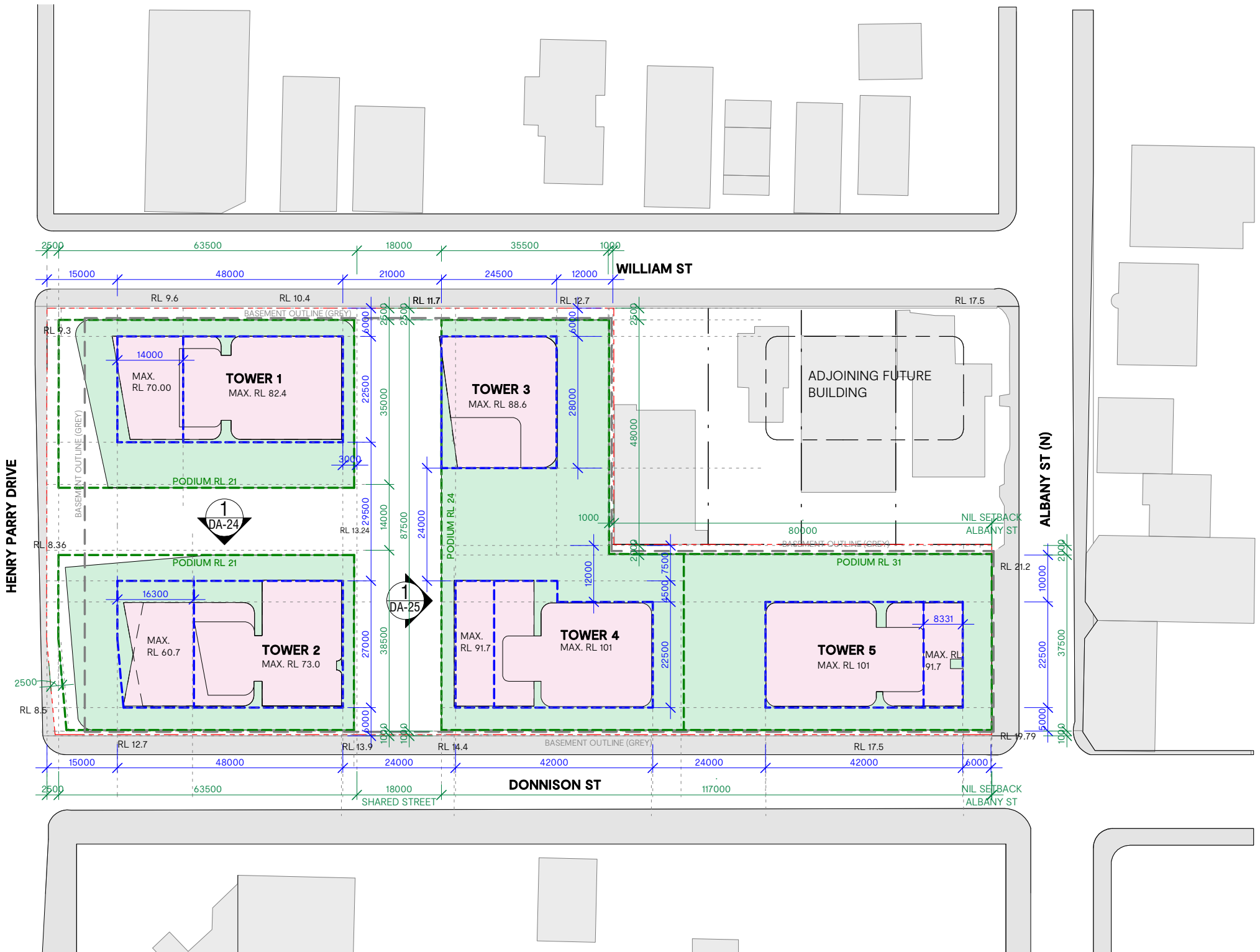




Approved Application No: SSD-9813

Granted on: 25 September 2020

Signed: JF Sheet No: 1 of 28



- XX TOWER SETOUTS
- XX PODIUM SETOUTS

- PROPOSED PODIUM ENVELOPE
- PROPOSED TOWER ENVELOPE
- EXAMPLE TOWER DESIGN (NOT FOR APPROVAL)
- EXAMPLE PODIUM DESIGN (NOT FOR APPROVAL)

Rev	Date	Description
D	27.09.19	STAGE 1 DEVELOPMENT APPLICATION
E	03.04.20	REVISED STAGE 1 DA
F	03.04.20	REVISED ISSUE
G	01.06.20	REVISED SOLAR STUDY
H	09.09.2020	RESPONSE TO IPC QUERIES

Project
GOSFORD ALIVE MASTERPLAN
136 DONNISON STREET, GOSFORD 2250

Project Number
218155

Status

Date Plotted 09-Sep-20 4:41:51 PM

Date Issued 08.09.2020

Scale

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Drawing Title

PROPOSED BUILDING ENVELOPE

Drawing Number
DA-02

BUCHAN



TOWER SETBACK	
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	PROPOSED TOWER ENVELOPE -17m setback at Henry Parry Drive for Tower 1 -15m setback at Henry Parry Drive for Tower 2 -6m setback at Donnison -6m setback at Albany St -6m setback at William St -12m setback from Adjoining plot

PODIUM SETBACK	
	GCC SEPP PODIUM SETBACK -0m Setback upto 9.5m at Henry parry drive and part of Donnison St and William St -0m Setback upto 15m to the remainder street -2.5m Setback from 9.5m to 15m
	PROPOSED PODIUM ENVELOPE -2.5m setback at Henry Parry Drive -1m setback at Donnison St -NIL setback at Albany St -2.5m setback at William St

	RETAIL
	COMMERCIAL
	LOBBY
	COMMON AREA
	CARPARK
	SERVICES
	EXAMPLE TOWER DESIGN (NOT FOR APPROVAL)

Rev	Date	Description
D	27.09.19	STAGE 1 DEVELOPMENT APPLICATION
E	03.04.20	REVISED STAGE 1 DA
F	01.06.20	REVISED ISSUE

Project
GOSFORD ALIVE MASTERPLAN
136 DONNISON STREET, GOSFORD 2250

Project Number
218155

Status

Date Plotted 02-Jun-20 9:43:58 AM
Date Issued
Scale
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Drawing Title
**MASTERPLAN - ELEVATION HENRY
PARRY DRIVE**

Drawing Number
DA-20

BUCHAN



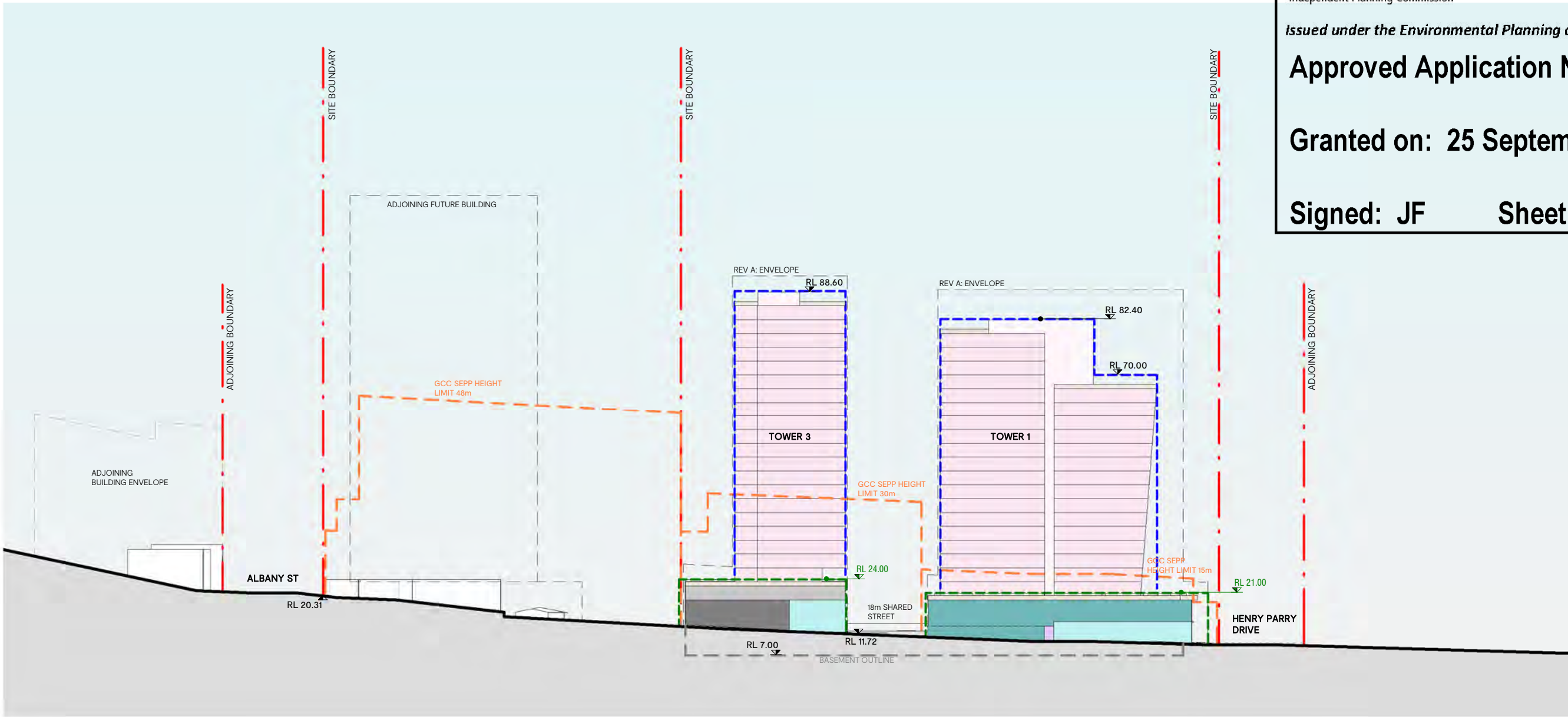
New South Wales Government
Independent Planning Commission

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-9813

Granted on: 25 September 2020

Signed: JF Sheet No: 3 of 28



TOWER SETBACK

- GCC TOWER SETBACK
-6m from all streets
- PROPOSED TOWER ENVELOPE
-17m setback at Henry Parry Drive for Tower 1
-15m setback at Henry Parry Drive for Tower 2
-6m setback at Donnison
-6m setback at Albany St
-6m setback at William St
-12m setback from Adjoining plot

PODIUM SETBACK

- GCC SEPP PODIUM SETBACK
-0m Setback upto 9.5m at Henry parry drive and part of Donnison St and William St
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- PROPOSED PODIUM ENVELOPE
-2.5m setback at Henry Parry Drive
-1m setback at Donnison St
-NIL setback at Albany St
-2.5m setback at William St

	RETAIL
	COMMERCIAL
	LOBBY
	COMMON AREA
	CARPARK
	SERVICES
	EXAMPLE TOWER DESIGN (NOT FOR APPROVAL)

