

18 September 2020

Jennifer Chang
Infrastructure NSW
Via email: jennifer.chang@infrastructure.nsw.gov.au

Assessment of Proposed Modifications to the New Sydney Fish Market and Potential Implications to Remediation and Validation of Site Contamination

The new Sydney Fish Market, 1A to 1C Bridge Rd, Glebe and Part 56-60 Pyrmont Bridge Road, Pyrmont, NSW

Dear Jennifer,

JBS&G Australia Pty Ltd (JBS&G) has previously been engaged by Infrastructure NSW (INSW, the client) to complete an Environmental Site Assessment (JBS&G 2019a¹), Remedial Action Plan (RAP, JBS&G 20120²) and Acid Sulfate Soil Management Plan (ASSMP, JBS&G 2019b³) for the new Sydney Fish Market development located at 1A to 1C Bridge Rd, Glebe and Part 56-60 Pyrmont Bridge Road, Pyrmont, NSW (the site).

Subsequent to the preparation of JBS&G (2019a, 2019b, 2020) there have been some minor modifications to the proposed development plans as presented in **Attachment 2**. The modifications broadly comprise:

- Minor adjustments to the northern site boundary and the alignment of wharves and marina piles; and
- Updates to internal planning within the proposed building comprising minor adjustments to amenities and services plans as well as updates to façade openings, partition walls and tenancy walls.

JBS&G has undertaken a review of the proposed modifications and consider that the changes will result in no material variations to the scope of remediation and/or validation works to be conducted at the site. Therefore, the recommendations/conclusions within JBS&G (2019a, 2019b, 2020) remain valid for the proposed modifications.

¹ *Environmental Site Assessment, The new Sydney Fish Market, 1A to 1C Bridge Road, Glebe, NSW*. JBS&G 4 April 2019 (JBS&G 2019a)

² *Remedial Action Plan, The new Sydney Fish Market, 1A to 1C Bridge Road, Glebe, NSW*. JBS&G 8 July 2020 (JBS&G 2020)

³ *Acid Sulfate Soil Management Plan, The new Sydney Fish Market, 1A to 1C Bridge Road, Glebe, NSW*. JBS&G 4 April 2019 (JBS&G 2019b)

Should you require clarification, please contact the undersigned on 02 8245 0300 or by email cbielby@jbsg.com.au.

Prepared by:



Chris Bielby
Senior Environmental Consultant
JBS&G Australia Pty Ltd

Reviewed by:



Joanne Rosner
Senior Principal Consultant
JBS&G Australia Pty Ltd

Attachments:

- 1) Limitations
- 2) Design Modifications

Attachment 1 – Limitations

This report has been prepared for use by the client who has commissioned the works in accordance with the project brief only, and has been based in part on information obtained from the client and other parties.

The advice herein relates only to this project and all results conclusions and recommendations made should be reviewed by a competent person with experience in environmental investigations, before being used for any other purpose.

JBS&G accepts no liability for use or interpretation by any person or body other than the client who commissioned the works. This report should not be reproduced without prior approval by the client, or amended in any way without prior approval by JBS&G, and should not be relied upon by other parties, who should make their own enquires.

Sampling and chemical analysis of environmental media is based on appropriate guidance documents made and approved by the relevant regulatory authorities. Conclusions arising from the review and assessment of environmental data are based on the sampling and analysis considered appropriate based on the regulatory requirements.

Limited sampling and laboratory analyses were undertaken as part of the investigations undertaken, as described herein. Ground conditions between sampling locations and media may vary, and this should be considered when extrapolating between sampling points. Chemical analytes are based on the information detailed in the site history. Further chemicals or categories of chemicals may exist at the site, which were not identified in the site history and which may not be expected at the site.

Changes to the subsurface conditions may occur subsequent to the investigations described herein, through natural processes or through the intentional or accidental addition of contaminants. The conclusions and recommendations reached in this report are based on the information obtained at the time of the investigations.

This report does not provide a complete assessment of the environmental status of the site, and it is limited to the scope defined herein. Should information become available regarding conditions at the site including previously unknown sources of contamination, JBS&G reserves the right to review the report in the context of the additional information.

