

# 80 - 88 REGENT STREET REDFERN

## IGLU II

### LANDSCAPE DOCUMENTATION

#### DEVELOPMENT APPLICATION

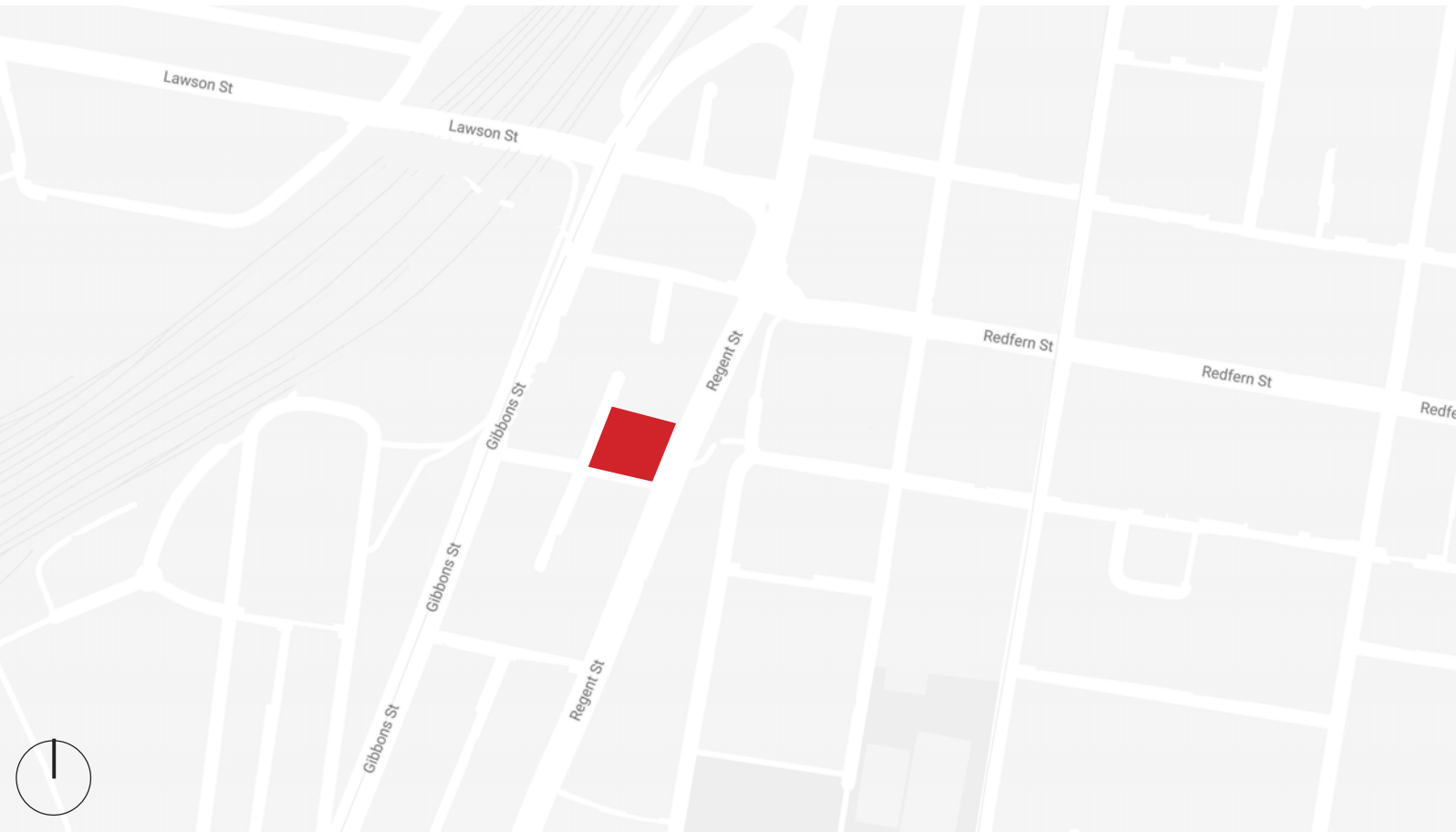
DRAWING REGISTER

Dwg No.	Drawing Title	Size	Scale
<b>General</b>			
L-DA-01	Cover Page	A1	N/A
L-DA-02	Introduction	A1	N/A
L-DA-03	Design Statement	A1	N/A
<b>Plans</b>			
L-DA-04	Landscape Plan - Ground Floor	A1	1:100
L-DA-05	Landscape Plan - Level 01	A1	1:100
L-DA-06	Landscape Plan - Level 02	A1	1:100
L-DA-07	Landscape Plan - Roof Terrace	A1	1:100
<b>Sections + Perspectives</b>			
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L-DA-09	Landscape Section 2	A1	1:50
L-DA-10	Landscape Perspectives	A1	N/A
<b>Palettes</b>			
L-DA-11	Planting Palette (sheet 1)	A1	N/A
L-DA-12	Planting Palette (sheet 2)	A1	N/A

GENERAL NOTES

- \* FOR DEVELOPMENT APPLICATION ONLY
- \* Do not scale from drawings
- \* Larger scale drawings and written dimensions take preference
- \* All dimensions in mm unless otherwise stated.
- \* All tree dimensions and RLs in metres.
- \* Use figured dimensions only.
- \* Verify all dimensions on site before the commencement of any works.
- \* Contractors shall locate and protect all services prior to construction.
- \* All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.
- \* Structural Details shall be subject to Engineer's Specifications.
- \* Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- \* All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
- \*Protect all adjoining property building, walls and paving. Damaged elements are to be replaced.
- \* No responsibility will be taken by 360 degrees. for any variations in design, construction method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.
- \*Service location on plans are indicative only . 360 accepts no responsibility for the accuracy of service location. it is the responsibility of the contractor to determine service locations prior to the commencement of work. Any damages remains the responsibility of the contractor.
- \* This Drawing is copyright to 360 degrees.

LOCATION PLAN





INTRODUCTION

360 Degrees Landscape Architects have been engaged by IGLU Pty Ltd to prepare a Landscape Design Intent document to support a development application for a Student Housing at 80-88 Regent St, Redfern, NSW 2016. As part of a collaborative design team, 360 Degrees Landscape Architects propose to create an engaging and memorable landscape design that provides flexibility of use for the building's occupants. Careful consideration of the adjoining buildings, architecture, site character and conceptual collaboration with the client, architects and consultant team has contributed to the landscape design solutions.

In general the Landscape Architectural design sets out to provide a stimulating environment responsive to the scale, function and location of the development. The plant selection has been made from plant species suited to the various microclimatic conditions and site requirements with local native and indigenous species used where applicable, including a review of Council's weed management policy and the local Indigenous Plant List.

The overall design aims for an environmental and socially sustainable landscape and an integrated landscape experience with the building architecture and function, activating the site and creating a vibrant precinct and place to live, study and socialise.

SITE DESCRIPTION

This State Significant Development Application (SSDA) seeks approval for the development of a new student accommodation facility. Specifically, the proposal involves:

- site preparation works;
- construction and use of an 18 storey building comprising:
  - 265 student accommodation beds within 185 units, arranged as follows:
    - 163 x studio units;
    - 6 x loft units; and
    - 16 x 6-bed cluster units
- communal student facilities including study areas, lounge rooms,laundry facilities and a rooftop terrace;
- three ground floor retail tenancies;
- a single commercial tenancy;
- landscaping works including terrace planting;
- extension and augmentation of services and infrastructure as required.

The proposal will operate as an integrated campus with the adjoining Iglu facility adjacent at 66 Regent St Redfern which commenced operation in early 2018.

The IGLU Student Housing design is responsive to the changing urban and social landscapes of Redfern. With direct access to Regent and Marian Street, the sites location at the heart of Redfern makes it a logical hub for activity. The site is accessible to local cafes, restaurants, shops and existing retail and entertainment precincts along the Regent St. Just 3km from the city, with excellent access to transport and campuses, the development delivers an eclectic mix of cultures and vibrant diversity, a blend of strong tradition and emerging trends.



AERIAL VIEW OF SITE  
LOOKING NORTH

	ISS.	AMENDMENT	DATE	BY	<div>IMPORTANT NOTES: Do not scale from drawings All dimensions to be checked to the attention of the Landscape Architect Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All site dimensions and E&amp;S in metres. Use metric dimensions only. Verify all dimensions on site before the commencement of any works. Coordinate with local council and private services prior to construction. Relevant Details shall be subject to Engineer's Specifications. Developer's Representative shall be subject to Engineer's Specifications. All work shall be carried out in accordance with E&amp;S, DCA and Local Government Regulations. All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Engineer's Specifications. The responsibility shall be taken by 360 Degrees, for any variations in design, construction methods, materials specified, and general specification without permission from the Project Engineer or Landscape Architect. This Drawing is copyright to 360 Degrees.</div>
	A	DRAFT DA	17.08.18	GF	
	B	DA	24.08.18	GF	
					<div>CLIENT Iglu Pty Ltd</div> <div>ARCHITECT BATESS/MAPT.</div> <div>CHECKED LB</div> <div>DWG. TITLE Introduction</div> <div>PROJECT 80 - 88 REGENT ST, REDFERN _ IGLU II</div>
					<div>SCALE N/A</div> <div>DRAWN GF</div> <div>ISSUE DA</div>

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L-DA-02



LANDSCAPE DESIGN PHILODOPHY

The proposed landscape offers a complete design response and holistic design solution for the nature of the development. It presents a co-operative environment, triggered by the need to respond to an evolving student housing design approach and a broadening social ecology. Anticipating the developments nodal significance and broad student population, the design accommodates flexibility of use and clear legibility of space. The landscape encourages social interaction and private respite, and will become a functional part of Student life.

The union of existing student accommodation facilities and new build presents a versatile environment supportive of student needs, fostering positive interaction. The landscape design process and resulting design outcomes were guided by the following principles, ideals and philosophies:

- Connectivity – both visual and physical
- Access – equitable and unimpaired
- Variety and Flexibility
- Adaptability and Versatility
- Environmental Sensitivity
- Sustainability
- Social Responsibility

The design is not only localised to the site but is sensitive to its role within the broader student community. The objectives for the proposed landscape are to:

- Create a development with an inherently strong community identity.
- Manipulate scale and space to provide areas of high social legibility and community opportunity.
- Ensure the design including materiality and function complements the existing facilities of the adjoining Student Accommodation.
- Consider the future sustainability of the development in terms of ecological, economic, social and cultural needs.
- Support the building functions and promote student well being.

