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WestConnex M4-M5 Rozelle Interchange – 264-266 Victoria Road, Rozelle Archival Recording and Salvage Report

Prepared for John Holland CPB Joint Venture

March 2021 – Final

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1. Introduction

1.1 Project Description

Extent Heritage Pty Ltd (Extent Heritage) has been commissioned by John Holland CPB Joint Venture (JHCPB JV) to prepare a Photographic Archival Recording and Salvage Report for 264-266 Victoria Road, Rozelle. The purpose of the report is to photographically record the current state of the site prior to its demolition, and to prepare a catalogue of historic building fabric for the purposes of salvage prior to the demolition of the building. This report serves as a permanent record of the place prior to that work being undertaken.

This report was prepared to fulfil the requirements of the revised environmental management measures (REMM) for Non-Aboriginal Heritage (NAH); REMM NAH03 and REMM NAH09 which state:

REMM NAH03

Photographic archival recording will be undertaken of:

- *Infrastructure associated with the White Bay Power Station site that could be affected by the project.*
- *Whites Creek Stormwater Channel (in the area to be impacted)*
- *Stormwater Canal off Lilyfield Road*
- *'Cadden Le Messurier' at 84 Lilyfield Road*
- *Former Hotel at 78 Lilyfield Road*
- *Victoria Road overbridge*
- *Each house at 260–266 Victoria Road*
- *Each house at 248-250 Victoria Road*

This will be undertaken in accordance with the NSW Heritage Office guidelines Photographic Recording of Heritage Items Using Film or Digital Capture (2006).

The photographic archival recording will occur prior to any works that have the potential to impact upon the items and will include the identification of appropriate stakeholders to receive copies of the documentation.

REMM NAH09

A Heritage Salvage Strategy will be prepared to identify the salvage potential of the fabric and features from heritage items and potential heritage items that will be demolished to facilitate the Project. This could include timber joinery, fireplaces, stained glass, stairs, decorative tiles, bricks, steel truss structures, windows, etc. The strategy will also identify options and a process for dissemination of salvaged items to owners, community groups and interested parties.

These reports have been reviewed, finalised, printed, and published for archival storage in relevant repositories.

1.2 Approach and Methodology

The methodology used in the preparation of this Photographic Archival Recording and Salvage Report is in accordance with the principles and definitions as set out in *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013 (Burra Charter)* (Australia ICOMOS 2013) and the latest version of the NSW Heritage Branch's *Photographic Archival Recording Guidelines*.

Photographic Archival Recording

REMM NAH03 requires the archival recording of these structures to comply with two NSW government guideline documents: *How to Prepare Archival Records of Heritage Items* (1998) and *Photographic Recording of Heritage Items Using Film or Digital Capture* (2006).

The Photographic Recording Guideline does not specify whether measured technical drawings are required in addition to photographic archival recording. In this instance, to best meet the project requirements within the required timeframe, survey drawings have been provided by JHCPB JV of each of the buildings (dated 19th July 2019), which are used to identify heritage fabric and mark-up photographic directions. Where information about elevations is required within the reports, a marked-up photograph has been provided.

Salvage

REMM NAH09 requires that a Heritage Salvage Strategy be prepared. This was undertaken as part of the archival fieldwork and report and outlines what material should be salvaged and how this should occur. This also includes a section on sympathetic reuse options for this heritage fabric, either within the WestConnex project or within the wider community. As noted above, the JHG survey drawings were utilised to identify historic fabric for salvage.

1.3 Limitations

The surrounding site, the building and the interior of the subject property were inspected and photographed by Lucy Irwin, Ben Calvert and Gabrielle Harrington on the 27th June 2019. The inspection was undertaken as a visual study only.

The historical overview provides sufficient historical background to provide an understanding of the place in order to assess the significance and provide relevant recommendations, however, it is not intended as an exhaustive history of the site.

It is understood that there are some limitations for accessing heritage fabric located on the exterior of the buildings, particularly for roof elements above the first floor. In the case where heritage fabric is unable to be accessed for exceptional reasons such as a road closure or safety risks such as working at heights and active power lines, it is accepted that these items will not form part of the salvage collection. Items related to this limitation were taken into consideration

during the salvage assessment and, due to the above limitations, were omitted from the salvage strategy.

In the instance where decorative heritage fabric such as ceiling roses, corbelled mouldings and cornices are not successfully salvaged in a good condition (i.e. broken during salvage and unable to be repaired), it is understood that these salvaged items can be disposed.

1.4 Authorship

The following staff members at Extent Heritage have prepared this Archival and Salvage Report:

Name	Position
Lucy Irwin	Heritage Advisor
Gabrielle Harrington	Research Assistant

The report was reviewed by Corinne Softley (Senior Heritage Advisor).

1.5 Ownership

The site is owned by John Holland CPB Joint Venture (JHCPB JV).

2. Site

2.1 Location

The subject property is located at 264-266 Victoria Road and is known as:

- 264 Victoria Road: Lot 1, DP 202468; and
- 266 Victoria Road: Lot A, DP 953067

264-266 Victoria Road is located on the southern side of Victoria Road and is bounded by Byrnes Street to the west and Clubb Street to the east. The property lies to the east of the Iron Cove Bridge and King George Park. Rozelle is located between the suburbs of Lilyfield to the east and Balmain to the west and is crossed by Victoria Road.



Figure 1. Map indicating location of 264-266 Victoria Road, Rozelle (Source Dept. of Lands SIX viewer, 28 June 2019).



Figure 2. Aerial view with 264-266 Victoria Road, Rozelle outlined in red (Source Dept. of Lands SIX viewer, 28 June 2019).

2.2 Heritage Status

264 and 266 Victoria Road are not listed on any statutory or non-statutory heritage registers.

Register/Listing	Item Listed (Y/N)	Item Name	Item Number
Statutory Register			
World Heritage List	No		
National Heritage List	No		
Commonwealth Heritage List	No		
State Heritage Register (SHR)	No		
S170 Heritage and Conservation Register	No		
Local Environmental Plan	No		
Sydney <i>Regional Environmental Plan</i> No. 26 – City West	No		
Non-Statutory Register			
Register of the National Trust (NSW)	No		
Register of Significant Buildings in NSW (Australian Institute of Architects)	No		

2.2.1 Heritage Items in the Vicinity

There is one heritage conservation area in the vicinity of 264 and 266 Victoria Road, Rozelle. This is represented in the heritage map below, reproduced from the Leichardt Local Environmental Plan (LEP) 2013.

- Iron Cove Heritage Conservation Area (No. C6 Leichardt LEP 2013)



Figure 3. Map showing location of Iron Cove Heritage Conservation Area (red hatching) in relation to the subject site (red outline). (Leichardt LEP 2013, Heritage Map).

3. Historic Context

3.2 Rozelle

The suburb of Rozelle was originally known as both 'Balmain West' and 'Balmain South,' with the first recorded use of the name Rozelle the naming of the southernmost inlet of Johnsons Bay in 1875, when it was given the name 'Rozelle Bay'. The naming of the suburb is attributed to the Postmaster General of 1892, who named the suburb's planned new post office after the nearby Bay (Williams, 2010).

Prior to 1860, Rozelle was sparsely populated by Europeans. From 1860 to 1882 however, a rapid period of land subdivision, speculation and sales in the area surged and the peninsular population grew from 8,000 to 16,928 (Williams, 2010). This period of growth is largely attributed to the selling of the original 500-acre land grant, granted to William Balmain by Governor John Hunter in c.1800. Balmain transferred his land to John Borthwick Gilchrist in 1801, a short time after his original land grant. William Balmain's heirs contested this transfer, however in 1858 the judicial bench of the British House of Lords authorised the trustees of John Borthwick Gilchrist, who had passed away in 1841, to sell peninsular land that was still in their possession (Williams, 2010).

These large parcels of land were purchased by several people, including Alfred Handcock. Handcock, who migrated to Sydney in the late 1850s and who purchased local land parcels from 1867 to 1880 used the advertising slogan 'Homes for the People' to sell these parcels until 1907. The target market for these tracts of land were working men, to whom he sold approximately 1,600 plots at a £4 deposit and 21 quarterly instalments of £2 (Williams, 2010).

By 1865, Dr George Robinson Elliott, in company with his brothers, Frederick and James, had acquired a site on the Iron Cove foreshore where they established Australia's first factory for chemicals, pharmaceuticals, and later glassworks. In 1892, William Lever acquired land adjacent to White Bay. Here in 1897 Lever Brothers Limited established a factory that extracted oil from copra cultivated on the firm's coconut plantations in the Solomon Islands, which was then shipped to Liverpool in England. The plant began manufacturing glycerine and Sunlight Soap (Williams, 2010).

The Balmain Power Station at Iron Cove, which commenced generation in 1909, was followed by the White Bay Power Station, which became fully operational in 1917. By 1922, construction of the Glebe Island Grain Silos and railway sidings had reached completion, and Rozelle's eastern foreshore was the node of Australia's coal and timber industry (Williams, 2010).

3.3 264 and 266 Victoria Road

The two cottages at 264 and 266 Victoria Road, Rozelle lie on part of 500 acres of land granted to William Balmain by Governor John Hunter in 1800. In plans and drawings, streets within Rozelle have changed names over the years. Victoria Road was originally known as Weston Road, and Clubb Street was previously known as Cove Street.

The two subject cottages appear to have been constructed in c.1910 as two dwellings in a set of four cottages between Byrnes and Clubb Street. They were most likely worker's cottages, constructed alongside the commencement of the Balmain Power Station at Iron Cove. 264 Weston Road first appears within the Sands Directory in 1911 and was occupied by a George Sykes until 1933. 266 Weston Road is first listed as occupied in the Sands Directory in 1912 by a W.S Smith who resided there until at least 1933.

Subsequently, these residences changed hands regularly and remained a private residence. Both cottages are presently unoccupied and are scheduled to be demolished in 2019.



Figure 4. Aerial Photograph, 1943 with 264-266 Victoria Road outlined in red (Source: LPI SIX Maps).



Figure 5. c.1876-1926 Balmain sale plan with subject site indicated in red; note modern Clubb Street is labelled Cove Street and Victoria Road as Weston Street (State Library of NSW Z/SP/R17/21).

4. Physical Description

4.1 Exterior

4.1.1 264 Victoria Road

The dwelling at 264 Victoria Road is an altered Federation style single-storey workers cottage painted in a dark blue and black colour scheme.

The roof is hipped with a projecting gable to front with a painted timber barge board. The roof sheeting consists of light-grey Colorbond and contains a rough-cast rendered chimney stack with two terracotta chimney pots and two whirly birds. A bullnose verandah is supported by decorative timber brackets framing the front entrance.

The front façade is of rendered brick which has been detailed to appear as sandstone blocks and then painted a deep blue. Inset within the base of the wall are metal wall vents. To the façade is three single-hung windows with sandstone sills and rendered decorative skirts, as well as one four-panel timber front door. The windows have nine small coloured-glass panes to the upper sash. Decorative timber detail work frames two of the windows on the façade and a decorative panel consisting of nine glazed tiles runs between the modern windows.

The rear of 264 Victoria Road has been heavily altered and consists of a rear courtyard which has been tiled and enclosed by timber fencing. A small verandah has been created by the installation of a hard-plastic roof over timber supports. A small garden enclosed by a small stone wall has been installed running along the rear fence, with mature plantings including an avocado tree and a frangipani.