Attachment 2 – Design Modifications

NEW SYDNEY FISH MARKET

STATE SIGNIFICANT DEVELOPMENT APPLICATION STAGE 1



SHEET LIST_STAGE 1						
SHEET NUMBER	SHEET NAME	REVISION	REVISION DATE	A1 SCALE	REVISION DESCRIPTION	
S1-A00 AAA-01	COVER SHEET	G	14/08/20	NTS	REVISED S1 SSDA	
S1-A20 AAA-01	SITE SURVEY	F	18/09/19	1:1000	ISSUE FOR SSDA	
S1-A20 AAA-02	LOCALITY / CONTEXT PLAN	G	14/08/20	1:2500	REVISED S1 SSDA	
S1-A20 AAA-03	SITE PLAN	G	14/08/20	1:1000	REVISED S1 SSDA	
S1-A21 L00-01	DEMOLITION PLAN	G	14/08/20	1:1000	REVISED S1 SSDA	
S1-B10 L00-01	FLOOR PLAN GROUND	G	14/08/20	1:500	REVISED S1 SSDA	
S1-B10 L01-01	FLOOR PLAN UPPER GROUND	G	14/08/20	1:500	REVISED S1 SSDA	
S1-B10 L02-01	FLOOR PLAN MEZZANINE	G	14/08/20	1:500	REVISED S1 SSDA	
S1-B10 L10-01	TOP OF BUILDING ENVELOPE	G	14/08/20	1:500	REVISED S1 SSDA	
S1-C10 AAA-01	EAST & WEST ELEVATION	F	18/09/19	1:500	ISSUE FOR SSDA	
S1-C10 AAA-02	NORTH & SOUTH ELEVATION	F	18/09/19	1:500	ISSUE FOR SSDA	



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D	15/04/19	ISSUE FOR SSD-DA
E	27/08/19	ISSUED FOR REVIEW
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G	14/08/20	REVISED S1 SSDA

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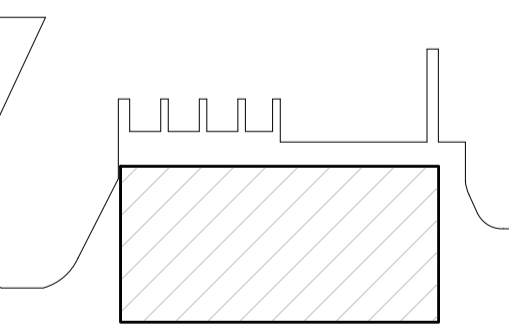
INFRASTRUCTURE NSW
CLIENT NUMBER