Rev	Date	Description
D	27.09.19	STAGE 1 DEVELOPMENT APPLICATION
E	03.04.20	REVISED STAGE 1 DA
F	01.06.20	REVISED ISSUE

Project
GOSFORD ALIVE MASTERPLAN
136 DONNISON STREET, GOSFORD 2250

Project Number
218155

Status

Date Plotted 02-Jun-20 9:43:59 AM

Date Issued

Scale 1 : 1000 @A3

Drawing Title

MASTERPLAN - ELEVATION
WILLIAM ST

Drawing Number
DA-21

BUCHAN



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Granted on: 25 September 2020

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TOWER SETBACK

- GCC TOWER SETBACK
-6-8m from all streets
- PROPOSED TOWER ENVELOPE
-17m setback at Henry Parry Drive for Tower 1
-15m setback at Henry Parry Drive for Tower 2
-6m setback at Donnison
-6m setback at Albany St
-6m setback at William St
-12m setback from Adjoining plot

PODIUM SETBACK

- GCC SEPP PODIUM SETBACK
-0m Setback upto 9.5m at Henry parry drive and part of Donnison St and William St
-0m Setback upto 15m to the remainder street
-2.5m Setback from 9.5m to 15m
- PROPOSED PODIUM ENVELOPE
-2.5m setback at Henry Parry Drive
-1m setback at Donnison St
-NIL setback at Albany St
-2.5m setback at William St

- RETAIL
- COMMERCIAL
- LOBBY
- COMMON AREA
- CARPARK
- SERVICES
- EXAMPLE TOWER DESIGN (NOT FOR APPROVAL)

Rev	Date	Description
D	27.09.19	STAGE 1 DEVELOPMENT APPLICATION
E	03.04.20	REVISED STAGE 1 DA
F	01.06.20	REVISED ISSUE

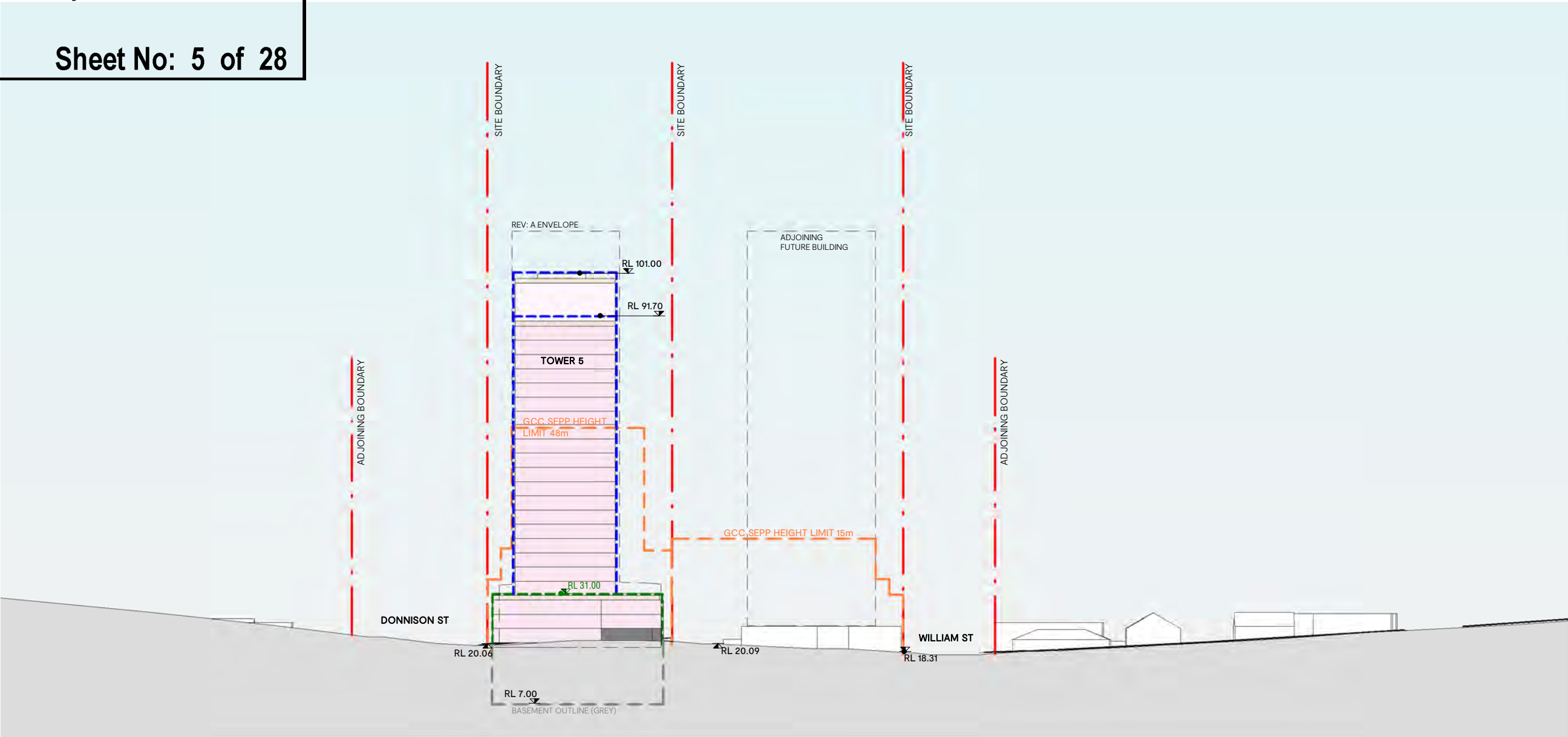
Project
GOSFORD ALIVE MASTERPLAN
136 DONNISON STREET, GOSFORD 2250

Project Number
218155

Status
Date Plotted 02-Jun-20 9:44:02 AM
Date Issued
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Drawing Title
**MASTERPLAN-ELEVATION
DONNISON STREET**
Drawing Number
DA-22

BUCHAN



TOWER SETBACK

- GCC TOWER SETBACK
-6-8m from all streets
- PROPOSED TOWER ENVELOPE
-17m setback at Henry Parry Drive for Tower 1
-15m setback at Henry Parry Drive for Tower 2
-6m setback at Donnison
-6m setback at Albany St
-6m setback at William St
-12m setback from Adjoining plot

PODIUM SETBACK

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- PROPOSED PODIUM ENVELOPE
-2.5m setback at Henry Parry Drive
-1m setback at Donnison St
-NIL setback at Albany St
-2.5m setback at William St

LEGEND

- RETAIL
- COMMERCIAL
- LOBBY
- COMMON AREA
- CARPARK
- SERVICES
- EXAMPLE TOWER DESIGN (NOT FOR APPROVAL)

Rev	Date	Description
D	27.09.19	STAGE 1 DEVELOPMENT APPLICATION
E	03.04.20	REVISED STAGE 1 DA
F	01.06.20	REVISED ISSUE

Project
GOSFORD ALIVE MASTERPLAN
136 DONNISON STREET, GOSFORD 2250

Project Number
218155

Status

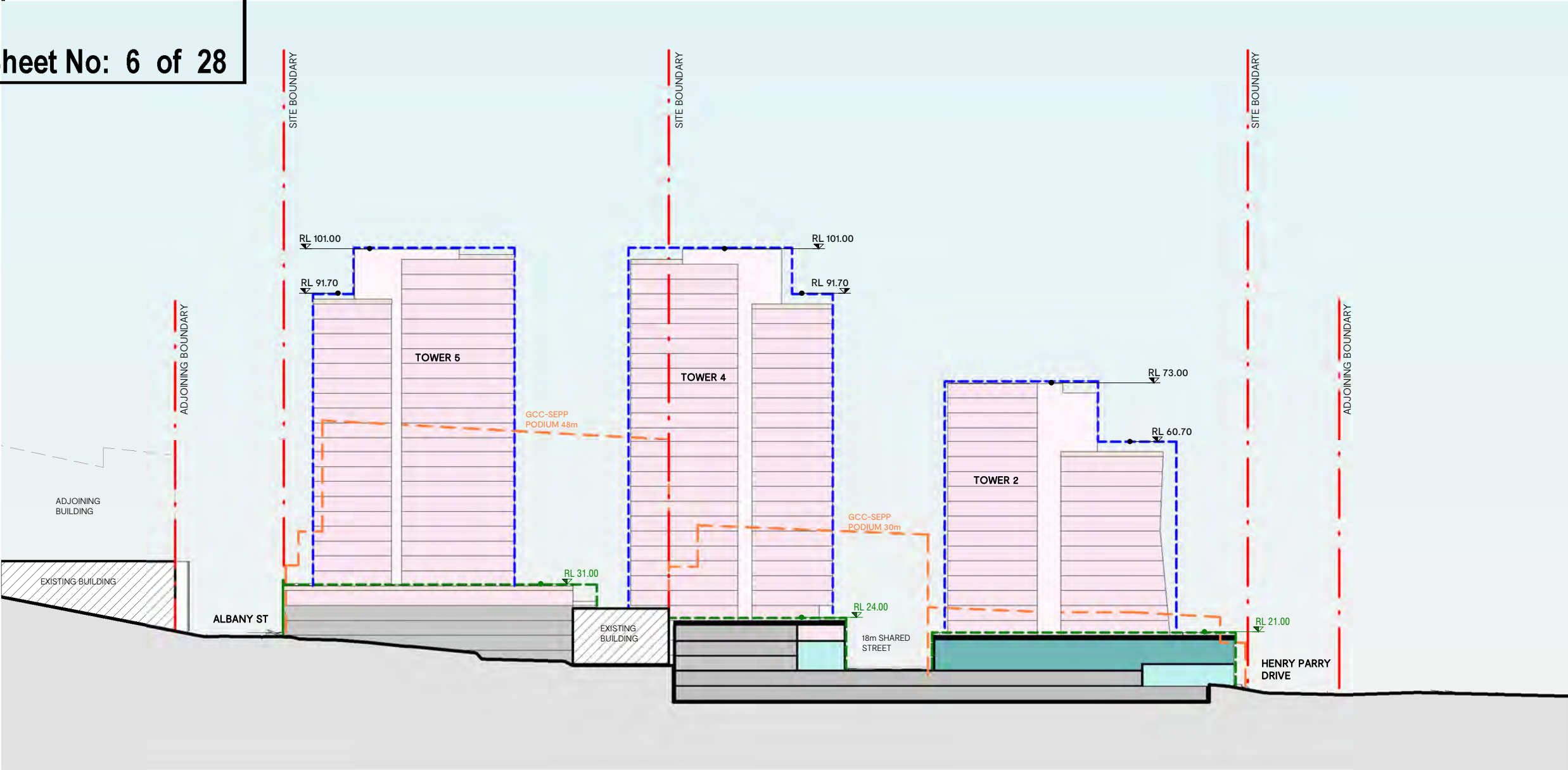
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Date Issued

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Drawing Title
**MASTERPLAN - ELEVATION
ALBANY ST (N)**

