

**Detailed section western lift core facade**



**Western lift core facade**



**Section showing distribution of atria**

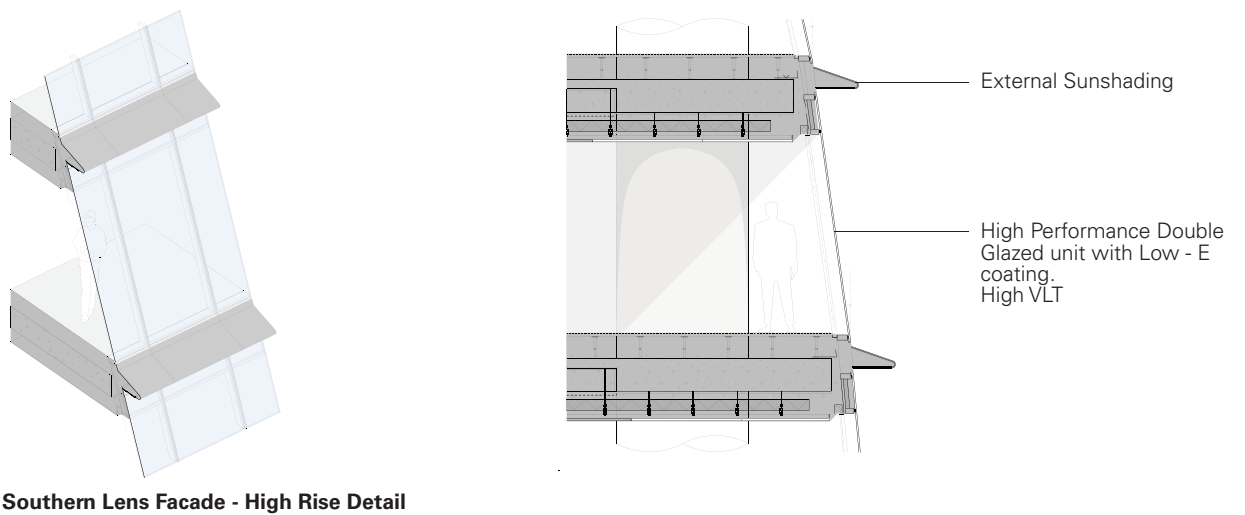
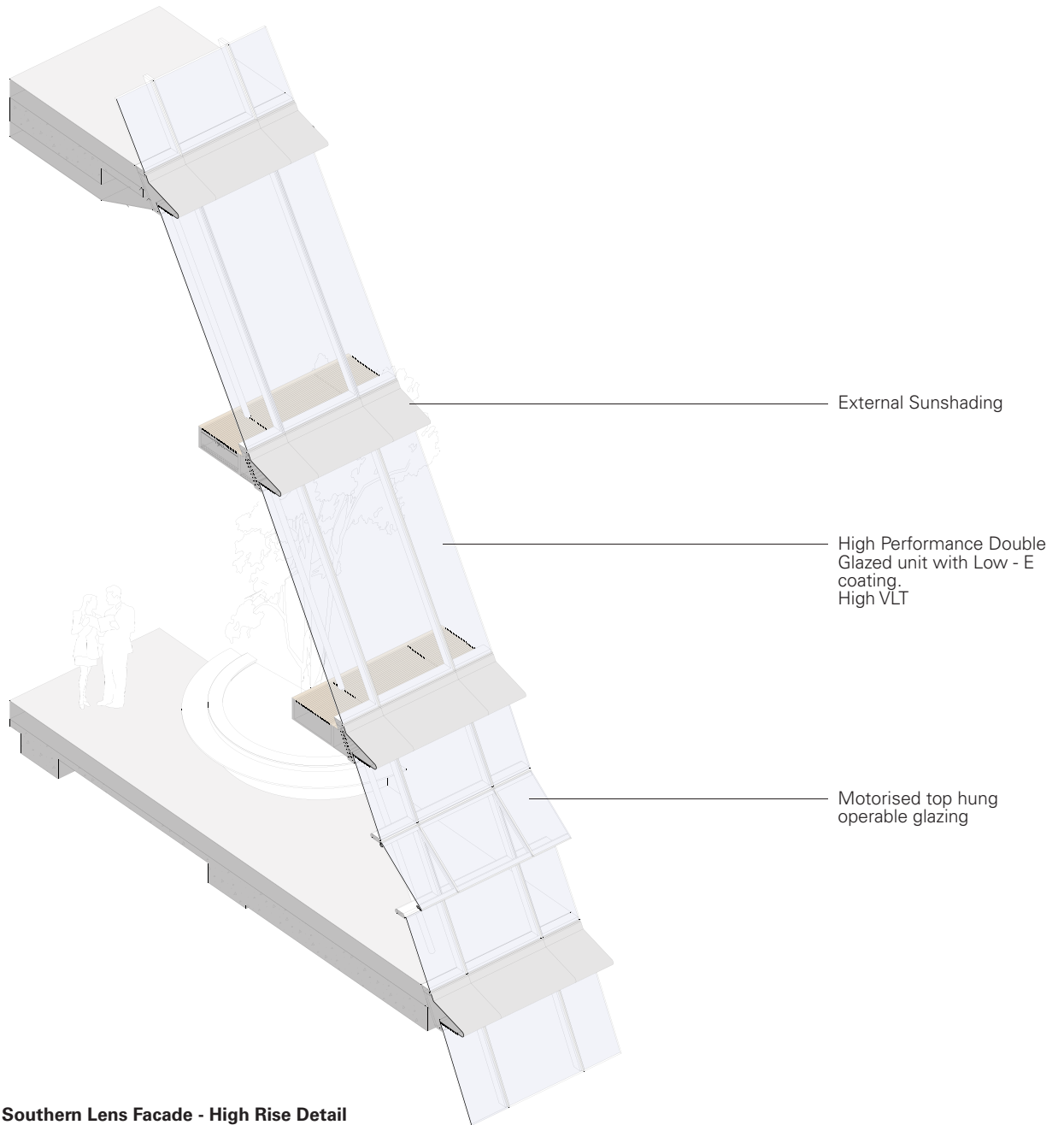
## Facade - Western Lift Core and Daylit Atria

A central atrium that visibly and physically connects the large floor plates is specified by the brief and is based on the highly successful central atrium that connects all the levels of 50 Martin Place. The scale and proportion of the 50 Martin Place atrium is directly comparable to the mid- and low-rise floor plates of the North Tower.

The central atria are side lit via the glazed lift shafts located on the western facade. This engineered solution has been tested with thermal and daylight modelling and enables the external lift shaft glazing to be highly transparent with a high VLT. The result is high daylight levels filtering into the atria. This will enhance the environmental quality of the building with a significant proportion of the floorplate having access to either perimeter or atrium views.



Indicative rendering of workplace interior orientated around central atrium



## Facade - Southern Lens

The south facing tower facade utilises highly transparent glass that will distinguish this part of the floor plate with:

- + High levels of natural daylight;
- + Clear views out across 50 Martin Place and to the city beyond, and;
- + A high degree of transparency into the workplace from street level, 50 Martin Place and adjacent buildings.

The high rise levels of the tower incorporate a series of three-storey terraced atria directly adjacent to the southern lens as an alternative to the central atria in the low and mid-rise floors.

The Southern Lens is particularly important in the high-rise tower as it aligns with 3-level perimeter atria that connect the upper floor plates. These areas offer the workplace breakout spaces that can be used as winter garden terraces with high levels of natural light and city views. The atria will include interconnecting floors to provide tenants with flexibility to scale the workplace in the upper levels of the building.



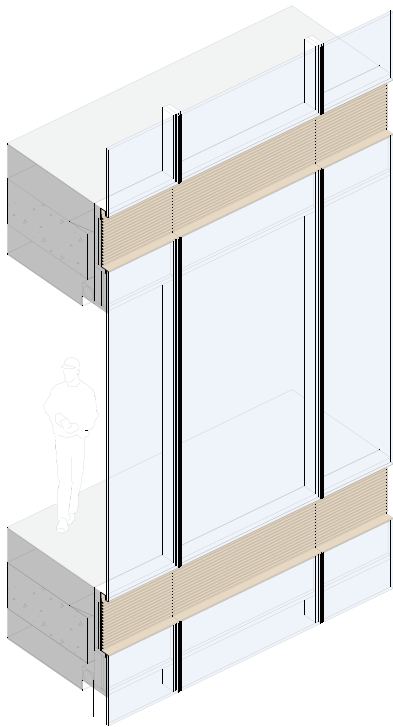
Southern Lens relationship to 50 Martin Place



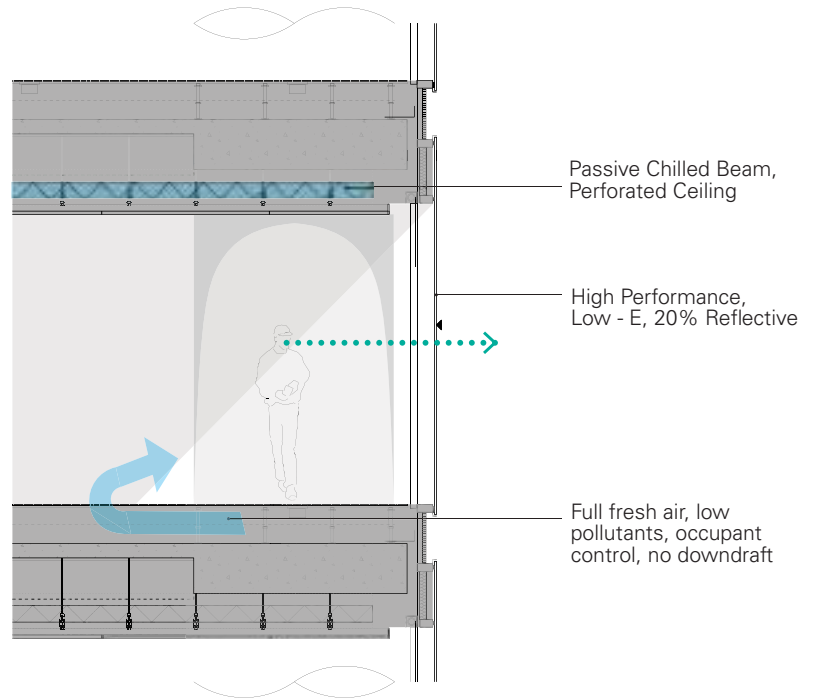
High VLT Glazing Precedent - Shanghai Tower