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PROJECT

NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BVM PROJECT NUMBER

1611013

DRAWING KEY



GRAPHIC SCALE

SCALE

@A1

STATUS

DRAWING

COVER SHEET

ISSUE

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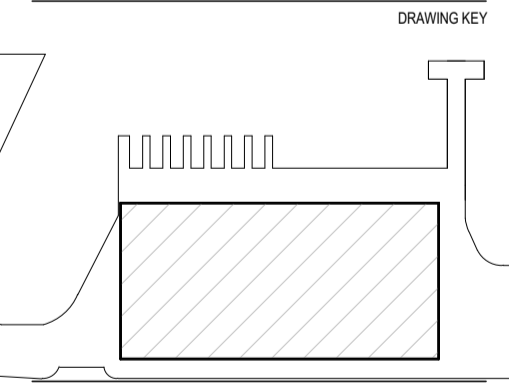
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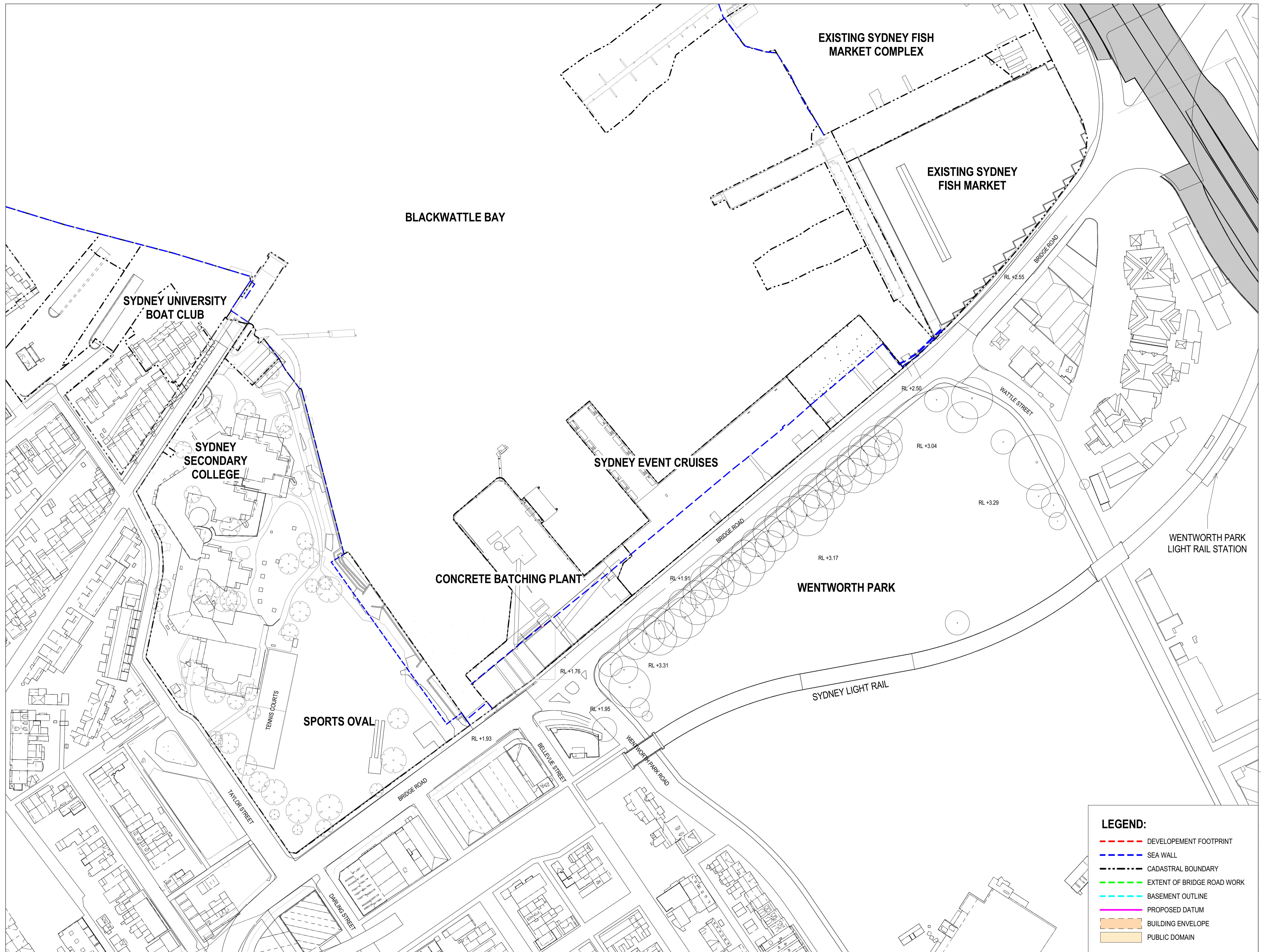
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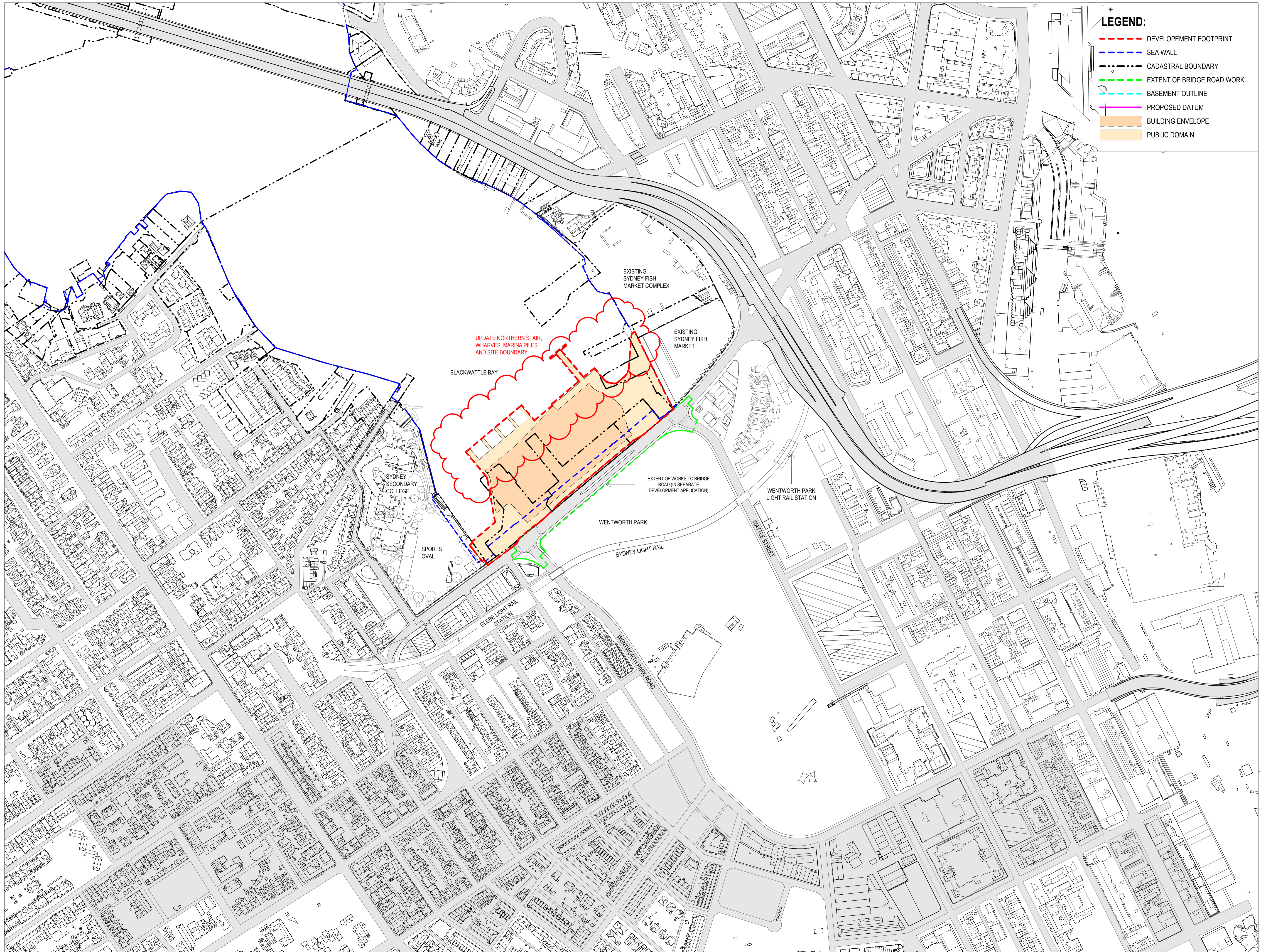
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LEGEND:

- DEVELOPEMENT FOOTPRINT
- SEA WALL
- CADASTRAL BOUNDARY
- EXTENT OF BRIDGE ROAD WORK
- BASEMENT OUTLINE
- PROPOSED DATUM
- BUILDING ENVELOPE
- PUBLIC DOMAIN





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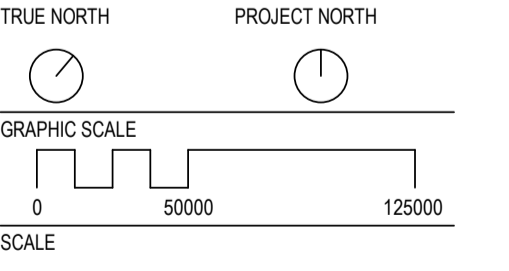
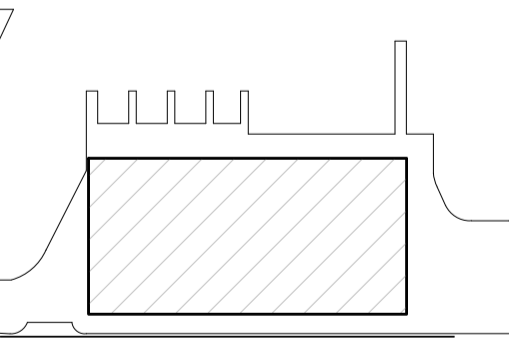
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PROJECT
NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BVN PROJECT NUMBER