Drawing Number
DA-23



TOWER SETBACK

- GCC TOWER SETBACK
-6-8m from all streets
- PROPOSED TOWER ENVELOPE
-17m setback at Henry Parry Drive for Tower 1
-15m setback at Henry Parry Drive for Tower 2
-6m setback at Donnison
-6m setback at Albany St
-6m setback at William St
-12m setback from Adjoining plot

PODIUM SETBACK

- GCC SEPP PODIUM SETBACK
-0m Setback upto 9.5m at Henry parry drive and part of Donnison St and William St
-0m Setback upto 15m to the remainder street
-2.5m Setback from 9.5m to 15m
- PROPOSED PODIUM ENVELOPE
-2.5m setback at Henry Parry Drive
-1m setback at Donnison St
-NIL setback at Albany St
-2.5m setback at William St

	RETAIL
	COMMERCIAL
	LOBBY
	COMMON AREA
	CARPARK
	SERVICES
	EXAMPLE TOWER DESIGN (NOT FOR APPROVAL)

Rev	Date	Description
D	27.09.19	STAGE 1 DEVELOPMENT APPLICATION
E	03.04.20	REVISED STAGE 1 DA
F	01.06.20	REVISED ISSUE

Project
GOSFORD ALIVE MASTERPLAN
136 DONNISON STREET, GOSFORD 2250

Project Number
218155

Status

Date Plotted 02-Jun-20 9:44:04 AM

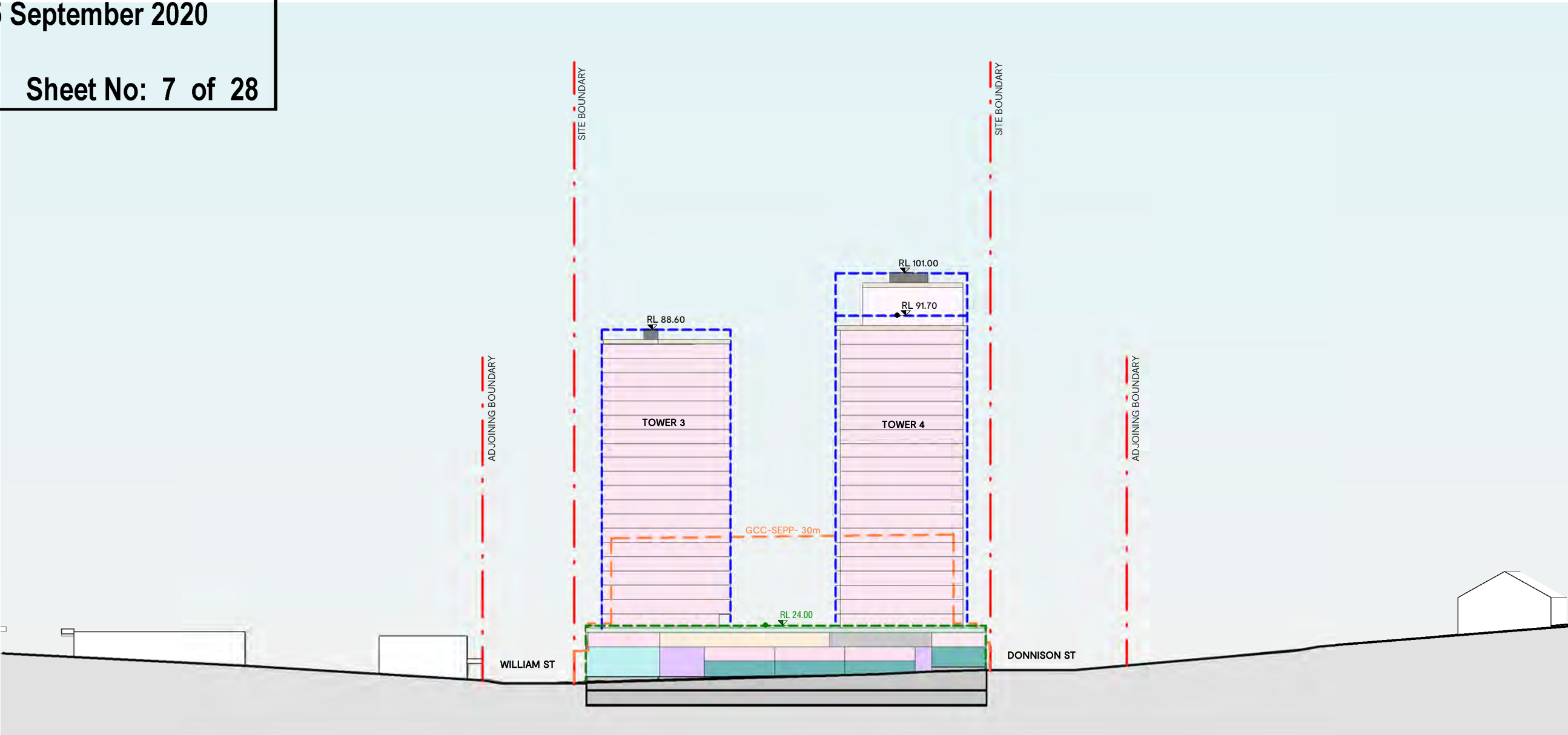
Date Issued

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Drawing Title
MASTERPLAN - SECTION A

Drawing Number
DA-24

BUCHAN



TOWER SETBACK

- GCC TOWER SETBACK
-6-8m from all streets
- PROPOSED TOWER ENVELOPE
-17m setback at Henry Parry Drive for Tower 1
-15m setback at Henry Parry Drive for Tower 2
-6m setback at Donnison
-6m setback at Albany St
-6m setback at William St
-12m setback from Adjoining plot

PODIUM SETBACK

- GCC SEPP PODIUM SETBACK
-0m Setback upto 9.5m at Henry parry drive and part of Donnison St and William St
-0m Setback upto 15m to the remainder street
-2.5m Setback from 9.5m to 15m
- PROPOSED PODIUM ENVELOPE
-2.5m setback at Henry Parry Drive
-1m setback at Donnison St
-NIL setback at Albany St
-2.5m setback at William St

- RETAIL
- COMMERCIAL
- LOBBY
- COMMON AREA
- CARPARK
- SERVICES
- EXAMPLE TOWER DESIGN (NOT FOR APPROVAL)

Rev	Date	Description
D	27.09.19	STAGE 1 DEVELOPMENT APPLICATION
E	03.04.20	REVISED STAGE 1 DA
F	01.06.20	REVISED ISSUE

Project
GOSFORD ALIVE MASTERPLAN
136 DONNISON STREET, GOSFORD 2250

Project Number
218155

Status

Date Plotted 02-Jun-20 9:44:06 AM

Date Issued

Scale 1 : 1000 @A3

Drawing Title

MASTERPLAN - SECTION B

Drawing Number
DA-25

BUCHAN

LANDSCAPE MASTER PLAN



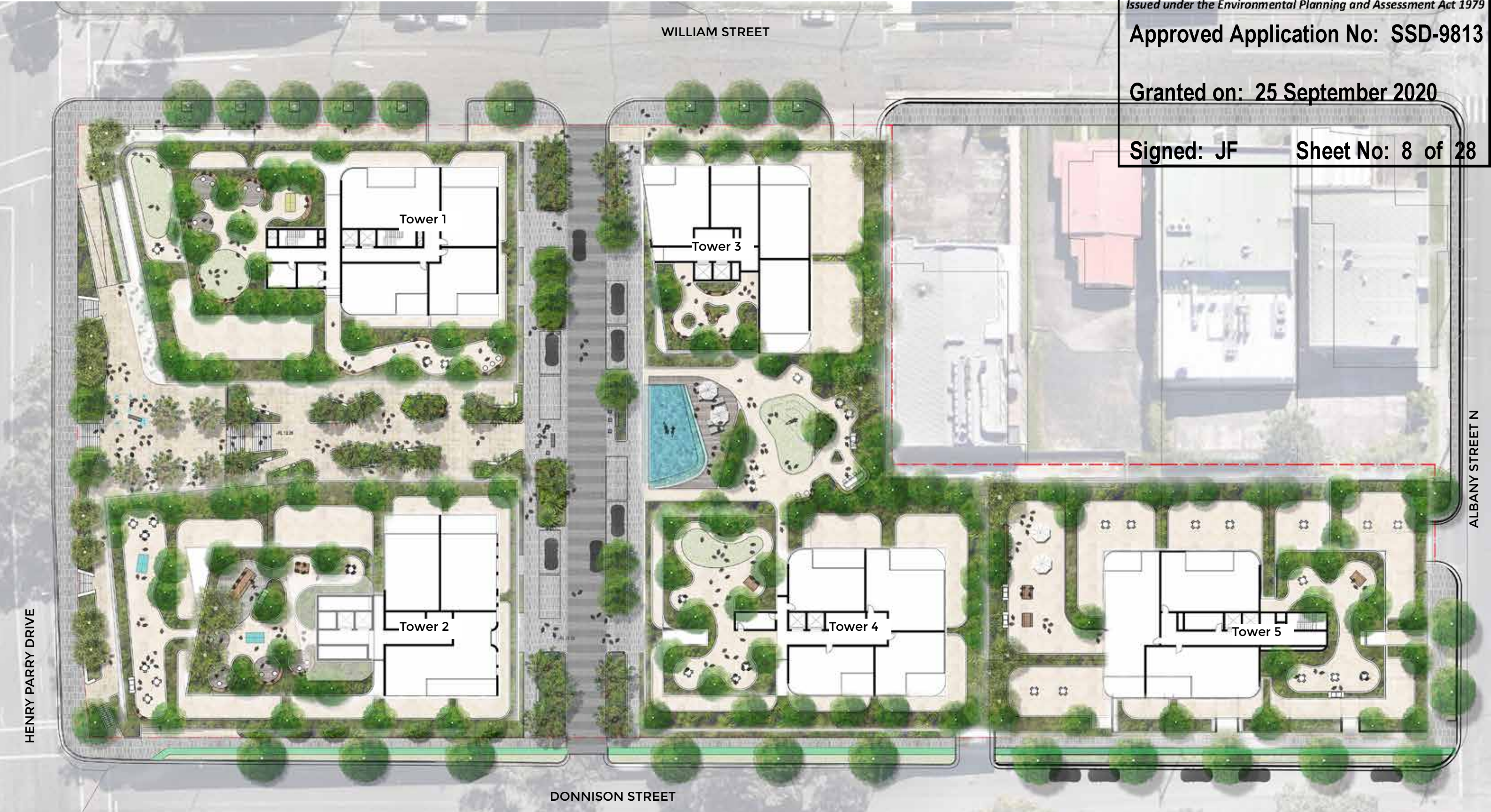
New South Wales Government
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Approved Application No: SSD-9813

Granted on: 25 September 2020

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GROUND FLOOR - LANDSCAPE PLAN



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SCALE 1:500 @ A3

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PODIUM LEVEL - LANDSCAPE PLAN



