLOOR	1286	1825
FIFTH FLOOR	1314	1825
SIXTH FLOOR	1247	1704
SEVENTH FLOOR	1247	1721
EIGHTH FLOOR		1721
NINTH FLOOR		1721
TOTAL	9474	16625

1 SEVENTH FLOOR PLAN  
 A150 Scale: 1:200

SITE 4B  
 SYDNEY OLYMPIC PARK  
 SEVENTH FLOOR PLAN



 **NSW GOVERNMENT**  
Planning

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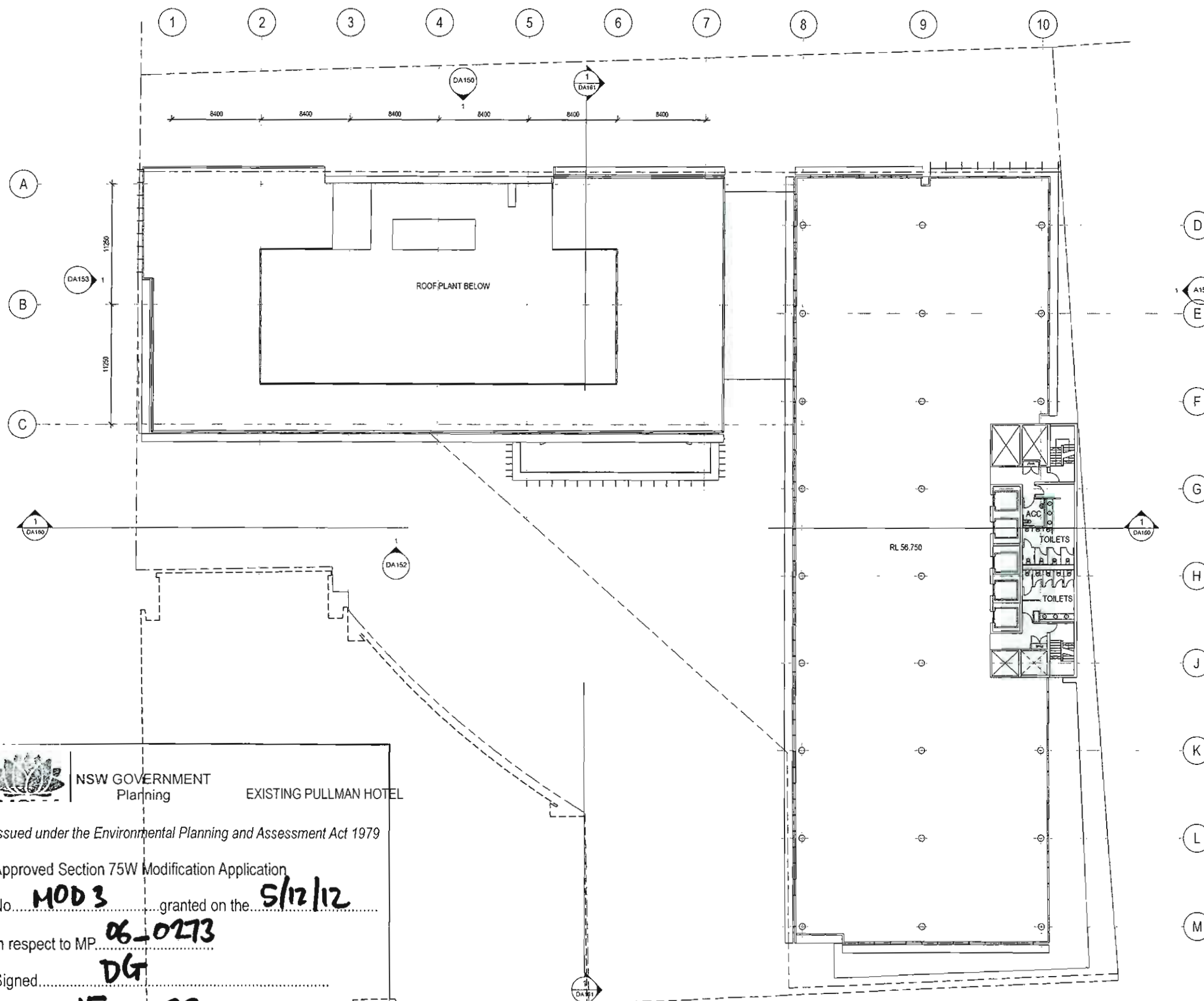
Approved Section 75W Modification Application  
No. **MOD 3** granted on the **5/12/12**  
in respect to MP **06-0213**  
Signed **DGT**  
Sheet No. **14** of **23**