DESIGN STATEMENT

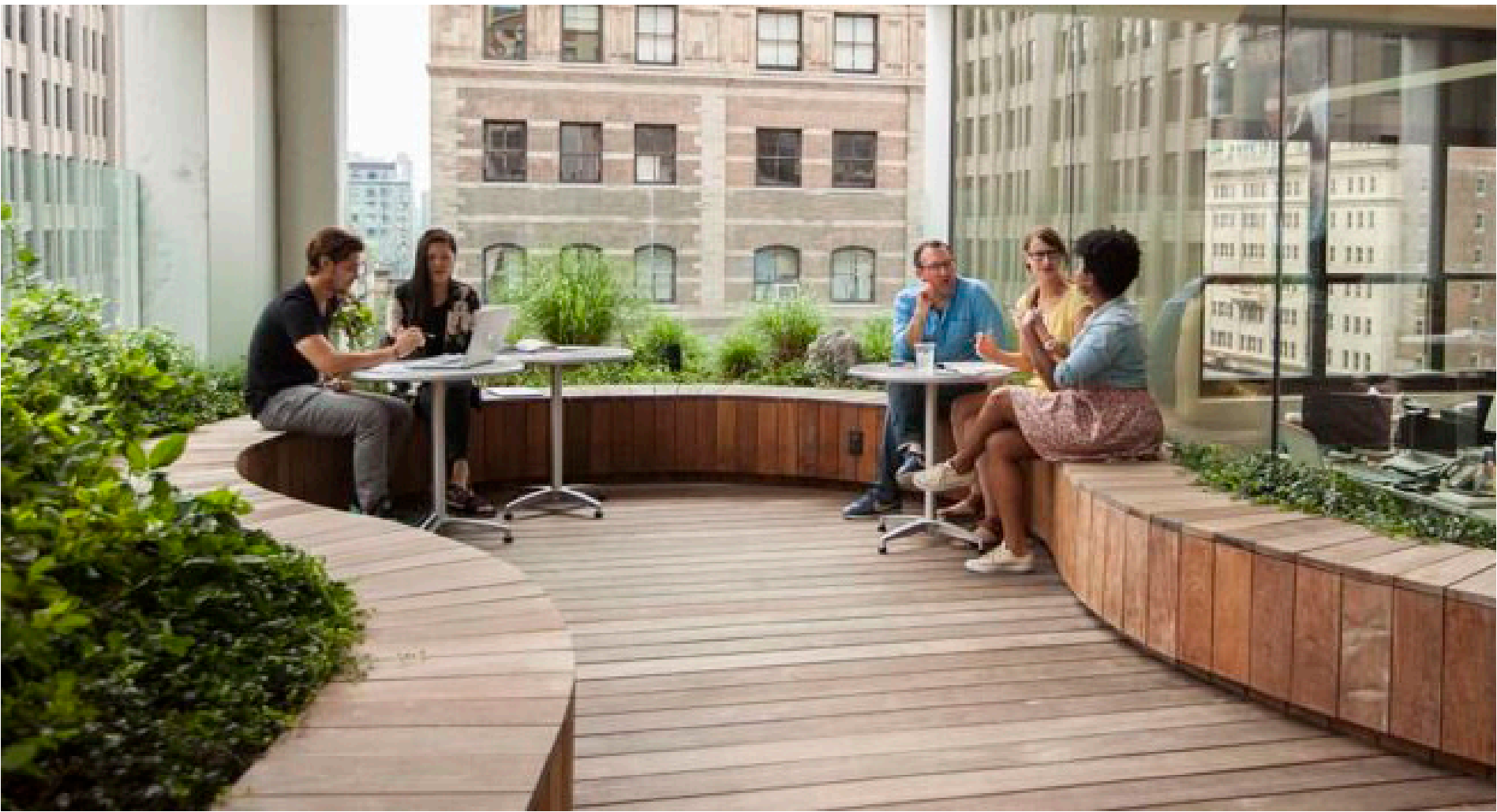
Three distinct landscapes have been organized to respond to the site situation and architecture to create landscapes which inhabit the building and provide activated spaces and social student retreats. These landscapes include;

- Level 01 internal Courtyard
- Rooftop Terrace
- Façade Planters

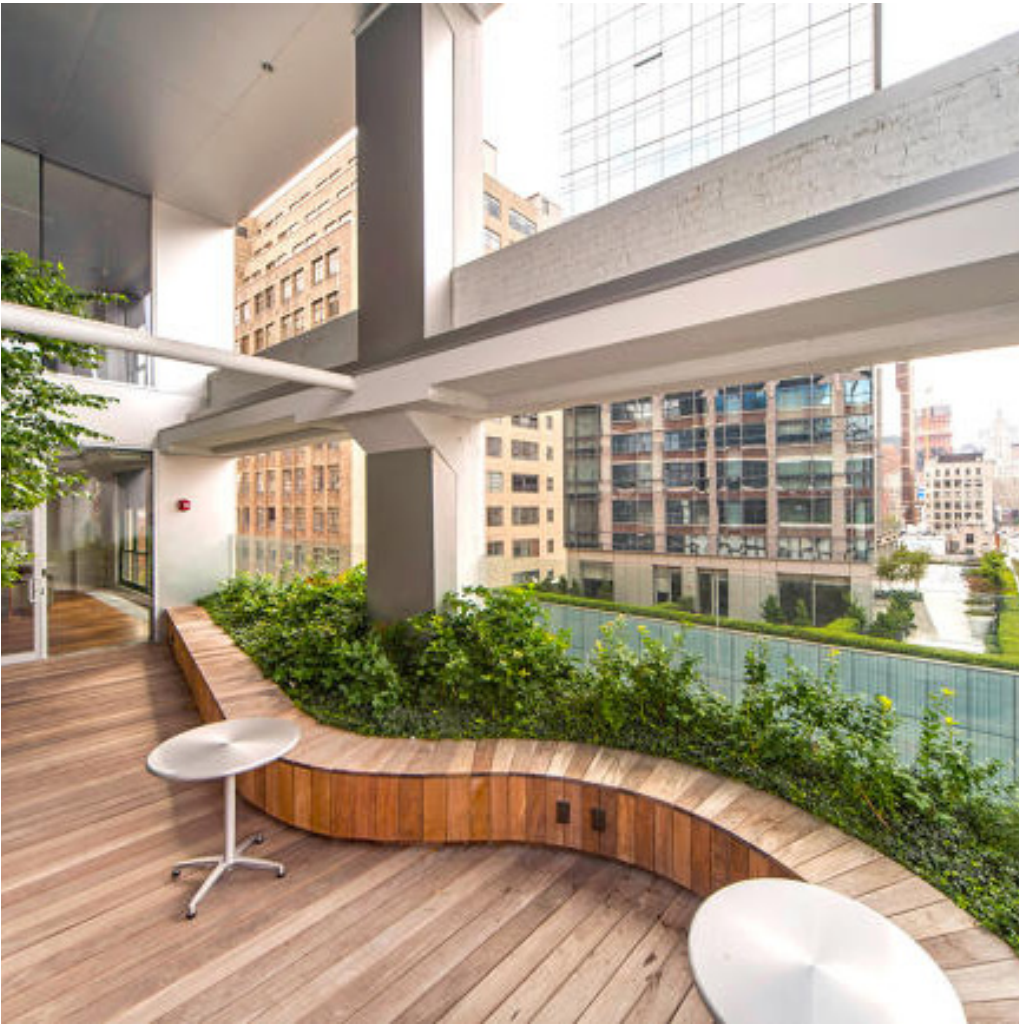
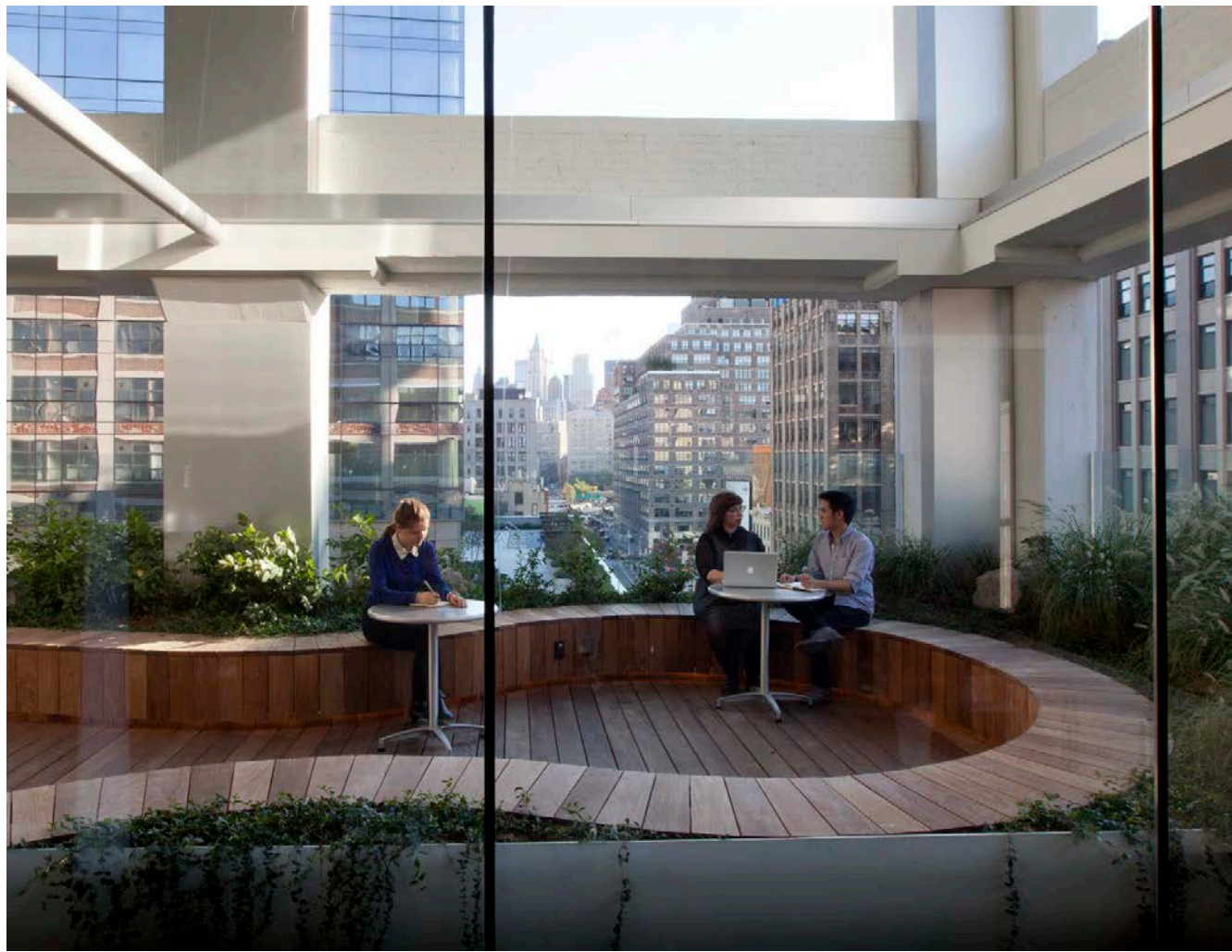
The landscape is conceived as a holistic urban garden. It is both elevated and vertical, and being integral to the architecture, demonstrates a progressive whole-of-building approach to the urban landscape creating a cohesive, environmental and socially sustainable landscape and living community. A sense of the greater gardens that lie within and atop the building are eluded to through a series of planters integrated within the façade design of level 01 + level 02. Visible from the street, these planters offer a public contribution of green in a hostile urban environment, providing visual interest and softening the hard built form which currently dominates Regent Street.