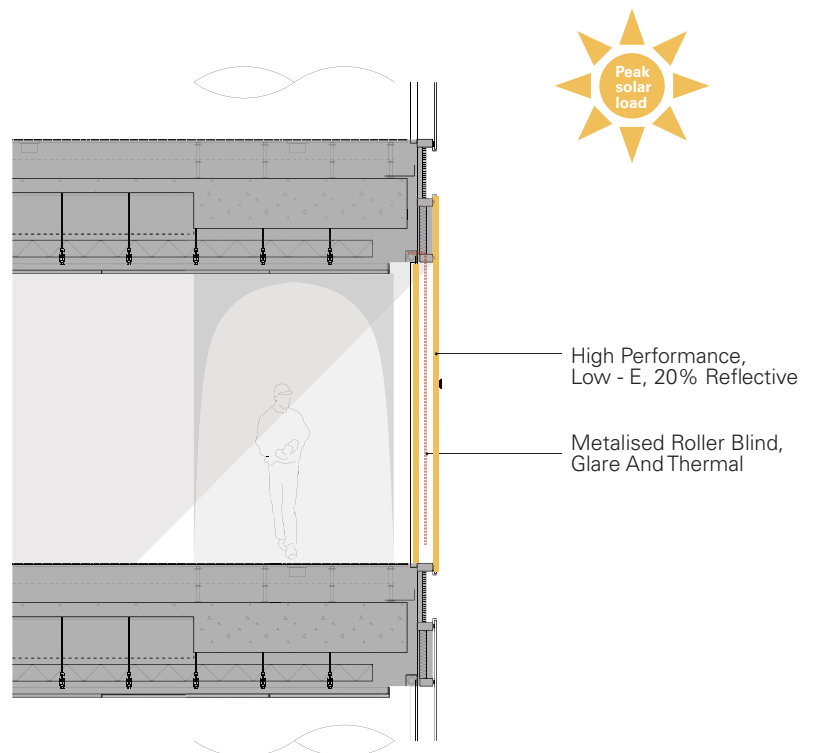




**Typical Office Floor Curtain Wall Glazing Elevation**



**Typical Office Floor Curtain Wall Glazing Section**



**Typical Office Floor Curtain Wall Glazing Section**

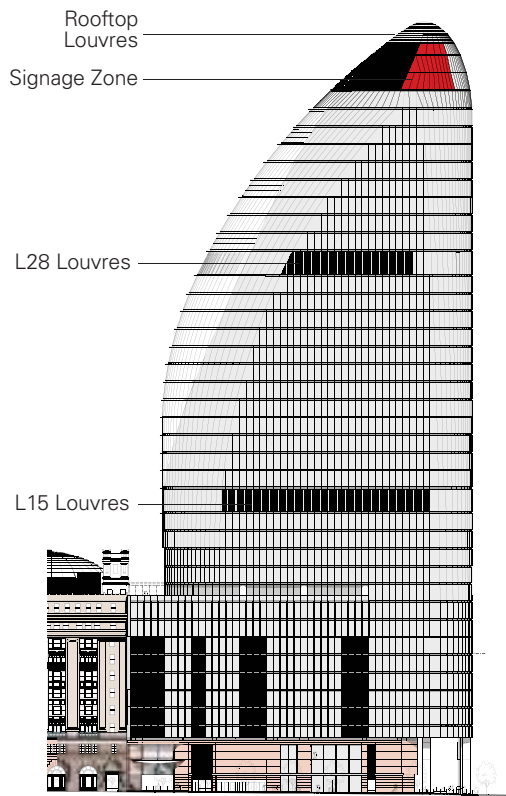
## Facade - Typical Office Facade Unimpeded Views

The Macquarie workplace brief is focused on the user experience with the 50 Martin Place “class leading” environment as the benchmark. A key component is access to views and natural light.

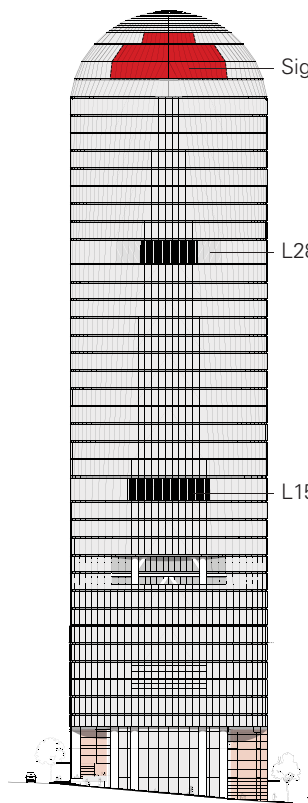
A floor to ceiling moderate-VLT glass with internal fully automated metallised blinds has been selected. This system is favoured over higher VLT glass as greater transparency would necessitate fixed external sunshading or closed-cavity systems, resulting in permanent impairment of views and outlook.

This proposed, engineered solution synchronises the use of blinds for glare control with periods of peak solar load.

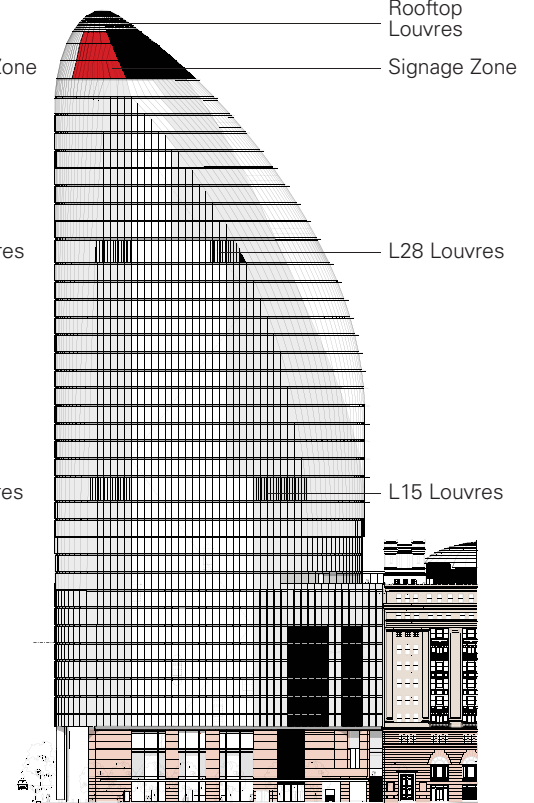
The combination of moderate-VLT, high performance glass and automated blinds maximises outlook, views and connection with the external environment. This will have a positive impact on the well-being of occupants.



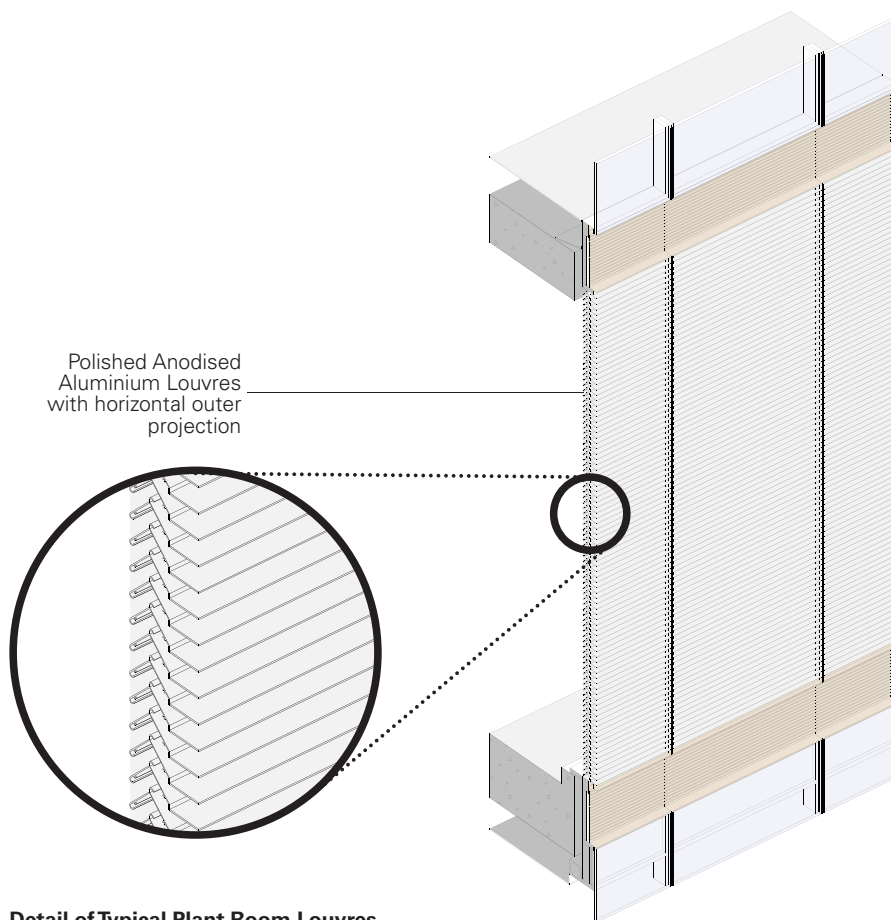
**East Facade**



**North Facade**



**West Facade**



**Detail of Typical Plant Room Louvres  
Levels 15 and 28 and Rooftop Levels 38/39**

## Facade - Plant Integration and Signage

### Plant

The North Tower is serviced primarily by three plant zones - Level 15, Level 28, and Level 38/39.

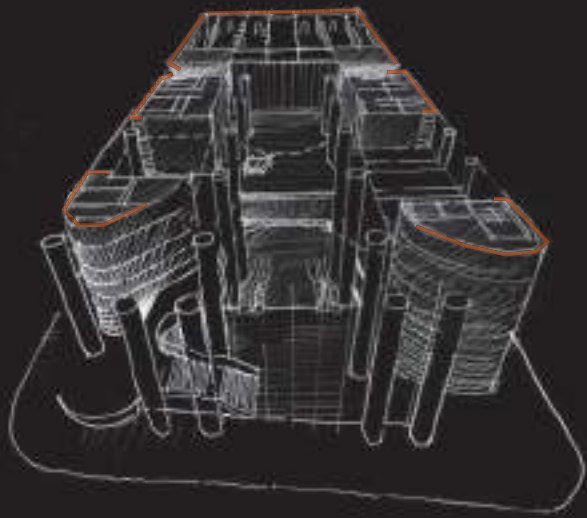
The tapering rooftop contains discreet and integrated plant space. The facade system around the enclosure consists of an integrated louvre system with operable areas to the south and to a lesser extent the east and west. Level 28 and a large portion of Level 15 contain plant elements. These floors are also clad with an integrated louvre system that include operable areas as required. This system has been designed to be fully integrated and visually consistent with the standard tower glazing and its faceted geometry.

### Signage

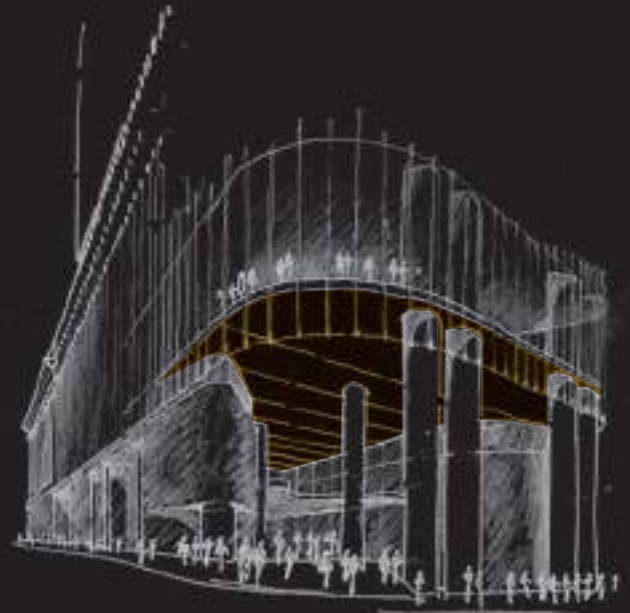
Zones for building signage have been identified at high level where they are prominent and will be integrated into the roof top architecture without impacting tenant views.