GFA SCHEDULE

LEVEL	GFA NORTH BUILDING (sqm)	GFA SOUTH BUILDING (sqm)
GROUND FLOOR	890	1100
FIRST FLOOR	1142	1358
SECOND FLOOR	1314	1825
THIRD FLOOR	1314	1825
FOURTH FLOOR	1296	1825
FIFTH FLOOR	1314	1825
SIXTH FLOOR	1247	1704
SEVENTH FLOOR	1247	1721
EIGHTH FLOOR		1721
NINTH FLOOR		1721
TOTAL	9474	16025

**1 EIGHTH FLOOR PLAN**  
A150 Scale: 1:200

SITE 4B  
SYDNEY OLYMPIC PARK  
EIGHTH FLOOR PLAN



**NSW GOVERNMENT**  
Planning

EXISTING PULLMAN HOTEL

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in respect to MP **06-0273**

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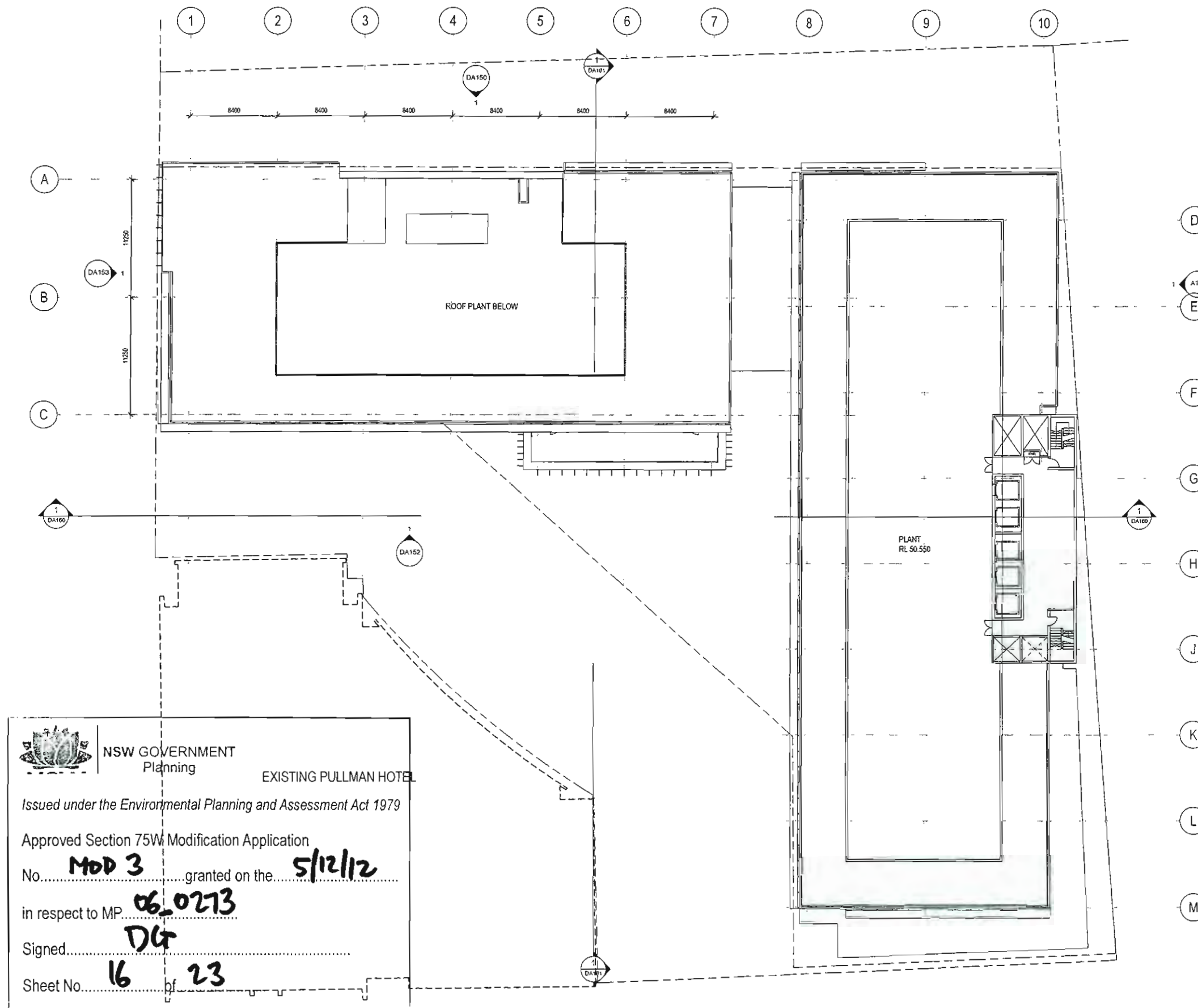
GFA SCHEDULE

LEVEL	GFA NORTH BUILDING (sqm)	GFA SOUTH BUILDING
GROUND FLOOR	600	1100
FIRST FLOOR	1142	1358
SECOND FLOOR	1314	1825
THIRD FLOOR	1314	1825
FOURTH FLOOR	1286	1825
FIFTH FLOOR	1314	1825
SIXTH FLOOR	1247	1704
SEVENTH FLOOR	1247	1721
EIGHTH FLOOR		1721
NINTH FLOOR		1721
TOTAL	9474	15625