The exterior of the dwelling is bound by a modern black palisade fence enclosing a set of brick steps which lead to the front door. 264 Victoria Road is separated from 262 and 266 Victoria road by a rendered brick wall on either side. It is assumed 264 Victoria Road sits directly on sandstone bedrock.

4.1.2 266 Victoria Road

The dwelling at 266 Victoria Road is an altered Federation style single-storey workers cottage painted in a cream and grey colour scheme.

The roof is hipped with a projecting gable to front with a painted timber barge board. The roof sheeting consists of dark-grey Colorbond and contains a rough-cast rendered chimney stack with two terracotta chimney pots and two whirly birds. A skillion verandah is supported by decorative timber brackets framing the front entrance.

The front façade is of rendered brick which has been detailed to appear as sandstone blocks and then painted cream. Inset within the base of the wall are metal wall vents. To the façade is three single-hung windows with sandstone sills and rendered decorative skirts. The windows have nine small coloured-glass panes to the upper sash. Decorative timber work frames two of

the windows on the façade and a decorative panel consisting of nine glazed tiles runs between the modern windows. The front door has a transom light and is a half-glass timber front door with two timber panels in the lower half and a glazed multi-paned window in the upper half. A mechanical doorbell is attached to the door.

The rear of 266 Victoria Road has been heavily altered. The small rear courtyard has been tiled and a shrub planted along the rear wall.

The exterior of the dwelling is bound by a modern cream coloured metal fence enclosing a set of tiled steps leading to the front door. 266 Victoria Road is separated from its neighbouring buildings by a rendered brick wall on either side. It is assumed 266 Victoria Road sits directly on sandstone bedrock.

4.2 Interior

4.2.1 264 Victoria Road

The dwelling at 264 Victoria Road retains its front layout, with significant alterations to the rear of the dwelling. The interior floor plan consists of a long hallway with three offset rooms, opening onto a kitchen and living area. The rooms retain their skirting boards and cornices, with modern additions including replacement of several doors with modern alternatives, installation of soundproof windows in addition to the original windowpanes and the installation of modern light fittings. A hallway arch with twin moulded faces is located between the second and third offset rooms.

Most rooms retain their original fireplaces, with the exception of the lounge. The fireplace within this room has been removed and the fireplace inset used as a television cabinet. An addition has been built upon the rear of the dwelling to form a kitchen and bathroom. These rear additions comprise largely of modern fabric.

4.2.2 266 Victoria Road

The interior of 266 Victoria Road retains its front layout, with significant alterations to the rear of the dwelling. The interior floor plan consists of a long hallway with three offset rooms, opening onto a kitchen and living area. The rooms retain their skirting boards and cornices, with modern additions including replacement of several doors with modern alternatives, installation of soundproof windows in addition to the original windowpanes and the installation of modern lighting. A hallway arch with twin moulded faces is located between the second and third offset rooms. Most rooms retain their original fireplaces, though the mantle in the lounge room has been replaced.

An addition has been built upon the rear of the dwelling to form a kitchen and bathroom. These rear additions comprise of largely modern elements and fabric and have been significantly altered.

5. Archival Recording

5.1 Photographic Recording Sheets

Site Name.	Date
Photographer:	Ben Calvert and Gabrielle Harrington
Date:	26 and 27 June 2019
Camera:	Canon EOS 5D and 7D
Lens:	16-35mm, 24-105mm
Comments:	Photographs taken in mid-morning light. Fine conditions, some cloud cover.

5.1.1 264 Victoria Road

Image Name.	Direction	Details	Thumbnail
001_264_VIC_RD_2019	W	Overview of façade of 264 Victoria Road.	
002_264_VIC_RD_2019	SW	View to façade of 264 Victoria Road.	
003_264_VIC_RD_2019	S	View to façade of 264 Victoria Road.	
004_264_VIC_RD_2019	S	View to façade and north- western elevation of 264 Victoria Road.	

Image Name.	Direction	Details	Thumbnail
005_264_VIC_RD_2019	S	View to façade and north- western elevation of 264 Victoria Road.	
006_264_VIC_RD_2019	W	Overview of front-facing gable of 264 Victoria Road.	
007_264_VIC_RD_2019	W	View to façade of 264 Victoria Road.	
008_264_VIC_RD_2019	SW	Detail of sash windows with glass multi-paned lights and sandstone sills.	

Image Name.	Direction	Details	Thumbnail
009_264_VIC_RD_2019	S	View to sash window at front entrance.	
010_264_VIC_RD_2019	SW	View of front entrance.	
011_264_VIC_RD_2019	SW	View of timber panelled front door at front entrance.	

Image Name.	Direction	Details	Thumbnail
012_264_VIC_RD_2019	SW	Overview of hallway of 264 Victoria Road.	
013_264_VIC_RD_2019	NE	View of front entrance.	
014_264_VIC_RD_2019	E	Overview of Room 1.	
015_264_VIC_RD_2019	S	View of Room 1 towards fireplace and surrounds.	

Image Name.	Direction	Details	Thumbnail
016_264_VIC_RD_2019	SE	View of Room 1.	
017_264_VIC_RD_2019	S	View of cast iron fireplace in Room 1.	
018_264_VIC_RD_2019	S	Detail of cast iron fireplace.	
019_264_VIC_RD_2019	NW	Detail of sash window in Room 1.	

Image Name.	Direction	Details	Thumbnail
020_264_VIC_RD_2019	NW	View of Room 1 towards hallway.	
021_264_VIC_RD_2019	NE	View of Room 1 with timber panelled door.	
022_264_VIC_RD_2019	SW	Overview of hallway towards Room 4.	

Image Name.	Direction	Details	Thumbnail
023_264_VIC_RD_2019	-	View of decorative moulding on south-east side of hall.	
024_264_VIC_RD_2019	-	View of decorative moulding on north-west side of hall.	
025_264_VIC_RD_2019	E	View of Room 2.	
026_264_VIC_RD_2019	E	View of chimney and surrounds in Room 2.	
027_264_VIC_RD_2019	N	Overview of Room 2.	
028_264_VIC_RD_2019	W	View of Room 2.	

Image Name.	Direction	Details	Thumbnail
029_264_VIC_RD_2019	SW	View of sash window in Room 2.	
030_264_VIC_RD_2019	SW	View of hallway towards Rooms 3 and 4.	
031_264_VIC_RD_2019	E	Overview of Room 3.	
032_264_VIC_RD_2019	N	View of Room 3.	

Image Name.	Direction	Details	Thumbnail
033_264_VIC_RD_2019	W	View of Room 3.	
034_264_VIC_RD_2019	S	View of Room 3 towards sash window.	
035_264_VIC_RD_2019	S	Overview of Room 4.	
036_264_VIC_RD_2019	SW	Overview of main features in room 4.	
037_264_VIC_RD_2019	W	View of Room 4.	

Image Name.	Direction	Details	Thumbnail
038_264_VIC_RD_2019	SW	View of Room 4 towards rear yard.	
039_264_VIC_RD_2019	N	Overview of Room 4 towards hallway.	
040_264_VIC_RD_2019	-	Detail of wall skirting in Room 4.	
041_264_VIC_RD_2019	SW	View of doorway leading to kitchen from Room 4.	

Image Name.	Direction	Details	Thumbnail
042_264_VIC_RD_2019	S	Overview of Kitchen.	
043_264_VIC_RD_2019	N	View of Kitchen.	
044_264_VIC_RD_2019	E	Overview of Kitchen.	
045_264_VIC_RD_2019	W	View of Kitchen.	
046_264_VIC_RD_2019	SW	View of Kitchen towards rear yard.	

Image Name.	Direction	Details	Thumbnail
047_264_VIC_RD_2019	N	View towards Laundry from Kitchen.	
048_264_VIC_RD_2019	NE	View of Laundry.	
049_264_VIC_RD_2019	S	Overview of Laundry.	

Image Name.	Direction	Details	Thumbnail
050_264_VIC_RD_2019	S	Overview of Laundry.	
051_264_VIC_RD_2019	W	Overview of Bathroom.	
052_264_VIC_RD_2019	W	View of Bathroom.	

Image Name.	Direction	Details	Thumbnail
053_264_VIC_RD_2019	N	View of Bathroom.	
054_264_VIC_RD_2019	NE	View towards Kitchen from the rear yard.	
055_264_VIC_RD_2019	NE	View of rear entrance from the rear yard.	

Image Name.	Direction	Details	Thumbnail
056_264_VIC_RD_2019	E	Overview of Rear Yard.	
057_264_VIC_RD_2019	E	View of Rear Yard.	
058_264_VIC_RD_2019	N	View of Rear Yard towards 266 Victoria Road.	
059_264_VIC_RD_2019	NW	View of Rear Yard towards 266 Victoria Road.	
060_264_VIC_RD_2019	W	View of landscaping in Rear Yard.	
061_264_VIC_RD_2019	S	Overview of landscaping in Rear Yard.	
062_264_VIC_RD_2019	SW	Overview of Rear Yard.	

Image Name.	Direction	Details	Thumbnail
063_264_VIC_RD_2019	W	View of Rear Yard.	
064_264_VIC_RD_2019	NE	View of side passage from Rear Yard.	
065_264_VIC_RD_2019	NE	View of side passage from Rear Yard.	
066_264_VIC_RD_2019	NE	Overview of side passage towards front of 264 Victoria Road.	

Image Name.	Direction	Details	Thumbnail
067_264_VIC_RD_2019	N	Detail of sash window on side passage closest to rear of property.	
068_264_VIC_RD_2019	N	Detail of central sash window on side passage.	
069_264_VIC_RD_2019	-	Detail wall vent on side passage above central sash window.	

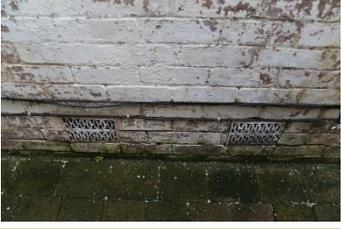
Image Name.	Direction	Details	Thumbnail
070_264_VIC_RD_2019	SW	View of side passage towards rear yard.	
071_264_VIC_RD_2019	N	View of sash window and brick chimney from side passage.	
072_264_VIC_RD_2019	NW	View to decorative wall vents from side passage.	
073_264_VIC_RD_2019	-	View to brick chimney from side passage.	

Image Name.	Direction	Details	Thumbnail
074_264_VIC_RD_2019	NE	View of side entrance to 264 Victoria Road.	
075_264_VIC_RD_2019	NE	View of side entrance to 264 Victoria Road.	
076_264_VIC_RD_2019	SW	View from side entrance towards rear yard.	

5.1.2 266 Victoria Road

Image Name.	Direction	Details	Thumbnail
001_266_VIC_RD_2019	SW	View to façade of 266 Victoria Road.	
002_266_VIC_RD_2019	S	View to façade of 266 Victoria Road.	
003_266_VIC_RD_2019	S	View to façade of 266 Victoria Road.	
004_266_VIC_RD_2019	SE	View to north-eastern elevation of 266 Victoria Road.	