1611013



DRAWING

LOCALITY / CONTEXT PLAN

ISSUE	ISSUE
AR- S1-A20 AAA-02	G

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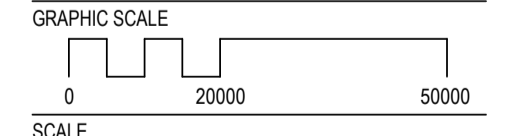
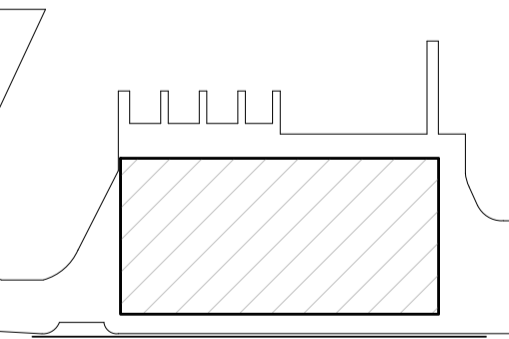
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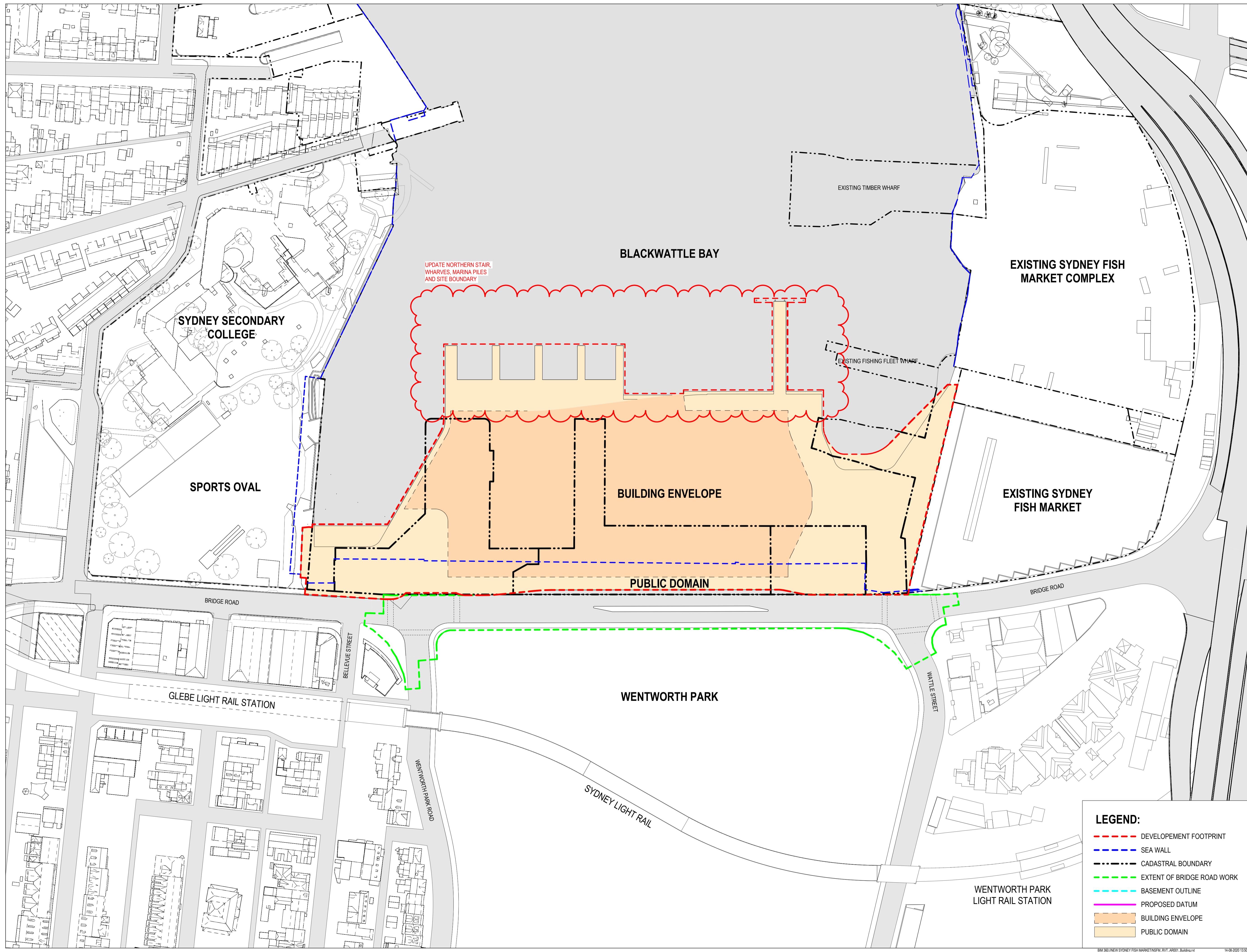


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- - - - - CADASTRAL BOUNDARY
- - - - - EXTENT OF BRIDGE ROAD WORK
- - - - - BASEMENT OUTLINE
- - - - - PROPOSED DATUM
- BUILDING ENVELOPE
- PUBLIC DOMAIN

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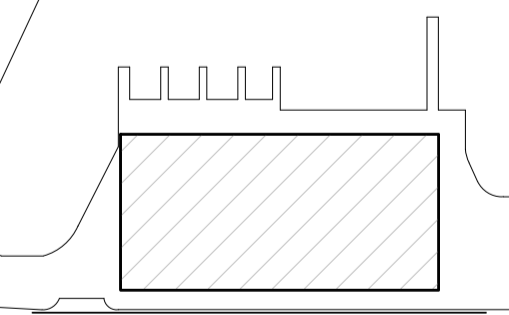
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NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