**1 NINTH FLOOR PLAN**  
A150 Scale: 1:200

SITE 4B  
SYDNEY OLYMPIC PARK  
NINTH FLOOR PLAN

ISSUE	AMENDMENT	DATE
A	PRELIMINARY ISSUE	04/10/12
B	ISSUE FOR 75W SUBMISSION	XXXX



**NSW GOVERNMENT**  
 Planning

EXISTING PULLMAN HOTEL

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in respect to MP **06-0273**

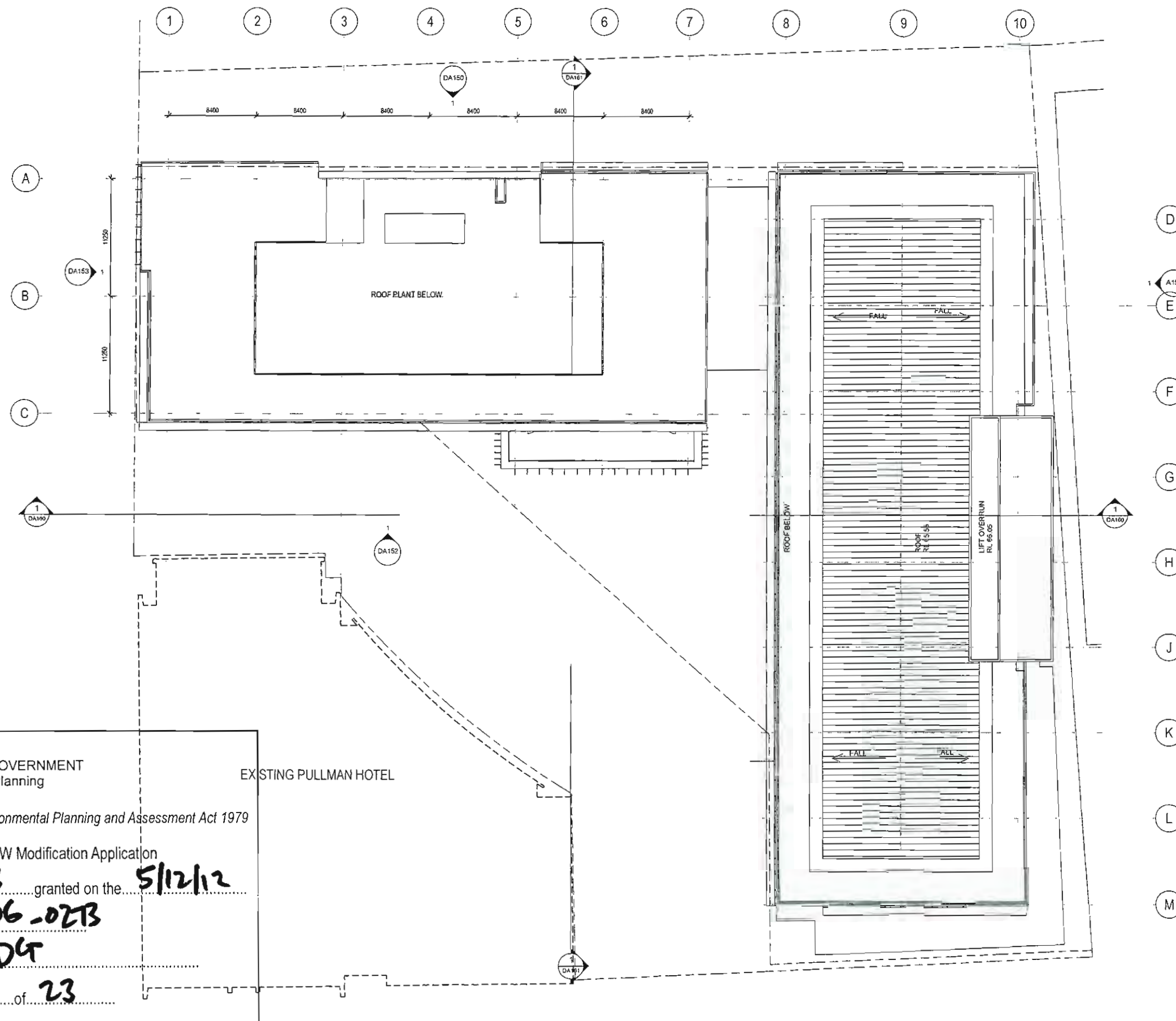
Signed **DG**

Sheet No. **16** of **23**

1 TENTH FLOOR PLAN  
 Scale: 1:200

SITE 4B  
 SYDNEY OLYMPIC PARK  
 TENTH FLOOR PLAN





**NSW GOVERNMENT Planning**

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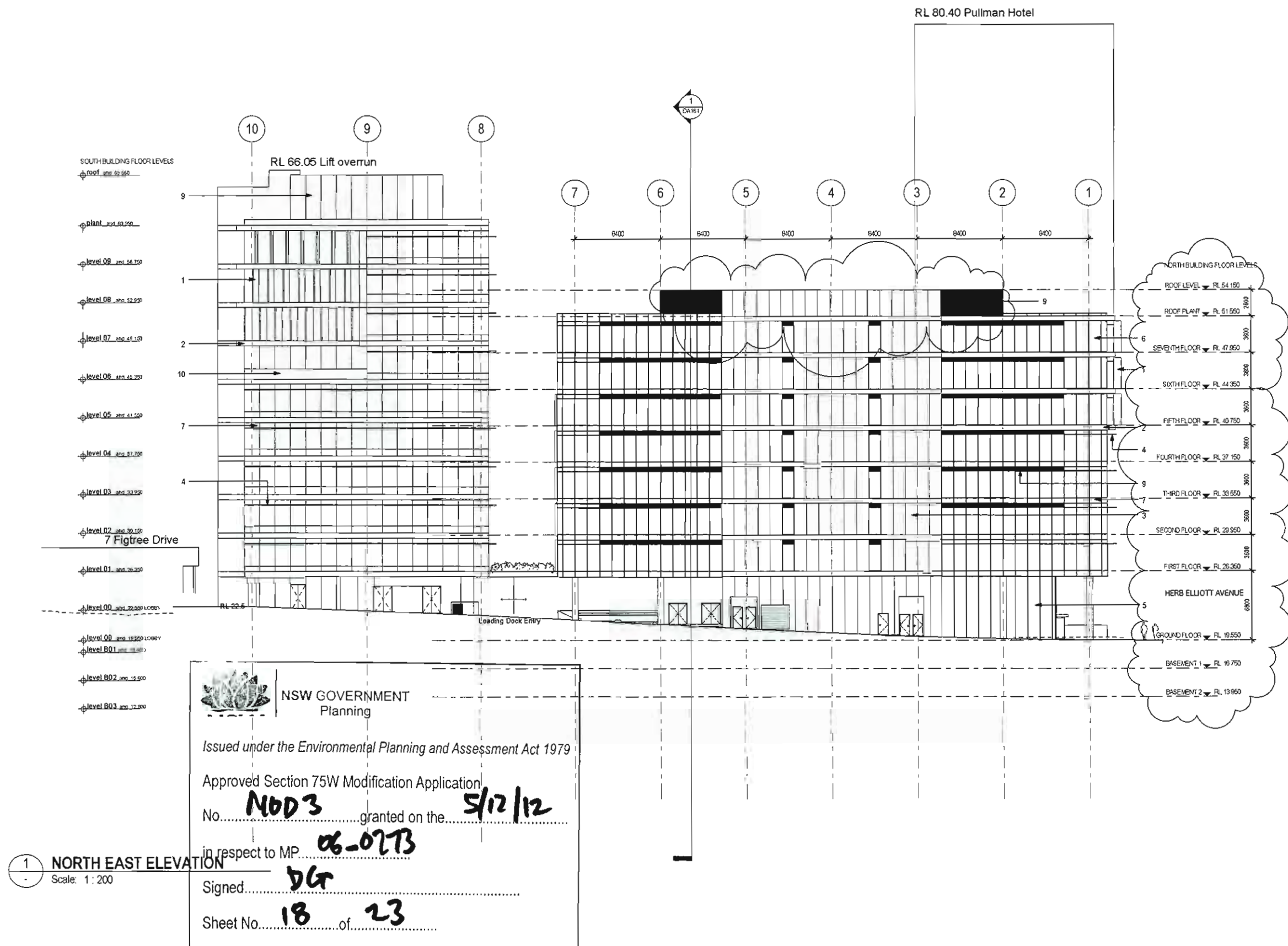
in respect to MP **06-02B**