Image Name.	Direction	Details	Thumbnail
005_266_VIC_RD_2019	SE	Overview of Victoria Road and north-eastern elevation of 266 Victoria Road.	
006_266_VIC_RD_2019	W	Overview of landscaping and front entrance stairs of 266 Victoria Road.	
007_266_VIC_RD_2019	SW	Overview of landscaping at front of 266 Victoria Road.	
008_266_VIC_RD_2019	SW	View of front entrance staircase of 266 Victoria Road.	

Image Name.	Direction	Details	Thumbnail
009_266_VIC_RD_2019	SW	View of side passage from front entrance.	
010_266_VIC_RD_2019	W	View to front entrance of 266 Victoria Road.	
011_266_VIC_RD_2019	-	View of awning over front entrance.	

Image Name.	Direction	Details	Thumbnail
012_266_VIC_RD_2019	SW	View of front entrance.	
013_266_VIC_RD_2019	S	View of sash window at front entrance.	
014_266_VIC_RD_2019	W	Overview of front entrance.	

Image Name.	Direction	Details	Thumbnail
015_266_VIC_RD_2019	SW	View of front entrance door.	
016_266_VIC_RD_2019	SW	Overview of hallway.	
017_266_VIC_RD_2019	-	Detail of timber floorboards at front entrance.	
018_266_VIC_RD_2019	-	Overview of ceiling in hallway.	

Image Name.	Direction	Details	Thumbnail
019_266_VIC_RD_2019	SW	View to Room 1.	
020_266_VIC_RD_2019	W	Overview of Room 1.	
021_266_VIC_RD_2019	NW	Detail of sash windows with multi-coloured lights in Room 1.	

Image Name.	Direction	Details	Thumbnail
022_266_VIC_RD_2019	SE	View of Room 1.	
023_266_VIC_RD_2019	E	View of Room 1.	
024_266_VIC_RD_2019	NW	View towards sash windows in Room 1.	

Image Name.	Direction	Details	Thumbnail
025_266_VIC_RD_2019	N	View of Room 1.	
026_266_VIC_RD_2019	S	View towards fireplace and surrounds in Room 1.	
027_266_VIC_RD_2019	S	Detail of cast iron fireplace.	
028_266_VIC_RD_2019	S	Detail of fireplace mantle.	

Image Name.	Direction	Details	Thumbnail
029_266_VIC_RD_2019	S	Detail of fireplace mantle.	
030_266_VIC_RD_2019	SW	View of hallway.	
031_266_VIC_RD_2019	S	View of Room 2.	

Image Name.	Direction	Details	Thumbnail
032_266_VIC_RD_2019	N	Overview of Room 2.	
033_266_VIC_RD_2019	SW	View of Room 2.	
034_266_VIC_RD_2019	W	View of Room 2.	

Image Name.	Direction	Details	Thumbnail
035_266_VIC_RD_2019	NW	View towards hallway from Room 2.	
036_266_VIC_RD_2019	SW	View of archway with decorative mouldings in hallway.	
037_266_VIC_RD_2019	-	View to decorative moulding on south-eastern wall of hallway.	
038_266_VIC_RD_2019	-	View to decorative moulding on north-western wall of hallway.	
039_266_VIC_RD_2019	-	View to decorative moulding on north-western wall of hallway.	

Image Name.	Direction	Details	Thumbnail
040_266_VIC_RD_2019	-	View to decorative moulding on south-eastern wall of hallway.	
041_266_VIC_RD_2019	SE	Overview of Room 3.	
042_266_VIC_RD_2019	E	View of Room 3.	

Image Name.	Direction	Details	Thumbnail
043_266_VIC_RD_2019	N	View of Room 3.	
044_266_VIC_RD_2019	N	View of Room 3.	
045_266_VIC_RD_2019	W	View of Room 3.	

Image Name.	Direction	Details	Thumbnail
046_266_VIC_RD_2019	NW	View towards hallway from Room 3.	
047_266_VIC_RD_2019	S	Overview of Room 4.	
048_266_VIC_RD_2019	SW	View to fireplace in Room 4.	

Image Name.	Direction	Details	Thumbnail
049_266_VIC_RD_2019	W	View of Room 4 towards Kitchen.	 A photograph showing a view from Room 4 towards the kitchen. The room has white walls, a wooden floor, and a white door leading to the kitchen. A black fireplace is visible on the left wall.
050_266_VIC_RD_2019	SW	Detail of fireplace and surrounds in Room 4.	 A close-up photograph of a black fireplace set within a white surround. The fireplace is on a wooden floor with a black mat in front of it.
051_266_VIC_RD_2019	SE	View towards Bathroom from Room 4.	 A photograph showing a view from Room 4 towards the bathroom. The room has white walls and a wooden floor. A white door leads to the bathroom, which has a white sink and a dark floor.

Image Name.	Direction	Details	Thumbnail
052_266_VIC_RD_2019	E	View of Room 4.	
053_266_VIC_RD_2019	NE	View towards hallway from Room 4.	
054_266_VIC_RD_2019	SW	View of Kitchen.	

Image Name.	Direction	Details	Thumbnail
055_266_VIC_RD_2019	S	View of Kitchen.	
056_266_VIC_RD_2019	E	Overview of Kitchen.	
057_266_VIC_RD_2019	E	Overview of Kitchen.	

Image Name.	Direction	Details	Thumbnail
058_266_VIC_RD_2019	NE	Overview of Bathroom.	
059_266_VIC_RD_2019	S	View of sash window in Bathroom.	
060_266_VIC_RD_2019	SW	View of Bathroom.	

Image Name.	Direction	Details	Thumbnail
061_266_VIC_RD_2019	-	Overview of tiling in Bathroom.	
062_266_VIC_RD_2019	NE	View of side passage from Rear Yard.	
063_266_VIC_RD_2019	N	View of side passage from Rear Yard.	
064_266_VIC_RD_2019	NE	View to subject property from Rear Yard.	
065_266_VIC_RD_2019	NW	View to Laundry from Rear Yard.	

Image Name.	Direction	Details	Thumbnail
066_266_VIC_RD_2019	SW	View of Laundry.	
067_266_VIC_RD_2019	NE	Overview of Laundry.	
068_266_VIC_RD_2019	NW	View of Laundry.	

Image Name.	Direction	Details	Thumbnail
069_266_VIC_RD_2019	W	Overview of Rear Yard.	
070_266_VIC_RD_2019	NW	View to laundry from Rear Yard.	
071_266_VIC_RD_2019	SW	View of landscaping in Rear Yard.	
072_266_VIC_RD_2019	SE	View to Rear of 264 Victoria Road.	
073_266_VIC_RD_2019	N	Overview of side passage towards front of property.	

Image Name.	Direction	Details	Thumbnail
074_266_VIC_RD_2019	NE	Overview of side passage towards front of property.	
075_266_VIC_RD_2019	N	Detail of sash window from side passage.	
076_266_VIC_RD_2019	N	Detail of sash window from side passage.	

Image Name.	Direction	Details	Thumbnail
077_266_VIC_RD_2019	N	Detail of sash window from side passage.	
078_266_VIC_RD_2019	-	Detail of tiling through side passage.	
079_266_VIC_RD_2019	-	Detail of sandstone footing of 266 Victoria Road.	

5.1.3 Views and Settings

Image Name.	Direction	Details	Thumbnail
001_264-266_VIC_RD_2019	W	Overview of subject properties from median strip on Victoria Road.	
002_264-266_VIC_RD_2019	W	View of subject properties from median strip on Victoria Road.	

Image Name.	Direction	Details	Thumbnail
003_264-266_VIC_RD_2019	W	View of subject properties from median strip on Victoria Road.	
004_264-266_VIC_RD_2019	NW	View towards the Iron Cove Bridge and north side of Victoria Road.	
005_264-266_VIC_RD_2019	W	View to subject properties from median strip on Victoria Road.	
006_264-266_VIC_RD_2019	S	View towards subject properties and Clubb Street.	
007_264-266_VIC_RD_2019	SW	View of subject properties.	
008_264-266_VIC_RD_2019	S	Overview of subject properties.	
009_264-266_VIC_RD_2019	SW	Overview of subject properties and the Iron Cove Bridge.	

Image Name.	Direction	Details	Thumbnail
010_264-266_VIC_RD_2019	S	View of 260 Victoria Road.	
011_264-266_VIC_RD_2019	S	View of 260 and 262 Victoria Road.	
012_264-266_VIC_RD_2019	S	View of 262 Victoria Road.	
013_264-266_VIC_RD_2019	S	View of 264 Victoria Road.	
014_264-266_VIC_RD_2019	S	View of 266 Victoria Road.	
015_264-266_VIC_RD_2019	S	Overview of setting of subject properties.	
016_264-266_VIC_RD_2019	S	View towards subject properties.	

Image Name.	Direction	Details	Thumbnail
017_264-266_VIC_RD_2019	S	View towards subject properties.	
018_264-266_VIC_RD_2019	SE	View of 260 Victoria Road.	
019_264-266_VIC_RD_2019	SE	View of 262 Victoria Road.	
020_264-266_VIC_RD_2019	SE	View of 264 Victoria Road.	
021_264-266_VIC_RD_2019	SE	View of 266 Victoria Road.	
022_264-266_VIC_RD_2019	SE	View towards north-western elevation of subject properties.	
023_264-266_VIC_RD_2019	SE	View towards subject properties from Iron Cove Bridge.	

Image Name.	Direction	Details	Thumbnail
024_264-266_VIC_RD_2019	S	Overview of Victoria Road towards Constellation Playground.	
025_264-266_VIC_RD_2019	W	Overview of Iron Cove Bridge.	
026_264-266_VIC_RD_2019	SE	View of Victoria Road.	
027_264-266_VIC_RD_2019	SE	View of Victoria Road towards subject properties.	
028_264-266_VIC_RD_2019	S	Overview of Victoria Road.	
029_264-266_VIC_RD_2019	SW	Overview of Iron Cove Bridge.	
030_264-266_VIC_RD_2019	W	Overview of Iron Cove Bridge.	

Image Name.	Direction	Details	Thumbnail
031_264-266_VIC_RD_2019	W	View of 260 Victoria Road as it addresses the corner of Clubb Street and Victoria Road.	
032_264-266_VIC_RD_2019	W	Overview of 260 Victoria Road.	
033_264-266_VIC_RD_2019	SW	Overview of Clubb Street from Victoria Road.	
034_264-266_VIC_RD_2019	W	View of 260 Victoria Road from corner of Clubb Street and Victoria Road.	
035_264-266_VIC_RD_2019	N	View of 260 Victoria Road from Clubb Street.	

Image Name.	Direction	Details	Thumbnail
036_264-266_VIC_RD_2019	N	Overview of 260 Victoria Road from Clubb Street.	
037_264-266_VIC_RD_2019	NW	View of extension of 260 Victoria Road from Club Street.	
038_264-266_VIC_RD_2019	S	View of 260 Victoria Road from Victoria Road.	

Image Name.	Direction	Details	Thumbnail
039_264-266_VIC_RD_2019	S	View of 262 Victoria Road from Victoria Road.	
040_264-266_VIC_RD_2019	S	View of 264 Victoria Road from Victoria Road.	
041_264-266_VIC_RD_2019	S	View of 266 Victoria Road from Victoria Road.	