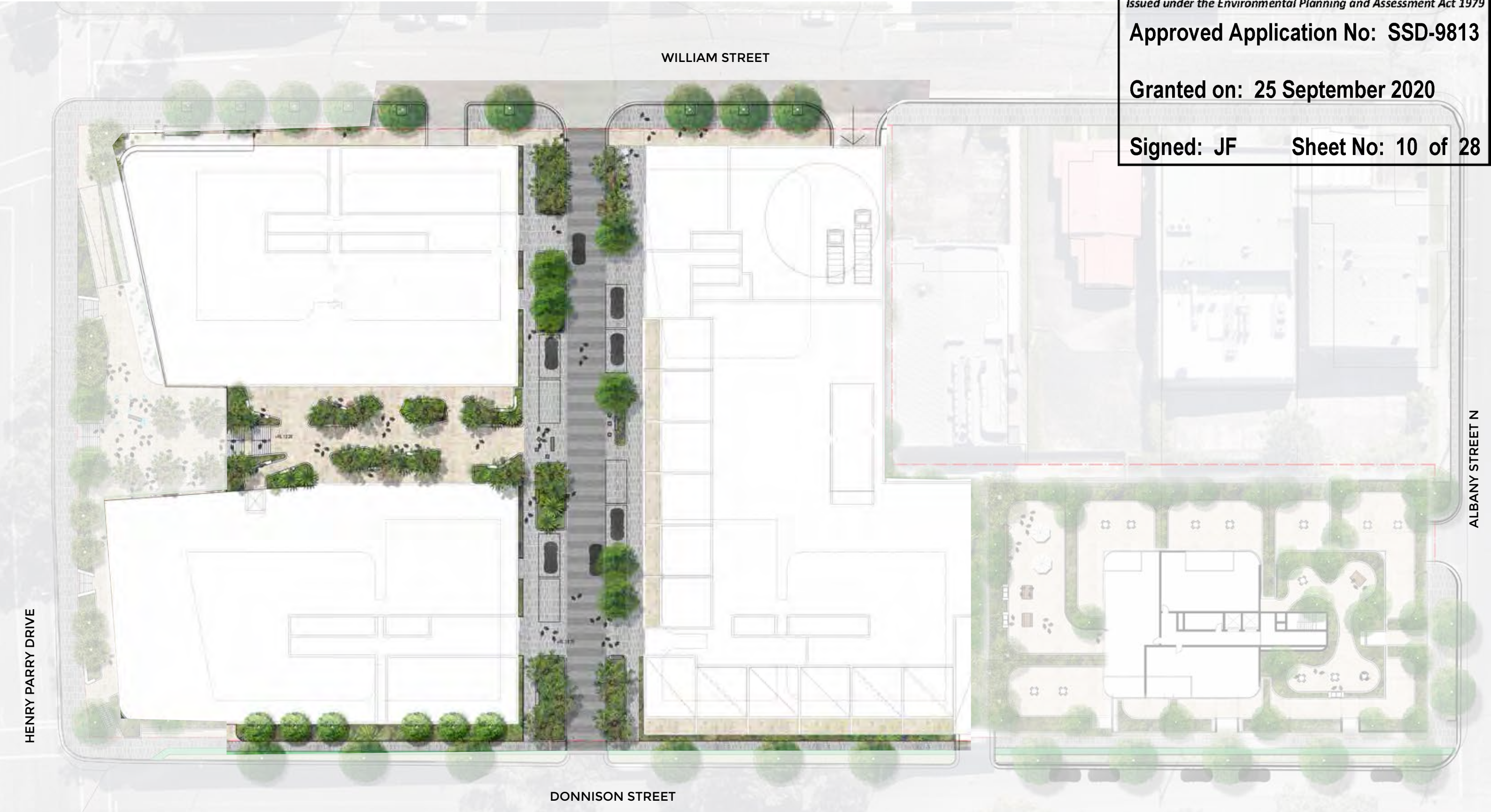
New South Wales Government
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Approved Application No: SSD-9813

Granted on: 25 September 2020

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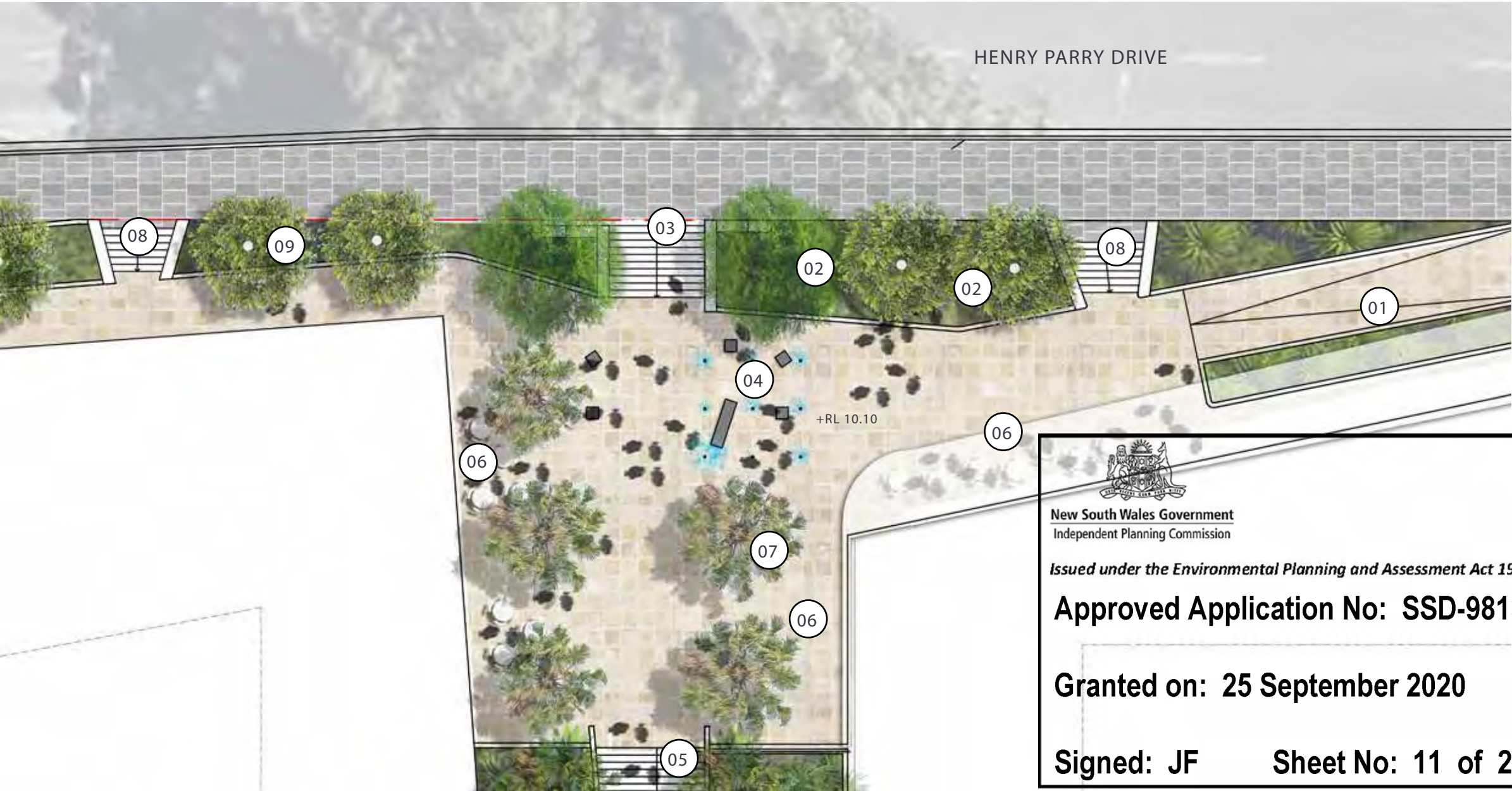
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LANDSCAPE DETAIL PLAN

URBAN FORECOURT



LEGEND

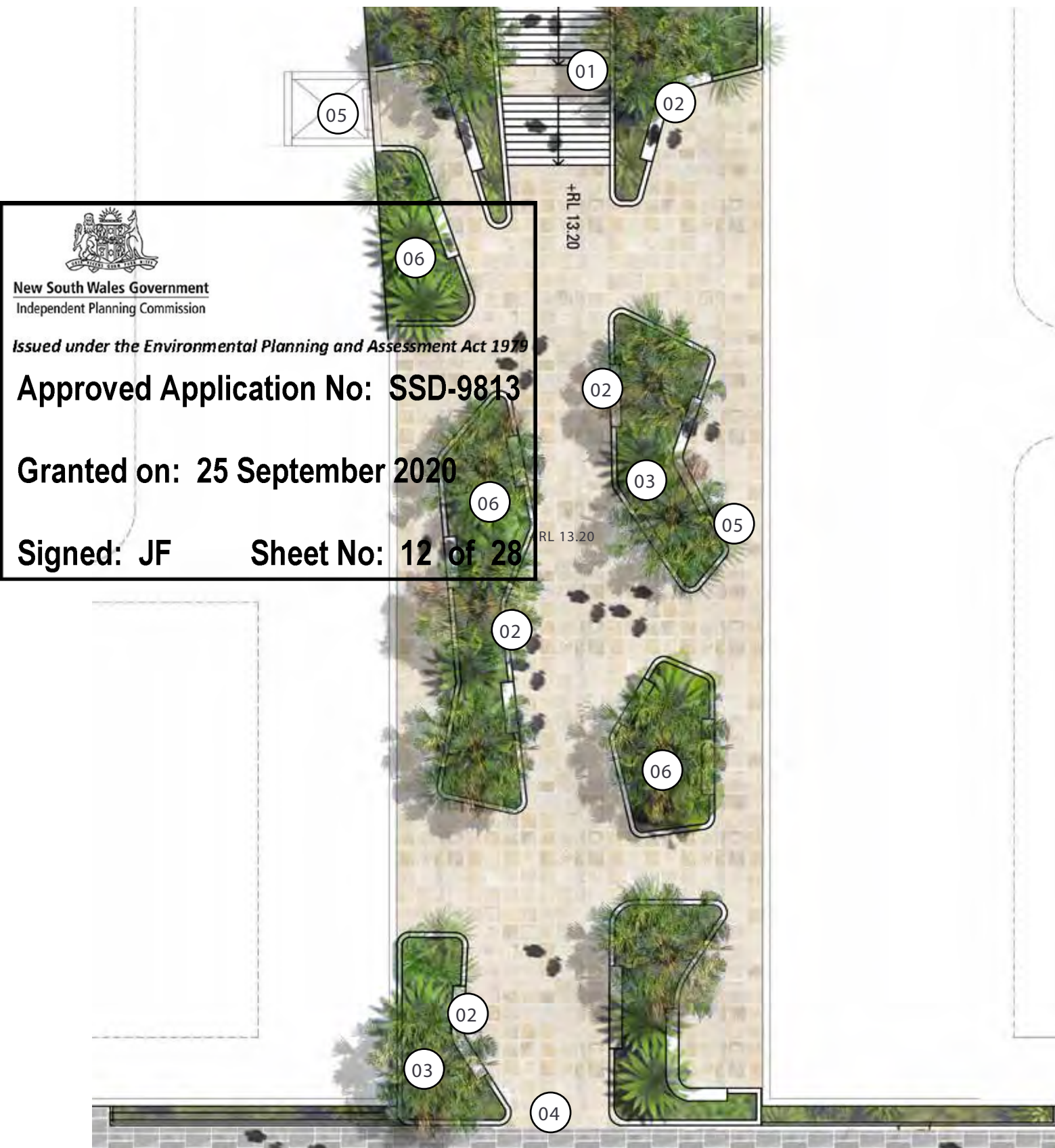
- 01 Ramp entry to urban forecourt from Henry Parry Drive
- 02 Sloped embankment planting as buffer to street
- 03 Main stair entry connection to future park connection
- 04 Sandstone seating
- 05 Stair entry to podium level
- 06 Open forecourt area suitable for use for future tenancies
- 07 Palms delineating tenancy boundaries and wayfinding continuity
- 08 Secondary stairs access
- 09 Inclusion of additional native trees for shade protection from western sun