Signed **DC**

Sheet No. **17** of **23**

**1 ELEVENTH FLOOR PLAN**  
 A150 Scale: 1:200

SITE 4B  
 SYDNEY OLYMPIC PARK  
 ELEVENTH FLOOR PLAN

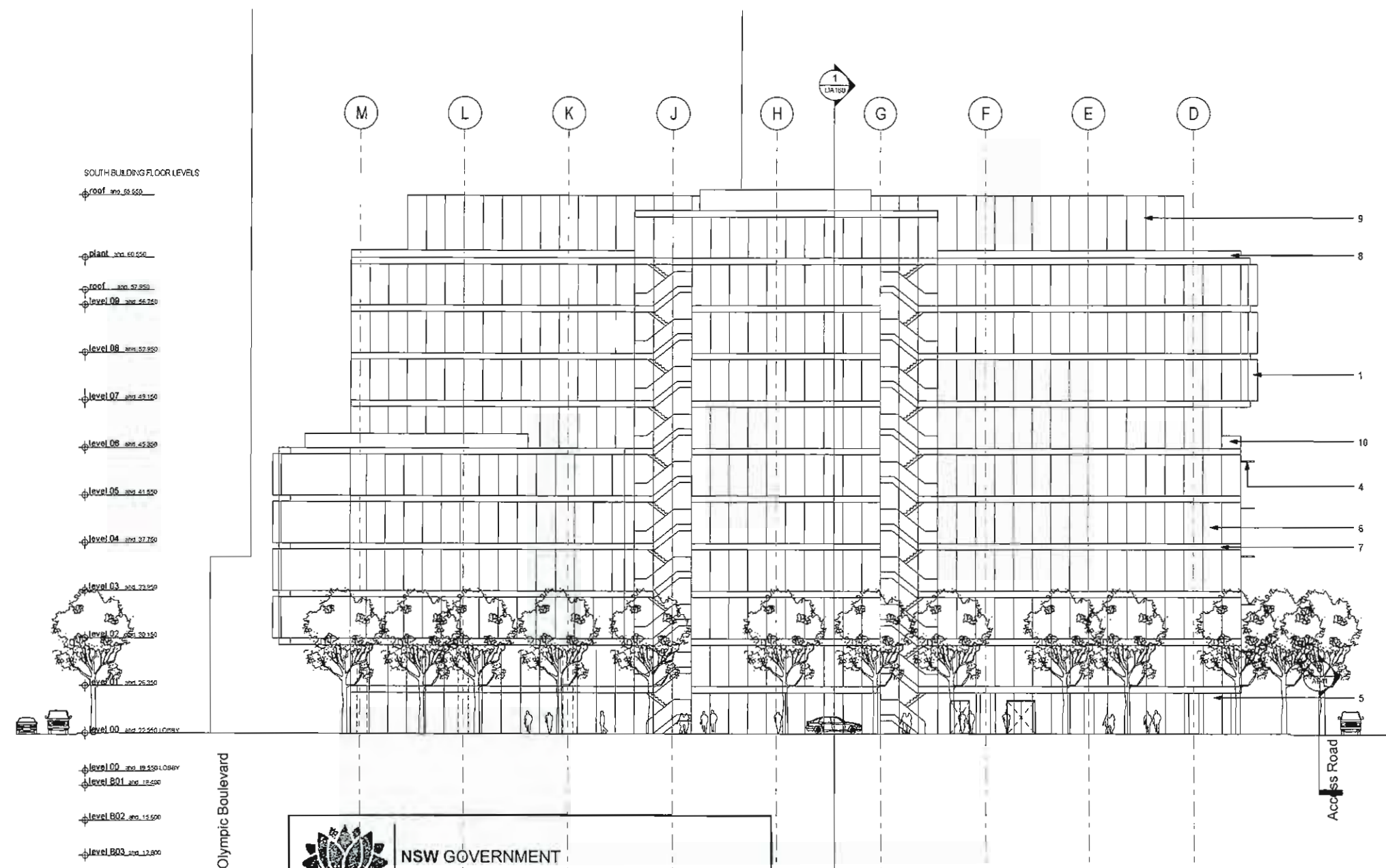


EXTERNAL FINISHES LEGEND

1	VERTICAL TIMBER CLADDING	10	CLAYED BRICK
2	CONCRETE	11	SMALL SQUARE CLADDING
3	CONCRETE	12	SMALL SQUARE CLADDING
4	CONCRETE	13	SMALL SQUARE CLADDING
5	CONCRETE	14	SMALL SQUARE CLADDING
6	CONCRETE	15	SMALL SQUARE CLADDING
7	CONCRETE	16	SMALL SQUARE CLADDING
8	CONCRETE	17	SMALL SQUARE CLADDING
9	CONCRETE	18	SMALL SQUARE CLADDING
10	CONCRETE	19	SMALL SQUARE CLADDING

SITE 4B  
SYDNEY OLYMPIC PARK  
NORTH EAST ELEVATION

ISSUE	AMENDMENT	DATE
A	PRELIMINARY ISSUE	04/10/12
B	ISSUE FOR 75W SUBMISSION	19/10/12
C	RE-ISSUE FOR 75W SUBMISSION	23/11/12