Image Name.	Direction	Details	Thumbnail
042_264-266_VIC_RD_2019	SE	Overview of Victoria Road from Byrnes Street.	
043_264-266_VIC_RD_2019	E	Built environment around subject properties in Byrnes Street.	
044_264-266_VIC_RD_2019	SE	Built environment around subject properties in Byrnes Street.	
045_264-266_VIC_RD_2019	NE	View towards landscaping of subject properties from Byrnes street.	
046_264-266_VIC_RD_2019	NW	Overview of Clubb Street.	

Image Name.	Direction	Details	Thumbnail
047_264-266_VIC_RD_2019	NE	Overview of Clubb Street and Manning Street.	
048_264-266_VIC_RD_2019	N	Overview of built environment in Clubb Street.	
049_264-266_VIC_RD_2019	NE	Overview of built environment in Clubb Street.	
050_264-266_VIC_RD_2019	E	Overview of built environment in Clubb Street.	
051_264-266_VIC_RD_2019	NE	Overview of built environment in Clubb Street.	

5.2 Photographic Proof Sheets

5.2.1 264 Victoria Road

264 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



001_264_VIC_RD_2019_f9 ISO 6400 1/4000 s 2019/06/26 12:00:43 002_264_VIC_RD_2019_f9 ISO 6400 1/4000 s 2019/06/26 12:01:03 003_264_VIC_RD_2019_f9 ISO 6400 1/4000 s 2019/06/26 12:01:18 004_264_VIC_RD_2019_f9 ISO 6400 1/4000 s 2019/06/26 12:01:29



005_264_VIC_RD_2019_f9 ISO 6400 1/4000 s 2019/06/26 12:01:37 006_264_VIC_RD_2019_f9 ISO 6400 1/4000 s 2019/06/26 12:02:00 007_264_VIC_RD_2019_f9 ISO 6400 1/4000 s 2019/06/26 12:02:28 008_264_VIC_RD_2019_f9 ISO 6400 1/4000 s 2019/06/26 12:02:58



009_264_VIC_RD_2019_f9 ISO 6400 1/2000 s 2019/06/26 12:03:16 010_264_VIC_RD_2019_f9 ISO 6400 1/500 s 2019/06/26 12:04:14 011_264_VIC_RD_2019_f6.3 ISO 100 1/80 s 2019/06/26 12:05:03 012_264_VIC_RD_2019_f4 ISO 400 1/30 s 2019/06/26 12:05:40



013_264_VIC_RD_2019_f9 ISO 6400 1/25 s 2019/06/26 12:07:09 014_264_VIC_RD_2019_f9 ISO 6400 1/1000 s 2019/06/26 12:08:49 015_264_VIC_RD_2019_f9 ISO 6400 1/500 s 2019/06/26 12:09:26 016_264_VIC_RD_2019_f9 ISO 6400 1/320 s 2019/06/26 12:09:39

264 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



017_264_VIC_RD_2019 f9 ISO 6400
1/160 s 2019/06/26 12:09:54



018_264_VIC_RD_2019 f9 ISO 6400
1/50 s 2019/06/26 12:10:47



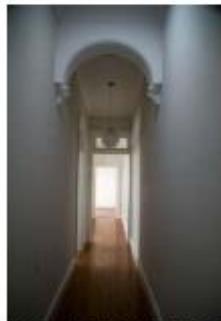
019_264_VIC_RD_2019 f/4 ISO 100
1/30 s 2019/06/26 12:14:10



