



Meadowbank Education Precinct Schools Project Modification 2

State Significant Development Modification Assessment
(SSD 9343 MOD 2)

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Glossary

Abbreviation	Definition
Applicant	NSW Department of Education
COLA	Covered Outdoor Learning Area
Consent	Development Consent
Council	City of Ryde
Department	Department of Planning, Industry and Environment
EP&A Act	<i>Environmental Planning and Assessment Act 1979</i>
EP&A Regulation	Environmental Planning and Assessment Regulation 2000
ESD	Ecologically Sustainable Development
LGA	Local Government Area
MEEP	Meadowbank Education and Employment Precinct
Minister	Minister for Planning and Public Spaces
Planning Secretary	Secretary of the Department of Planning, Industry and Environment
SSD	State Significant Development
TAFE Campus	NSW TAFE Meadowbank Campus
TAFE	Technical and Further Education

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1 Introduction

This report provides the NSW Department of Planning, Industry and Environment's (the Department) assessment of an application to modify the state significant development (SSD) consent for development of the Meadowbank Education and Employment Precinct Schools Project (SSD 9343).

The application was lodged on 7 December 2020 by NSW Department of Education (the Applicant) pursuant to section 4.55(1A) of the *Environmental Planning and Assessment Act 1979* (EP&A Act). The modification application (SSD 9343 MOD 2) seeks approval for external and internal built form and landscaping design amendments.

1.1 Background

The site is located within the Meadowbank Education and Employment Precinct (MEEP) on a 3.3 hectare parcel of land that was formerly part of the NSW TAFE Meadowbank Campus (TAFE Campus). The site is located within the City of Ryde local government area (LGA). The site is irregular in shape and is bounded by a Sydney Water Pumping Station and Rhodes Street to the north-west and north-east, the remaining TAFE Campus to the south-east and south and the T9 Northern Railway Line railway corridor to the south-west.

Construction works have commenced on the site.

An aerial view of the site and surrounding area is provided at **Figure 1**.



Figure 1: Aerial view of the site, the TAFE Campus and surrounding context (Base source: Nearmap 2020)

1.2 Approval history

On 21 May 2020, development consent was granted by the Executive Director, Infrastructure Assessments, as delegate for the Minister for Planning and Public Spaces, for development of the Meadowbank Education and Employment Precinct Schools Project, providing for new co-located primary and secondary schools and an intensive English learning centre (SSD 9343). The approved works comprise:

- construction of an up to seven storey multi-purpose building.
- site landscaping, open space and open and covered sports courts/fields.
- tree removal and planting.
- fencing and pathways.
- flooding and stormwater management works.
- 60 staff car parking spaces.
- school building identification signage.

The development consent has been modified on one previous occasion as shown in **Table 1** below.

Table 1 | Summary of Modifications

Mod No.	Summary of Modifications	Type	Approval Date
MOD 1	Modify condition B24 of the original SSD consent to correct an error in the number and type of ecosystem credits to be retired to offset the residual biodiversity impacts of the development.	4.55(1A)	13 July 2020

2 Proposed modification

The modification application seeks to amend approved architectural and landscape plans listed under condition A2 of the consent. The amended plans incorporate internal and external design modifications as a result of ongoing detailed design of the development, stakeholder engagement and buildability inputs such as structural coordination. The proposed modifications works are summarised in **Table 2** below.

Table 2 | Summary of Modifications

Location	Description
Playground	<ul style="list-style-type: none"> • Rearrangement of fire stairs which no longer extend to the playground. • Amendments to landscaping, including: <ul style="list-style-type: none"> ○ line marking of sports courts. ○ amphitheatre and seating steps redesigned. ○ relocate and provide additional sheds on courts. ○ veggie patch reconfigured and turf type revised. ○ reconfigure seating steps. ○ redesign planting extent adjacent to deck. ○ amphitheatre redesign. ○ bleachers provided to sport courts. ○ replacement of resin bound gravel surface with garden bed and turf. ○ provision of fences, steps, tactile surfaces and handrails. ○ tree relocation and changes to planting locations. ○ additional pathways adjacent to buildings and circulation routes.
Car Park Level	<ul style="list-style-type: none"> • Stairs and bleachers amended to allow for larger canteen queuing area. • Amendments to toilet layout. • Waste storage amended to be contained within one room. • Fire and rainwater steel tanks relocated to same room. • Amendments to car and bike parking layout. • Revisions to lift lobby access.
Lower Ground Floor	<ul style="list-style-type: none"> • Amendments to toilet and change room layout. • Amendments to the layout of service rooms. • Pump room relocated to be associated with water tanks.
Ground Floor	<ul style="list-style-type: none"> • Planters removed from all Covered Outdoor Learning Areas (COLA) façade edges. • Full height balustrade added to COLA on both sides for student safety. • Primary school fence simplified and design change to primary school entrance/stepped interface to Rhodes Street. • Revised internal floor and home base layouts.