KEY PLAN



LANDSCAPE DETAIL PLAN

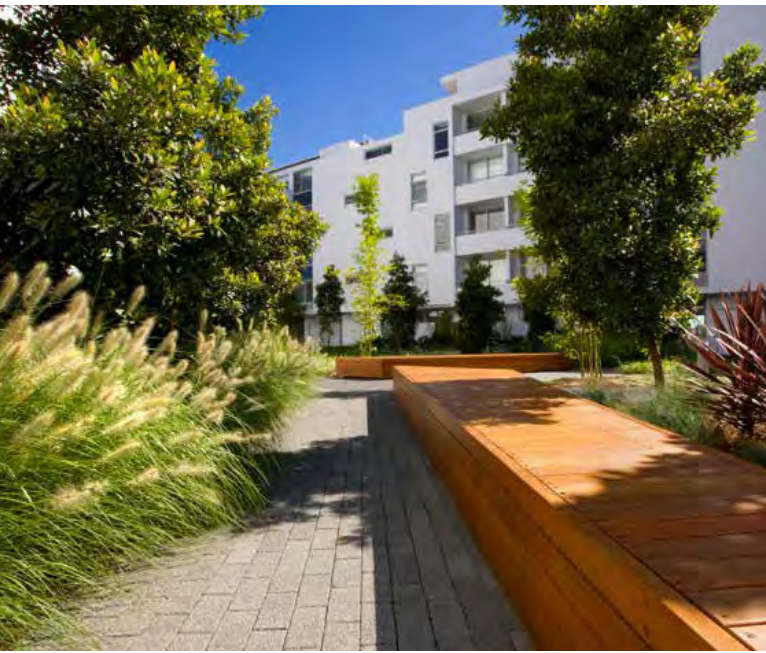
THE GULLY



LEGEND

- 01 Stairs leading to Gully from urban forecourt area
- 02 Small passive seating areas along thoroughfare
- 03 Feature palm trees
- 04 Threshold to through site link
- 05 Lift entry
- 06 Planted screening to commercial facade

KEY PLAN



LANDSCAPE DETAIL PLAN

THROUGH SITE LINK



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KEY PLAN



LEGEND

- 01 Vehicle entries/exits to both William and Donnison Street
- 02 Access to lobbies
- 03 Sandstone seats serve as informal bollards seamlessly apart of the street language
- 04 Private residents courtyard
- 05 Residents parking
- 06 Planted screening buffer for residents privacy fronting street
- 07 Raised planting boxes to allow for mature tree planting on podium
- 08 Large palms to entry of shareway
- 09 Retail tenancy
- 10 Outdoor tenancy seating
- 11 Footpath thoroughfare



LANDSCAPE DETAIL PLAN

TOWER 1 - LANDSCAPE PODIUM LEVEL 05



KEY PLAN



LEGEND

- 01/ Communal turf
- 02/ Spectator bench
- 03/ Flexible furniture for small groups
- 04/ Screening planting to private open space
- 05/ Communal bench with flexible tables





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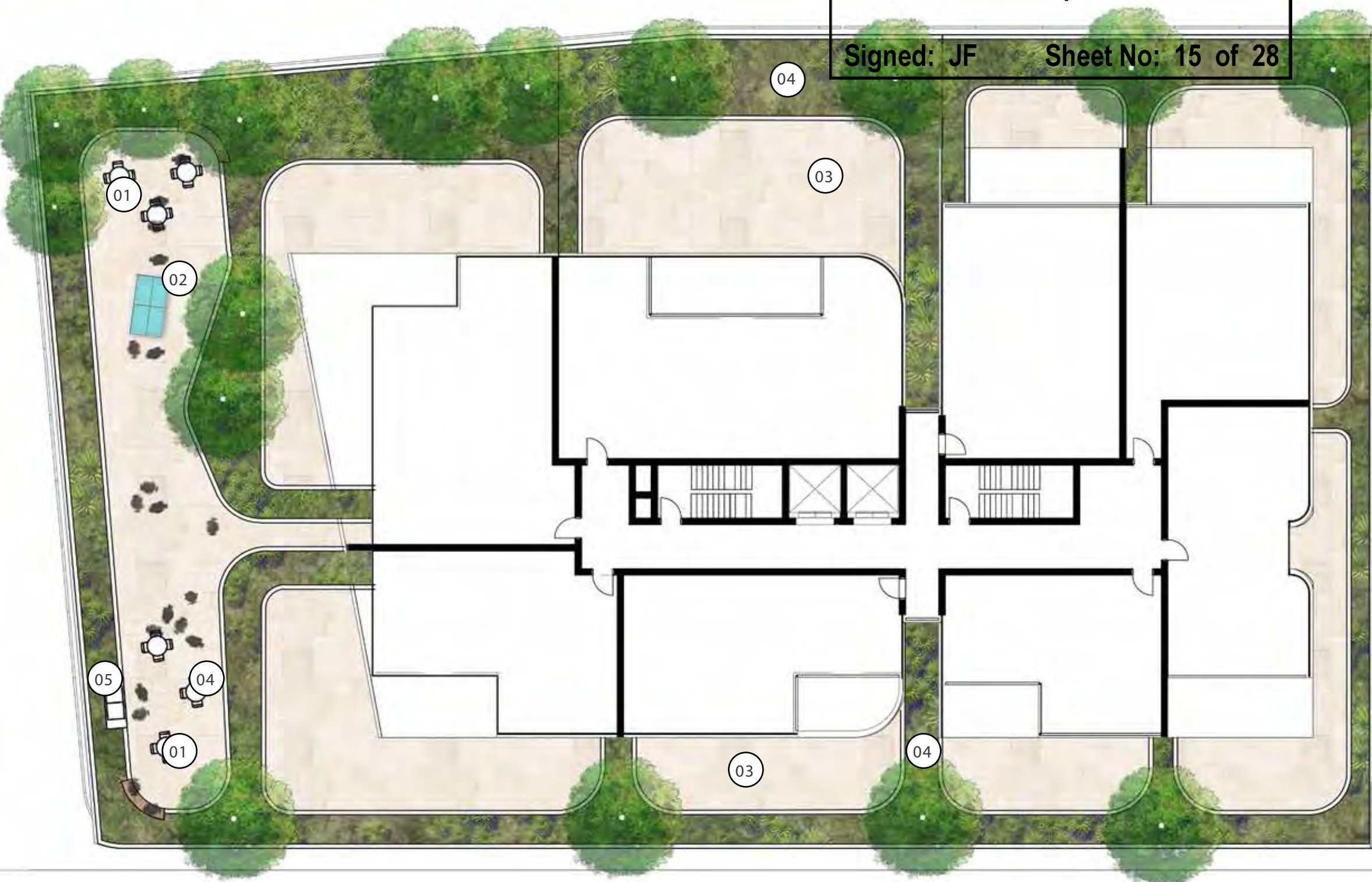
Approved Application No: SSD-9813

Granted on: 25 September 2020

Signed: JF Sheet No: 15 of 28

LANDSCAPE DETAIL PLAN

TOWER 2 - LANDSCAPE PODIUM LEVEL 05



KEY PLAN



LEGEND

- 01/ Flexible furniture for small groups
- 02/ Ping Pong tables
- 03/ Private open space
- 04/ Buffer planting for screening
- 05/ Integrated BBQ and kitchen bench





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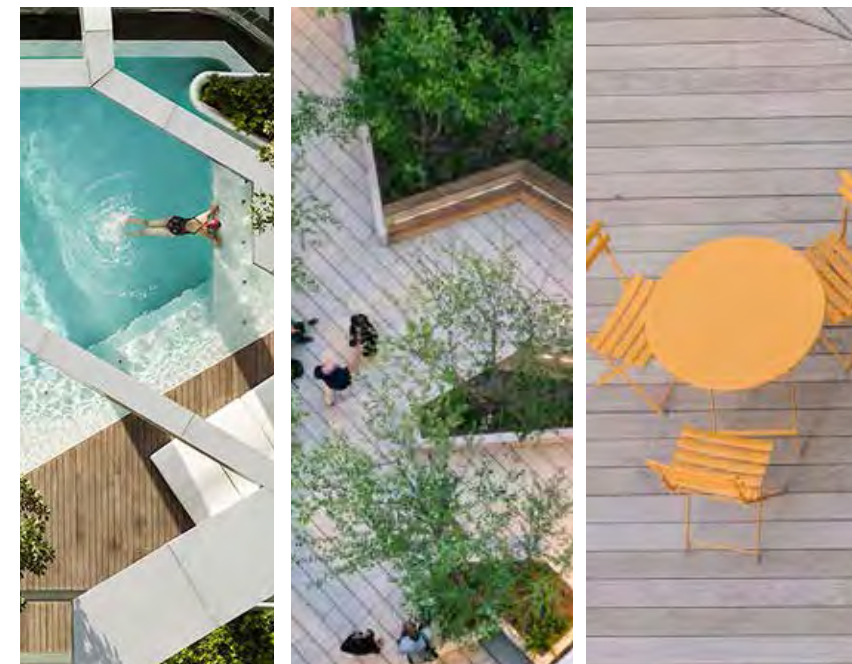
Signed: JF

Sheet No: 16 of 28

LANDSCAPE DETAIL PLAN

LANDSCAPE PODIUM LEVEL 06

ADJOINING FUTURE BUILDING



LEGEND

- 01/ Communal pool and with sun lounge deck
- 02/ Raised planters
- 03/ Screening planting to car park facade
- 04/ Open lawn areas
- 05/ Communal bbq and dining amenity for larger groups
- 06/ Passive seating areas for smaller groups
- 07/ Planting buffer to edges of podium space
- 08/ Small to medium native trees for shade protection
- 09/ Private open space

KEY PLAN



0 2 4 8 12 16M

ARCADIA

GOSFORD ALIVE



PREPARED BY Arcadia Landscape Architecture
CLIENT Lederer Group
ARCHITECT Buchan Group

DATE April 2020
SCALE 1:400 @ A3
ISSUE G

LANDSCAPE DETAIL PLAN

TOWER 5 - LANDSCAPE PDOIUM LEVEL 07





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Approved Application No: SSD-9813