These drawings indicate three potential signage locations. Building signage will be subject to future development applications.

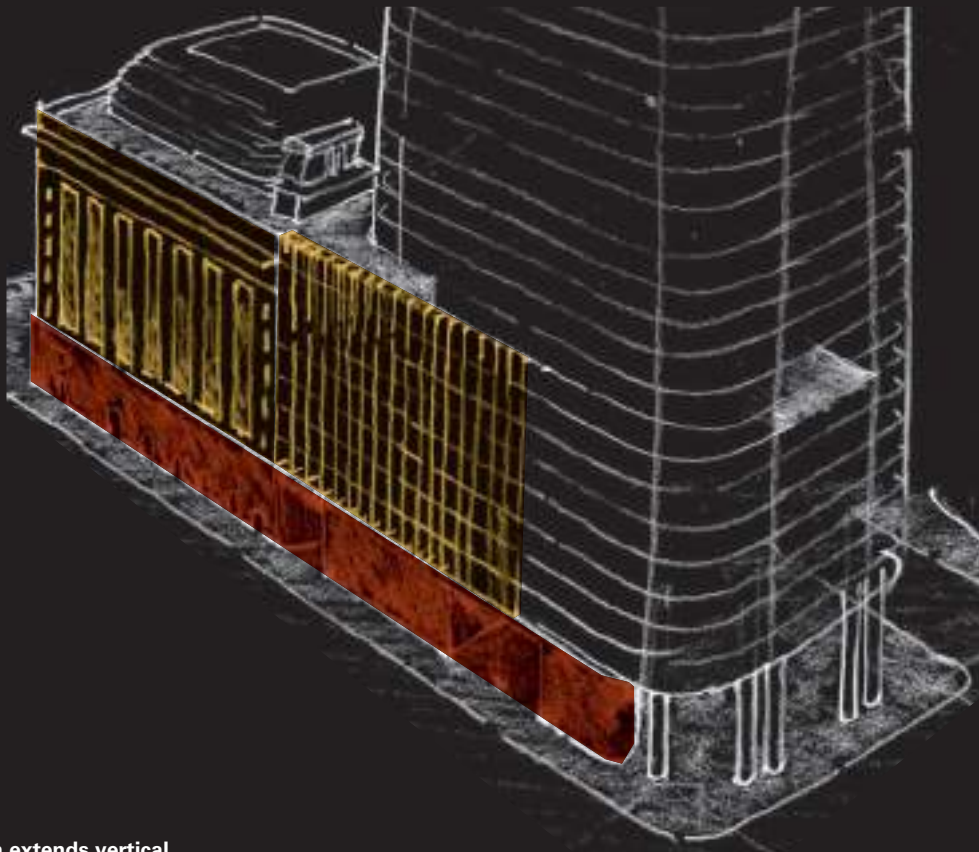




Monumental granite walls extend 50  
Martin Place base  
Columns at Hunter St emphasise tower to  
ground



Metallic tower base unifies plaza



Vertical Fin Screen extends vertical  
expression of 50 Martin Place pilaster  
columns

## Facade Design - Podium

The podium facades on Elizabeth and Castlereagh Streets mediate between the solid masonry character of 50 Martin Place and the faceted glazed curtain wall tower above. The podium expression consists of a granite base; the expressed underside of the tower form, a streetwall screen of vertical fins; and recessed terraces at Level 10.

A composition of monumental sculptural red granite walls form the solid elements at footpath level of Elizabeth St and Castlereagh St. These extend the material and coursing of the red granite base of 50 Martin Place providing a consistent pedestrian experience. Furthermore, the walls enclose consolidated services and egress requirements and the openings between the granite walls define entries to the tower, retail and the station.

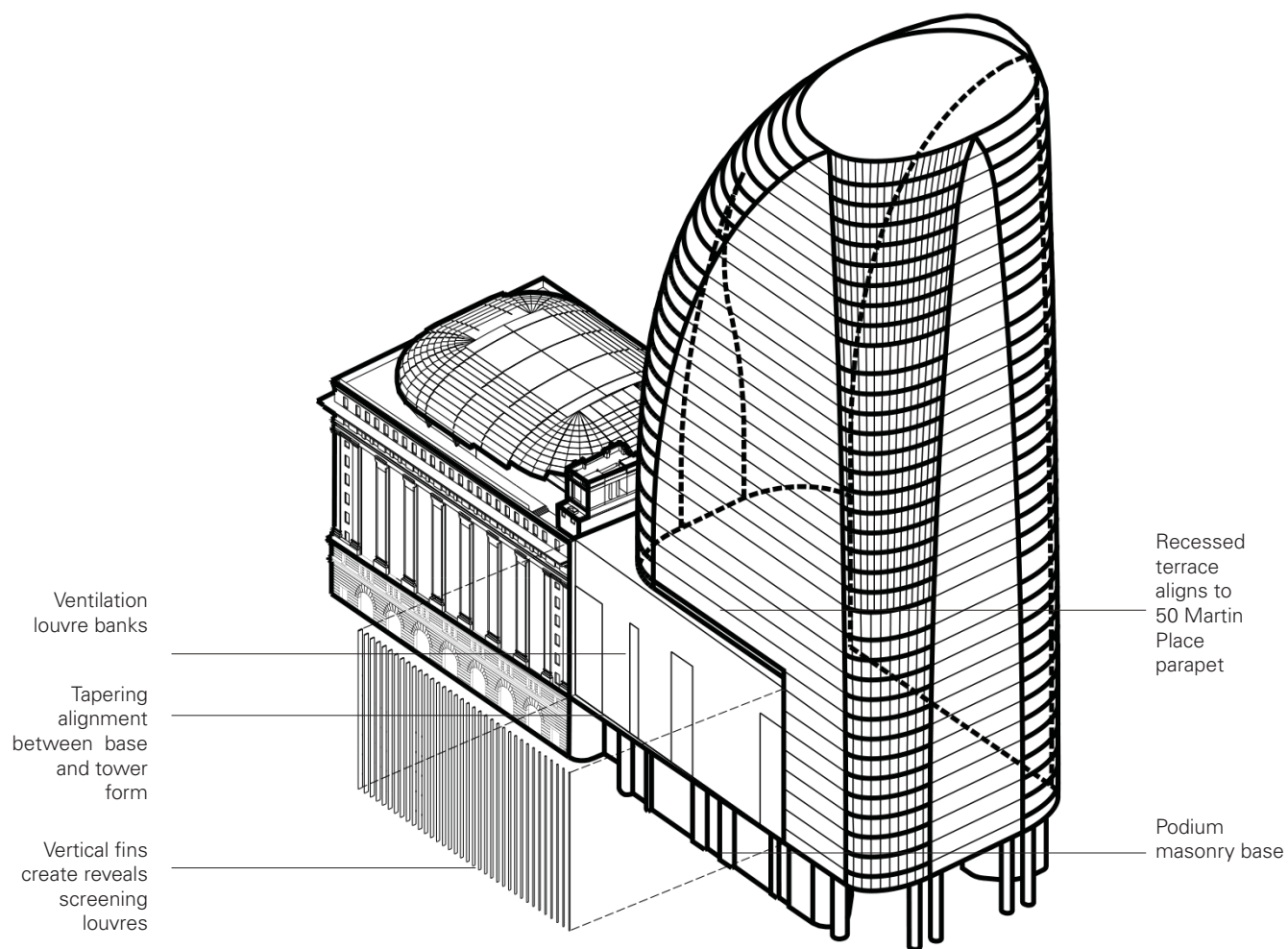
High quality shopfront glazing between the stone walls enclose retail and lobbies with glazed awnings and canopies lightly connecting to the base and providing pedestrian weather protection.

Along Hunter Street the granite walls are discontinued and the structural expression of tower is emphasised with expressed external columns. The commencement of the tower glazing at Level 2 defines a "reverse podium" in response to the neighbouring towers, allowing natural daylight and visual connection to Metro levels.

A continuous metallic clad soffit over the plaza at Level 2 soffit expresses the base of the tower form. This ceiling is continuous across the site from 50 Martin Place to the Hunter St Metro entries and unifies the various public zones. The ceiling forms one of several distinctive and memorable ceilings across the precinct and echoing the prominence of the singular ceiling that sits over the 50 Martin Place Banking Chamber.

A procession of 8-storey vertical metal fins extend from the granite base to the 50 Martin Place parapet height to manage the transition from 50 Martin Place heritage facade to tower-to-ground along Hunter Street. The fins are connected to the tower glazing and create deep reveals which screen the extensive Metro services ventilation requirements consolidated in vertical banks in the podium facade. The fins commence at 50 Martin Place and terminate in alignment with the last vertical louvre bank. The reducing depth of the fins resolves the tapering alignment between the plot boundary and tower glazing above. The expression differs on Elizabeth Street and Castlereagh Street due to differing service requirements, boundary alignment conditions and side core atria / lift core on the western facade.

Recessed terraces on the east and west facades at Level 10 reinforce the predominant street wall datums established by 50 Martin Place, Qantas House and City Mutual Building emphasising the distinction between the podium and the tower. The podium interface with 50 Martin Place is clearly defined via a shadow detail between old and new elements. A negative infill curtain wall detail allows the 50MP cornice and capital return details to be read from the street.