SOUTH BUILDING FLOOR LEVELS

Roof 309.59.500

Plant 309.60.000

Roof 309.57.950

Level 09 309.54.750

Level 08 309.52.950

Level 07 309.49.150

Level 06 309.45.350

Level 05 309.41.550

Level 04 309.37.750

Level 03 309.33.950

Level 02 309.30.150

Level 01 309.26.350

Level 00 309.22.550

Level 00 309.19.550

Level B01 309.15.550

Level B02 309.11.550

Level B03 309.07.550

Olympic Boulevard

Access Road

Level B01M 309.13.550

Level B01A 309.17.000

Level B02A 309.14.000

Level B03A 309.11.400



NSW GOVERNMENT  
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No. **MOD3** granted on the **5/12/12**

in respect to MP **06-0273**

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Sheet No. **19** of **23**

EXTERNAL FINISHES LEGEND  
1 VERTICAL TIMBER (OR SIMILAR) LOUVER  
2 CONCRETE (OR SIMILAR) SLAB EDGE  
3 CONCRETE (OR SIMILAR) CLADDING  
4 HORIZONTAL ANODISED ALUMINIUM SUN SHADE  
5 ALUMINIUM FRAMED GLASS GLAZED SHOPFRONT SLAZING  
6 DOUBLE GLAZED UNIT, COLOUR COORDINATED (OR SHALAP)  
7 GLASS SPANDREL WITH OVER ALUMINIUM BRICK PANEL  
8 ANODISED ALUMINIUM CLADDING TO PARAPET  
9 POWDER COATED ALUMINIUM LOUVER  
10 GLAZED BALUSTRADE

SITE 4B  
SYDNEY OLYMPIC PARK  
SOUTH EAST ELEVATION

SYDNEY 7 YOUNG ST NEUTRAL BAY NSW 2089 T: +61 2 99093344  
MELBOURNE LEVEL 2 - 18 OLIVER LANE VIC 3000 T: +61 3 96546344  
BRISBANE 2 - 290 BOUNDARY ST SPRING HILL QLD 4004 T: +61 7 31235544