020_264_VIC_RD_2019 f/4 ISO 250
1/30 s 2019/06/26 12:14:57



021_264_VIC_RD_2019 f/4.5 ISO 200
1/30 s 2019/06/26 12:15:45



022_264_VIC_RD_2019 f/4 ISO 640
1/30 s 2019/06/26 12:16:11



023_264_VIC_RD_2019 f/4 ISO 1250
1/50 s 2019/06/26 12:16:33



024_264_VIC_RD_2019 f/4 ISO 1600
1/50 s 2019/06/26 12:16:42



025_264_VIC_RD_2019 f/4 ISO 800
1/30 s 2019/06/26 12:19:37



026_264_VIC_RD_2019 f/4 ISO 6400
1/30 s 2019/06/26 12:19:59



027_264_VIC_RD_2019 f/4 ISO 400
1/30 s 2019/06/26 12:20:41



028_264_VIC_RD_2019 f/4 ISO 320
1/30 s 2019/06/26 12:20:54



029_264_VIC_RD_2019 f/4 ISO 160
1/40 s 2019/06/26 12:21:06



030_264_VIC_RD_2019 f/11 ISO 12800
1/200 s 2019/06/26 12:25:28



031_264_VIC_RD_2019 f/11 ISO 12800
1/500 s 2019/06/26 12:25:52



032_264_VIC_RD_2019 f/11 ISO 12800
1/250 s 2019/06/26 12:26:14

264 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



033_264_VIC_RD_2019_f/11 ISO
12800 1/250 s 2019/06/26 12:26:53



034_264_VIC_RD_2019_f/11 ISO
12800 1/400 s 2019/06/26 12:27:05



035_264_VIC_RD_2019_f/11 ISO
12800 1/400 s 2019/06/26 12:27:23



036_264_VIC_RD_2019_f/11 ISO
12800 1/125 s 2019/06/26 12:27:43



037_264_VIC_RD_2019_f/11 ISO
12800 1/160 s 2019/06/26 12:27:53



038_264_VIC_RD_2019_f/11 ISO
12800 1/500 s 2019/06/26 12:28:02



039_264_VIC_RD_2019_f/11 ISO
12800 1/125 s 2019/06/26 12:28:29



040_264_VIC_RD_2019_f/11 ISO
12800 1/125 s 2019/06/26 12:29:25



041_264_VIC_RD_2019_f/11 ISO
12800 1/200 s 2019/06/26 12:28:55



042_264_VIC_RD_2019_f/11 ISO
12800 1/250 s 2019/06/26 12:29:56



043_264_VIC_RD_2019_f/4 ISO 100
1/30 s 2019/06/26 12:31:24



044_264_VIC_RD_2019_f/8 ISO
12800 1/1000 s 2019/06/26 12:34:25



045_264_VIC_RD_2019_f/8 ISO
12800 1/800 s 2019/06/26 12:34:46



046_264_VIC_RD_2019_f/8 ISO
12800 1/1000 s 2019/06/26 12:35:21



047_264_VIC_RD_2019_f/8 ISO
12800 1/640 s 2019/06/26 12:35:45



048_264_VIC_RD_2019_f/8 ISO
12800 1/500 s 2019/06/26 12:36:51

264 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



049_264_VIC_RD_2019_f/8 ISO
12800 1/800 s 2019/06/26 12:37:46



050_264_VIC_RD_2019_f/8 ISO
12800 1/500 s 2019/06/26 12:37:59



051_264_VIC_RD_2019_f/8 ISO
12800 1/640 s 2019/06/26 12:38:14



052_264_VIC_RD_2019_f/8 ISO
12800 1/250 s 2019/06/26 12:38:26



053_264_VIC_RD_2019_f/8 ISO
12800 1/800 s 2019/06/26 12:38:46



054_264_VIC_RD_2019_f/8 ISO
12800 1/2000 s 2019/06/26 12:40:57



055_264_VIC_RD_2019_f/8 ISO
12800 1/4000 s 2019/06/26 12:41:18



056_264_VIC_RD_2019_f/8 ISO
12800 1/4000 s 2019/06/26 12:41:47



057_264_VIC_RD_2019_f/8 ISO
12800 1/4000 s 2019/06/26 12:41:57



058_264_VIC_RD_2019_f/5.6 ISO
100 1/60 s 2019/06/26 12:52:13



059_264_VIC_RD_2019_f/5.6 ISO
100 1/60 s 2019/06/26 12:51:53



060_264_VIC_RD_2019_f/4.5 ISO
100 1/40 s 2019/06/26 12:52:00



061_264_VIC_RD_2019_f/8 ISO
12800 1/4000 s 2019/06/26 12:42:22



062_264_VIC_RD_2019_f/8 ISO
12800 1/4000 s 2019/06/26 12:42:54



063_264_VIC_RD_2019_f/8 ISO
12800 1/3200 s 2019/06/26 12:43:03



064_264_VIC_RD_2019_f/7.1 ISO
100 1/125 s 2019/06/26 12:44:27

264 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



065_264_VIC_RD_2019 f/7.1 ISO 100 1/100 s 2019/06/26 12:44:36



066_264_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 12:45:13



067_264_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 12:45:24



068_264_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 12:45:43



069_264_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/26 12:45:54



070_264_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 12:46:17



071_264_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 12:46:43



072_264_VIC_RD_2019 f/5 ISO 100 1/50 s 2019/06/26 12:51:13



073_264_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/26 12:47:43



074_264_VIC_RD_2019 f/6.3 ISO 100 1/80 s 2019/06/26 12:47:50



075_264_VIC_RD_2019 f/4.5 ISO 100 1/50 s 2019/06/26 12:47:58



076_264_VIC_RD_2019 f/8 ISO 16000 1/4000 s 2019/06/26 12:50:29

5.2.2 266 Victoria Road

266 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



IMG_0079 f/6.3 ISO 100 1/100 s 2019/06/26 10:44:27



001_266_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/26 10:41:25



002_266_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 10:41:38



003_266_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 10:43:01



004_266_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 10:42:01



005_266_VIC_RD_2019 f/7.1 ISO 100 1/100 s 2019/06/26 10:42:15



006_266_VIC_RD_2019 f/7.1 ISO 100 1/125 s 2019/06/26 10:42:33



007_266_VIC_RD_2019 f/7.1 ISO 100 1/100 s 2019/06/26 10:42:43



008_266_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 10:42:57



009_266_VIC_RD_2019 f/6.3 ISO 100 1/80 s 2019/06/26 10:43:11



010_266_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/26 10:43:20



011_266_VIC_RD_2019 f/4 ISO 100 1/40 s 2019/06/26 10:43:37



012_266_VIC_RD_2019 f/4.5 ISO 100 1/40 s 2019/06/26 10:43:47



013_266_VIC_RD_2019 f/5.6 ISO 100 1/80 s 2019/06/26 10:43:58



014_266_VIC_RD_2019 f/5.6 ISO 100 1/80 s 2019/06/26 10:44:06



015_266_VIC_RD_2019

1 of 5

266 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



016_266_VIC_RD_2019 f/4 ISO 250
1/30 s 2019/06/26 10:44:44



017_266_VIC_RD_2019 f/4.5 ISO
160 1/30 s 2019/06/26 10:44:50



018_266_VIC_RD_2019 f/4 ISO 200
1/30 s 2019/06/26 10:44:56



019_266_VIC_RD_2019 f/4 ISO 100
1/30 s 2019/06/26 10:46:40



020_266_VIC_RD_2019 f/4 ISO 100
1/30 s 2019/06/26 10:46:43



021_266_VIC_RD_2019 f/4 ISO 100
1/30 s 2019/06/26 10:46:58



022_266_VIC_RD_2019 f/4.5 ISO
100 1/40 s 2019/06/26 10:47:11



023_266_VIC_RD_2019 f/4.5 ISO
100 1/40 s 2019/06/26 10:47:14



024_266_VIC_RD_2019 f/5 ISO 100
1/50 s 2019/06/26 10:47:17



025_266_VIC_RD_2019 f/4.5 ISO
100 1/50 s 2019/06/26 10:47:29



026_266_VIC_RD_2019 f/5.6 ISO
100 1/60 s 2019/06/26 10:47:46



027_266_VIC_RD_2019 f/9 ISO 6400
1/40 s 2019/06/26 11:30:50



028_266_VIC_RD_2019



029_266_VIC_RD_2019 f/9 ISO 6400
1/160 s 2019/06/26 11:30:38



030_266_VIC_RD_2019 f/4 ISO 100
1/40 s 2019/06/26 10:48:25



031_266_VIC_RD_2019 f/9 ISO
12800 1/400 s 2019/06/26 10:52:27

266 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



032_266_VIC_RD_2019 f9 ISO 6400
1/25 s 2019/06/26 10:57:51



033_266_VIC_RD_2019 f9 ISO 6400
1/30 s 2019/06/26 10:58:33



034_266_VIC_RD_2019 f9 ISO 6400
1/40 s 2019/06/26 10:59:06



035_266_VIC_RD_2019 f9 ISO 6400
1/80 s 2019/06/26 10:59:27



036_266_VIC_RD_2019 f4 ISO 1000
1/50 s 2019/06/26 11:00:31



037_266_VIC_RD_2019 f4 ISO 800
1/30 s 2019/06/26 11:00:44



038_266_VIC_RD_2019 f4 ISO 500
1/30 s 2019/06/26 11:00:56



039_266_VIC_RD_2019 f4 ISO 640
1/30 s 2019/06/26 11:01:23



040_266_VIC_RD_2019 f4 ISO 640
1/30 s 2019/06/26 11:01:31



041_266_VIC_RD_2019 f4 ISO 400
1/30 s 2019/06/26 11:02:31



042_266_VIC_RD_2019 f9 ISO 6400
1/30 s 2019/06/26 11:03:33



043_266_VIC_RD_2019 f9 ISO 6400
1/40 s 2019/06/26 11:03:52



044_266_VIC_RD_2019 f9 ISO 6400
1/30 s 2019/06/26 11:04:01



045_266_VIC_RD_2019 f9 ISO 6400
1/40 s 2019/06/26 11:04:11



046_266_VIC_RD_2019 f9 ISO 6400
1/30 s 2019/06/26 11:04:21



047_266_VIC_RD_2019 f9 ISO 6400
1/60 s 2019/06/26 11:28:45

266 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



048_266_VIC_RD_2019 f9 ISO 6400
1/50 s 2019/06/26 11:26:49



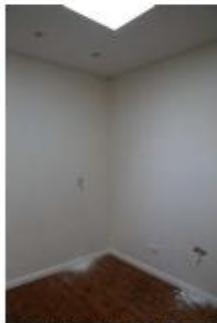
049_266_VIC_RD_2019 f9 ISO 6400
1/80 s 2019/06/26 11:26:52



050_266_VIC_RD_2019 f9 ISO 6400
1/30 s 2019/06/26 11:07:00



051_266_VIC_RD_2019 f9 ISO 6400
1/320 s 2019/06/26 11:07:36



052_266_VIC_RD_2019 f9 ISO 6400
1/200 s 2019/06/26 11:08:16



053_266_VIC_RD_2019 f9 ISO 6400
1/250 s 2019/06/26 11:08:22



054_266_VIC_RD_2019 f9 ISO 6400
1/200 s 2019/06/26 11:10:55



055_266_VIC_RD_2019 f9 ISO 6400
1/200 s 2019/06/26 11:11:01



056_266_VIC_RD_2019 f9 ISO 6400
1/250 s 2019/06/26 11:11:16



057_266_VIC_RD_2019 f9 ISO 6400
1/200 s 2019/06/26 11:11:20



058_266_VIC_RD_2019 f/4 ISO 640
1/30 s 2019/06/26 11:14:32



059_266_VIC_RD_2019 f/4 ISO 100
1/30 s 2019/06/26 11:14:56



060_266_VIC_RD_2019 f9 ISO 6400
1/60 s 2019/06/26 11:15:57



061_266_VIC_RD_2019 f9 ISO 6400
1/25 s 2019/06/26 11:16:19



062_266_VIC_RD_2019 f/8 ISO 6400
1/2500 s 2019/06/26 11:18:12



063_266_VIC_RD_2019 f/8 ISO 6400
1/1000 s 2019/06/26 11:18:24

266 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



064_266_VIC_RD_2019 #8 ISO 6400
1/1600 s 2019/06/26 11:19:30



065_266_VIC_RD_2019 #8 ISO 6400
1/1250 s 2019/06/26 11:18:30



066_266_VIC_RD_2019 #9 ISO 6400
1/80 s 2019/06/26 11:21:35



067_266_VIC_RD_2019 #9 ISO 6400
1/125 s 2019/06/26 11:21:53



068_266_VIC_RD_2019 #4 ISO 200
1/30 s 2019/06/26 11:22:30



069_266_VIC_RD_2019 #8 ISO 6400
1/2500 s 2019/06/26 11:18:37



070_266_VIC_RD_2019 #8 ISO 6400
1/2500 s 2019/06/26 11:19:59



071_266_VIC_RD_2019 #8 ISO 6400
1/1000 s 2019/06/26 11:18:44



072_266_VIC_RD_2019 #8 ISO 6400
1/1000 s 2019/06/26 11:18:54



073_266_VIC_RD_2019 #5.6 ISO 100
1/60 s 2019/06/26 11:22:51



074_266_VIC_RD_2019 #5.6 ISO 100
1/60 s 2019/06/26 11:22:56



075_266_VIC_RD_2019 #5 ISO 100
1/50 s 2019/06/26 11:23:26



076_266_VIC_RD_2019 #5 ISO 100
1/50 s 2019/06/26 11:23:43



077_266_VIC_RD_2019 #5 ISO 100
1/50 s 2019/06/26 11:23:55



078_266_VIC_RD_2019 #5 ISO 100
1/50 s 2019/06/26 11:24:24



079_266_VIC_RD_2019 #4 ISO 100
1/30 s 2019/06/26 11:24:37

5.2.3 Views and Settings

Views and Settings: 264-266 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



001_264-266_VIC_RD_2019_f8 ISO
100 1/250 s 2019/06/27 15:47:32

002_264-266_VIC_RD_2019_f8 ISO
100 1/400 s 2019/06/27 15:47:43

003_264-266_VIC_RD_2019_f8 ISO
100 1/250 s 2019/06/27 15:47:51

004_264-266_VIC_RD_2019_f9 ISO
100 1/160 s 2019/06/27 15:47:24



005_264-266_VIC_RD_2019_f8 ISO
100 1/320 s 2019/06/27 15:48:31

006_264-266_VIC_RD_2019_f10 ISO
100 1/200 s 2019/06/27 15:52:08

007_264-266_VIC_RD_2019_f9 ISO
100 1/200 s 2019/06/27 15:52:27

008_264-266_VIC_RD_2019_f10 ISO
100 1/200 s 2019/06/27 15:52:33



009_264-266_VIC_RD_2019_f10 ISO
100 1/200 s 2019/06/27 15:52:38

010_264-266_VIC_RD_2019_f8 ISO
100 1/400 s 2019/06/27 15:53:28

011_264-266_VIC_RD_2019_f9 ISO
100 1/200 s 2019/06/27 15:53:45

012_264-266_VIC_RD_2019_f8 ISO
100 1/250 s 2019/06/27 15:54:01



013_264-266_VIC_RD_2019_f7.1
ISO 100 1/250 s 2019/06/27 15:54:12

014_264-266_VIC_RD_2019_f7.1
ISO 100 1/200 s 2019/06/27 15:54:28

015_264-266_VIC_RD_2019_f9 ISO
100 1/200 s 2019/06/27 15:54:33

016_264-266_VIC_RD_2019_f10 ISO
100 1/200 s 2019/06/27 15:54:44

Views and Settings: 264-266 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



017_264-266_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:54:48 018_264-266_VIC_RD_2019 f/8 ISO 100 1/500 s 2019/06/27 15:55:00 019_264-266_VIC_RD_2019 f/8 ISO 100 1/400 s 2019/06/27 15:54:58 020_264-266_VIC_RD_2019 f/7.1 ISO 100 1/400 s 2019/06/27 15:54:55



021_264-266_VIC_RD_2019 f/7.1 ISO 100 1/320 s 2019/06/27 15:54:52 022_264-266_VIC_RD_2019 f/10 ISO 100 1/250 s 2019/06/27 15:56:48 023_264-266_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 15:56:55 024_264-266_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:57:01



025_264-266_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:57:09 026_264-266_VIC_RD_2019 f/9 ISO 100 1/200 s 2019/06/27 15:57:57 027_264-266_VIC_RD_2019 f/10 ISO 100 1/250 s 2019/06/27 15:58:01 028_264-266_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:58:04



029_264-266_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:58:07 030_264-266_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:58:11 031_264-266_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 16:16:07 032_264-266_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/27 16:16:09

Views and Settings: 264-266 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



033_264-266_VIC_RD_2019 f/8 ISO 100 1/160 s 2019/06/27 16:16:11



034_264-266_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 16:16:33



035_264-266_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/27 16:17:50



036_264-266_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/27 16:17:33



037_264-266_VIC_RD_2019 f/7.1 ISO 100 1/125 s 2019/06/27 16:18:00



038_264-266_VIC_RD_2019 f/11 ISO 100 1/250 s 2019/06/27 16:18:51



039_264-266_VIC_RD_2019 f/11 ISO 100 1/250 s 2019/06/27 16:19:08



040_264-266_VIC_RD_2019 f/10 ISO 100 1/250 s 2019/06/27 16:19:19



041_264-266_VIC_RD_2019 f/10 ISO 100 1/250 s 2019/06/27 16:19:44



042_264-266_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 16:20:29



043_264-266_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 16:21:41



044_264-266_VIC_RD_2019 f/11 ISO 100 1/250 s 2019/06/27 16:21:46



045_264-266_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 16:22:17



046_264-266_VIC_RD_2019 f/8.3 ISO 100 1/80 s 2019/06/27 16:25:39



047_264-266_VIC_RD_2019 f/7.1 ISO 100 1/100 s 2019/06/27 16:25:47



048_264-266_VIC_RD_2019 f/5.6 ISO 100 1/80 s 2019/06/27 16:26:08

Views and Settings: 264-266 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



049_264-266_VIC_RD_2019 f7.1 ISO 100 1/100 ± 2019/06/27 16:26:33 050_264-266_VIC_RD_2019 f7.1 ISO 100 1/100 ± 2019/06/27 16:26:35 051_264-266_VIC_RD_2019 f7.1 ISO 100 1/100 ± 2019/06/27 16:27:01