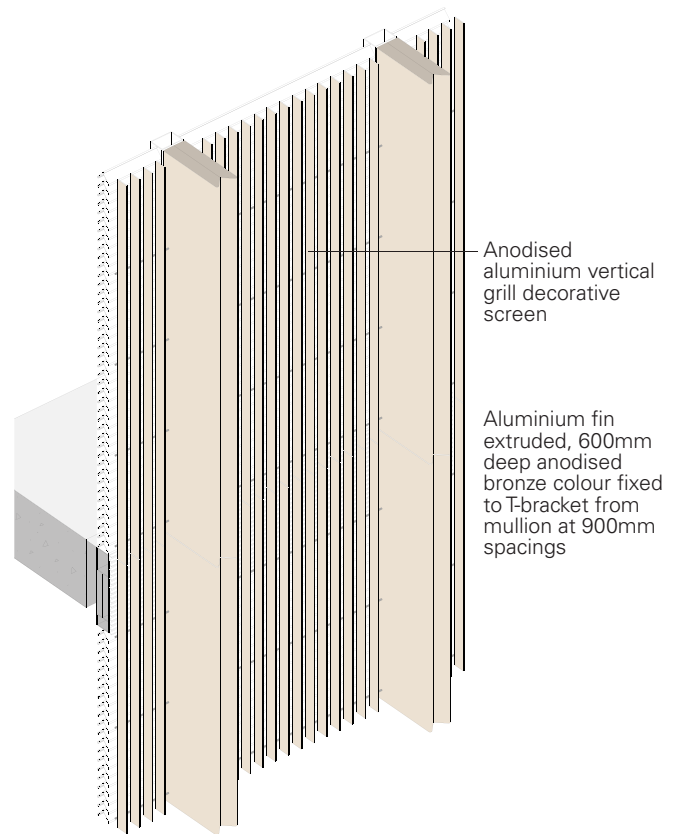
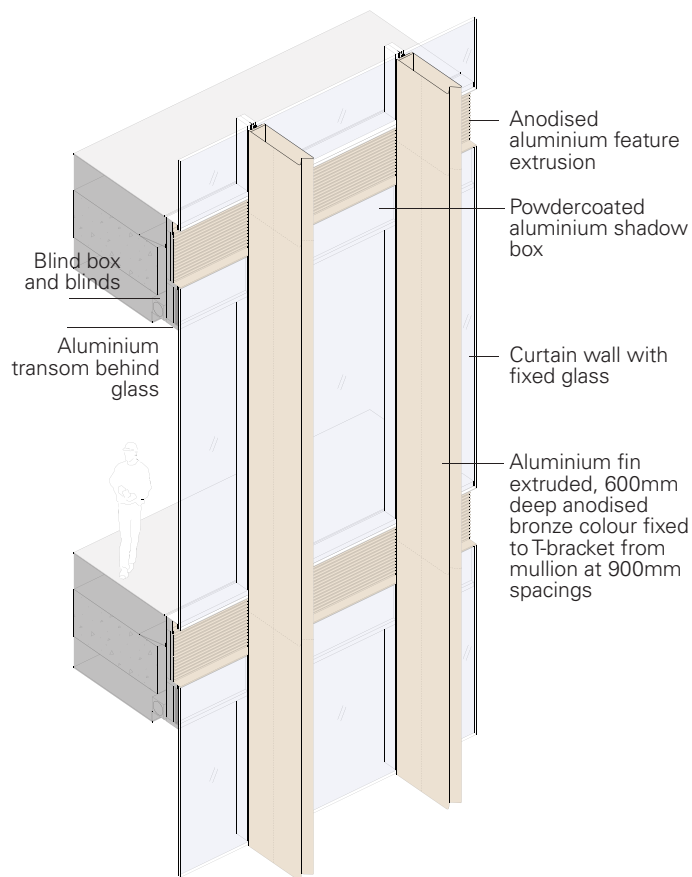


**Podium facade elements - Elizabeth Street and Hunter Street corner**



**Detail of tapering vertical fins, recessed terrace and legibility of 50 Martin Place cornice and capital details**





**Detail of vertical fins applied to tower glazing and louvre banks at podium levels on Elizabeth Street and Castlereagh Street**

**Detail of vertical fins and decorative screen over louvre banks at podium levels on Elizabeth Street and Castlereagh Street**



**Detail of tapering vertical fins, recessed terrace and interface with 50 Martin Place**





**Precedent - Typical Tower Facade**  
20 Martin Place  
20% Glazing reflectivity



**Precedent - Podium Base and Typical Tower Facade**  
50 Martin Place  
Masonry base and faceted, curved glazed form



**Precedent - Southern Lens and Western Lift Core**  
Shanghai Tower  
High VLT glazing



**Precedent - Street Wall Fins**  
200 George Street  
Podium bronze coloured metal fins

# Materiality

The North Tower materiality and architectural character respond to its specific local surroundings and broader context in the city skyline. Consistent and complementary materials relate to 50 Martin Place. The South Tower is also consistent and ensures an integrated composition across the precinct. There are four key materials:

## Typical Tower Facade

The primary, curved glazed tower facade consists of 20% reflective glazing and bronze coloured metal framing details which respond directly to the materiality of the 50 Martin Place glazed dome.

## Southern Lens and Western Lift Core

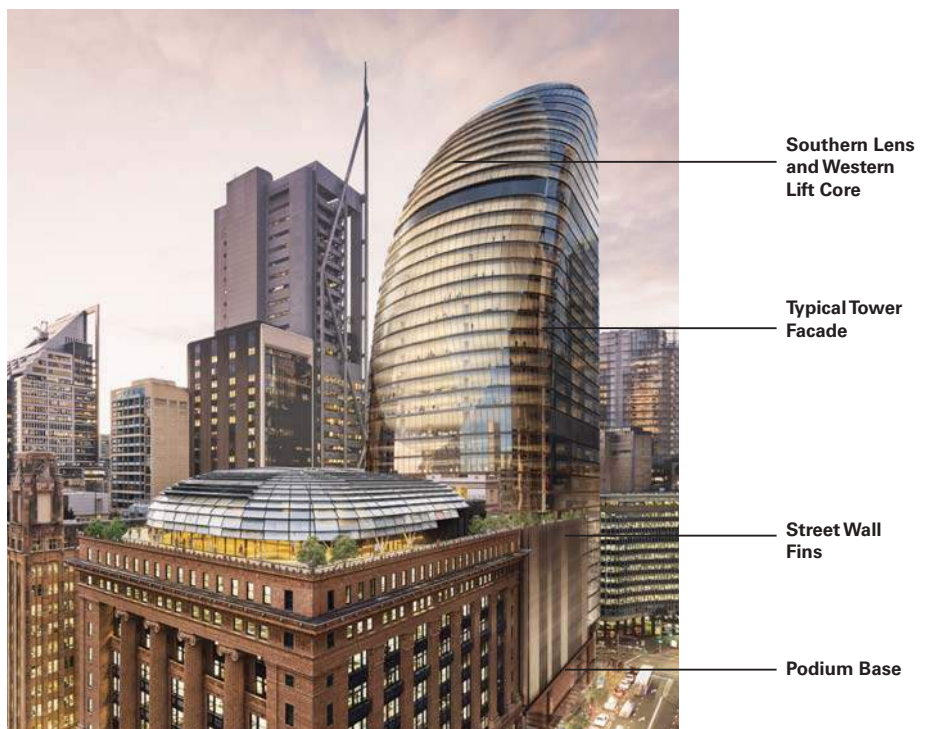
Highly transparent glazing emphasising views and daylight.

## Street Wall Fins

Vertical aluminium fins transition into the pilaster columns of the Elizabeth Street and Castlereagh Street elevations of 50 Martin Place. A warm metallic finish will harmonise with the warmer hues of the terracotta tiling in the 50 Martin Place facade.

## Base

The monumental granite walls and select bronze anodised framing of the North Tower base will match the granite and bronze framing of the 50 Martin Place base demonstrating respect for the heritage significance of 50 Martin Place through the use of complementary and contemporary materiality.



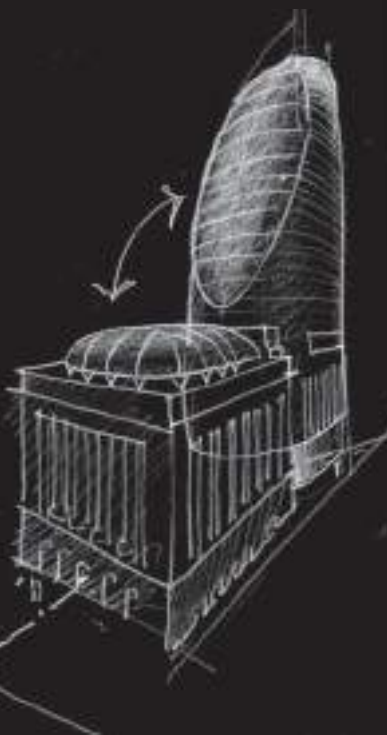


HERITAGE

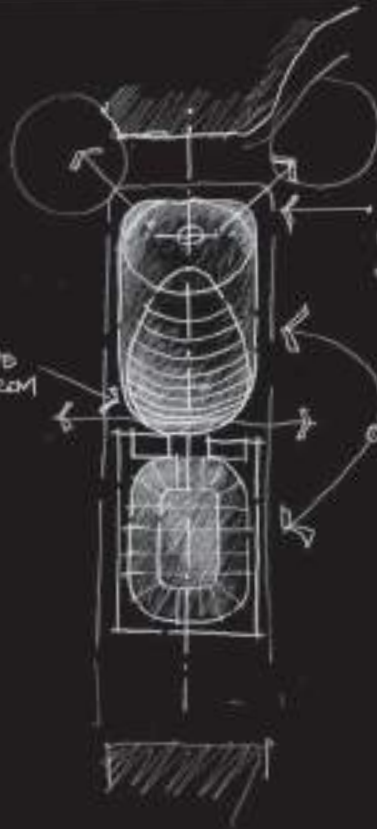




TO REINFORCE THE LANDMARK  
QUALITIES & CIVIC PRESENCE  
OF SOMM AS A FORM IN THE  
BACKGROUND THAT IS STRICTLY  
SYMMETRICAL, AXIAL, &  
IS RECESSIVE THROUGH  
COMPOUND CURVES WHEN  
VIEWED FROM MARTIN FACE.



THE  
SOUTHERN CURVE  
SETS BACK FROM  
SOMM



CURVED STREET CORNERS  
DIAGONALLY ADDRESS THE  
CITY SQUARES TO THE NORTH

A SYMMETRICAL TOWER PLAN  
FORM THAT GEOMETRICALLY  
RELATES TO THE GLAZED DOME  
OF SOMM

## Heritage Context

The North Tower has been developed with careful consideration for the heritage aspects of the site. The response seeks to not only minimise or avoid impacts on adjacent heritage items, but where possible to improve their presence and contribute to a cohesive setting and environment.

The architectural form, materiality and expression of the building responds purposefully to its context which is dominated by the magnificent Beaux Arts 50 Martin Place building. This forms a centrepiece and becomes the inspiration for the precinct. The design has been developed to demonstrate respect for the significance of 50 Martin Place and reinforce its street-scape prominence and independent identity as one of the finest purpose-designed bank buildings in Australia.

In order to integrate sensitively with the low scale of 50 Martin Place, the tower form of the new building is setback 6m and gently tapers away towards the north, providing visual and physical separation. This space allows views of the heritage if overruns to be maintained and allows 50 Martin Place to be understood as a distinct and independent architectural element.

The podium design demonstrates respect for the significance of 50 Martin Place through the use of the complementary and contemporary materiality and clearly extending and articulates key datums such as the masonry base and the street wall height along Elizabeth Street and Castlereagh Street. This also assists in reinforcing key street wall heights of Qantas House, City Mutual building and 38-46 Martin Place (MLC Building). Furthermore the interface with 50 Martin Place is de-emphasized via a shadow detail between old and new elements. This negative infill curtain wall detail allows the 50 Martin Place cornice and capital return details to be read from the street as demonstrated in the imagery that follows.

The design also responds to Chifley Square and Richard Johnson Square through curved street corners that diagonally address the city squares to the north. Their spatial definition is also increased by the tower-to-ground form with no setbacks along Hunter Street.