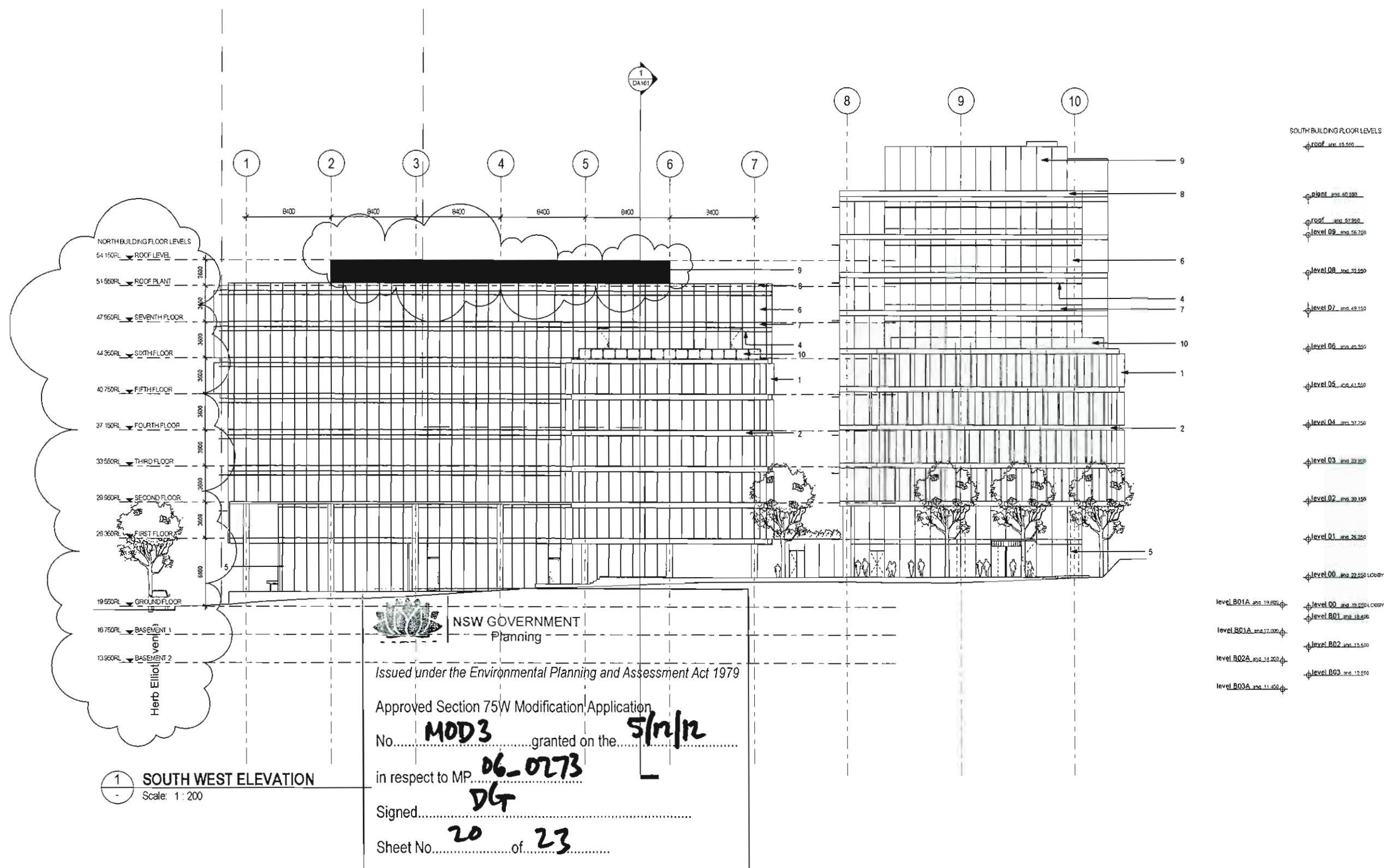
PROJECT 3487  
DATE  
DRAWN RGG

DWG NO.  
DA151 C

LEFFLER SIMES



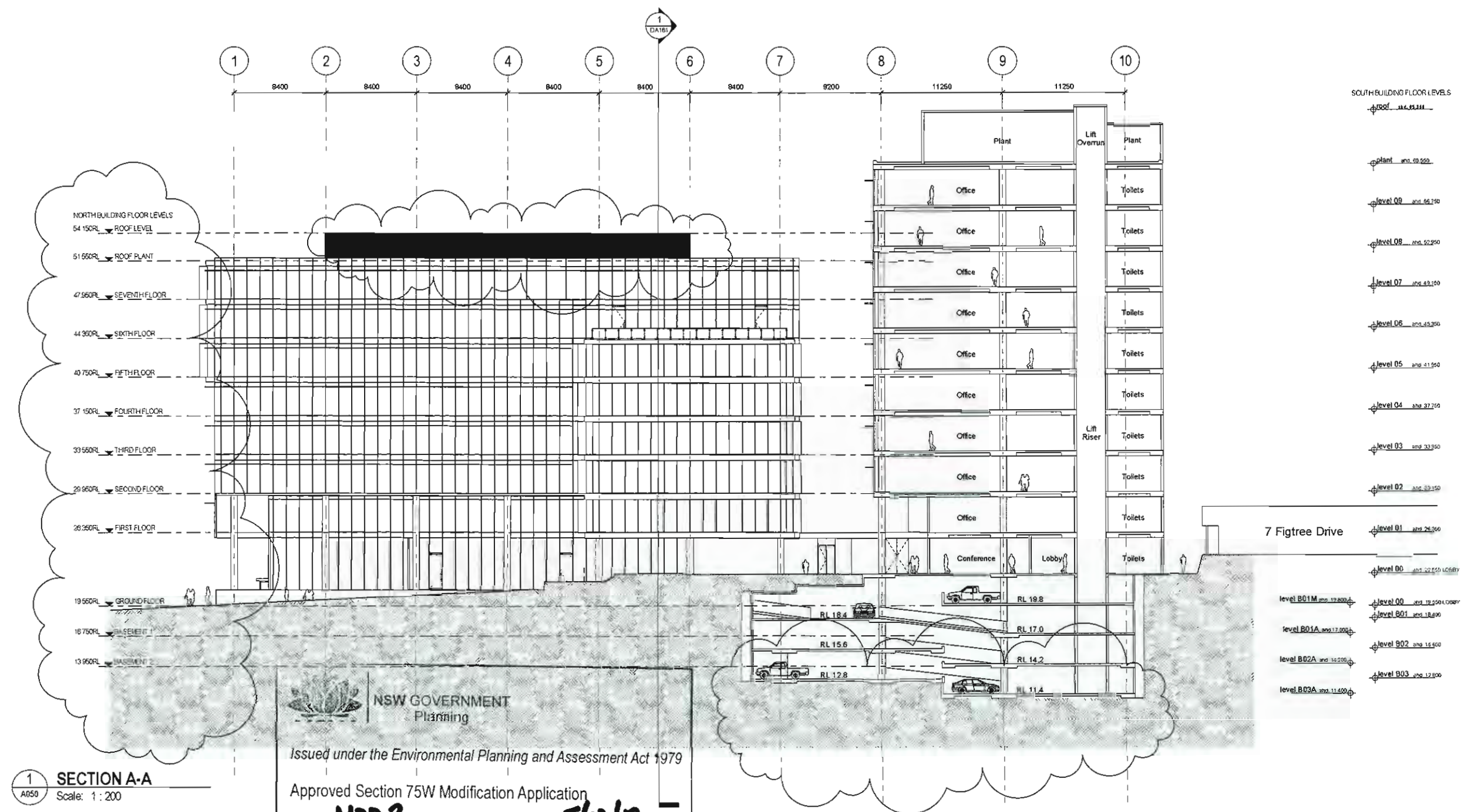
ISSUE	AMENDMENT	DATE
A	PRELIMINARY ISSUE	04/10/12
B	ISSUE FOR TSW SUBMISSION	12/10/12
C	RE-ISSUE FOR TSW SUBMISSION	23/11/12