The level 01 Courtyard provides a passive retreat for students, engaging quite social interaction, study, or personal reflection. Adjoining the existing Student Accommodation at 66 Regent St, the space is a shared garden, comprised of perimeter planters with *Bambusa lako* to breakdown the scale of the interior wall, and free standing tree planters with integrated tables housing *Largestromia indica* 'Natchez', a deciduous tree to provide shaded canopy in summer and solar access in winter.

The roof terrace is an active landscape offering students a series of seating areas and paths, nestled amongst dense gardens, set out to engage view lines. The tapestry of pocketed seating spaces are supported by BBQ facilities located adjacent the lift lobby under a weather protected awning, while a produce garden to the north provides edibles plants and citrus orchid for student harvest and use. The roof terrace ultimately provides a garden oasis with direct solar access, sweeping city and suburban views, which enables students to escape their daily pressures, and improve their mental health. The studied benefits of access to landscape and gardens on mental and physical health are widely published. Within an urban environment, IGLU Student Accommodation promotes access to the environment within its development and supports the development of its student population.



Social Pocket



Seating edge to gardens



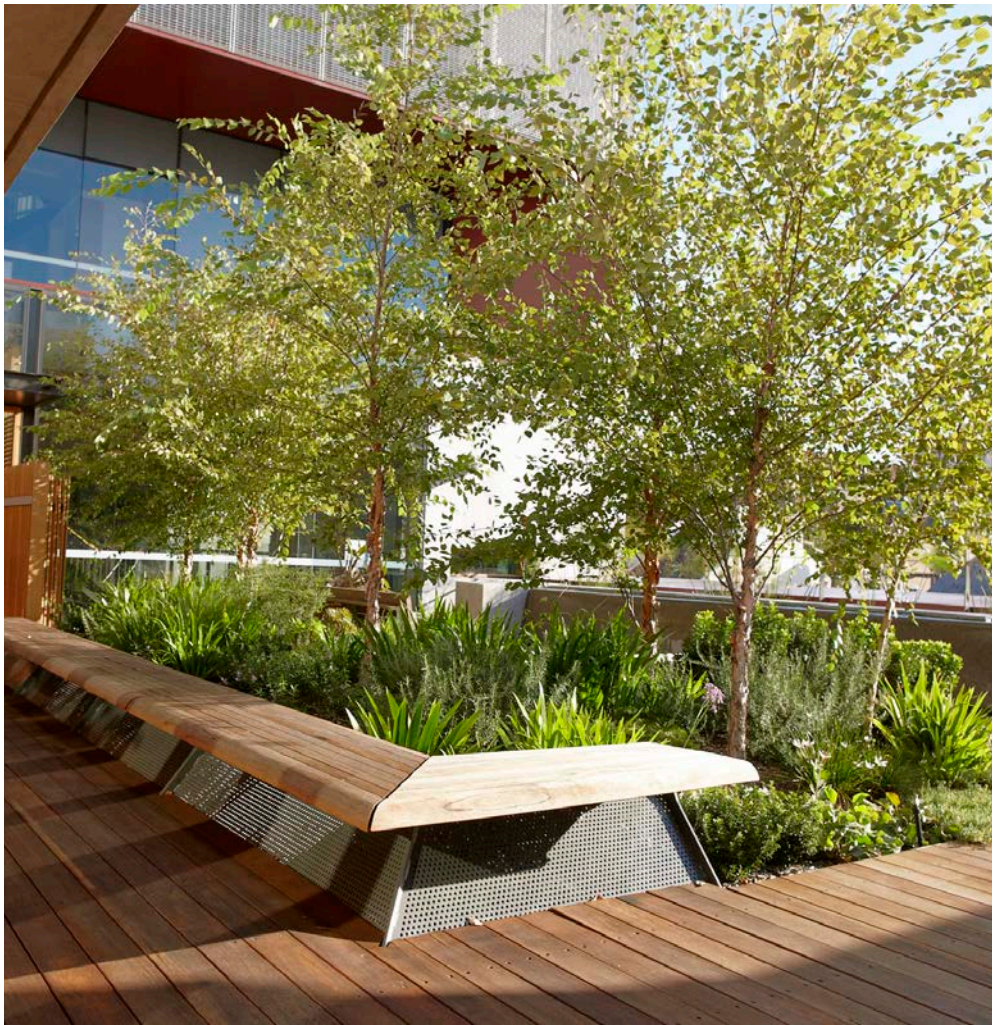
Raised tree planters in deck



Banquet seating booths (intimate social space)



Banquets with arbour over



Garden seating edges with views



ISS.	AMENDMENT	DATE	BY	IMPORTANT NOTES	CLIENT	ARCHITECT	CHECKED	DWG. TITLE
A	DRAFT DA	17.08.18	GF	Do not scale from drawings All dimensions to be checked by the attention of the Landscape Architect Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All dimensions and fix to millimetres. All dimensions and fix to millimetres. Verify all dimensions on site before the commencement of any works. Coordinate and create and provide all services prior to construction. All work shall be carried out in accordance with the relevant standards and specifications. All work shall be carried out in accordance with the relevant standards and specifications. All work shall be carried out in accordance with the relevant standards and specifications. The responsibility for the design is the responsibility of the Project Engineer or Landscape Architect. This Drawing is copyright to 360 Design.	Iglu Pty Ltd	BATESSMART.	LB	Design Statement
B	DA	24.08.18	GF					PROJECT
					SCALE	DRAWN	ISSUE	80 - 88 REGENT ST, REDFERN _ IGLU II
					N/A	GF	DA	

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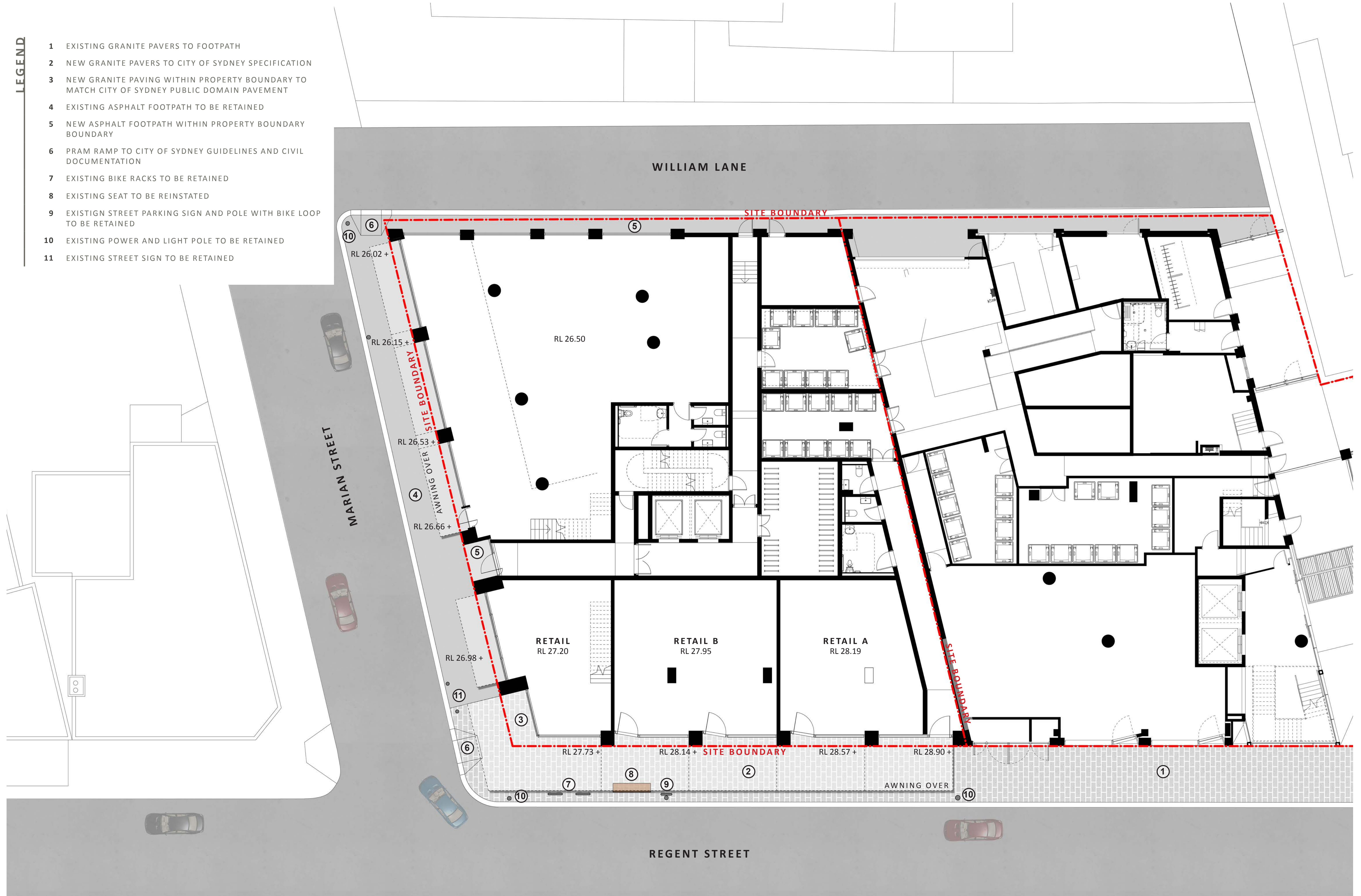
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L-DA-03