Relationship to 50 Martin Place

Negative interface detail



Key street wall alignments

Glazed awnings

Key street wall alignments



Cornice detail legible

Legibility of heritage lift overruns

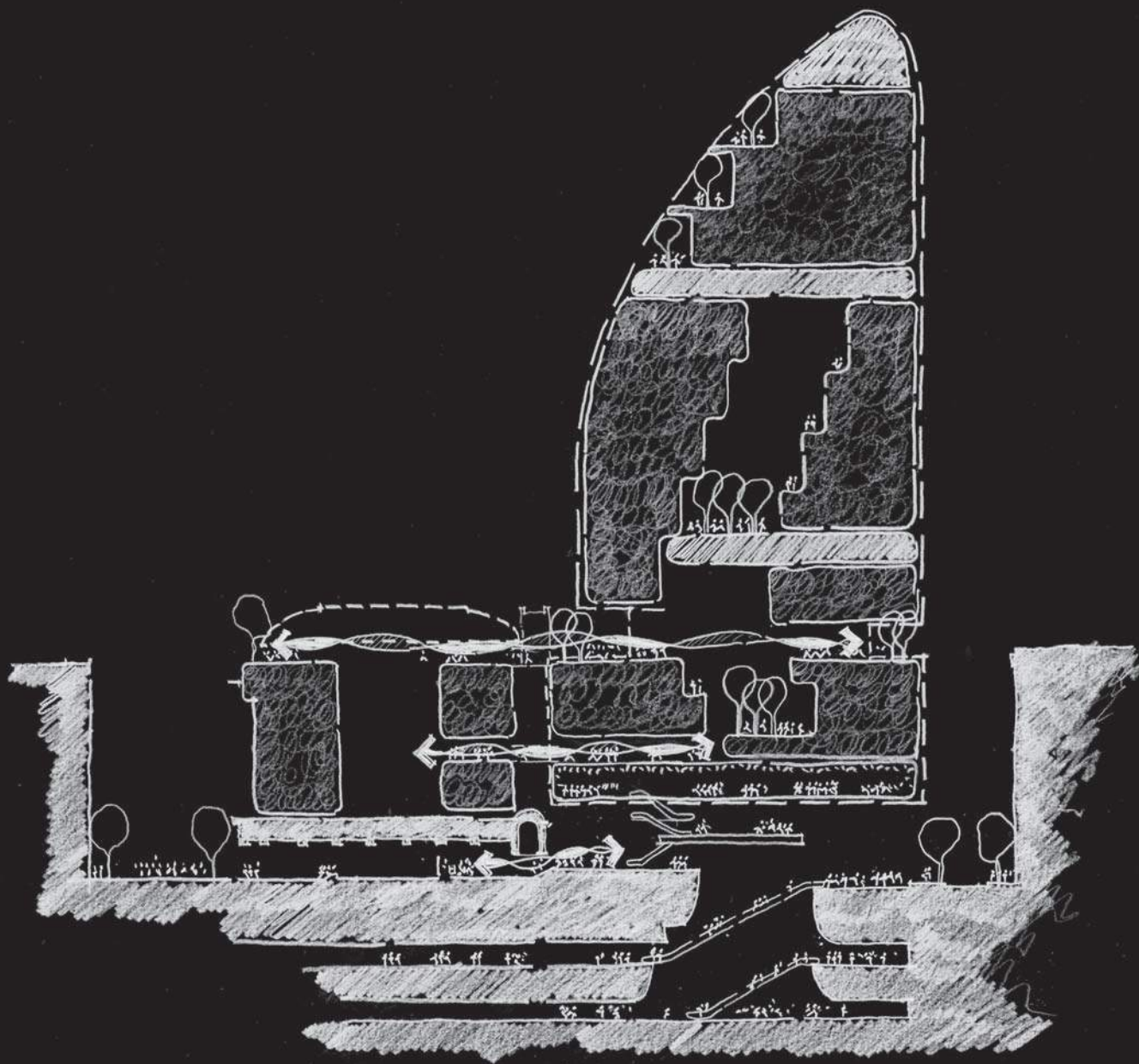


Complementary materials

Continuity of stone base

Vertical fins





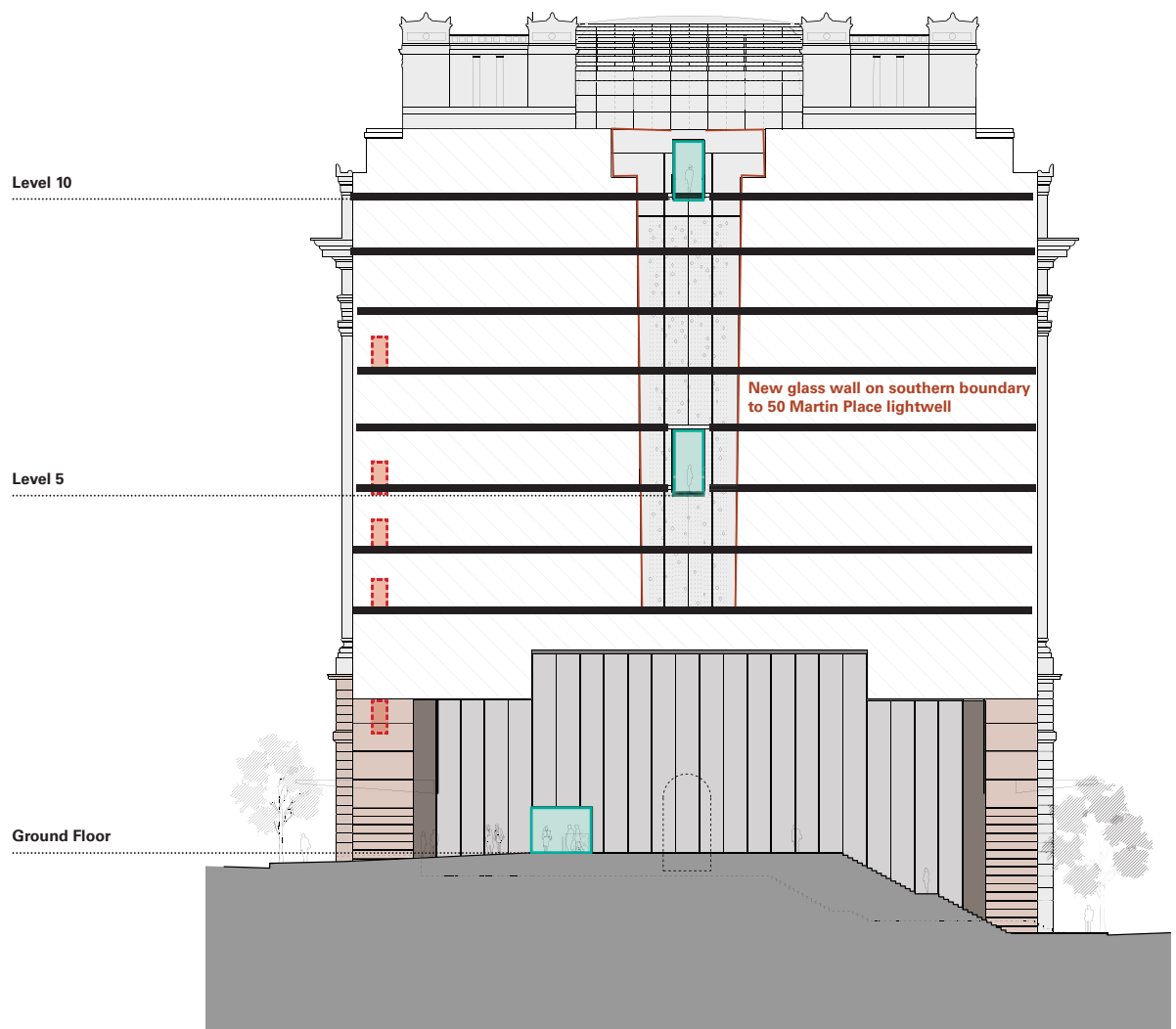
## 50 Martin Place Connections

The proposal introduces three new connections between the North Tower and 50 Martin Place to create activity and integration between the two buildings. This specifically responds to Macquarie's aspiration to create a headquarters that includes both 50 Martin Place and the North Tower, as building owner and occupant.

Discreet bridge links are proposed to connect through this space into 50 Martin Place at key "active" floors - the ground floor Banking Chamber, Level 5 office plaza and the Level 10 client terrace level.

The three connections proposed between 50 Martin Place and the North Tower are located within areas identified as having exceptional heritage significance – the Grand Hall and Level 10 – and high significance – the northern lightwell at Level 5. New works clearly delineate the separation between historic and proposed elements through the use of contemporary materials and detailing of openings. Furthermore, all openings are designed to be reversible and minimise the loss of heritage fabric. Glazing is introduced along the full extent of the northern lightwell providing a source of natural daylight for the North Tower office floors. This will visually connect the low levels of the North Tower with the workspace in 50 Martin Place. The 50 Martin Place northern lightwell contains a hanging artwork by Nikki Savvas which will be reinstated in consultation with the artist.

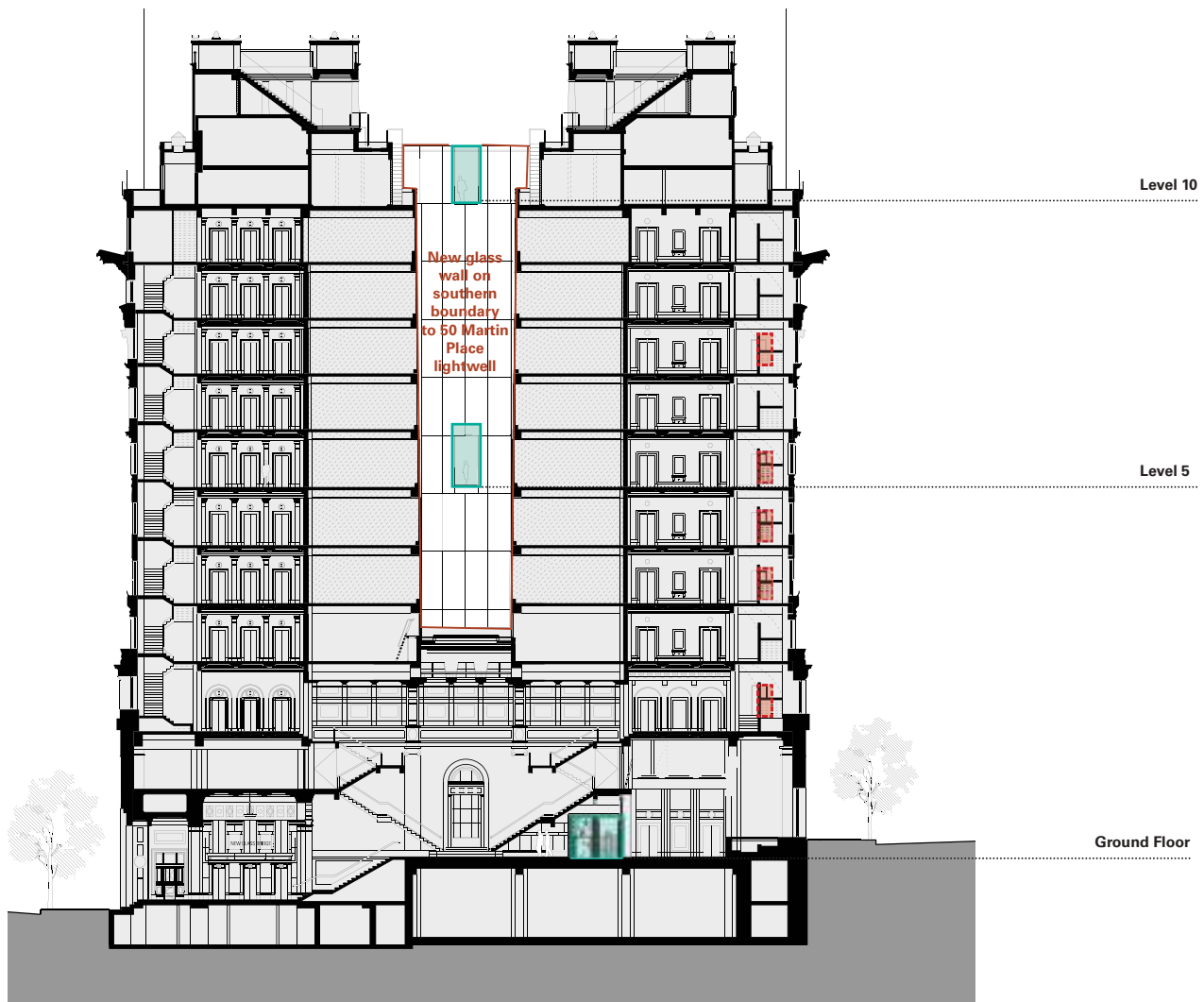
Presently, there are five connections between 50 Martin Place and the adjoining 1967 building at 9-19 Elizabeth Street. The interconnecting openings are intrusively located at the landings of the original and significant north-east stair at levels 1, 3, 4, 5 and 7. As part of a separate approvals process these openings will be in-filled and finished to match the surrounding heritage materials.