5.3 Photograph Direction Plans

5.3.1 264 Victoria Road

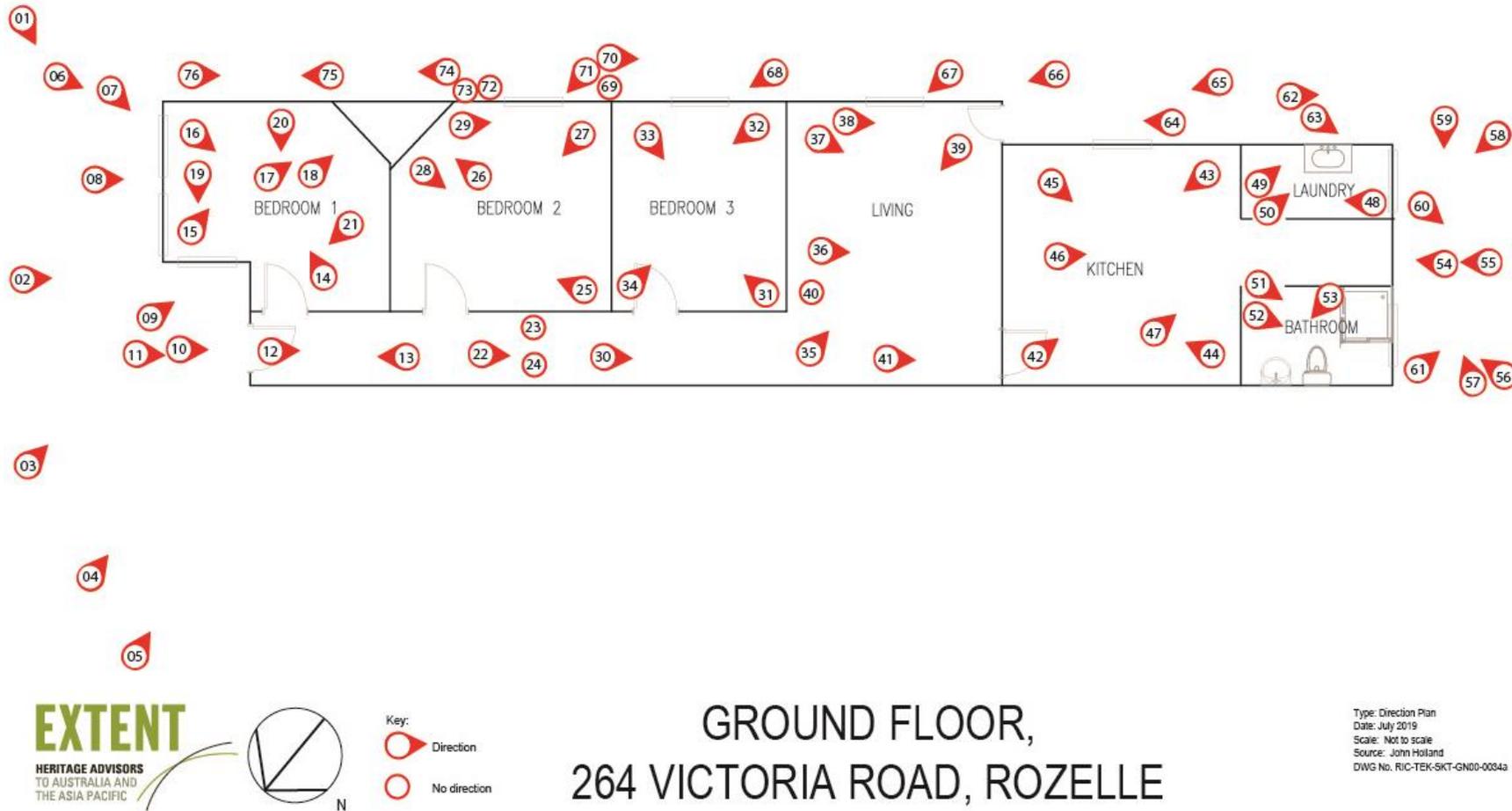
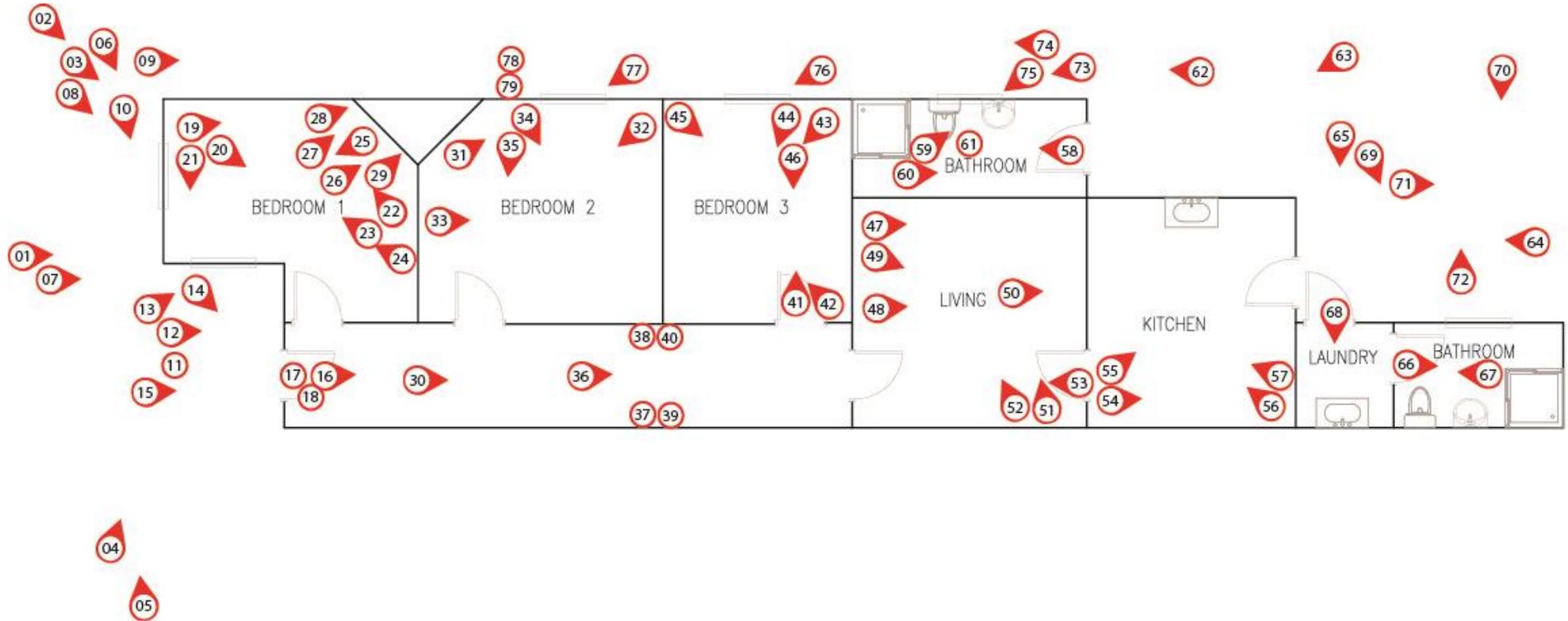


Figure 6. Direction Plan of Ground Floor of 264 Victoria Road, Rozelle.

5.3.2 266 Victoria Road



GROUND FLOOR, 266 VICTORIA ROAD, ROZELLE

Figure 7. Direction Plan of Ground Floor of 266 Victoria Road, Rozelle.

5.3.3 Views and Settings



Key:
 Direction
 No direction

VIEWS AND SETTINGS, 264-266 VICTORIA ROAD, ROZELLE

Type: Direction Plan
 Date: 18 July 2019
 Scale: Not to scale
 Source: Six LPI

Figure 8. Direction Plan of Views and Settings for 264-266 Victoria Road, Rozelle.

6. Salvage Report

6.1 Overview

The following section outlines an inventory of existing historic building fabric within 264-266 Victoria Road, Rozelle. While the buildings retain a significant amount of early fabric their intactness varies across the two dwellings.

A table of existing fabric has been provided below as well as floor plans to assist with the identification of historic building fabric during works. Where possible, photos of particular elements have been provided for clarity. This material should form part of a catalogue of heritage fabric, to be made available to the public for reuse.

The building fabric catalogue is separated into the following categories:

- 264 Victoria Road:
 - External

 - Internal

- 266 Victoria Road:
 - External

 - Internal

It is understood that there are some limitations for accessing heritage fabric located on the exterior of the buildings, particularly for roof elements above the first floor. In the case where heritage fabric is unable to be accessed for exceptional reasons such as a road closure or safety risks such as working at heights and active power lines, it is accepted that these items will not form part of the salvage collection. Items related to this limitation were taken into consideration during the salvage assessment and, due to the above limitations, were omitted from the salvage strategy.

In the instance where decorative heritage fabric such as ceiling roses, corbelled mouldings and cornices are not successfully salvaged in a good condition (i.e. broken during salvage and unable to be repaired), it is understood that these salvaged items can be disposed.

5.5 Building Fabric Catalogue

5.5.1 External, 264 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Floor tiles <i>* Not present</i>	0	N/A
2	Windows – external joinery <i>* Not salvageable</i>	0	N/A
3	Balcony – joinery and timber detail <i>* Not present</i>	0	N/A
4	Filigree balustrade <i>* Not present</i>	0	N/A
5	Fencing and gates <i>* All fencing and gates at 264 Victoria Road are of modern construction</i>	0	N/A
6	Threshold stone	1	
7	Sandstone blocks or bedrock <i>* Visible from 264 Victoria Road. Check for sandstone footings which could be salvaged if present. Salvage will not be viable if it is bedrock.</i>	Unclear, salvage all if viable	
8	Bullnose verandah <i>* 264 Victoria Road has a modern bullnose verandah.</i>	0	N/A
9	Parapet vase urn <i>* Not present</i>	0	N/A

Ref #	Feature	Quantity	Thumbnail
10	Corbelled mouldings <i>* Not present</i>	0	N/A
11	Wall vents	6	
12	Finial <i>* Not present</i>	0	N/A
13	Chimney cowls <i>*Not salvageable due to accessibility.</i>	0	N/A
14	Sandstone window sills	6, if viable	
15	Window skirts	3	

Ref #	Feature	Quantity	Thumbnail
16	Decorative tiles	1 set, if viable	
17	Sandstone garden edging <i>* Not present</i>	0	N/A
18	Galvanised iron roof <i>* Roof is of modern construction</i>	0	N/A
19	Timber brackets <i>* Salvage as set</i>	2	

5.5.2 Internal, 264 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Windows <i>* 264 Victoria Road has original windows with modern soundproof glass installed behind. Salvage original windows only.</i> <i>* Salvage windows and timber joinery as set</i>	6 total 3 sets of single-hung with stained glass 3 sets of double-hung	

Ref #	Feature	Quantity	Thumbnail
			
2	Window hardware	3 locks	
	Window hardware	6 sash and pulley wheel sets	
	Window hardware	12 finger hooks	

Ref #	Feature	Quantity	Thumbnail
			
3	Door joinery – panel timber door <i>* Salvage door and joinery as set</i>	6	
4	Door joinery – French door <i>* 264 Victoria Road does not have any original French doors</i>	0	N/A
5	Door joinery – hardware <i>* 264 Victoria Road does not have any original door hardware</i>	0	N/A
6	Door light	6	

Ref #	Feature	Quantity	Thumbnail
			
7	Stairs – timber stairs <i>* Not present</i>	0	N/A
8	Stairs – balustrade <i>* Not present</i>	0	N/A
9	Wall vents	4	
10	Ceiling rose <i>* Not present</i>	0	N/A
11	Walls - skirting board	4 rooms and hallway, approx. 20 pieces	