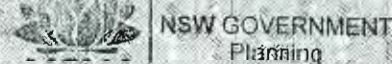
SITE 4B  
SYDNEY OLYMPIC PARK  
SOUTH WEST ELEVATION



ISSUE	AMENDMENT	DATE
A	PRELIMINARY ISSUE	04/10/12
B	ISSUE FOR TSW SUBMISSION	12/10/12
C	RE-ISSUE FOR TSW SUBMISSION	29/11/12



1 SECTION A-A  
A050 Scale: 1:200



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No. **MOD 3** granted on the **5/12/12**

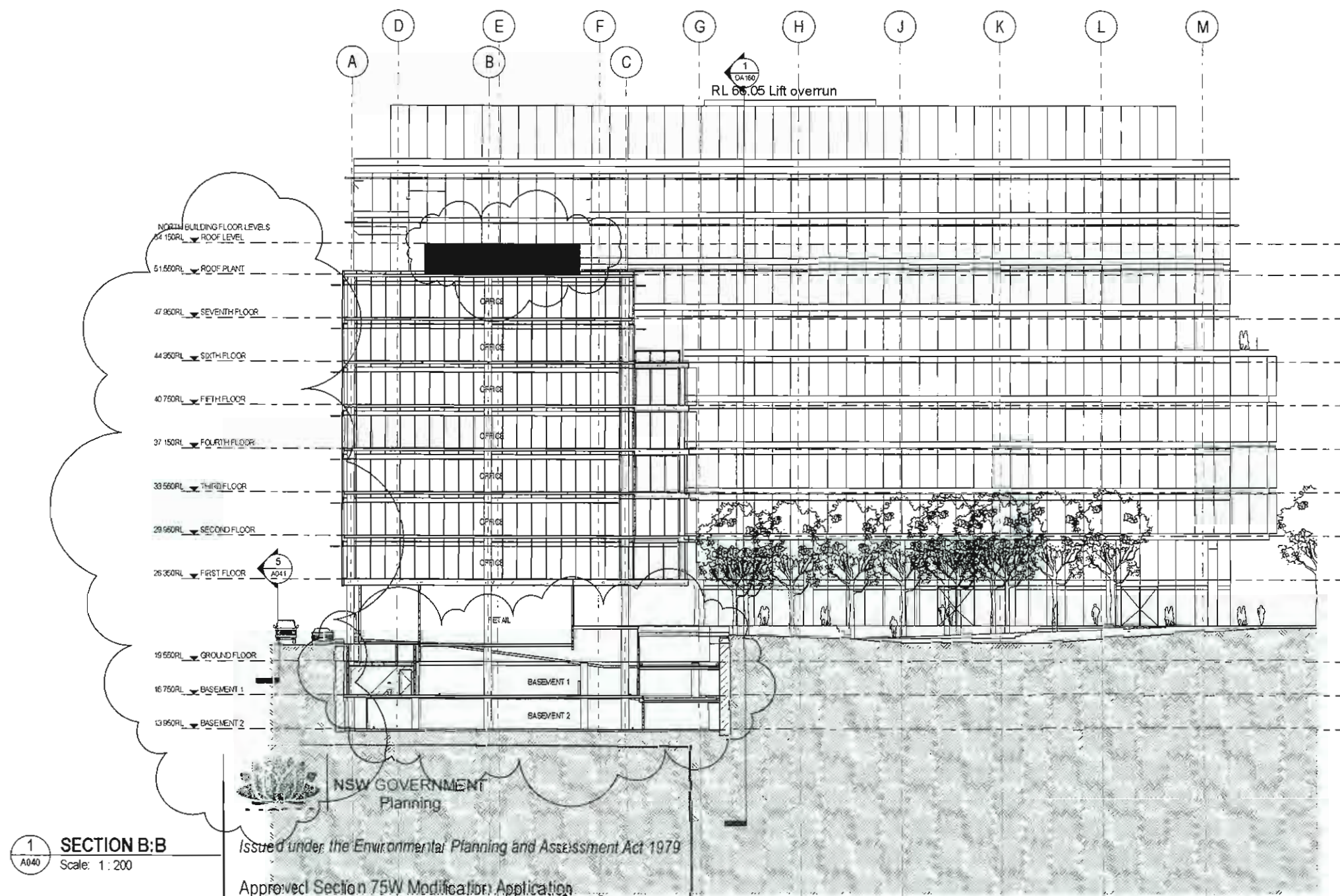
in respect to MP **06-0273**

Signed **Dt**

Sheet No. **22** of **23**

SITE 4B  
SYDNEY OLYMPIC PARK  
SECTION A-A





1 SECTION B:B  
 A040 Scale: 1:200

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 No. **MOD 3** granted on the **5/12/12**  
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 Sheet No. **23** of **23**

SITE 4B  
 SYDNEY OLYMPIC PARK  
 SECTION B-B