**Elevation of 50 Martin Place interface wall indicating locations of new openings and infills of existing openings**

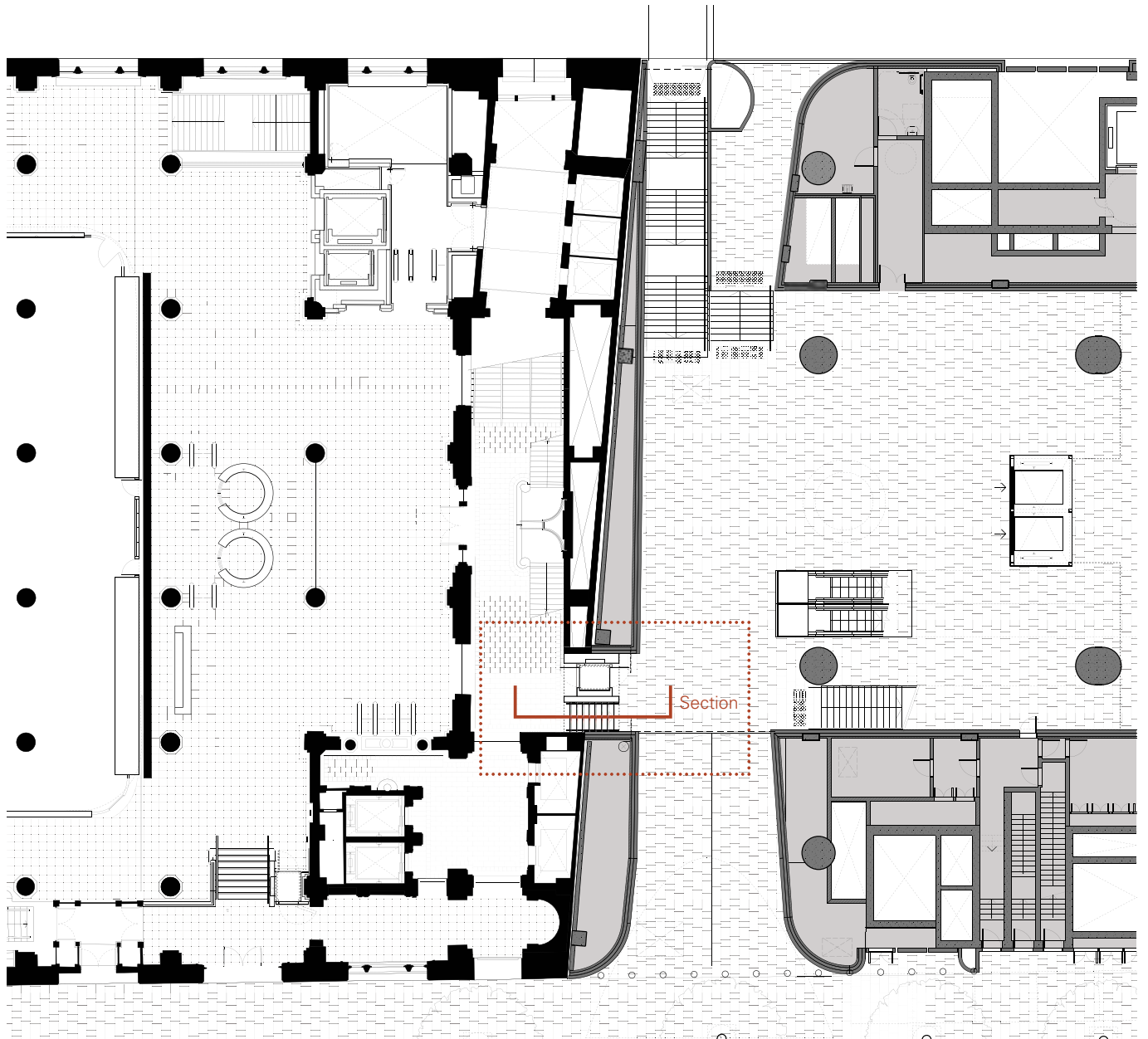
- New opening
- Infill of existing opening  
(part of separate approval)

## 50 Martin Place Connections



Section through 50 Martin Place Grand Hall indicating locations of new openings and infills of existing openings





**Proposed connection from Banking Chamber Reception and Grand Hall to North Tower Through Site Connection and OSD Lobby**

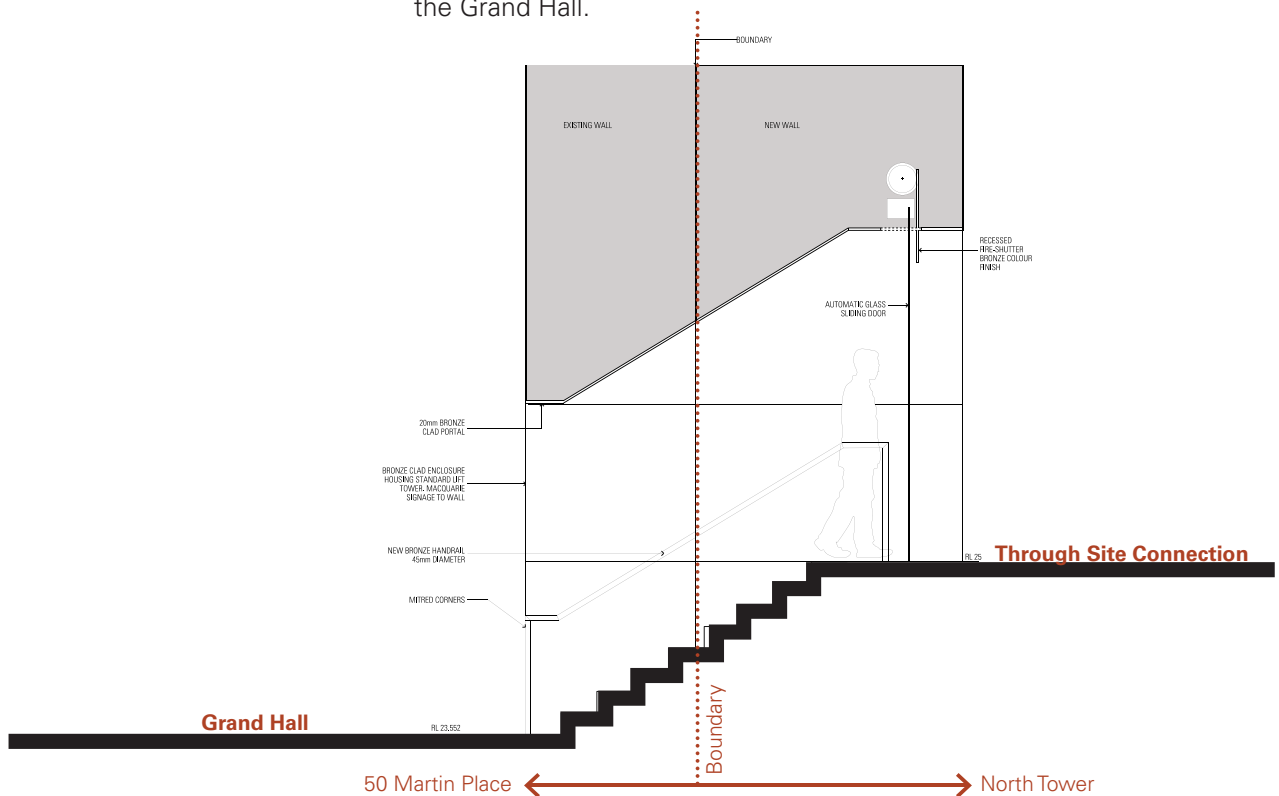
## Ground Floor Grand Hall Connection

The internal connection proposed at ground floor is designed to maintain the heritage significance and spatial quality of the Grand Hall and to minimise the alteration of its historic fabric. Key considerations include:

- + ensuring an appropriate scale, proportion and location of the opening; retain the predominant east-west axial quality of the space and relate visually to its architectural design;
- + the use of details and materials which complement the high quality of the historic finishes, and;
- + ensuring that the works are reversible through the salvage and storage of removed original fabric, for potential future reinstatement.

The proposal consists of -

- + New clad opening to Grand Hall rear wall, visible from the glazed window at the Banking Chamber reception.
- + New stair and hoist connecting up to North Tower through site link space and lobby.
- + Finishes and details to complement the historic materials and details of the Grand Hall.



**Proposed connection from Grand Hall to North Tower Through Site Link and OSD Lobby. All new works align with existing stone wall face and new North Tower wall cladding. No extension into Grand Hall Space**



Existing Banking Chamber view to Grand Hall



Existing Reception within Banking Chamber



Existing Grand Hall





Existing Grand Hall

Central vertical blade aligns with existing expressed beam

Opening aligns with existing stone joints



Proposed Grand Hall connection

New works align with existing stone face.  
No extension into heritage space.