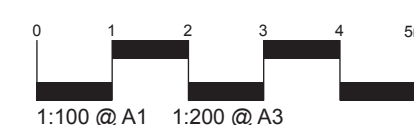


## LEGEND

- 1 EXISTING GRANITE PAVERS TO FOOTPATH
- 2 NEW GRANITE PAVERS TO CITY OF SYDNEY SPECIFICATION
- 3 NEW GRANITE PAVING WITHIN PROPERTY BOUNDARY TO  
MATCH CITY OF SYDNEY PUBLIC DOMAIN PAVEMENT
- 4 EXISTING ASPHALT FOOTPATH TO BE RETAINED
- 5 NEW ASPHALT FOOTPATH WITHIN PROPERTY BOUNDARY  
BOUNDARY
- 6 PRAM RAMP TO CITY OF SYDNEY GUIDELINES AND CIVIL  
DOCUMENTATION
- 7 EXISTING BIKE RACKS TO BE RETAINED
- 8 EXISTING SEAT TO BE REINSTATED
- 9 EXISTING STREET PARKING SIGN AND POLE WITH BIKE LOOP  
TO BE RETAINED
- 10 EXISTING POWER AND LIGHT POLE TO BE RETAINED
- 11 EXISTING STREET SIGN TO BE RETAINED



ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF



**IMPORTANT NOTES:**

Do not scale from drawings

All discrepancies to be brought to the attention of the Landscape Architect

Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated

All true dimensions and to be maintained

Use figured dimensions only

Verify all dimensions on site before the commencement of any works

Contractor shall locate and protect all services prior to construction

All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.

Structural Details shall be subject to Engineer's Specifications.

Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.

All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings Engineer's Specifications.

Liability shall be limited to a maximum of 300% dollars. For any variations in design, construction method, materials or workmanship will be subject to written permission from the Project Engineer or Landscape Architect.

CLIENT	Iglu Pty Ltd
SCALE	1:100@A1

ARCHITECT	BATESSMART.
DRAWN	CE

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ISSUE DA	

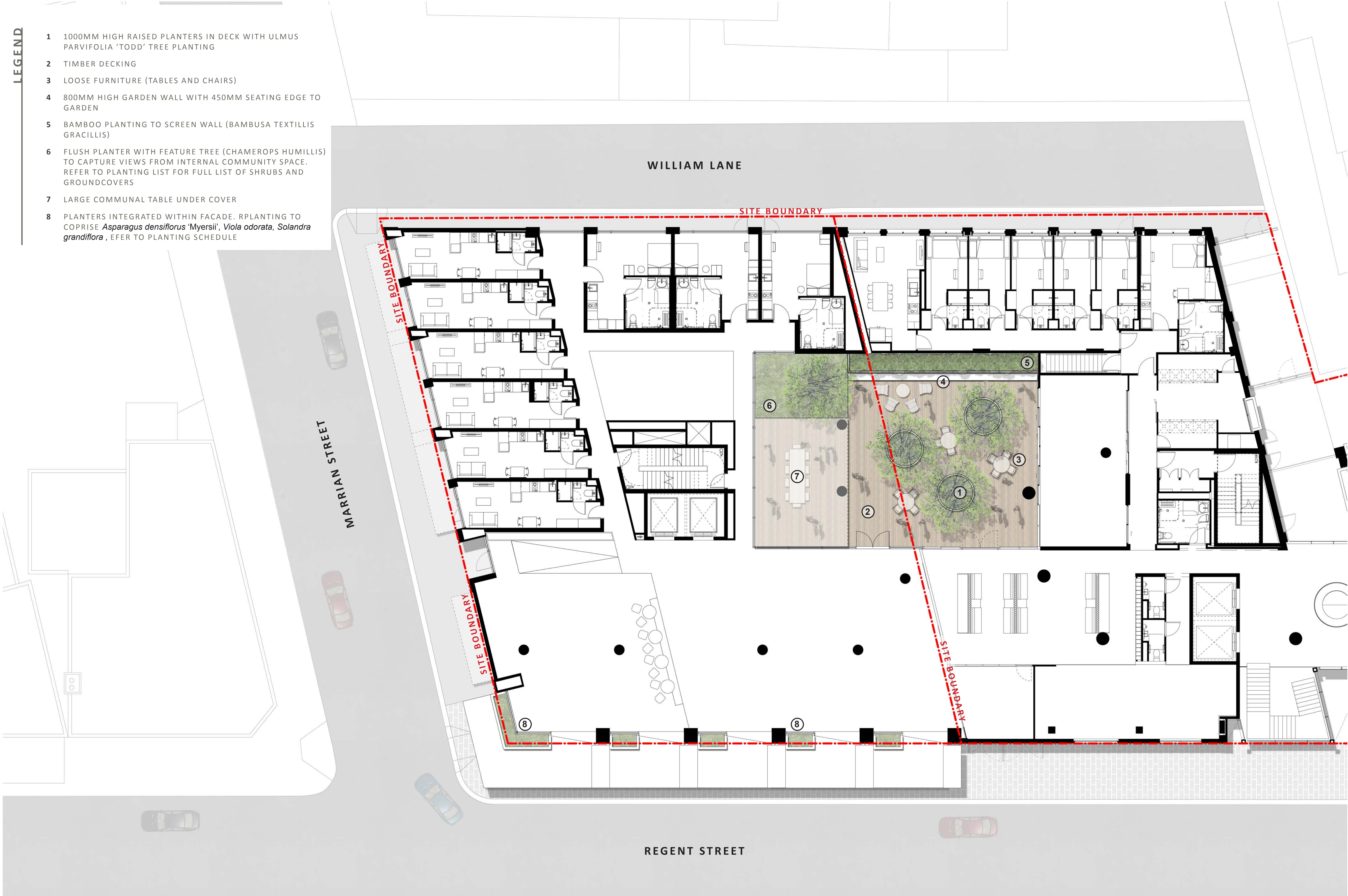
DWG. TITLE  
**Landscape Plan - Ground Floor**

PROJECT  
**80 - 88 REGENT ST, REDFERN \_ IGLU II**

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LD-DA-04

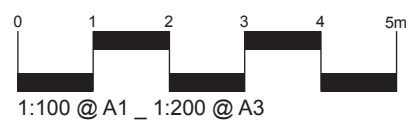




LEGEND

- 1 1000MM HIGH RAISED PLANTERS IN DECK WITH ULMUS PARVIFOLIA 'TODD' TREE PLANTING
- 2 TIMBER DECKING
- 3 LOOSE FURNITURE (TABLES AND CHAIRS)
- 4 800MM HIGH GARDEN WALL WITH 450MM SEATING EDGE TO GARDEN
- 5 BAMBOO PLANTING TO SCREEN WALL (BAMBUSA TEXTILLIS GRACILLIS)
- 6 FLUSH PLANTER WITH FEATURE TREE (CHAMEROPS HUMILLIS) TO CAPTURE VIEWS FROM INTERNAL COMMUNITY SPACE. REFER TO PLANTING LIST FOR FULL LIST OF SHRUBS AND GROUNDCOVERS
- 7 LARGE COMMUNAL TABLE UNDER COVER
- 8 PLANTERS INTEGRATED WITHIN FACADE. RPLANTING TO COPRISE *Asparagus densiflorus 'Myersii'*, *Viola odorata*, *Solandra grandiflora* , EFER TO PLANTING SCHEDULE

ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF



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All the dimensions and sizes in millimetres.  
Use metric dimensions.  
Verify all dimensions on site before the commencement of any works.  
Coordinate and ensure any proposed services prior to construction.  
All work shall be carried out in accordance with AS/NZS 2204 and Local Government Regulations.  
Relevant Councils shall be subject to Engineer's Specifications.  
Engineer's Specifications shall be subject to Engineer's Specifications.  
All work shall be carried out in a professional manner by Qualified Tradesperson according to Landscape Drawings and Engineer's Specifications.  
The responsibility shall be taken by 3000 hours. For any variations in design, construction methods, materials specified, and general specification without permission from the Project Engineer or Landscape Architect.  
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BATESS/MART.