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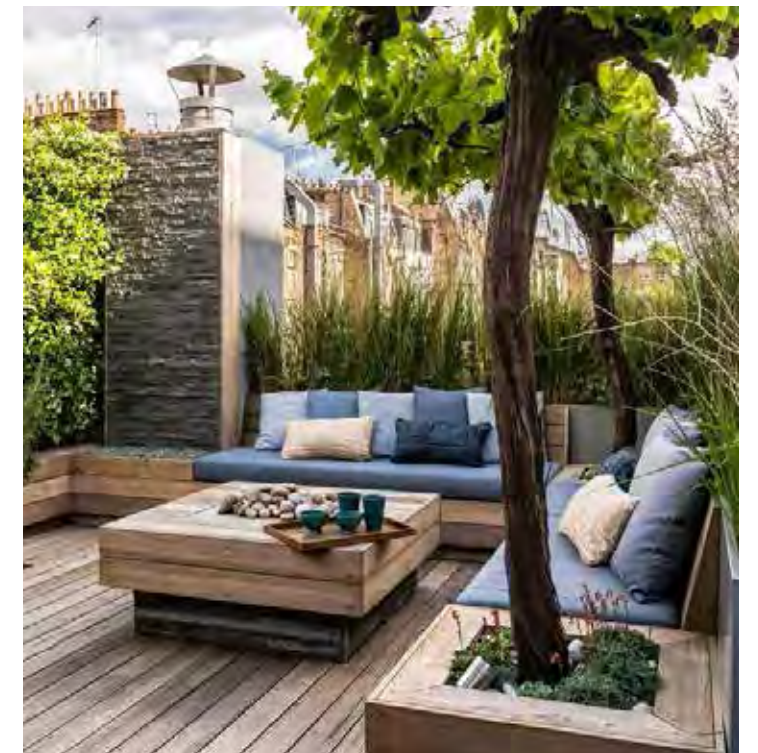
Signed: JF Sheet No: 17 of 28

KEY PLAN



LEGEND

- 01/ Private open space
- 02/ Communal open space
- 03/ Bar table
- 04/ Enclosed BBQ
- 05/ Picnic bench for small gatherings
- 06/ Mass raised planter for passive screening



LANDSCAPE DETAIL PLAN

TOWER 5 - LANDSCAPE PDIOIUM LEVEL 08





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Approved Application No: SSD-9813

Granted on: 25 September 2020

Signed: JF Sheet No: 18 of 28

KEY PLAN



LEGEND

- 01/ Private open space
- 02/ Mass raised planter for passive screening



LANDSCAPE DETAIL PLAN

TOWER 2 - LANDSCAPE PODIUM LEVEL 17



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Approved Application No: SSD-9813

Granted on: 25 September 2020

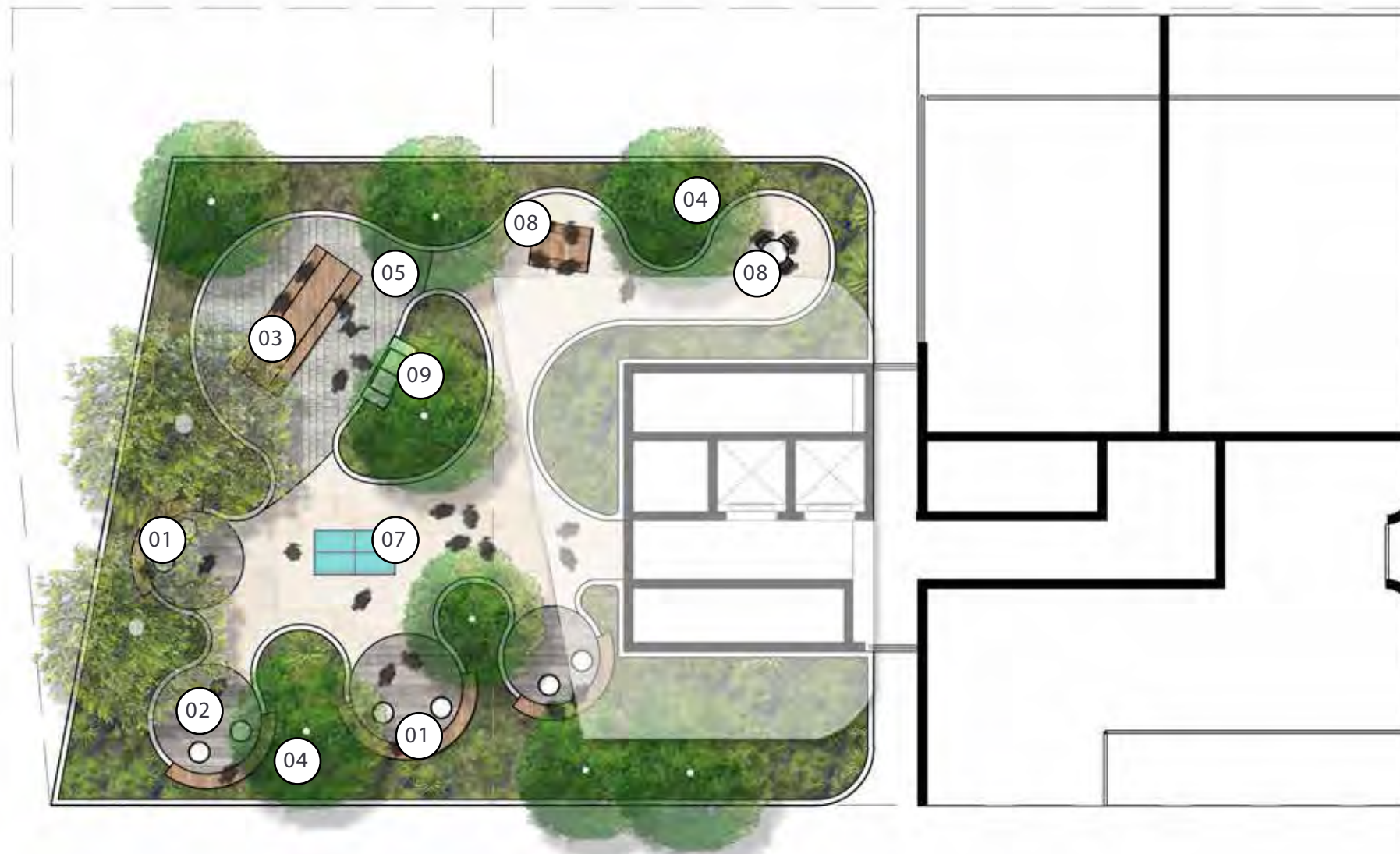
Signed: JF Sheet No: 19 of 28

KEY PLAN



LEGEND

- 01/ Medium size meeting nooks with work table
- 02/ Timber deck
- 03/ Communal bench
- 04/ Feature cobble paving
- 05/ Buffer planting
- 06/ Specimen trees
- 07/ Ping Pong tables
- 08/ Small gathering nooks
- 09/ Integrated BBQ bench





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Approved Application No: SSD-9813

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LANDSCAPE DETAIL PLAN

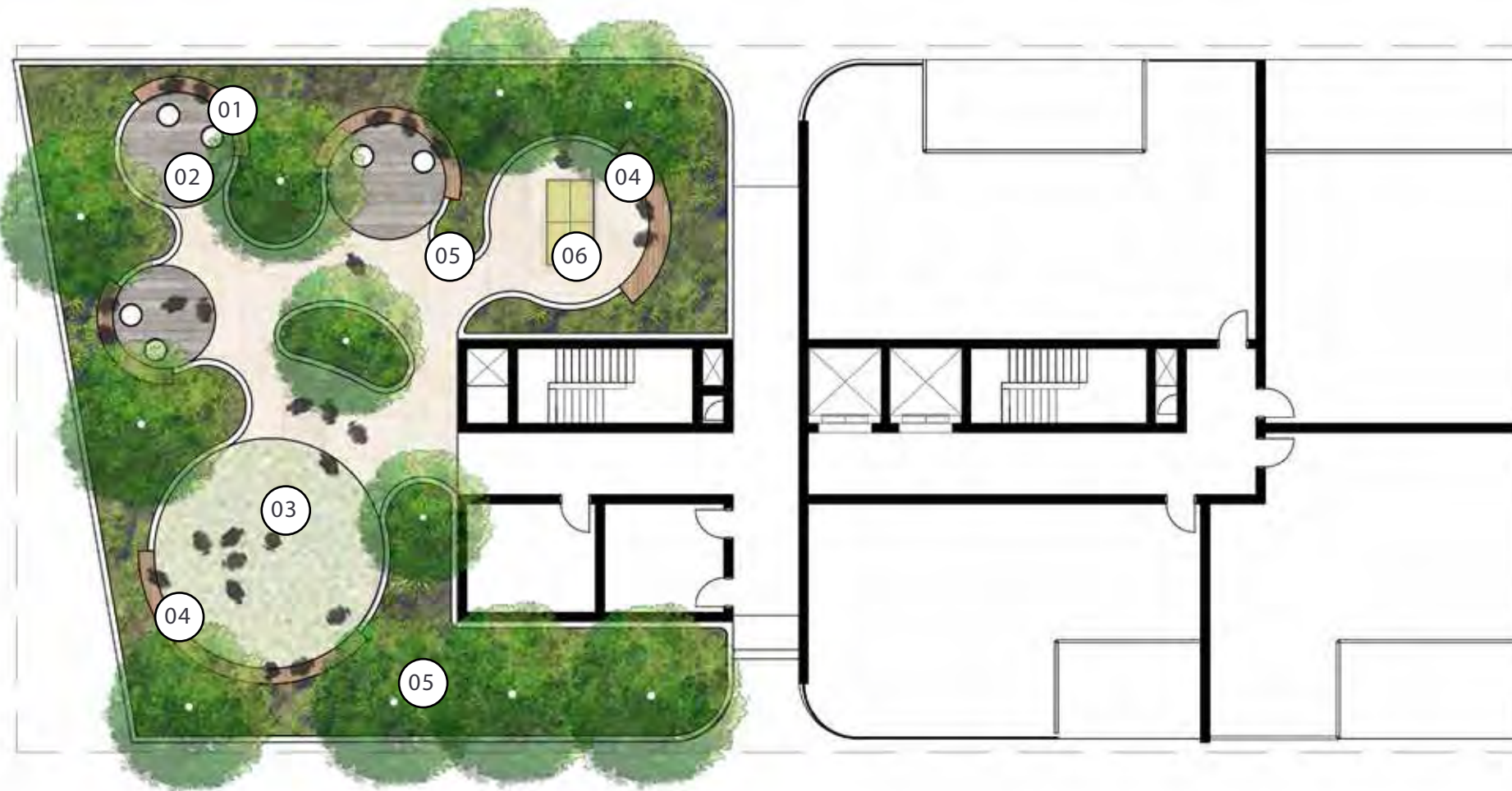
TOWER 1 - LANDSCAPE PODIUM LEVEL 20

KEY PLAN



LEGEND

- 01/ Medium size meeting nooks with work table
- 02/ Timber deck
- 03/ Communal turf
- 04/ Spectator bench
- 05/ Buffer planting
- 06/ Ping Pong tables