- Revised landscaping to high school entry.
- Void added to high school corridor.
- Landscape modifications, including:
 - additional paths, reconfiguration of stairs and amended to planting extent.
 - relocation of trees (no reduction to what was originally approved).
 - addition of steps, tactile surfaces and handrails.
 - additional planting to offset planter box removal.

Level 1

- Planters removed to all COLA façade edges.
- Tree relocation and addition of planters.
- Revised internal floor and home base layouts.
- Level 1 toilets added.
- Voids deleted from communal hall glazing at eastern edge of primary school COLA.

Level 2

- Planters removed to all COLA façade edges of primary school and high school.
- Planter extent amended.
- Revised internal floor and home base layouts.
- Three void light wells removed from terrace of primary school outdoor uncovered area.
- Amendments and additions of voids to decrease loads from planting above.

Level 3 & 4

- Planters removed to all COLA façade edges of primary school and high school.
- Amendments and additions of voids.
- Revised stair layout and planter extent.
- Revised internal floor and home base layouts.

Level 5 & Roof

- Canopy roof materials changed to metal and roof form changed from flat to a series of skillion roofs.
- Revised plant room layout and enclosure.

The proposed modification is shown in **Figures 2 to 7**.

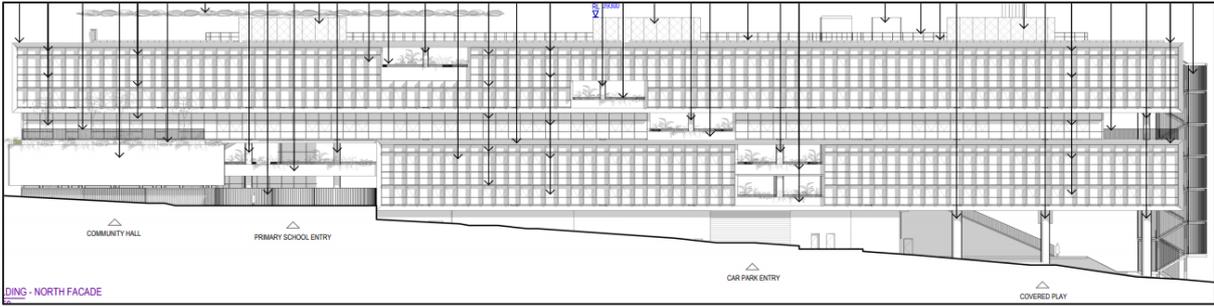


Figure 2: Approved northern elevation (Rhodes Street frontage) of north building (Source: Applicant's EIS 2020)



Figure 3: Proposed northern elevation (Rhodes Street frontage) of north building (Source: Applicant's Modification Application 2020)

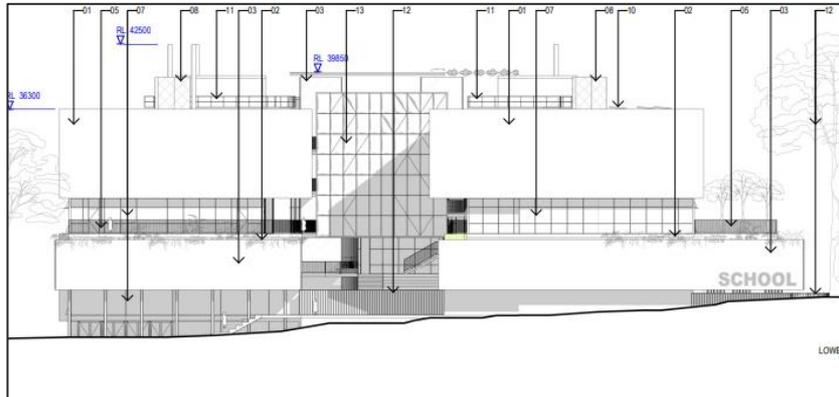


Figure 4: Approved eastern elevation (Source: Applicant's EIS 2020)