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DWG. TITLE  
**Landscape Plan - Level 01**

PROJECT  
**80 - 88 REGENT ST, REDFERN \_ IGLU II**

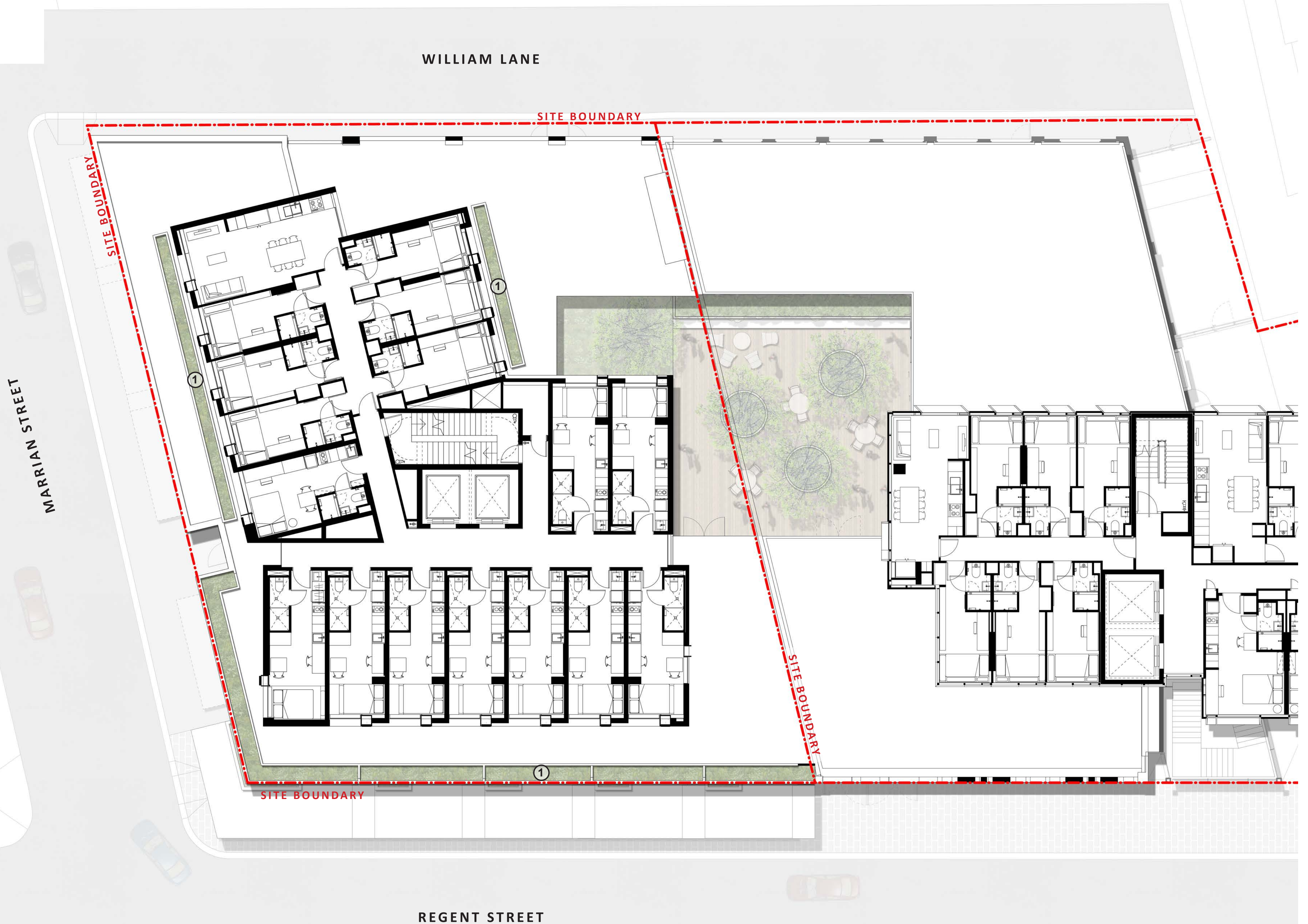
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L-DA-05

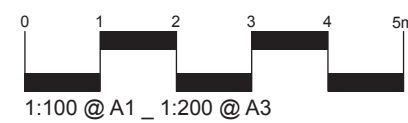


## LEGEND

- 1 PLANTERS INTEGRATED WITHIN FACADE. REPLANTING TO  
COPRISE *Asparagus densiflorus* 'Myersii', *Viola odorata*, *Solandra*  
*grandiflora* , REFER TO PLANTING SCHEDULE



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A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF



**IMPORTANT NOTES:**

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Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated

All free dimensions and RLs in metres.

Use figured dimensions only

Verify all dimensions on site before the commencement of any works.

Contractors shall locate and protect all services prior to construction.

All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.

Structural Details shall be subject to Engineer's Specifications.

Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.

All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings.

No responsibility will be taken by 360 degrees. For any variations in design, construction method, materials or general specifications without permission from the Project Engineer or Landscape Architect.

Consent is considered to be given to the above conditions.

CLIENT	Iglu Pty Ltd
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ARCHITECT  
**BATESMART.**

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DWG. TITLE

**Landscape Plan - Level 02**

PROJECT

**80 - 88 REGENT ST, REDFERN \_ IGLU II**

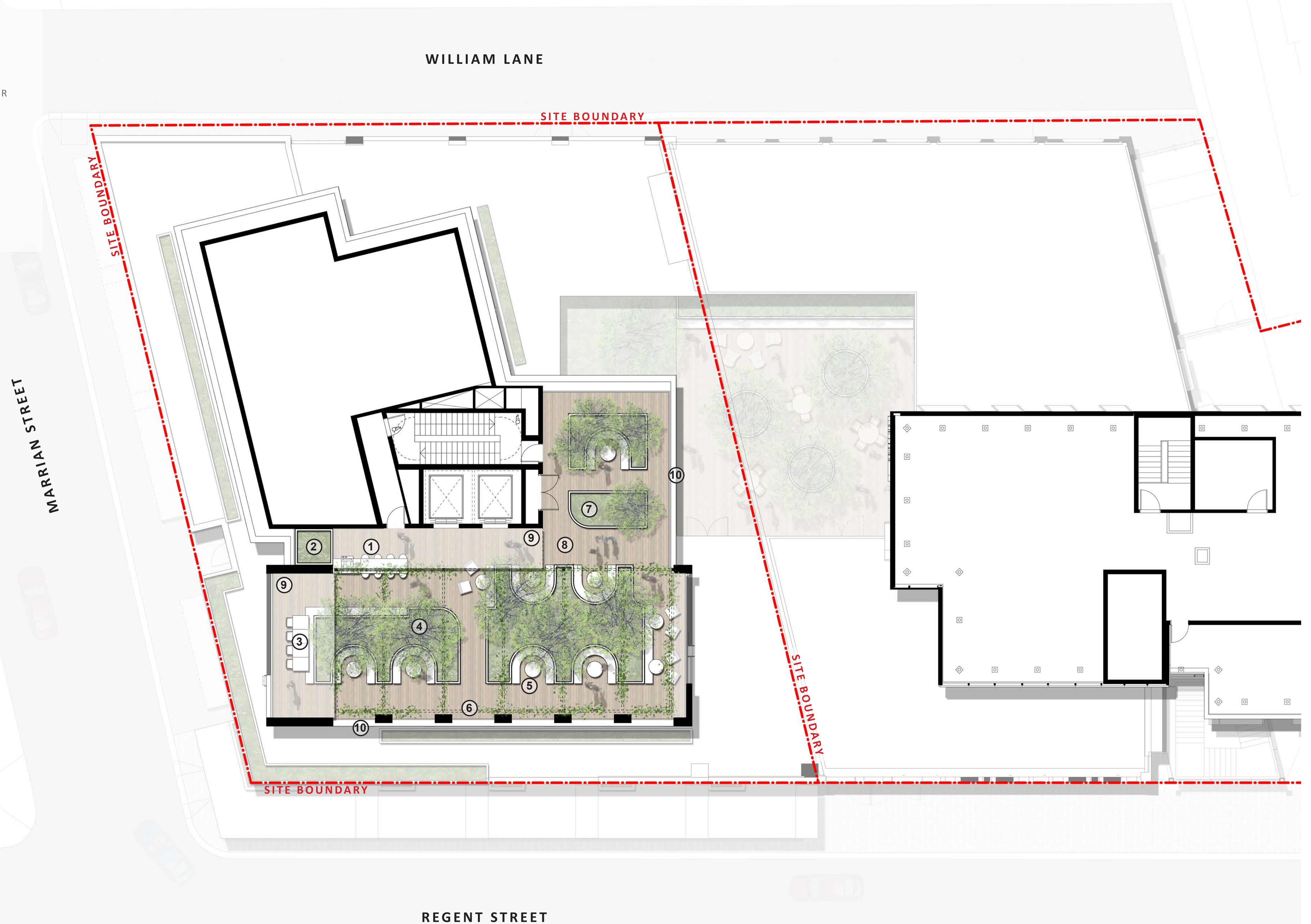
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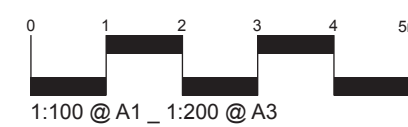


## LEGEND

- 1 COMMUNAL BBQ FACILITY WITH RAISED BAR AND SEATING
- 2 RAISED GARDEN BED
- 3 ADAPTABLE LOOSE FURNITURE TO FACILITATE SMALL OR LARGE GROUP GATHERINGS (UNDER AWNING)
- 4 800MM RAISED GARDENS WITH 450MM HIGH SEATING EDGE. GARDEN CONSISTS OF CUPANIOPSIS ANACARDIOIDES TREE PLANTING WTH MIX OF NATIVE AND EXOTIC UNDERSTORY PLANTING. REFER TO PLANTING SCHEDULE FOR COMPLETE LIST OF SPECIES.
- 5 INTIMATE / PRIVATE BANQUET SEATING BOOTHS NESTED WITHIN GARDEN TO PROVIDE DINING SPACES ORIENTED TOARDS THE VIEWS
- 6 TIMBER ARBOUR WITH SOLANDRA MAXIMA CLIMBING OVER
- 7 KITCHEN GARDEN WITH EDIBLE PLANTINGS INCLUDING ROSEMARY, CITRUS AND THYME. REFER TO PLANTING SCHEULE FOR COMPLETE LIST OF SPECIES
- 8 TIMBER DECKING
- 9 WEATHER PROTECTION SOLID AWNING OVER
- 10 GLASS BALUSTRADE AND PARAPET TO ARCHITECT DETAIL



ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF



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- Use figured dimensions only.
- Verify all dimensions on site prior to construction of any work.
- Constructors shall locate and protect all utilities prior to construction.
- All work shall be carried out in accordance with AIA, DCA and Local Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- Construction shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Engineer's Specifications.
- No excavation shall be taken to 300 degrees. For any variations in design, construction method, materials specified, general specifications without permission from the Project Engineer or Landscape Architect.