LANDSCAPE DETAIL PLAN

TOWER 1 - LANDSCAPE PODIUM LEVEL 25



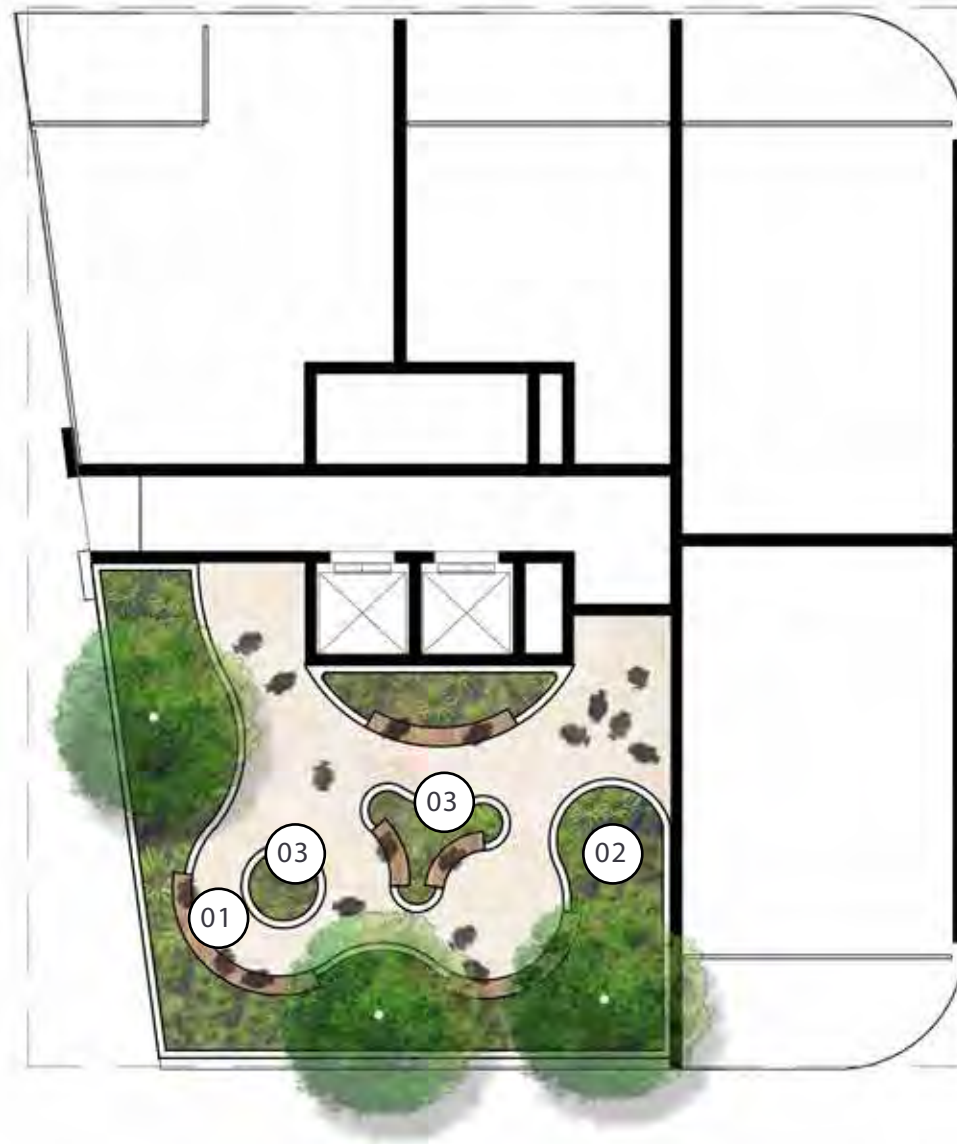
New South Wales Government
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Approved Application No: SSD-9813

Granted on: 25 September 2020

Signed: JF Sheet No: 21 of 28



KEY PLAN



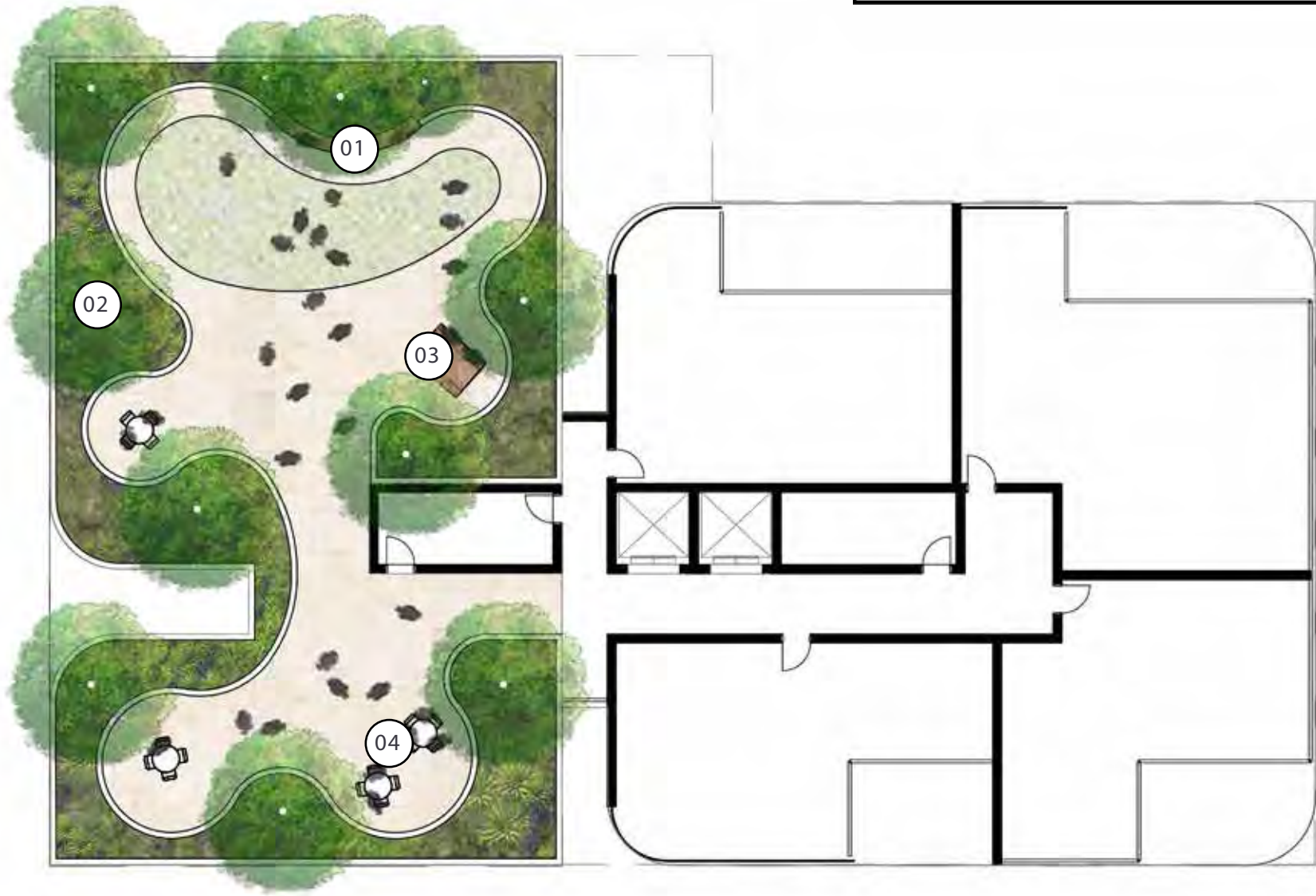
LEGEND

- 01/ Integrated communal bench
- 02/ Buffer planting
- 03/ Sensory Garden



LANDSCAPE DETAIL PLAN

TOWER 4 - LANDSCAPE PODIUM LEVEL 27



KEY PLAN



LEGEND

- 01/ Spectator bench
- 02/ Buffer planting
- 03/ Picnic bench for intimate gatherings
- 04/ Meeting nooks with flexible furniture



LANDSCAPE DETAIL PLAN

TOWER 5 - LANDSCAPE PODIUM LEVEL 27



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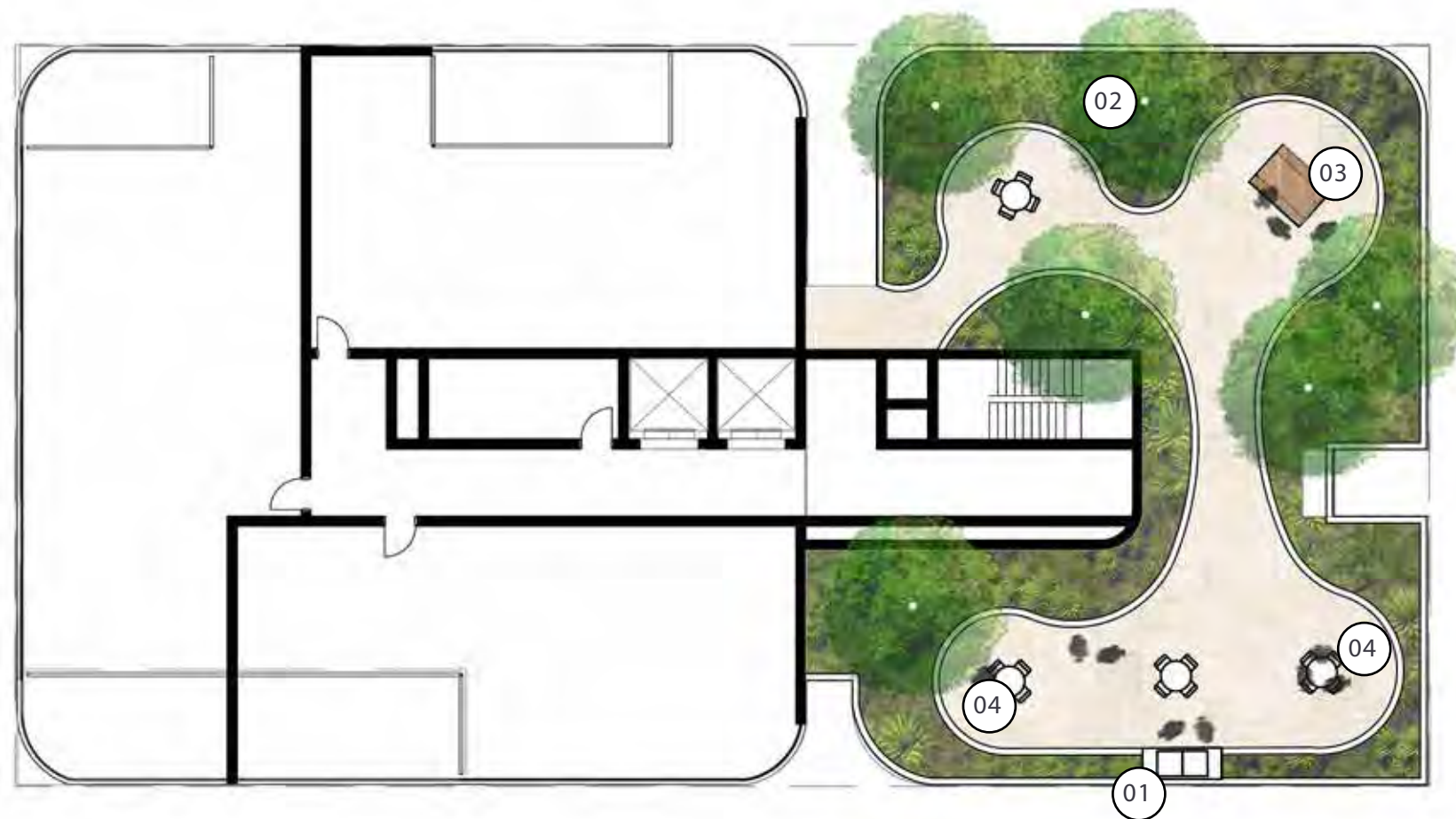
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-9813