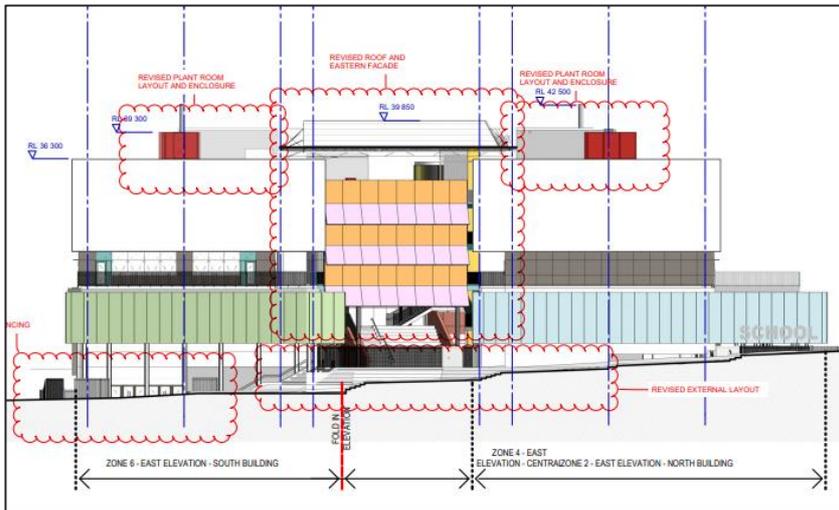


Figure 5: Proposed eastern elevation (Source: Applicant's Modification Application 2020)

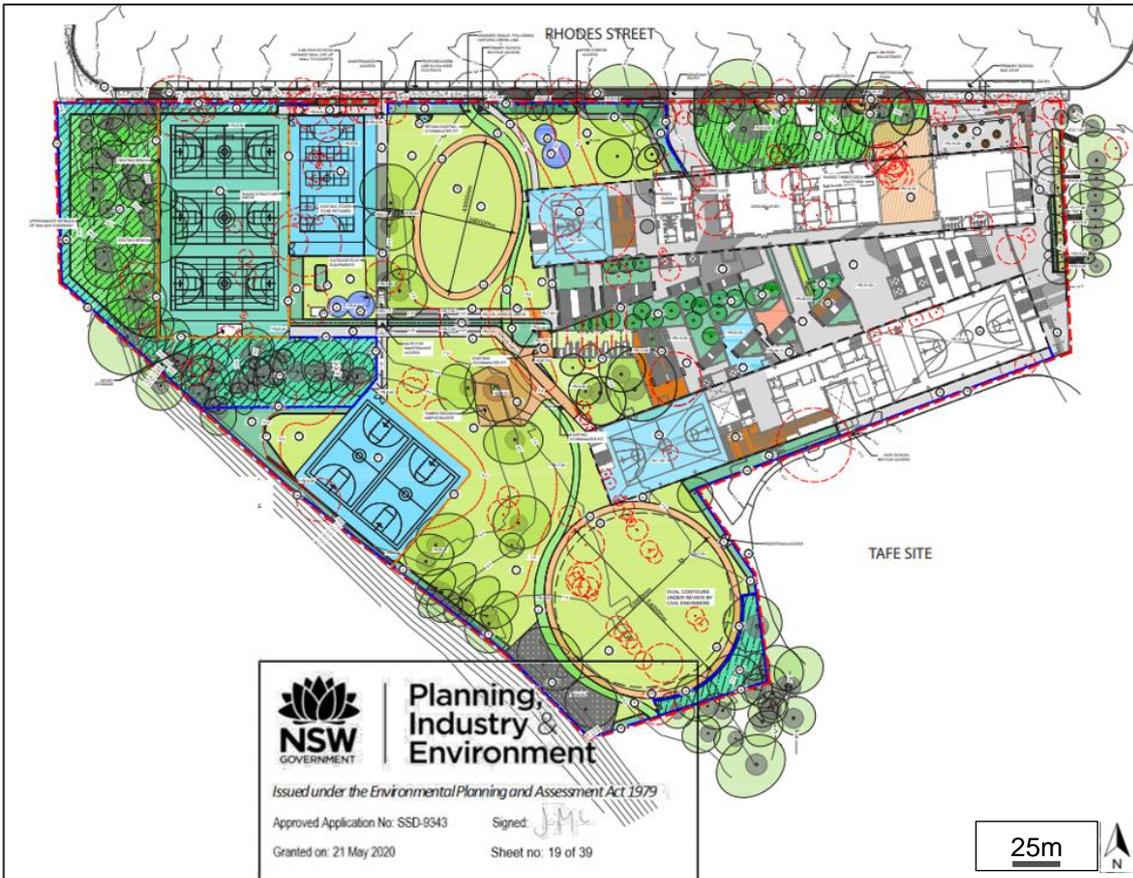


Figure 6: Approved landscaping site plan (Source: SSD 9343 Approved Plans 2020).