1611013 DRAWING KEY



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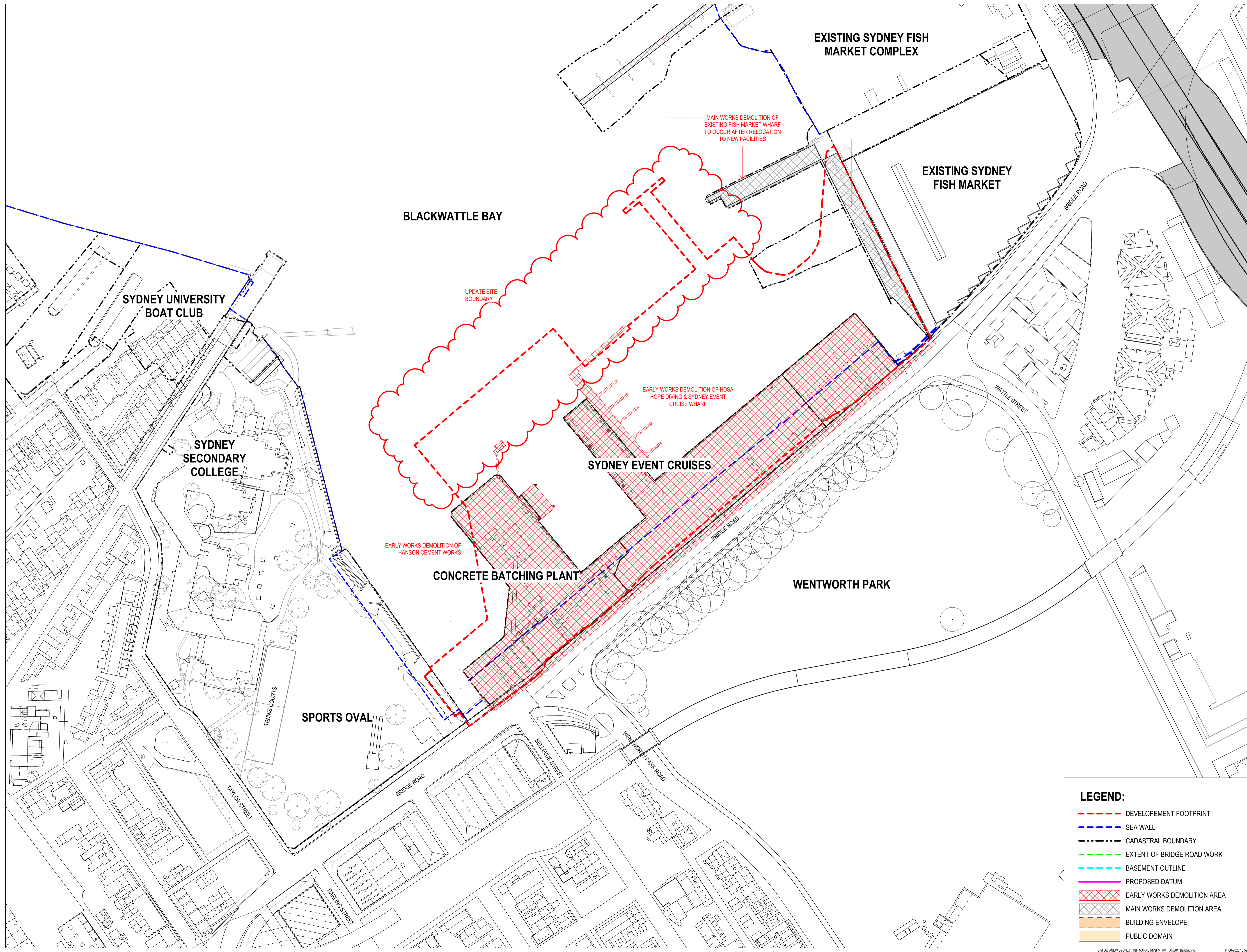
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DEMOLITION PLAN

AR-S1-A21 L00-01 ISSUE G



LEGEND:

- DEVELOPMENT FOOTPRINT
- SEA WALL
- CADASTRAL BOUNDARY
- EXTENT OF BRIDGE ROAD WORK
- BASEMENT OUTLINE
- PROPOSED DATUM
- EARLY WORKS DEMOLITION AREA
- MAIN WORKS DEMOLITION AREA
- BUILDING ENVELOPE
- PUBLIC DOMAIN