Ref #	Feature	Quantity	Thumbnail
12	Fireplace	2	 
13	Fireplace – mantle	2	
14	<p>Fireplace – tiles</p> <p><i>* Both fireplaces have been replaced with modern tiles, but historic tiles may be present beneath.</i></p>	Unknown - check beneath modern tiles, salvage if viable	
15	<p>Light pull and switch</p> <p><i>* 264 Victoria Road does not have light pulls and switches.</i></p>	0	N/A
16	<p>Walls – picture rail</p> <p><i>* 264 Victoria Road does not have a picture rail.</i></p>	0	N/A
17	<p>Walls – cornice</p> <p><i>* The cornice in 264 Victoria Road is modern</i></p>	0	N/A

Ref #	Feature	Quantity	Thumbnail
18	Floor – timber boards <i>* 264 Victoria Road does not have any original timber boards.</i>	0	N/A
19	Pressed metal ceiling <i>* Not present</i>	0	N/A
20	Mouldings <i>* Salvage mouldings as a set.</i>	2, if viable	 

5.5.3 External, 266 Victoria Road

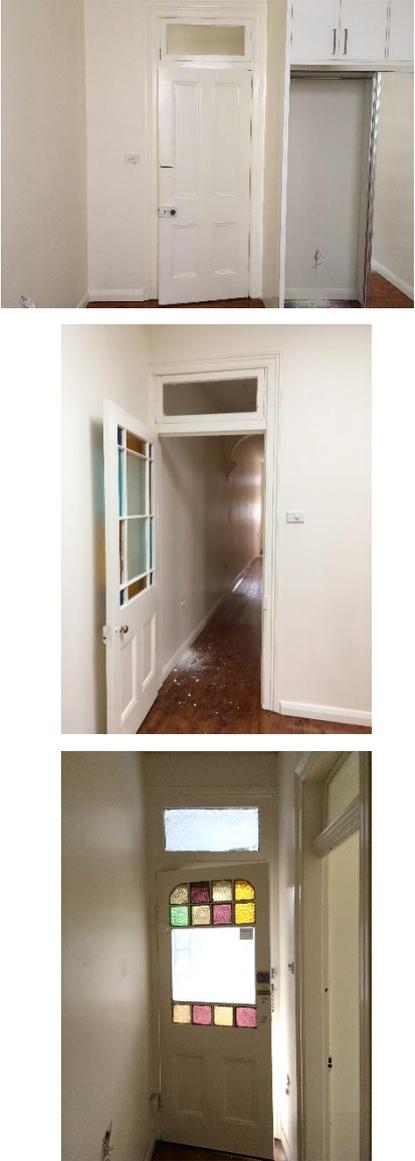
Ref #	Feature	Quantity	Thumbnail
1	Floor tiles <i>* Not present</i>	0	N/A
2	Windows – external joinery <i>* Not salvageable</i>	0	N/A
3	Balcony – joinery and timber detail <i>* Not present</i>	0	N/A
4	Filigree balustrade <i>* Not present</i>	0	N/A
5	Fencing and gates <i>* All fencing and gates at 266 Victoria Road are of modern construction</i>	0	N/A

Ref #	Feature	Quantity	Thumbnail
6	Threshold stone <i>* Not present</i>	0	N/A
7	Sandstone blocks. <i>* Visible from 266 Victoria Road. Check for sandstone footings which could be salvaged if present. Salvage will not be viable if it is bedrock.</i>	Unknown	
8	Bullnose verandah <i>* 266 Victoria Road has a modern bullnose verandah.</i>	0	N/A
9	Parapet vase urn <i>* Not present</i>	0	N/A
10	Corbelled mouldings <i>* Not present</i>	0	N/A
11	Wall vents	8	 
12	Finial <i>* Not present</i>	0	N/A
13	Chimney cowls <i>*Not salvageable at 266 Victoria Road due to access.</i>	0	N/A

Ref #	Feature	Quantity	Thumbnail
14	Sandstone window sills	5	
15	Window skirts	3	
16	Decorative tiles	1 set, if viable	
17	Sandstone garden edging <i>* None present</i>	0	N/A
18	Galvanised iron roof <i>* Roof is of modern construction</i>	0	N/A
19	Timber brackets <i>* Salvage timber brackets as a set.</i>	2	

5.5.4 Internal, 266 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Windows <i>* Salvage windows and timber joinery as set.</i>	6 total 3 sets of single-hung with stained glass 3 sets of double-hung	 
2	Window hardware	0 locks <i>*262 Victoria Road has modern locks</i>	N/A
		6 sash and pulley wheel sets	
		4 finger hooks	

Ref #	Feature	Quantity	Thumbnail
3	<p>Door joinery – panel timber door</p> <p><i>* Salvage door and joinery as set.</i></p>	<p>7 joinery sets</p> <p>5 timber doors</p> <p>2 timber doors with glass inserts</p>	
4	<p>Door joinery – French door</p> <p><i>* 264 Victoria Road does not have any original French doors.</i></p>	0	N/A
5	Door hardware	4 locks	

Ref #	Feature	Quantity	Thumbnail
			
		1 doorbell	 
6	Door light and frame	6	 
7	Stairs – timber stairs	0	N/A

Ref #	Feature	Quantity	Thumbnail
	* <i>Not present</i>		
8	Stairs – balustrade * <i>Not present</i>	0	N/A
9	Wall vents * <i>Not present</i>	0	N/A
10	Ceiling rose * <i>Not present</i>	0	N/A
11	Walls – skirting board * <i>Modern construction</i>	0	N/A
12	Fireplace	3	 
13	Fireplace – mantle	2	

Ref #	Feature	Quantity	Thumbnail
14	Fireplace – tiles	2 sets, if viable	
15	Light pull and switch <i>* Not present</i>	0	N/A
16	Walls – picture rail <i>* Not present</i>	0	N/A
17	Walls – cornice <i>* The cornice in 264 Victoria Road is modern.</i>	0	N/A
18	Floor – timber boards <i>* 264 Victoria Road does not have any original timber boards.</i>	0	N/A
19	Pressed metal ceiling <i>* Not present</i>	0	N/A
20	Mouldings <i>* Salvage mouldings as a set.</i>	2, if viable	

Ref #	Feature	Quantity	Thumbnail
			

6.3 Salvage Plans

5.6.1 264 Victoria Road

Key:

- | | |
|-------------------------------------|----------------------------|
| 1 Floor tiles | 11 Wall vents |
| 2 Windows-external joinery | 12 Finial |
| 3 Balcony-joinery and wooden detail | 13 Chimney cowl |
| 4 Filigree balustrade | 14 Sandstone window sills |
| 5 Fencing and gates | 15 Window skirts |
| 6 Threshold stone | 16 Decorative tiles |
| 7 Sandstone blocks | 17 Sandstone garden edging |
| 8 Bullnose verandah | 18 Galvanized iron roof |
| 9 Parapet vase urn | 19 Timber Brackets |
| 10 Corbelled mouldings | |



SIDE PASSAGE



REAR

Type: Salvage Key
Date: July 2019
Scale: Not to scale
Photographer: Ben Calvert

EXTERIOR, 264 VICTORIA ROAD, ROZELLE

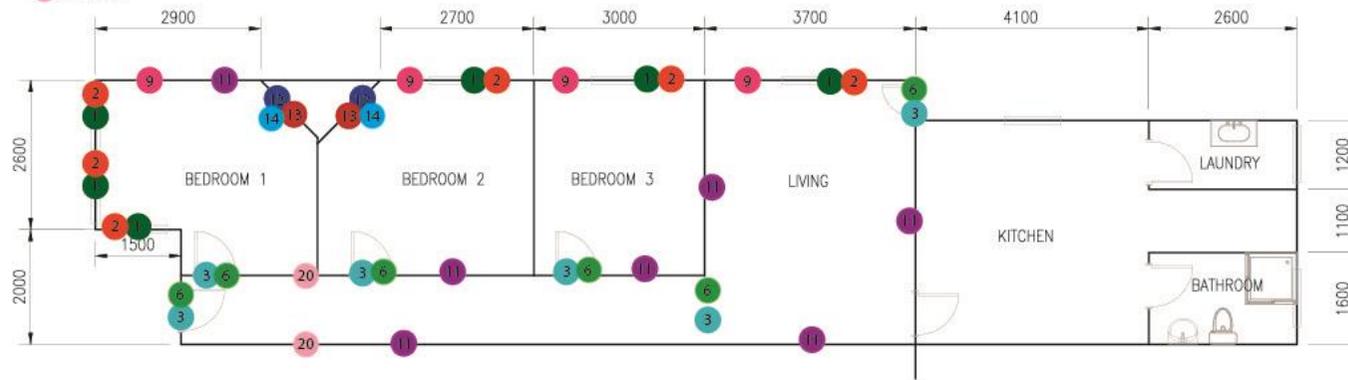
Figure 9. Salvage plan of Exterior of 264 Victoria Road, Rozelle.

EXTENT

HERITAGE ADVISORS
TO AUSTRALIA AND
THE ASIA PACIFIC

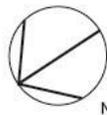
Key:

- | | |
|------------------------------------|---------------------------|
| 1 Windows | 11 Walls - skirting board |
| 2 Window hardware | 12 Fireplace |
| 3 Door joinery - panel timber door | 13 Fireplace - mantle |
| 4 Door joinery - french door | 14 Fireplace - tiles |
| 5 Door hardware | 15 Light pull and switch |
| 6 Door light and frame | 16 Walls - picture rail |
| 7 Stairs - timber stairs | 17 Walls - cornice |
| 8 Stairs - balustrade | 18 Floor - timber boards |
| 9 Wall vents | 19 Pressed metal ceiling |
| 10 Ceiling rose | 20 Moulding |



EXTENT

HERITAGE ADVISORS
TO AUSTRALIA AND
THE ASIA PACIFIC



GROUND FLOOR, 264 VICTORIA ROAD, ROZELLE

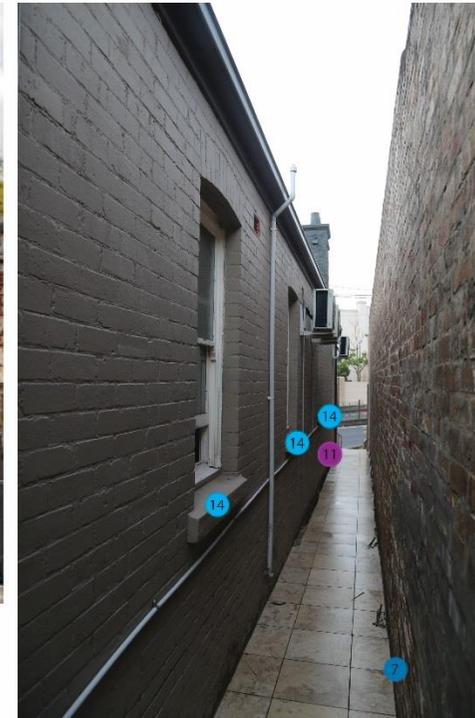
Type: Salvage Key
Date: July 2019
Scale: Not to scale
Source: John Holland
DWG No. RIC-TEK-SKT-GN00-0084a

Figure 10. Salvage plan of Ground Floor of 264 Victoria Road, Rozelle.