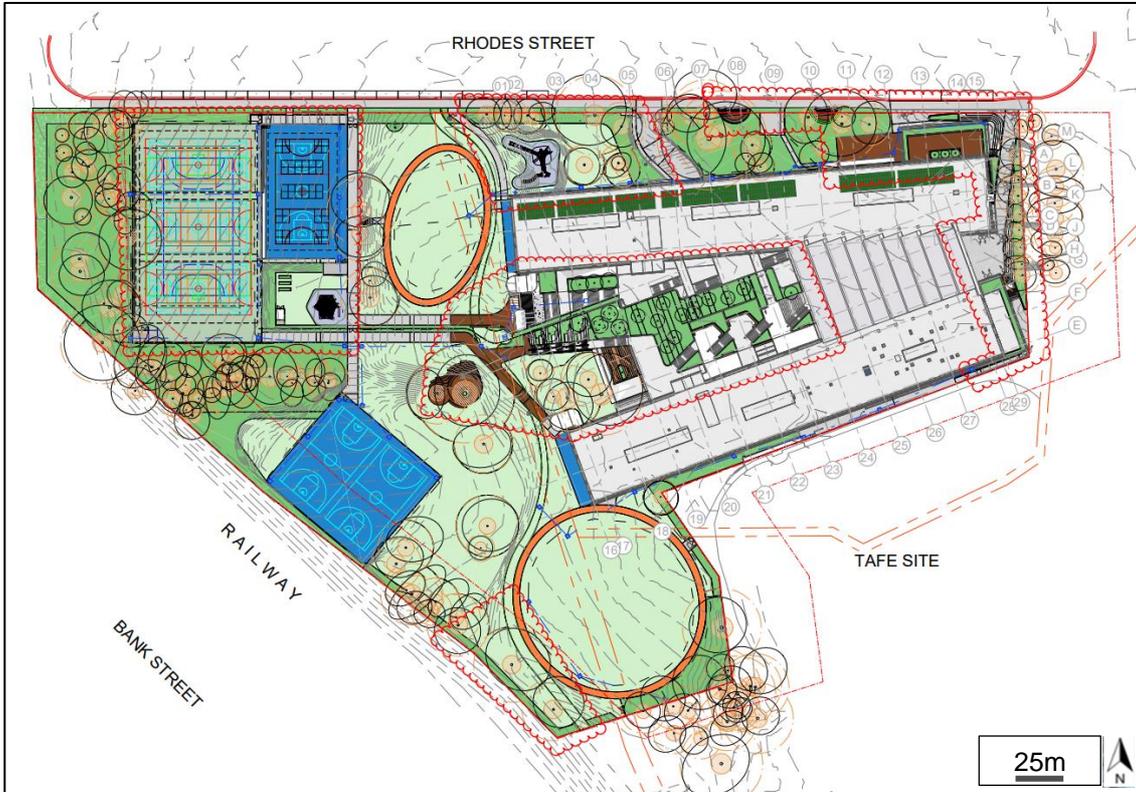


Figure 7: Proposed landscaping site plan (Source: Applicant's Modification Application 2020).

3 Strategic context

The Department considers that the proposed development continues to be appropriate for the site given:

- it remains consistent with A Metropolis of Three Cities – The Greater Sydney Region Plan, as it ensures the delivery of new school facilities to meet the growing needs of Sydney.
- it remains consistent with the State Infrastructure Strategy 2018 – 2038: Building the Momentum, as it provides direct investment to address increased enrolment demands, would provide access to modern digitally enabled learning environments for all students and would enable facilities to be co-shared with the local community.
- it remains consistent with the NSW Future Transport Strategy 2056, as it would provide new educational facilities in an accessible location and provides access to new employment opportunities close to public transport.
- it remains consistent with the vision outlined in the Greater Sydney Commission's Central City District Plan and MEEP Master Plan, as it would support the provision of services and social infrastructure to meet people's changing needs.
- it remains consistent with Sydney's Cycling Future 2013, as it would promote and cater for bicycle use through the provision of bicycle parking and end-of-trip facilities.