CLIENT	Iglu Pty Ltd
SCALE	1:100@A1

ARCHITECT	BATESMART.
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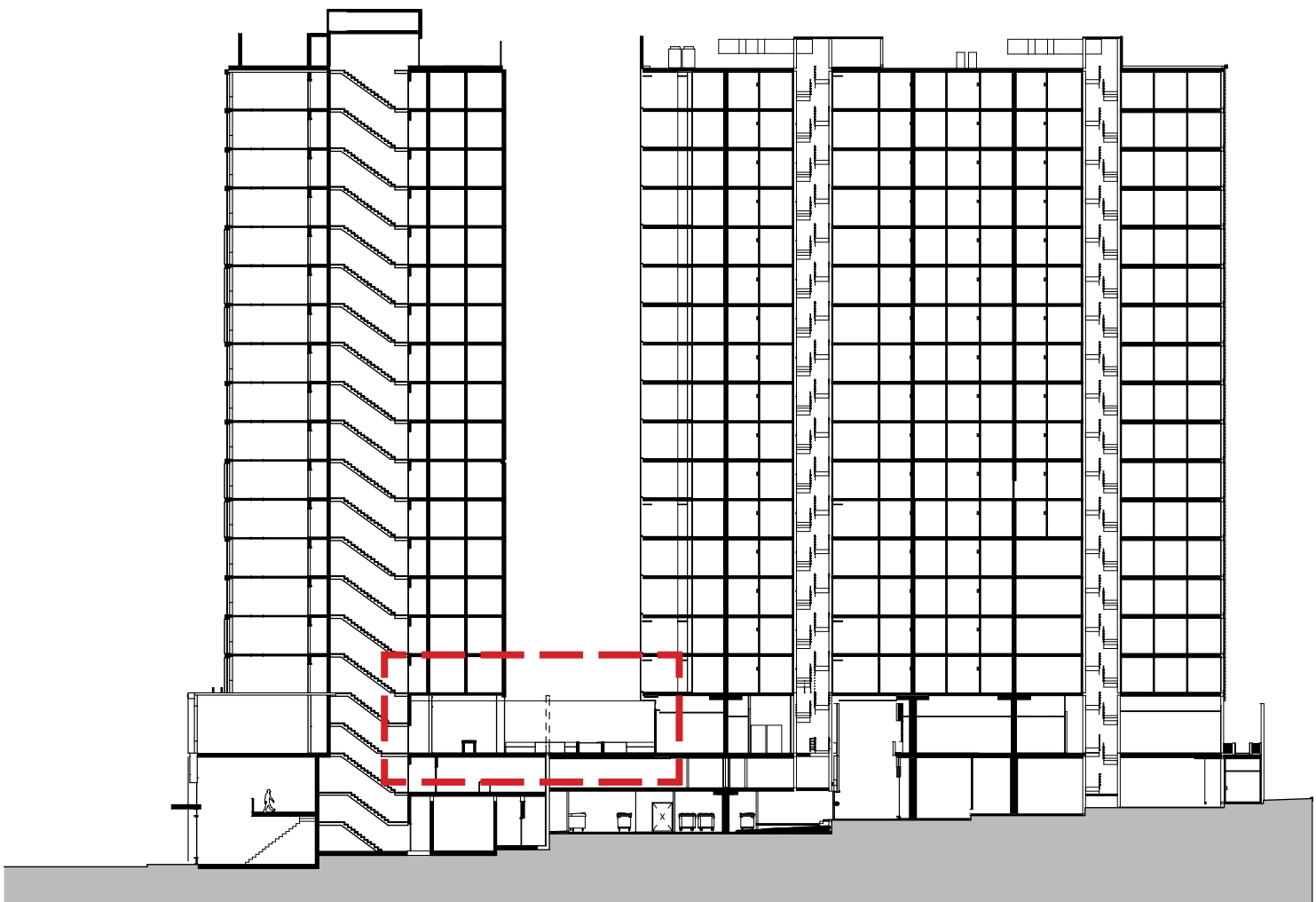
DWG. TITLE  
**Landscape Plan - Roof Terrace**

PROJECT  
**80 - 88 REGENT ST, REDFERN \_ IGLU II**

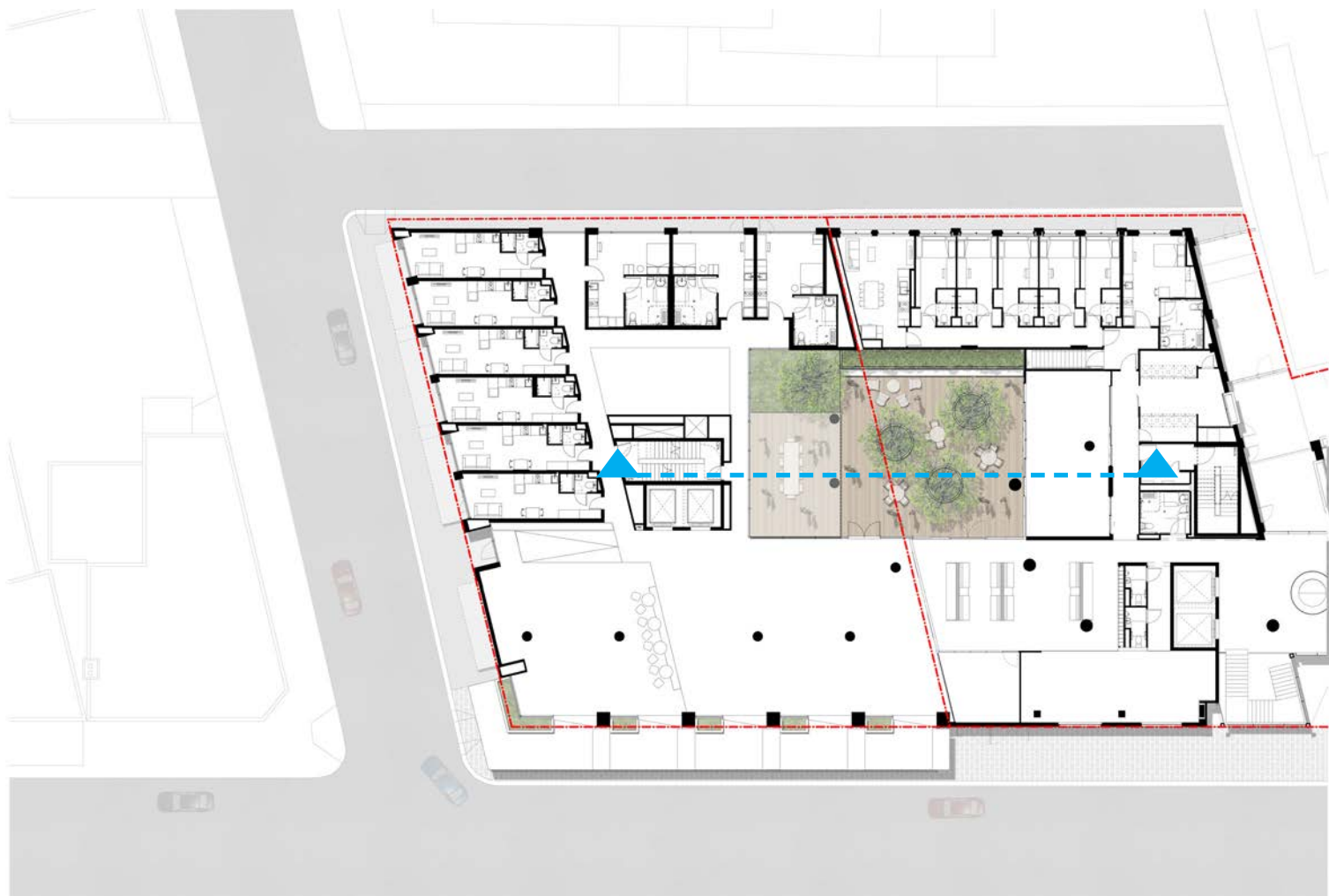


LEGEND

- 1 1000MM HIGH RAISED PLANTERS IN DECK WITH ULMUS PARVIFOLIA 'TODD' TREE PLANTING
- 2 TIMBER DECKING
- 3 LOOSE FURNITURE (TABLES AND CHAIRS)
- 4 800MM HIGH GARDEN WALL WITH 450MM SEATING EDGE TO GARDEN
- 5 BAMBOO PLANTING TO SCREEN WALL (BAMBUSA TEXTILLIS GRACILLIS)
- 6 FLUSH PLANTER WITH FEATURE TREE (CHAMEROPS HUMILLIS) TO CAPTURE VIEWS FROM INTERNAL COMMUNITY SPACE. REFER TO PLANTING LIST FOR FULL LIST OF SHRUBS AND GROUNDCOVERS
- 7 LARGE COMMUNAL TABLE UNDER COVER