Proposed Entrance into North Tower  
through site connection and OSD  
Lobby



**Existing Level 5 Northern Lightwell**



**Proposed Level 5 connection through Northern Lightwell**



**Existing 50 Martin Place Level 5 plaza cafe floor**



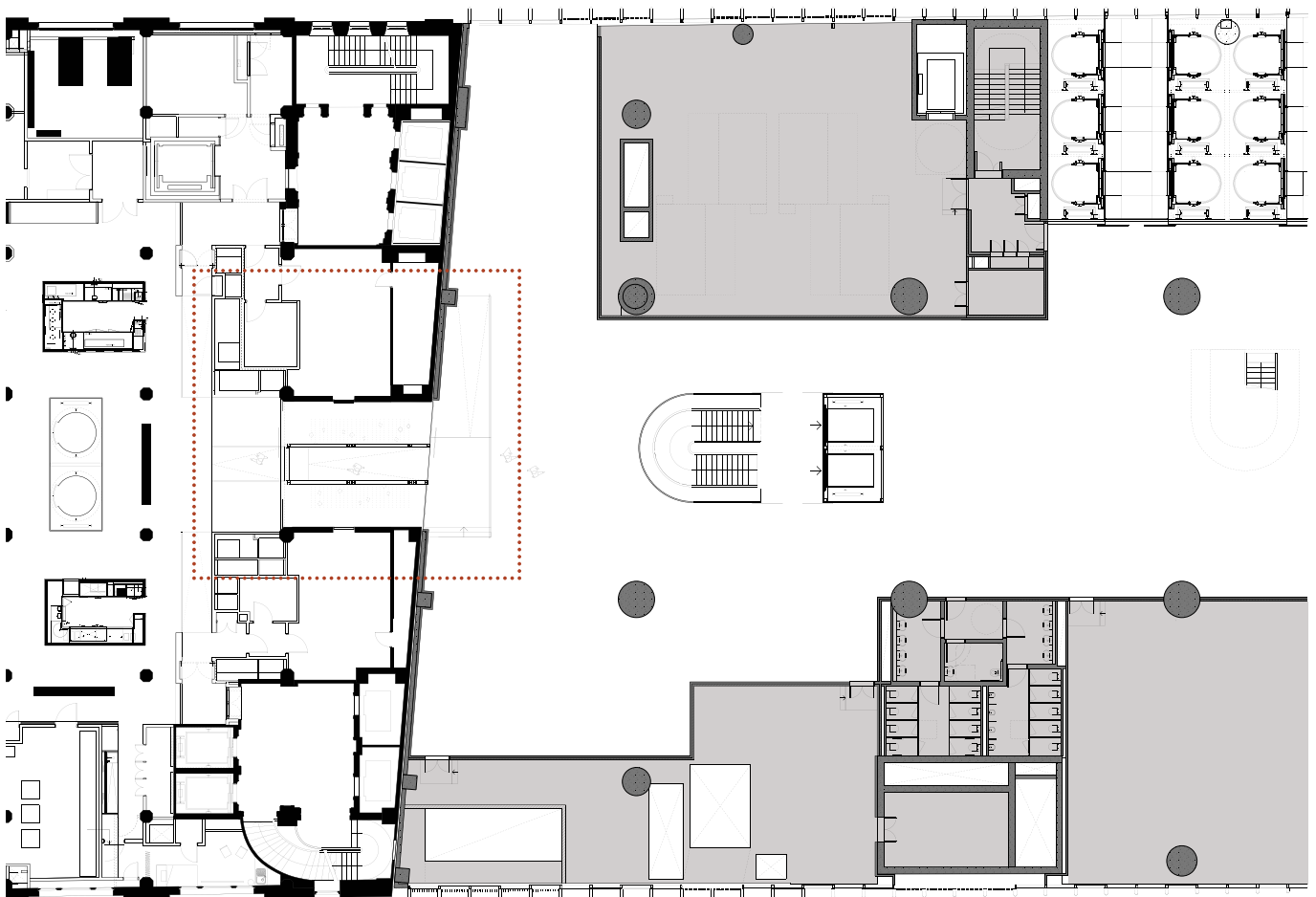
## Level 5 Plaza Floor Connection

At Level 5, a connecting bridge link is proposed to be located where there is presently a window that was installed as part of the 2014 refurbishment works. No historic fabric is required to be removed.

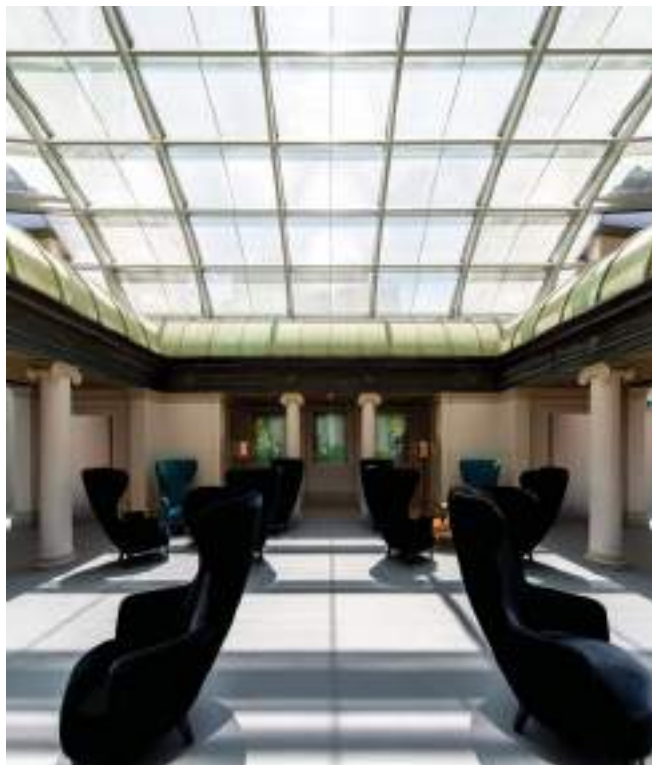
To minimise visual impacts within the northern lightwell, the bridge link is proposed to be of glass construction.

The proposal consists of -

- + Fully glazed, enclosed bridge link.
- + Automated, glazed sliding doors at both ends
- + New glazing to northern lightwell north wall
- + Engagement with artist on reinterpretation of existing artwork.



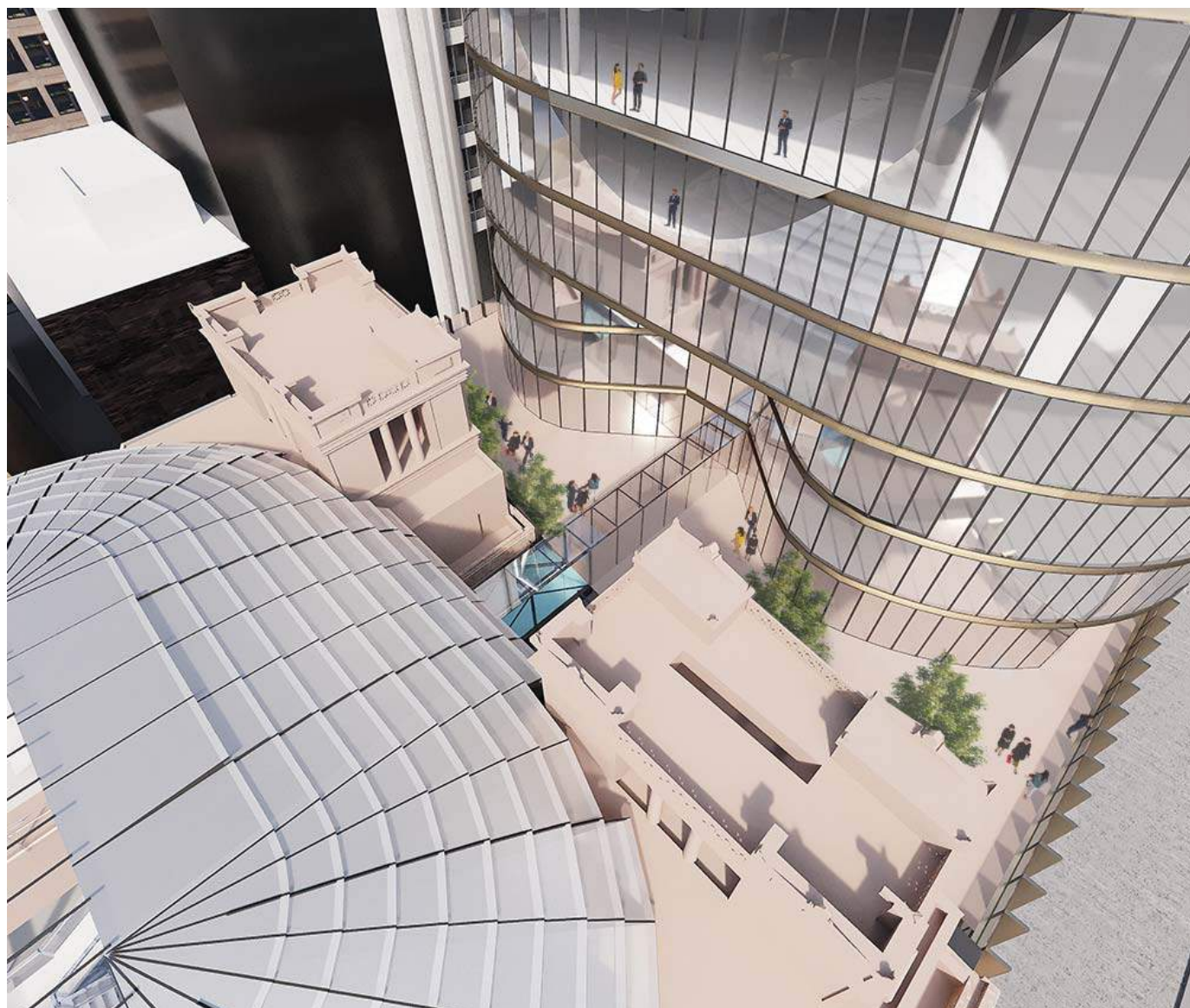
**Proposed Level 5 connection through Northern Lightwell**