Granted on: 25 September 2020

Signed: JF

Sheet No: 23 of 28



KEY PLAN



LEGEND

- 01/ BBQ Bench with kitchen bench
- 02/ Buffer planting
- 03/ Picnic bench for intimate gatherings
- 04/ Meeting nooks with flexible furniture





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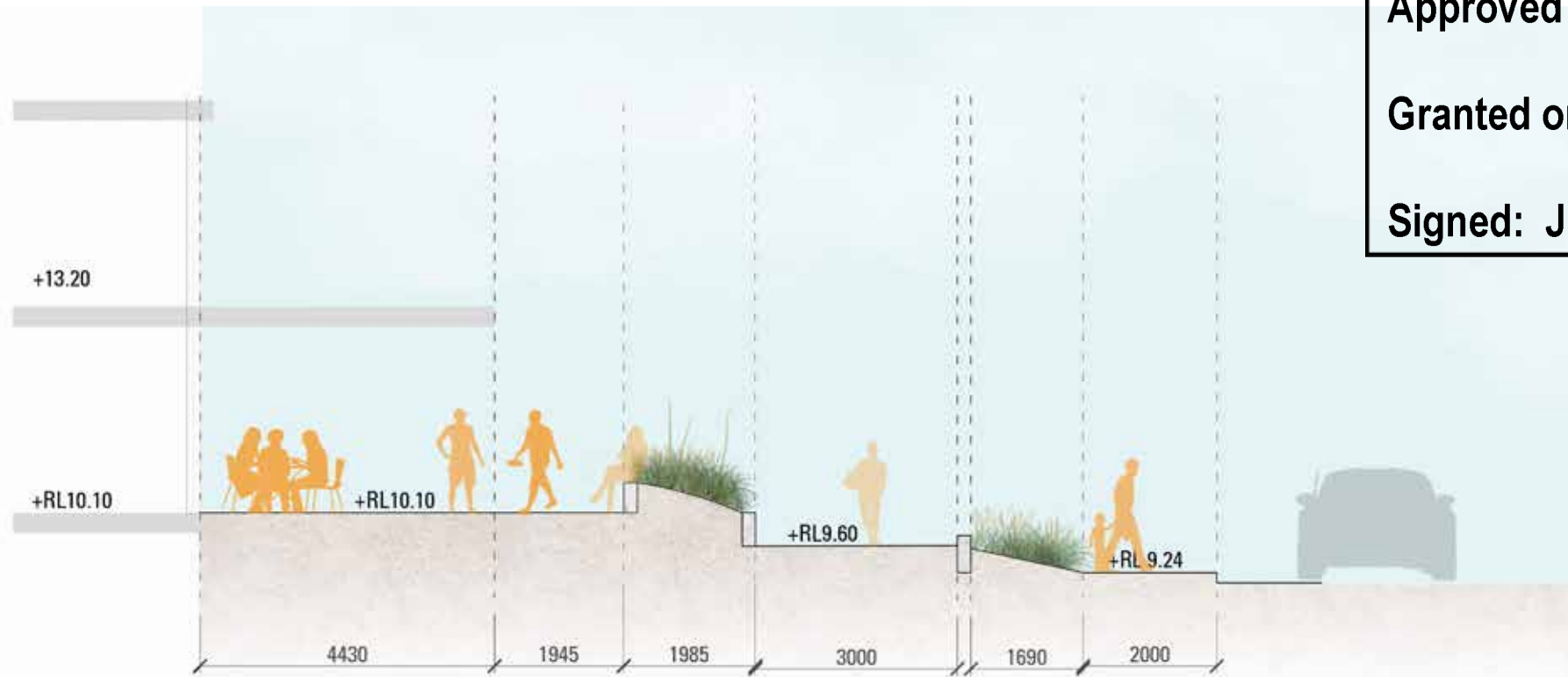
Issued under the Environmental Planning and Assessment Act 1979

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Granted on: 25 September 2020

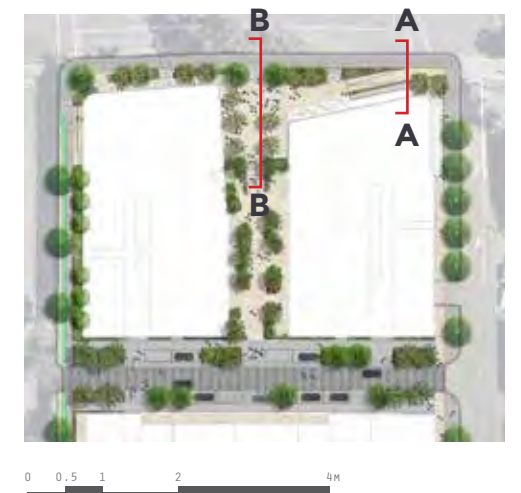
Signed: JF Sheet No: 24 of 28

LANDSCAPE SECTIONS



SECTION A - URBAN FORECOURT

KEY PLAN



SECTION B - URBAN FORECOURT

ARCADIA

GOSFORD ALIVE

PREPARED BY Arcadia Landscape Architecture
CLIENT Lederer Group
ARCHITECT Buchan Group

DATE April 2020
SCALE 1:100 @ A3
ISSUE G

LANDSCAPE SECTIONS



KEY PLAN



SECTION C - PODIUM 'GULLY' LANDSCAPE





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Approved Application No: SSD-9813

Granted on: 25 September 2020

Signed: JF **Sheet No: 25 of 28**

LANDSCAPE SECTIONS



SECTION D - THROUGH SITE LINK SECTION

KEY PLAN





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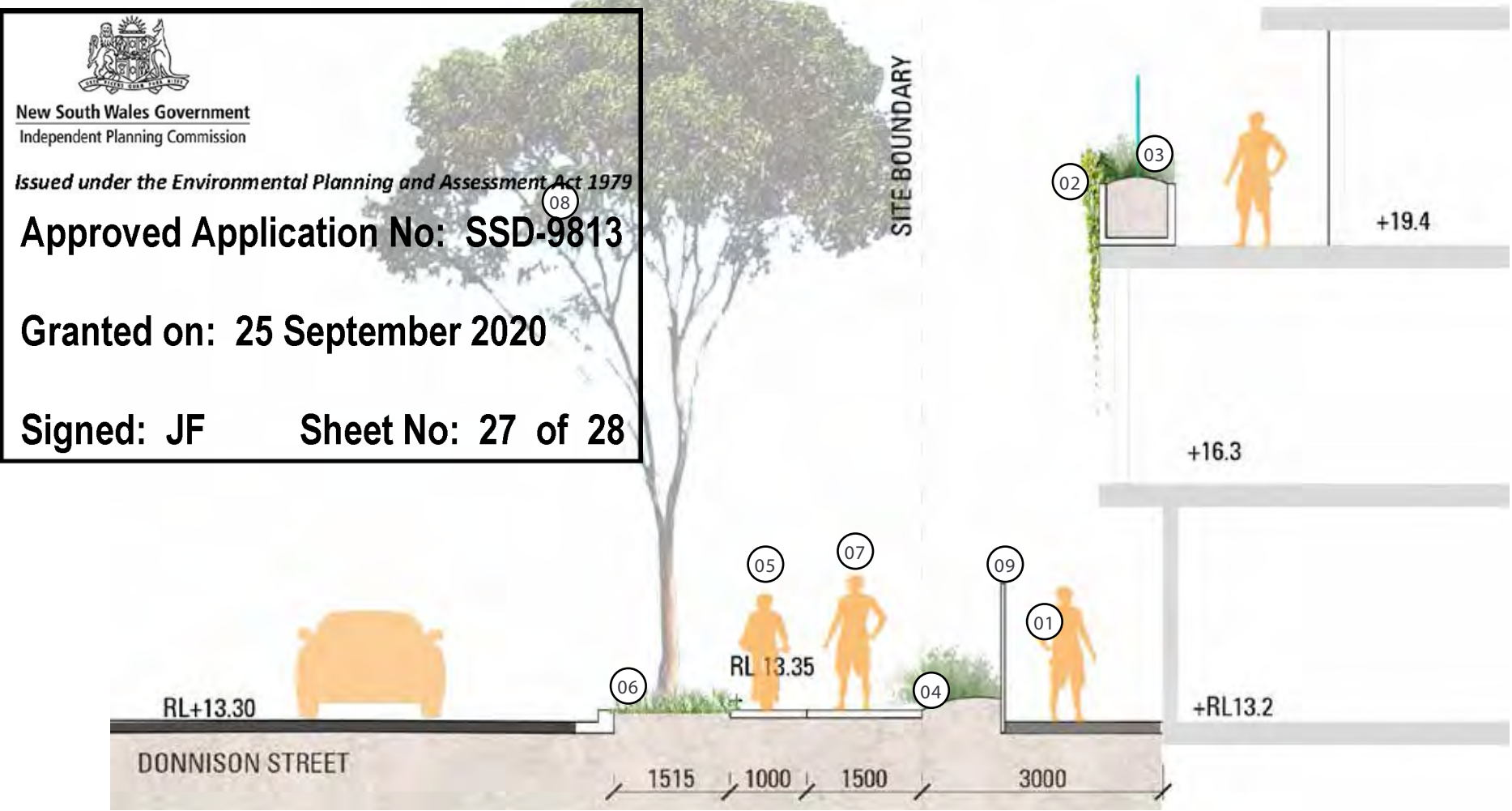
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-9813

Granted on: 25 September 2020

Signed: JF **Sheet No: 26 of 28**

LANDSCAPE SECTIONS



KEY PLAN



LEGEND

- 01/ Private open space for residents
- 02/ Cascading planting
- 03/ Raised planter for screening views
- 04/ Low level screening planting
- 05/ Proposed shared path
- 06/ Turf verge
- 07/ Public footpath
- 08/ Large mature native tree to screen height of building
- 09/ Townhouse fence

SECTION E - DONNISON STREET UPGRADE



LANDSCAPE SECTIONS



SECTION F - WILLIAM STREET UPGRADE

KEY PLAN