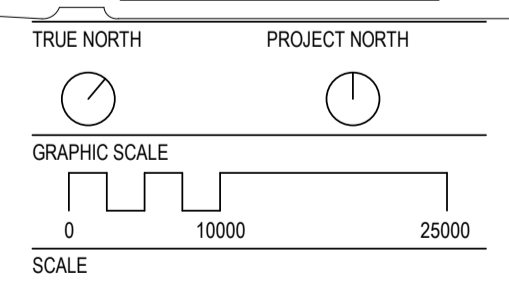
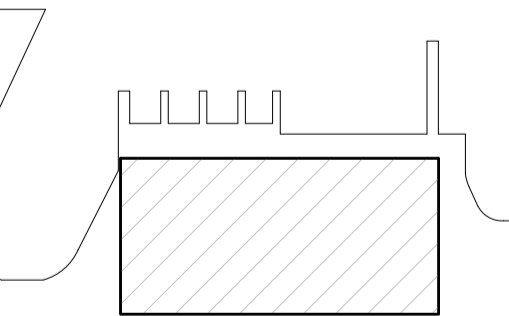
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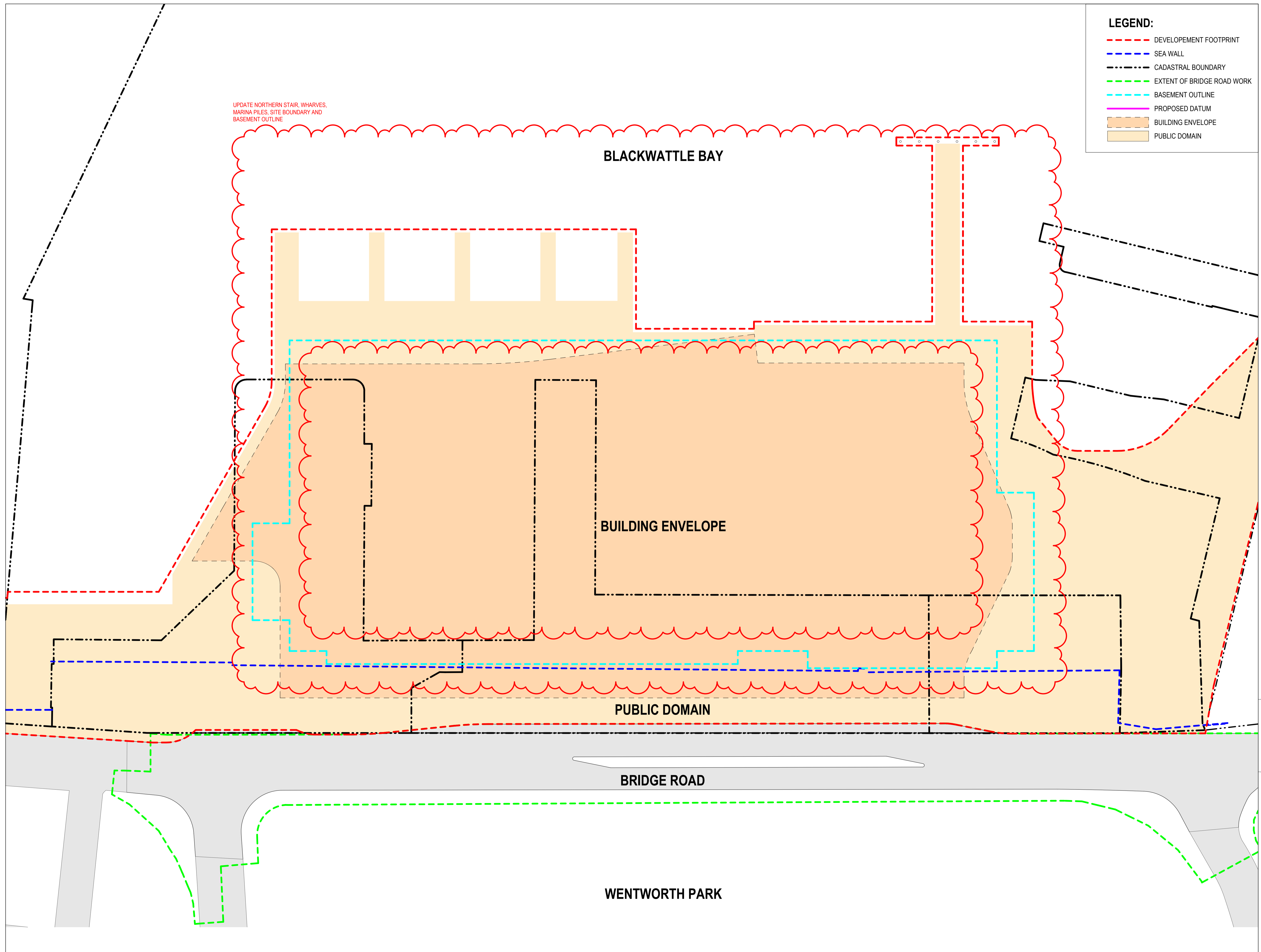
FLOOR PLAN GROUND

ISSUE	STATUS
AR- S1-B10 L00-01	G

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- - - - - SEA WALL
- - - - - CADASTRAL BOUNDARY
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UPDATE NORTHERN STAIR, WHARVES,
MARINA PILES, SITE BOUNDARY AND
BASEMENT OUTLINE