4 Statutory context

4.1 Scope of modifications

The Department has reviewed the scope of the modification application and considers that the application can be characterised as a modification involving minimal environmental impacts as the proposal:

- would not significantly increase the environmental impacts of the project as approved.
- is substantially the same development as originally approved.
- would not involve any further disturbance outside the already approved disturbance areas for the project.

Therefore, the Department is satisfied the proposed modification is within the scope of section 4.55(1A) of the EP&A Act and does not constitute a new development application. Accordingly, the Department considers that the application should be assessed and determined under section 4.55(1A) of the EP&A Act rather than requiring a new development application to be lodged.

4.2 Consent authority

The Minister for Planning and Public Spaces (the Minister) is the consent authority for the application under section 4.5(a) of the EP&A Act. In accordance with the Minister's delegation to determine SSD applications, signed on 9 March 2020, the Director, Social and Infrastructure Assessments may determine this modification application as:

- the application had not already been referred by the Planning Secretary to the Independent Planning Commission at the time the delegation was issued.
- the application has not been made by a person who has disclosed a reportable donation in connection with the application.
- there are less than 10 public submissions in the nature of objection.

4.3 Mandatory matters for consideration

The Department conducted a comprehensive assessment of the project against the mandatory matters for consideration as part of the original assessment of SSD 9343. The Department considers this modification application does not result in significant changes that would alter the mandatory matters for consideration under section 4.15 of the EP&A Act and conclusions made as part of the original assessment.

5 Engagement

Due to the minor nature of the proposed modification, the application was not notified. The modification application was made publicly available on the Department's website.

No submissions were received.

6 Assessment

The Department has considered the modification application in the context of the original approved development in its assessment.

The Department identifies that the biggest deviation from the original approval is the design of the canopy roof. The originally approved canopy roof design (**Figure 8**) was characterised by a large flat roof form. The proposed modified canopy roof (**Figure 9**) is characterised by nine free standing skillion roofs, arranged in a row, covering the same extent as the original design.

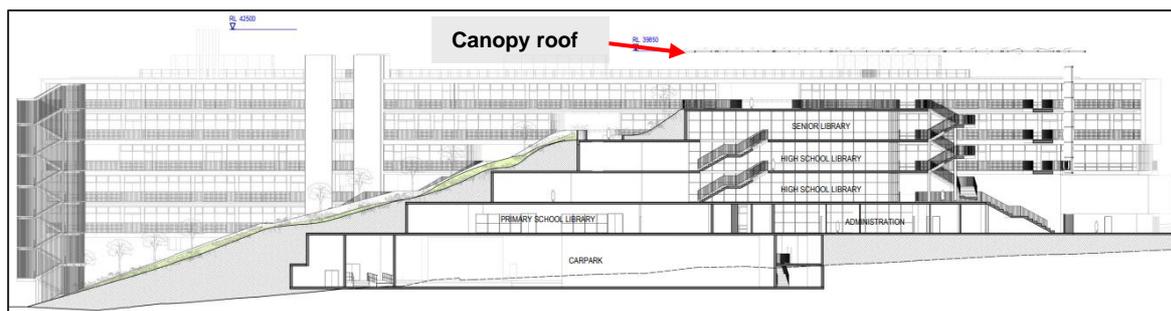


Figure 8: Canopy roof as originally approved (Source: Department's original Assessment Report 2020)