Existing Level 10 client floor heritage colonnade



Proposed Level 10 connection through client floor heritage colonnade



Proposed Level 10 terrace connection

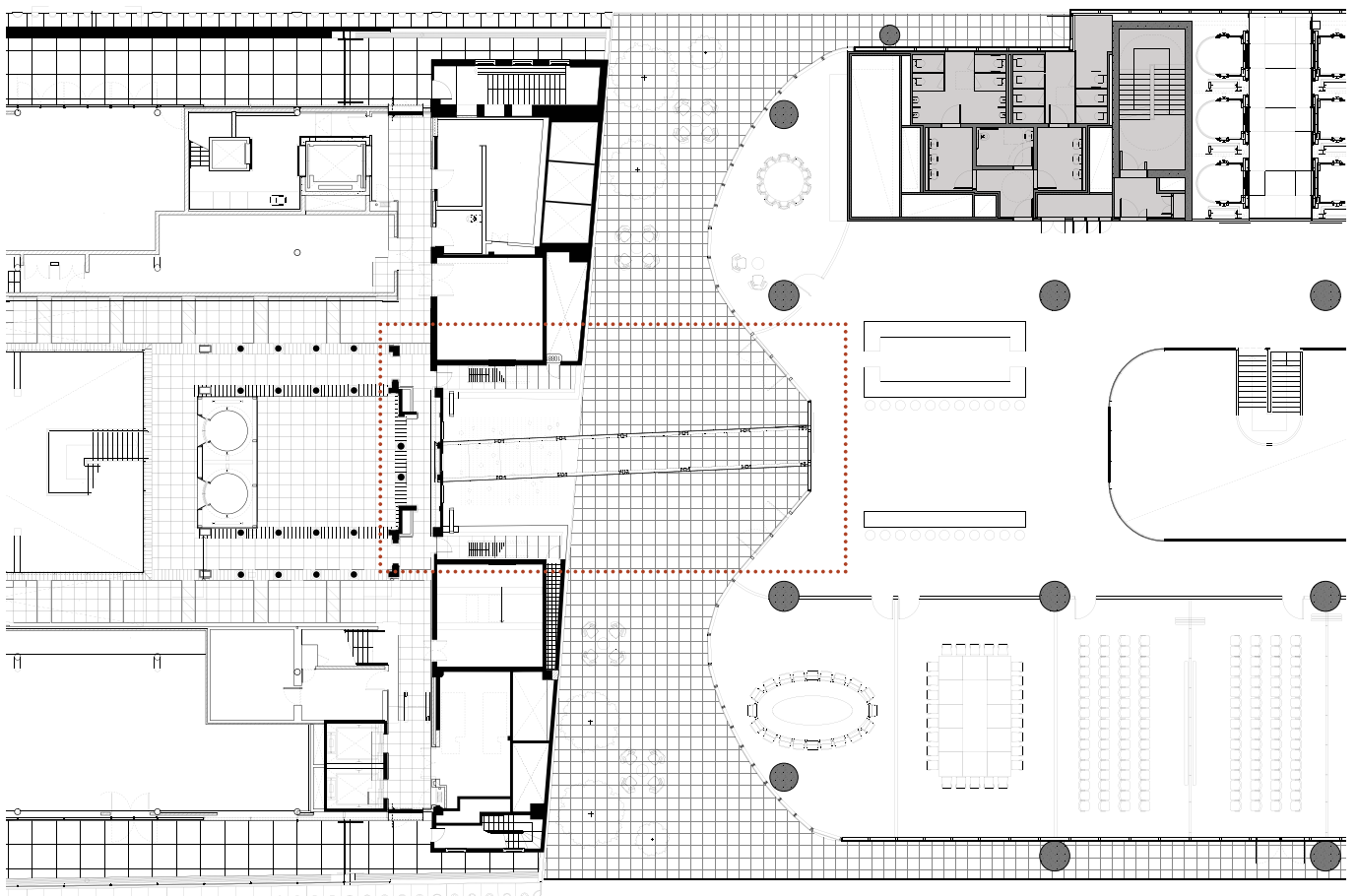
## Level 10 Client Floor Connection

An enclosed walkway at Level 10 is proposed to link the North Tower terrace with the 50 Martin Place colonnade space. It will require the enlargement of non-original windows within the northern end of the historic rooftop colonnade. The windows were installed during the 2014 refurbishment works and replaced an earlier door opening which had been formed during the 1980s. New fixed glazing will be provided to openings between pilasters in the rear colonnade wall of 50 Martin Place, either side of a central opening. The design is to be understood as a contemporary extension of the heritage colonnade structure.

To minimise visual impacts within the northern lightwell, the enclosure is proposed to be of glass construction.

The proposal consists of -

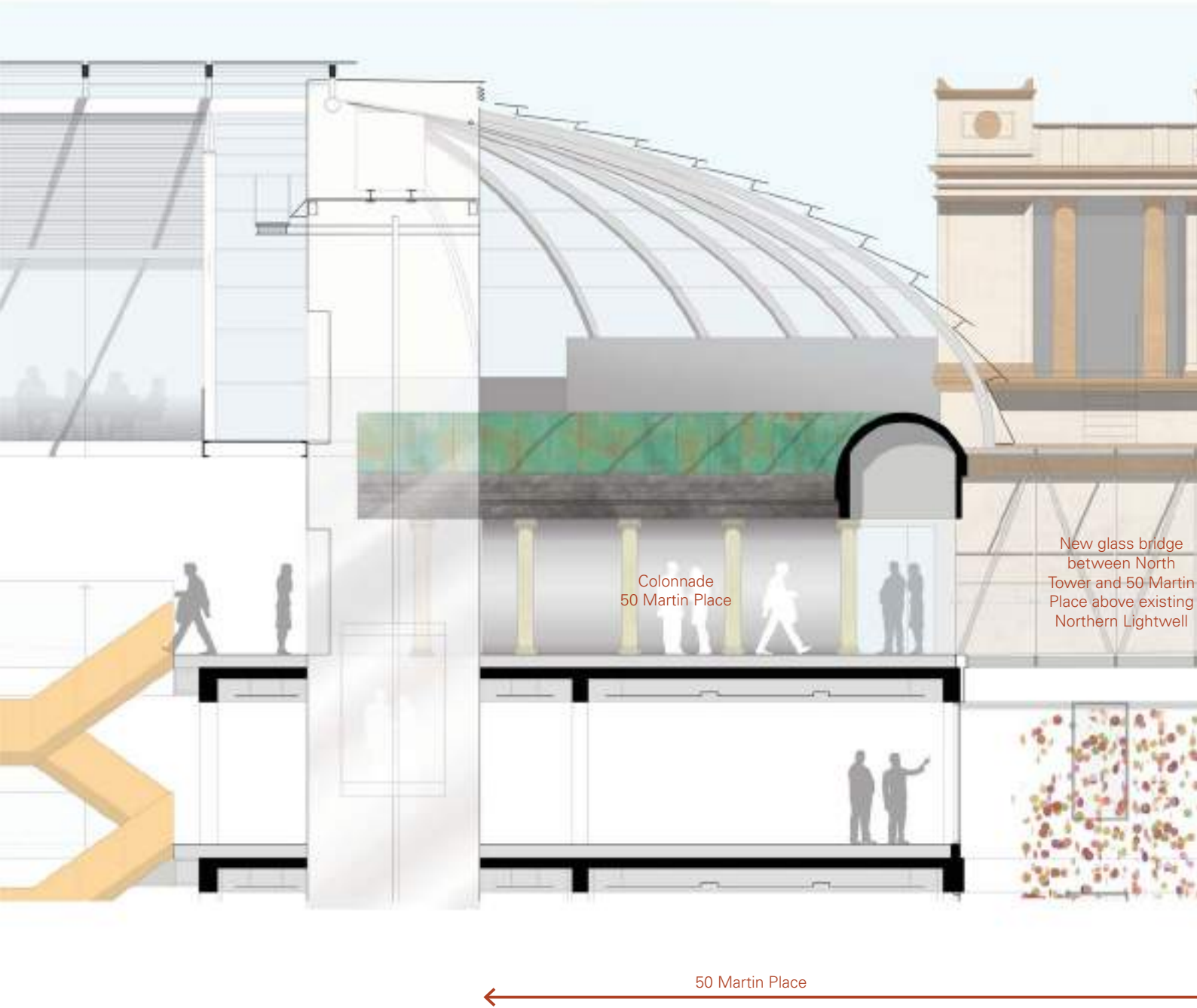
- + Fully glazed, enclosure with automated glazed sliding doors at both ends.
- + Automated, glazed sliding doors at both ends.
- + Engagement with artist on reinterpretation of existing artwork.

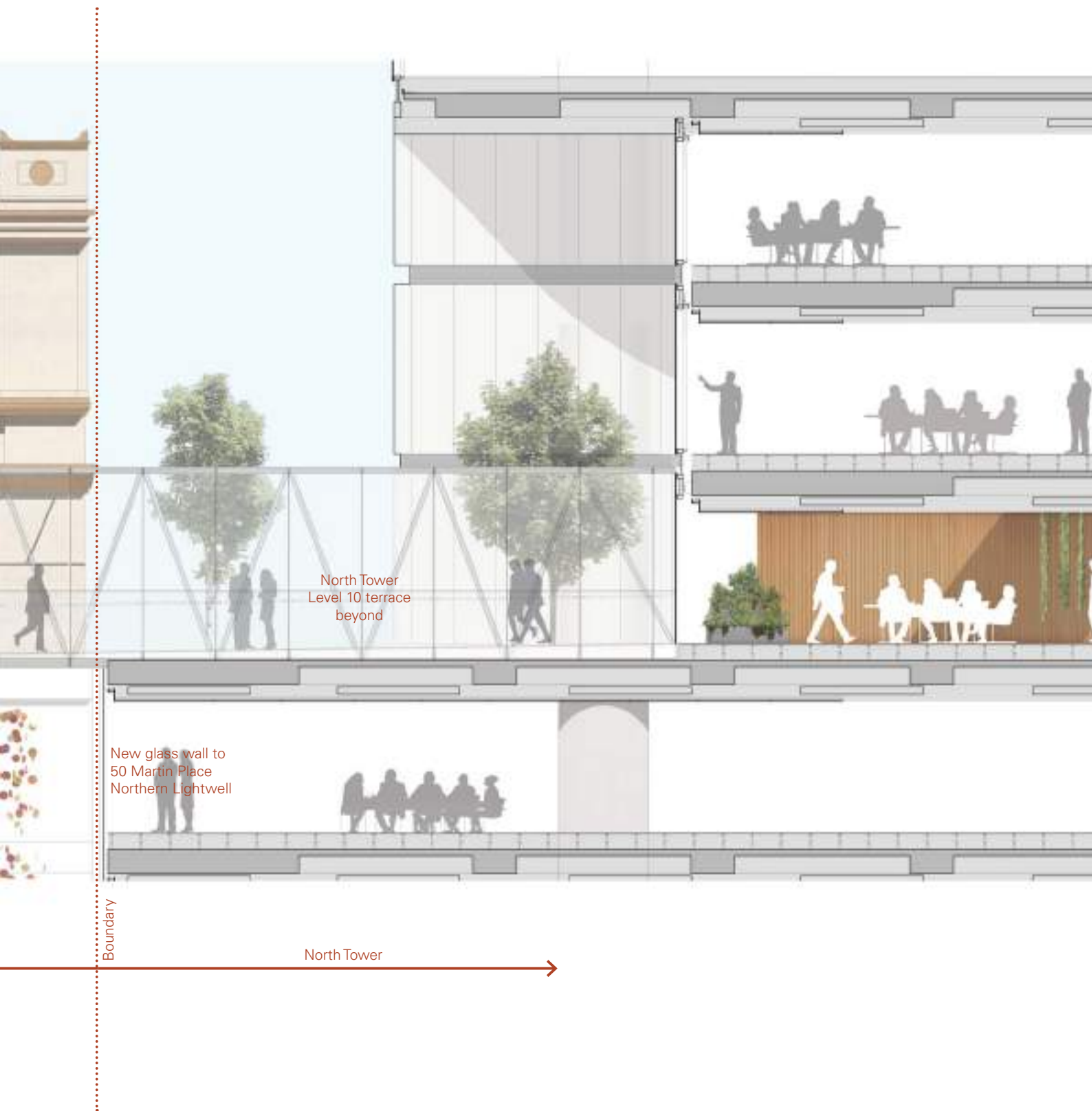


Proposed Level 10 connection



Indicative Section through connection between North Tower and 50 Martin Place Level 10 Client Floors









DOMAIN AND  
BOUND PLANE

## Network of Pedestrian Connections

The North Tower design maximises public domain activation and permeability across the site as part of a precinct wide strategy with the South Tower. This is achieved by maximising the building's openness and connections to surrounding public spaces of Chifley Square and Richard Johnson Square. It also promotes an interesting convergence of OSD and Metro activities within a shared volume, while providing separate entrances and pedestrian pathways for each.

The Metro station integration within the North Tower OSD provides a unique opportunity to restructure and revitalise this central part of the CBD's public domain. New connections, through-site connections and street activation will enliven the street and add to the character and appeal, with the aim of providing an enhanced civic space that contributes to the public's experience of the city.