5.6.2 266 Victoria Road

Key:

- | | |
|-------------------------------------|----------------------------|
| 1 Floor tiles | 11 Wall vents |
| 2 Windows-external joinery | 12 Finial |
| 3 Balcony-joinery and wooden detail | 13 Chimney cowls |
| 4 Filigree balustrade | 14 Sandstone window sills |
| 5 Fencing and gates | 15 Window skirts |
| 6 Threshold stone | 16 Decorative tiles |
| 7 Sandstone blocks | 17 Sandstone garden edging |
| 8 Bullnose verandah | 18 Galvanized iron roof |
| 9 Parapet vase urn | 19 Timber Brackets |
| 10 Corbelled mouldings | |



SIDE PASSAGE

Figure 11. Salvage plan of Exterior of 266 Victoria Road, Rozelle.

- Key:
- 1 Windows
 - 2 Window hardware
 - 3 Door joinery - panel timber door
 - 4 Door joinery - french door
 - 5 Door hardware
 - 6 Door light and frame
 - 7 Stairs - timber stairs
 - 8 Stairs - balustrade
 - 9 Wall vents
 - 10 Ceiling rose
 - 11 Walls - skirting board
 - 12 Fireplace
 - 13 Fireplace - mantle
 - 14 Fireplace - tiles
 - 15 Light pull and switch
 - 16 Walls - picture rail
 - 17 Walls - cornice
 - 18 Floor - timber boards
 - 19 Pressed metal ceiling
 - 20 Moulding

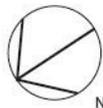


Figure 12. Salvage plan of Ground Floor of 266 Victoria Road, Rozelle.

6. Salvage Strategy

6.1 Re-use of Salvaged Material

The below section has been prepared in fulfillment of REMM NAH 09 which states:

A Heritage Salvage Strategy will be prepared to identify the salvage potential of the fabric and features from heritage items and potential heritage items that will be demolished to facilitate the Project. This could include timber joinery, fireplaces, stained glass, stairs, decorative tiles, bricks, steel truss structures, windows, etc. The strategy will also identify options and a process for dissemination of salvaged items to owners, community groups and interested parties.

Specifically, this section includes the following items:

- Identification of options and processes for dissemination of salvaged items to owners, community groups and interested parties; and
- Provision of sympathetic reuse options for heritage fabric, either within the WestConnex project or within the wider community.

There are numerous benefits with respect to disseminating salvaged items to owners, community groups and interested parties, including:

- **Environmental** - Impacts associated with utilising reclaimed heritage building fabric is less than that of producing new building materials. This helps to retain the fabrics 'embodied energy', that is, the energy consumed by all the processes associated with the production of a building or particular building fabric (CSIRO 1997).
- **Social** - Maintaining built fabric of architectural and historical value within the Rozelle and/or Inner West area helps to preserve the heritage character of these locations. Communities benefit from the protection of fabric, including the preservation of this fabric for future generations (Australian Government Department of Environment and Heritage 2004:4).
- **Economic** – There are economic benefits from the salvage of heritage building fabric, including a reduced cost for owners of other listed heritage properties when given the opportunity to re-use salvaged items.

6.1.1 Salvage Options

The building fabric catalogue (Section 6.2) provides a list of items considered to be salvageable. Post-salvage, there are several organisations that may be contacted to understand their interest in taking the elements for restoration and repair of similar buildings and/or for distribution to landowners. These can be found in the below table.

Where possible, salvaged building fabric should first be considered for re-use within the project area and then offered to members of the local community prior to other interested parties (i.e. organisations dealing in the sale of salvaged material) being contacted.

Organisation	Contact	Comments
Balmain Association Inc	Email: Contactable through a form on their website located at the below link Website: https://balmainassociation.org.au/contact/	<ul style="list-style-type: none"> Covers Balmain, Birchgrove and Rozelle. Formed to preserve the best of the suburb's history, architecture and natural beauty. Aims to 'maintain all features having natural, architectural and or historical value of the area and keep a permanent collection of historical interest'.
Inner West Council	Phone: (02) 9392 5000 Email: council@innerwest.nsw.gov.au Website: https://www.innerwest.nsw.gov.au	<ul style="list-style-type: none"> Local Council for the Local Government Area (LGA) covering the suburb of Rozelle. Could be contacted to help facilitate communication between owners of locally listed properties within the Rozelle area and JHCPB JV.
Inner West Council Community History and Heritage Team	Email: history@innerwest.nsw.gov.au . Website: https://www.innerwest.nsw.gov.au/explore/libraries/community-history/contact-the-community-heritage-and-history-team	<ul style="list-style-type: none"> As above, the Inner West Council Community History and Heritage Team may be able to provide more heritage-specific LGA information and contacts for locally listed properties.
Historic Houses Association of Australia	Phone: (02) 9252 5554 Email: enquiries@hha.net.au Website: https://www.hha.net.au/	<ul style="list-style-type: none"> A registered charity and volunteer organisation that supports owners and promotes public interest in historic houses and properties throughout Australia.
Chippendale Restorations	Phone: (02) 9810 6066 Email: mail@chippendalerestorations.com.au Website: chippendalerestorations.com.au	<ul style="list-style-type: none"> Located in Rozelle. Specialises in antique recovery and restoration of interior and exterior fittings.
Heritage Building Centre	Phone: 02 9567 1322 Email: sales@heritagebuilding.com.au Website: https://www.heritagebuilding.com.au/	<ul style="list-style-type: none"> Specialises in the sale of material from 1850 to 1950. Stocks second hand, reproduction and recycled building materials.

6.1.2 Options for re-use of fabric

In addition to the dissemination of salvaged items to owners, community groups and interested parties, additional options include the sympathetic re-use of built heritage fabric within the project area for future heritage interpretation.

Utilising salvaged fabric from heritage buildings is an increasingly popular method of heritage interpretation for community sites. Re-use of heritage fabric in this way conveys a sense of dignity and respect for heritage places within the local community and can help support in creating a 'sense of place'.

Interpretive elements may include:

- Original building fabric installed as-is, with accompanying signage providing contextual information about the fabric,
- Original building fabric re-used for functional purposes such as seating or retaining walls, or
- Original building fabric elements utilised as part of public community art projects.

The below table identifies elements from the building fabric catalogue in Section 6.2 that may be re-used for interpretation, and examples of how similar re-use opportunities have been undertaken in other areas.

A Heritage Interpretation Strategy is being prepared for the Rozelle Interchange project (*WestConnex Stage 3 Rozelle Interchange Interpretation Strategy*, in preparation by Extent Heritage). The Interpretation Strategy should be developed in coordination with this Salvage Strategy. A catalogue of salvaged building fabric should be included within the Interpretation Strategy to ensure that interpretation options are adequately addressed. It is recommended that re-use of building fabric for heritage interpretation be limited to the Rozelle and wider Inner West area.

As the subject site will be demolished as part of the new Rozelle Interchange, the salvaged fabric will need to be moved to a new location, such as a park or community facility. It should be carefully removed without damage and stored in appropriate weather tight conditions prior to reuse.

Fabric	Potential re-use	Example
	Seating	 <p>Figure 13. Sandstone blocks used as bench seating (Source: Outdoor Design Source).</p>
Sandstone blocks and/or footings (#7)	Retaining walls	 <p>Figure 14. Sandstone blocks used as a retaining wall (Source: Brisbane Sandstone).</p>

Fabric	Potential re-use	Example
	<p>Interpretive paving or wall stones</p>	 <p>Figure 15. Sandstone blocks used as an interpretive wall (Source: Central Maitland Interpretation Plan 2014:35).</p>  <p>Figure 16. Sandstone blocks repurposed as interpretive paving (Source: Central Maitland Interpretation Plan 2014:25).</p>

Fabric	Potential re-use	Example
<p>Tiles (both exterior and fireplace) (#1-exterior and #14-interior)</p>	<p>Public art</p>	 <p>Figure 17. Community tile mosaic (Source: Carrie Reichardt)</p>  <p>Figure 18. Community tile mosaic (Source: Carrie Reichardt)</p>

Fabric	Potential re-use	Example
Threshold stones (Exterior #6)	Interpretive paving or wall stones	 <p data-bbox="1305 691 2051 746">Figure 19. Example of black slate paving that could then be laser cut or etched (Source: Ardosia Slate).</p>

7.2 Recommendations

6.2.1 Prior to Work

- Contractors should be briefed about the Heritage Condition of Consent regarding the requirement to salvage materials. The elements that have been identified for salvage, and how these materials should be managed, should be listed in a catalogue of materials for salvage should be kept on site for reference at all times.

6.2.2 During Work

Hazardous Materials

- At the discretion of JHCPB JV, salvage items that contain hazardous material such as lead paint should correctly labelled, with the particular hazardous material identified, and appropriately contained.
- At the discretion of JHCPB JV, where hazardous materials are identified that create a critical health and safety issue in relation to salvage or reuse, such as asbestos, these should be appropriately disposed of.

Removal of Material

- All fabric should be removed carefully to ensure its condition is not compromised.
- Extra care should be taken in the removal and storage of the fireplaces and associated fireplace tiles and tessellated tiles identified in this report to ensure that the condition of the fabric is not compromised or items damaged.
- Extra care should be taken in the removal and storage of pressed tin ceilings to ensure that the condition of the fabric is not compromised or damaged.
- Extra care should be taken in the removal of window and door elements. Windows/doors and associated components (sleeves, sashes, architraves, etc) and hardware (locks, handles, stays, etc) should be removed as one piece, or labelled as part of a group/assemblage. All grouped elements should be kept together.
- Any non-decorative ceiling plaster (not including mouldings, cornices, ceiling roses, etc.) does not require salvage. This should be documented in photographs and a record of it provided to the Heritage Advisor.
- A Heritage Advisor should be notified if other potential original (and salvageable) building fabric, which has not been identified in the salvage report, is identified during salvage or demolition works. A photograph should be emailed to the Heritage Advisor for assessment of its salvage potential prior to disposal.

- If any sandstone blocks are found to be present, either in building courses or foundation stones, where they are in good condition, (i.e. Ashlar blocks, these should be salvaged.
- If highly significant material will need to be physically impacted i.e. cut or damaged, in order to be salvaged, seek the advice of a Heritage Advisor on the most appropriate methodology to minimise the impact.

6.2.3 Storage

- All salvaged fabric should be stored in a dry, secure place after removal.
- Any corrosion on pressed metal ceiling should be treated prior to storage.
- All items should be clearly labelled for storage with building, room, and element number as identified in this report (as applicable). It should also be labelled with the date of removal, and date of storage.
- Any material that is wet or mouldy should not be stored in a sealed wrapping. Only store completely dry materials as mould spores can transfer to other materials.
- Do not store any materials that appears to have evidence of pest infestation (such as borer holes, termite frass, etc). These should be disposed of unless they are highly significant. Highly significant material suffering insect infestation should be treated prior to storage.
- The condition of the material should be inspected for mould, insect activity or other damage every three months and appropriate action taken as required.

6.2.4 Reuse of Salvaged Material

- The recommendations outlined in Section 7 of this report and presented in the figure below should be adhered to
- A list of salvaged fabric should be included within the Heritage Interpretation Strategy (in. prep) to ensure any interpretive elements are appropriate and comply with this strategy.



8. References

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