KEY PLAN - SECTION 1



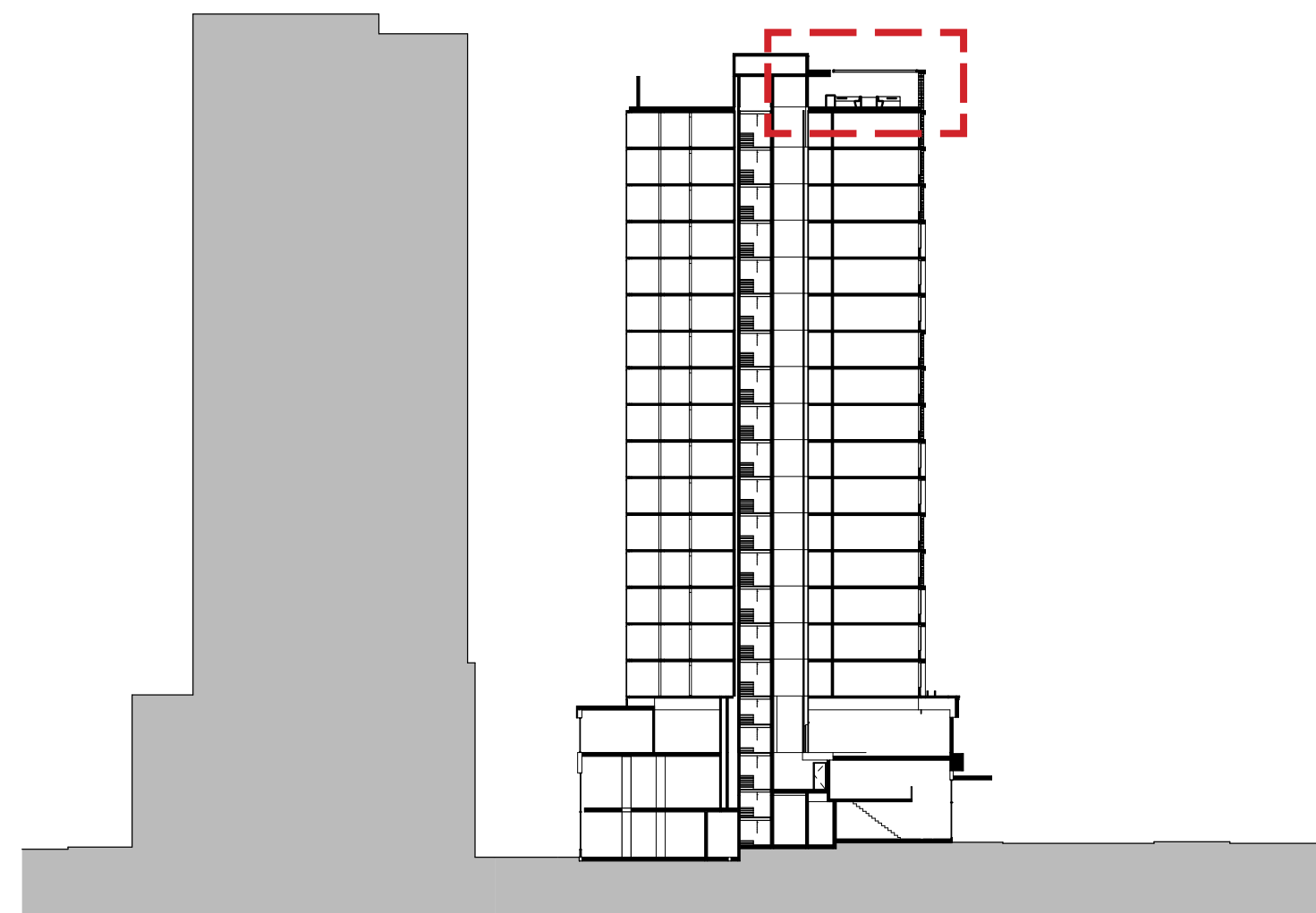
KEY PLAN - LEVEL 01



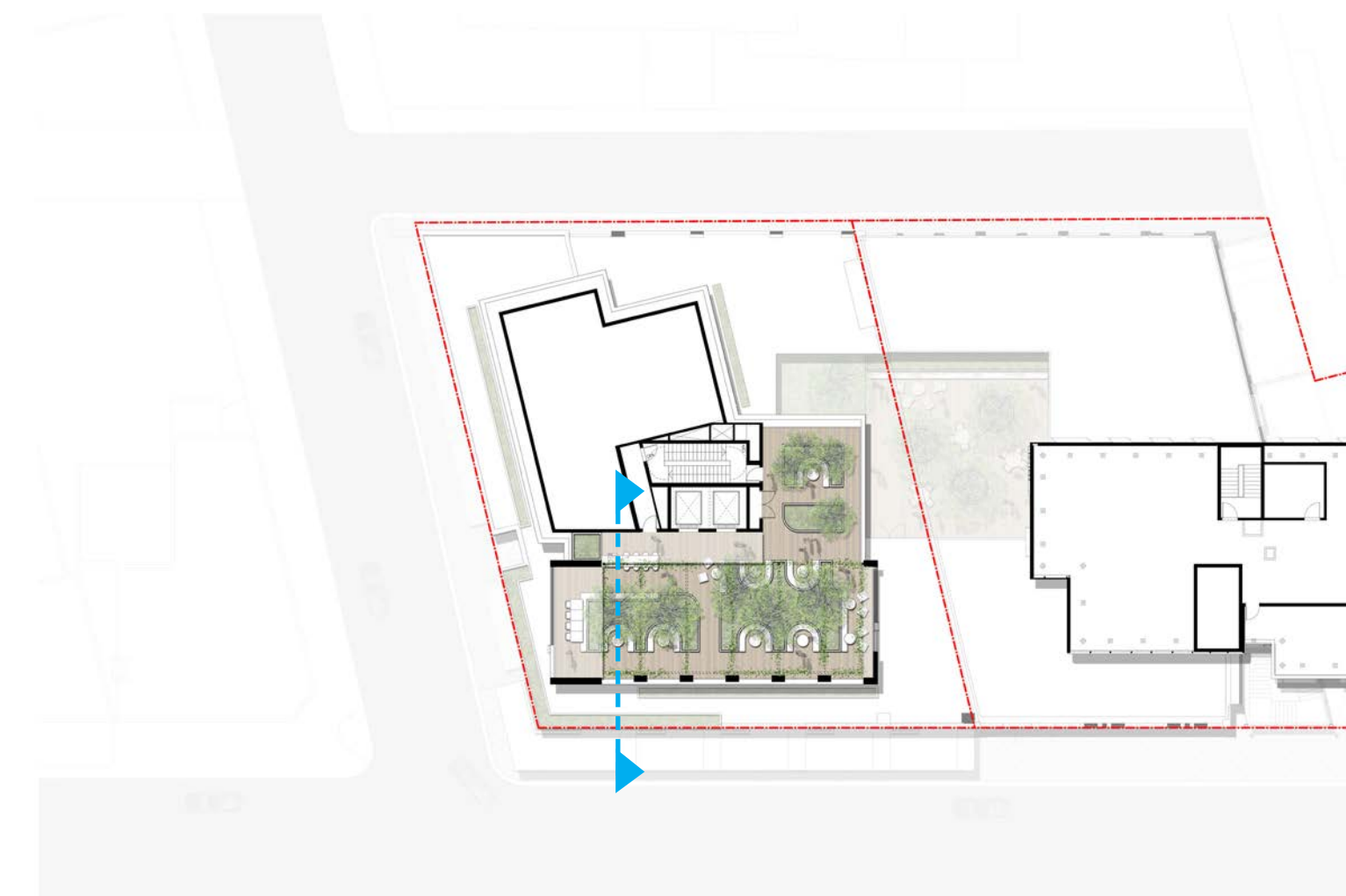


## LEGEND

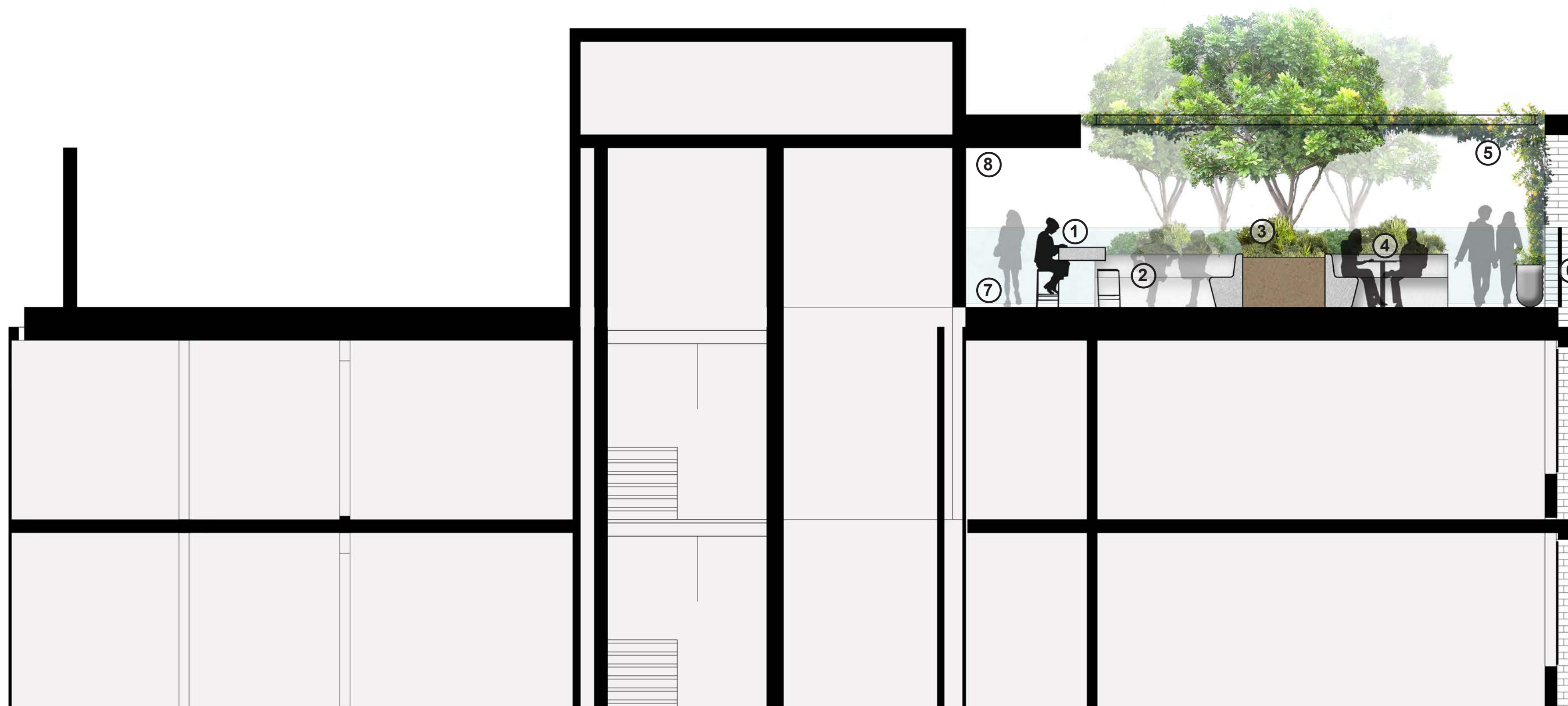
- 1 COMMUNAL BBQ FACILITY WITH RAISED BAR AND SEATING
- 2 ADAPTABLE LOOSE FURNITURE TO FACILITATE SMALL OR  
LARGE GROUP GATHERINGS (UNDER AWNING)
- 3 800MM RAISED GARDENS WITH 450MM HIGH SEATING EDGE.  
GARDEN CONSISTS OF CUPANIOPSIS ANACARDIOIDES TREE  
PLANTING WITH MIX OF NATIVE AND EXOTIC UNDERSTORY  
PLANTING. REFER TO PLANTING SCHEDULE FOR COMPLETE  
LIST OF SPECIES.
- 4 INTIMATE / PRIVATE BANQUET SEATING BOOTHS NESTED  
WITHIN GARDEN TO PROVIDE DINING SPACES ORIENTED  
TOWARDS THE VIEWS
- 5 TIMBER ARBOUR WITH SOLANDRA MAXIMA CLIMBING OVER
- 6 GLASS BALUSTRADE AND PARAPET TO ARCHITECT DETAIL
- 7 TIMBER DECKING
- 8 WEATHER PROTECTION SOLID AWNING OVER