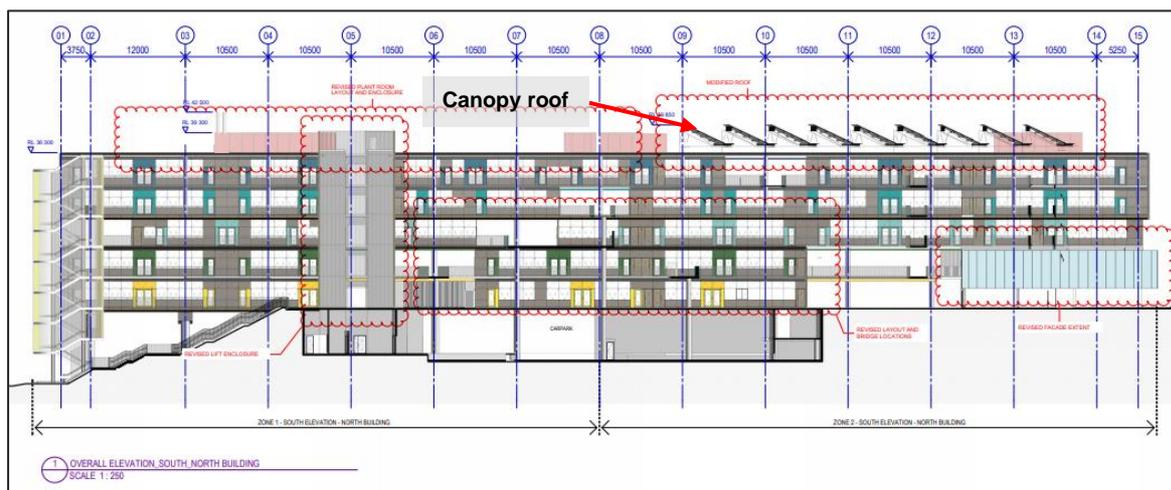


Figure 9: Canopy roof form as proposed to be modified (Source: Applicant's Modification Application 2020)

The Department considers that this revision to the canopy roof design is acceptable as the height, bulk and scale of the building does not increase, amenity is still being provided to roof top users, the changes would not be easily perceivable at street level and that the overall design characteristics of the originally approved development are not detrimentally impacted upon.

The remainder of the design and landscaping amendments would not result in any unacceptable changes to the built form of the school in terms of approved gross floor area, building heights, building envelopes, civil and stormwater design and car parking provisions. The Department notes that gross floor area would be reduced by 79 square metres due to the proposed modification.

Overall, the Department notes the following:

- there would be no additional social or economic impacts as a result of the proposed modifications beyond those previously assessed as part of the approved development under the original consent.
- the proposed amendments do not involve any changes to the location or scale of any of the approved buildings. Subsequently, there would be no additional overshadowing, noise or visual privacy impacts to neighbouring properties above those assessed on the original assessment.
- the roof level amendments to the canopy roof form, plant rooms and enclosures would not result in an increase in height, bulk and scale.
- the modifications would result in improved circulation and access for student and staff through rationalised locations for lifts, stairways, corridors and external pathways.
- the modifications to the built form and landscaping seek to retain the overall appearance and scale of the original approval and would not detrimentally impact or deviate from the original approved design intent.
- the landscape modifications retain the existing planting schedule and quantity and seek to provide better safety, security and amenity.
- no changes are proposed to the existing number of car parking spaces to be provided or to pick-up and drop-off arrangements.

The Department considers that the proposed amendments would not result in detrimental impacts to the locality, would remain compatible with the overall design quality of the development, would not detract from the quality of the streetscape and would assist in providing the functional needs of the school.

7 Evaluation

The Department's assessment concludes that the proposed modification is appropriate on the basis that:

- the design and landscaping amendments would not detrimentally impact approved building heights, setbacks or gross floor area of the development and would be compatible with the overall design of the proposal.
- the proposal would not alter the nature of the development as provided in the original approval.
- the proposal would ensure the timely and effective operation of an essential service to the community.
- the proposal would not result in any additional unacceptable environmental impacts.

Accordingly, the proposal is in the public interest and it is recommended that the modification be approved.

8 Recommendation

It is recommended that the Director, Social and Infrastructure Assessments, as delegate of the Minister for Planning and Public Spaces:

- **considers** the findings and recommendations of this report.
- **determines** that the application SSD 9343 MOD 2 falls within the scope of section 4.55(1A) of the EP&A Act.
- **accepts and adopts** all of the findings and recommendations in this report as the reasons for making the decision to approve the modification.
- **modify** the consent SSD 9343.
- **signs** the attached approval of the modification (**Appendix A**).

Prepared by:
Navdeep Shergill
Senior Planning Officer
Social and Infrastructure Assessments

Recommended by:



Jason Maslen
Team Leader
School Infrastructure Assessments

9 Determination

The recommendation is **Adopted** by:

A handwritten signature in black ink, appearing to read "David Gibson", with a long horizontal flourish extending to the right.

22 December 2020

David Gibson

A/Director

Social and Infrastructure Assessments

as delegate of the Minister for Planning and Public Spaces

Appendices

Appendix A – List of Documents

1. **Modification report and amended plans**

<https://www.planningportal.nsw.gov.au/major-projects/project/40796>

2. **Instrument of modification**

<https://www.planningportal.nsw.gov.au/major-projects/project/40796>

3. **Consolidated consent**

<https://www.planningportal.nsw.gov.au/major-projects/project/40796>