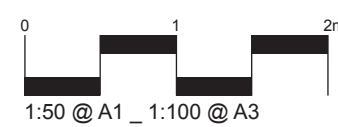
KEY PLAN - SECTION 2



KEY PLAN - ROOF TERRACE



ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF



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- All dimensions and RLs in meters.
- Use fixed dimensions only before the commencement of any works.
- Contractors shall locate and protect all services prior to construction.
- Work shall be carried out in accordance with AIA, RICA and Local Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- Work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Driveway Engineer's Specifications.

No responsibility will be taken by 360 degrees. For any variations in design, construction method, materials specified or specifications within the drawings from the Project Engineer and Landscape Architect.

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ARCHITECT  
BATESSMART.

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SCALE  
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ISSUE	DA
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DWG. TITLE

## Landscape Section 2

PROJECT

80 - 88 REGENT ST, REDFERN \_ IGLU II

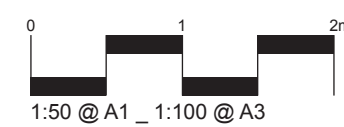
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w [www.360.net.au](http://www.360.net.au)  
ABN: 90 146 901 322

L-DA-09





ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF



**IMPORTANT NOTES:**

- Do not scale from drawings
- All discrepancies to be brought to the attention of the Landscape Architect
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- All field dimensions and RLs in metres.
- Use true dimensions only
- Verify all dimensions on site before the commencement of any works.
- Contractors shall locate and protect all services prior to construction.
- All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings.
- No responsibility will be taken by 360 degrees. For any variations in design, construction method, materials or specific specifications without permission from the Project Engineer or Landscape Architect.
- Consent is given for the use of the drawings for the purpose of construction.

SCALE  
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DWG. TITLE  
**Landscape Perspectives**



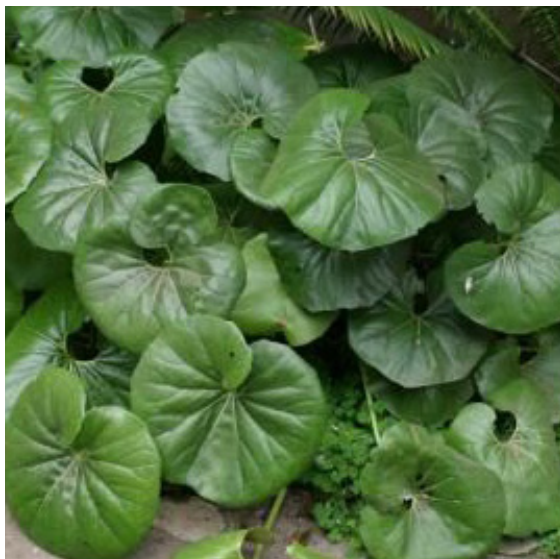


PROJECT  
**80 - 88 REGENT ST, REDFERN \_ IGLU II**

**360**   
Studio 1, 1 Marys Place  
Burrumbidgee NSW 2010  
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**Abstract**



PLANTING PALETTE  
LEVEL 01 COURTYARD

TREES & BAMBOO		
	<i>Bambusa textilis gracillis</i> Slender Weavers Bamboo	<i>Ulmus Parvifolia</i> 'Todd' Chinese Elm
SHRUBS & PERENNIALS		
	<i>Acanthus mollis</i> Oyster Plant	<i>Plectranthus argentatus</i> Silver Spurflower
		
		<i>Plectranthus nico</i> Swedish Ivy
GRASSES & LILIES		
	<i>Neomarica gracilis</i> Walking Iris	<i>Ligularia dentata</i> Leopard Plant
		
		<i>Ophiopogon jaburan</i> Giant Mondo Grass
GROUNDCOVERS & CLIMBERS		
	<i>Cissus antarctica</i> Native Violet	<i>Viola hederacea</i> Native Violet
		
		<i>Solandra grandiflora</i> Cup of Gold

PLANTING PALETTE  
BALCONY PLANTERS (LEVEL 01 & LEVEL 02)

FERNS		GROUNDCOVERS & CLIMBERS	
	Foxtail Fern		<i>Viola odorata</i> English Violet
			
			<i>Solandra grandiflora</i> Cup of Gold

PLANTING SCHEDULE

Botanical Name	Common Name	Pot Size
LEVEL 01 COURTYARD		
TREES		
<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle	400L
BAMBOO		
<i>Bambusa textilis gracilis</i>	Slender Weavers Bamboo	300mm
SHRUBS & PERENNIALS		
<i>Acanthus mollis</i>	Oyster Plant	200mm
<i>Plectranthus argentatus</i>	Silver Spurflower	200mm
<i>Plectranthus nico</i>	Swedish Ivy	200mm
GRASSES & LILIES		
<i>Neomarica gracilis</i>	Walking Iris	150mm
<i>Ligularia dentata</i>	Leopard Plant	150mm
<i>Ophiopogon jaburan</i>	Giant Mondo Grass	150mm
GROUNDCOVERS		
<i>Cissus antarctica</i>	Kangaroo Vine	150mm
<i>Viola hederacea</i>	Native Violet	150mm
CLIMBERS		
<i>Parthenocissus tricuspidata</i>	Boston Ivy	200mm
BALCONY PLANTERS (LEVEL 01 & LEVEL 02)		
FERNS		
<i>Asparagus densiflorus</i> 'Myersii'	Foxtail Fern	150mm
GROUNDCOVERS		
<i>Viola odorata</i>	English Violet	150mm
CLIMBERS		
<i>Solandra grandiflora</i>	Cup of Gold	200mm
ROOF TERRACE		
TREES		
<i>Citrus hystrix</i>	Kaffir Lime	200L
<i>Cupaniopsis anacardioides</i>	Tuckeroo	400L
SHRUBS & PERENNIALS		
<i>Adenanthos sericeus</i>	Wooly Bush	200mm
<i>Baeckea imbricata</i>	Heath Myrtle	200mm
<i>Euonymus japonicus</i> (Green)	Japanese Spindle	200mm
<i>Gardenia augusta</i> 'Florida'	Fragrant Gardenia	200mm
<i>Lavandula</i>	Lavender	200mm
<i>Phormium tenax</i>	New Zeland Flax	200mm
<i>Pittosporum</i> 'Miss Muffet'	Miss Muffet	200mm
<i>Plectranthus argentatus</i> 'Mona Lavender'	Mona Lavender	200mm
GRASSES & LILIES		
<i>Neomarica gracilis</i>	Walking Iris	150mm
<i>Ligularia dentata</i>	Leopard Plant	150mm
<i>Lomandra</i> 'Lime Tuff'	Lime Tuff Mat Rush	150mm
GROUNDCOVERS		
<i>Dichondra argentata</i> 'Silver Falls'	Silver Falls	150mm
<i>Myoporum parvifolium</i>	Creeping Boobiala	150mm
<i>Rosmarinus officinalis</i> 'Irene'	Prostrate Rosemary	150mm
<i>Viola hederacea</i>	Native Violet	150mm
CLIMBERS		
<i>Thunbergia grandiflora</i> 'Alba'	White Sky Vine	200mm
EDIBLES		
<i>Citrus hystrix</i>	Kaffir Lime	150mm
<i>Coriandrum sativum</i>	Coriander	150mm
<i>Mentha</i>	Mint	150mm
<i>Occinum basilicum</i>	Basil	150mm
<i>Origanum vulgare</i>	Oregano	150mm
<i>Petroselinum crispum</i>	Parsley	150mm
<i>Rosmarinus officinalis</i> 'Tuscan Blue'	Tuscan Blue Rosemary	150mm
<i>Salvia officinalis</i>	Sage	150mm
<i>Thymus vulgaris</i>	Common Thyme	150mm

	ISS.	AMENDMENT	DATE	BY	IMPORTANT NOTES: Do not scale from drawings. All dimensions to be designed to the attention of the Landscape Architect. Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All the dimensions and fix to centres. Use metric dimensions only. Verify all dimensions on site before the commencement of any works. Coordinate all work and provide all services prior to construction. All work shall be carried out in accordance with AS/NZS, SCA and Local Government Regulations. All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Equipment Specifications. Equipment & Material Method & Quality shall be subject to Engineer's Specifications. The responsibility shall be taken by 360 degrees, for any variations in design, construction methods, material specified, and general specification without permission from the Project Engineer or Landscape Architect. This Drawing is Copyright to 360 degrees.	CLIENT Iglu Pty Ltd	ARCHITECT BATESSIMART.	CHECKED LB	DWG. TITLE  <b>Planting Palette (sheet 1)</b>  PROJECT <b>80 - 88 REGENT ST, REDFERN _ IGLU II</b>	<div><div>360</div><div>Studio 1, 1 Marys Place Surry Hills NSW 2010 p +618 9008 3601 w www.360.net.au ABN: 80 146 801 382</div></div> <div>L-DA-011</div>
	A	DRAFT DA	17.08.18	GF						
	B	DA	24.08.18	GF						
						SCALE N/A	DRAWN GF	ISSUE DA		