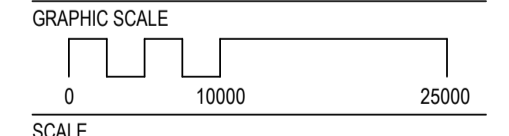
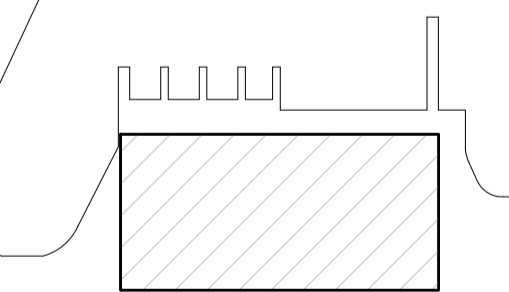
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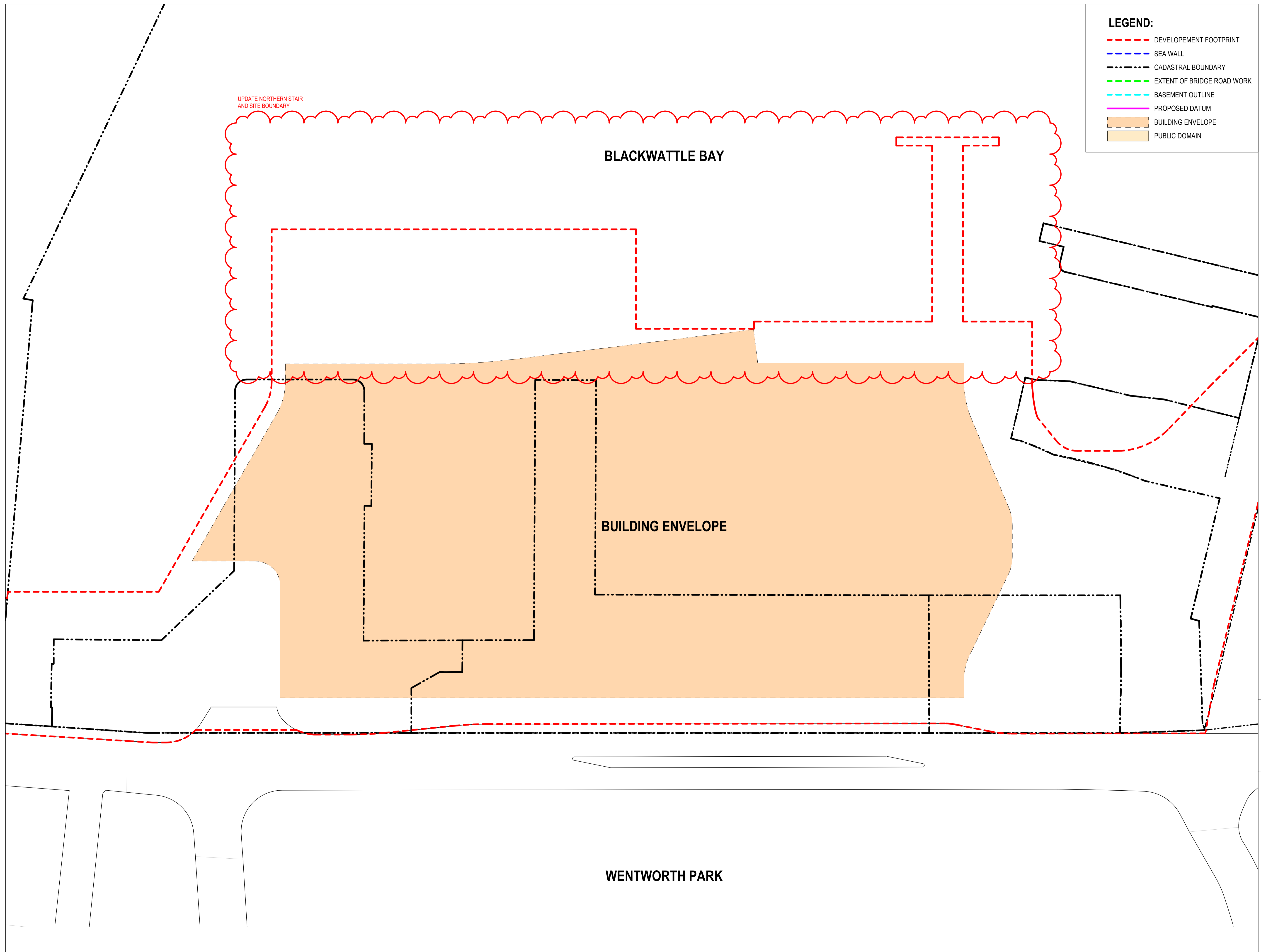
DRAWING

FLOOR PLAN UPPER GROUND

AR-	ISSUE
S1-B10 L01-01	G

LEGEND:

- - - - - DEVELOPEMENT FOOTPRINT
- - - - - SEA WALL
- - - - - CADASTRAL BOUNDARY
- - - - - EXTENT OF BRIDGE ROAD WORK
- - - - - BASEMENT OUTLINE
- - - - - PROPOSED DATUM
- BUILDING ENVELOPE
- PUBLIC DOMAIN



UPDATE NORTHERN STAIR
AND SITE BOUNDARY

BLACKWATTLE BAY

BUILDING ENVELOPE

WENTWORTH PARK

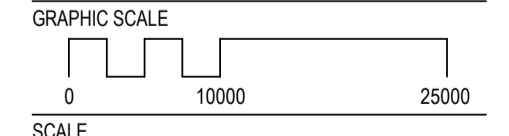
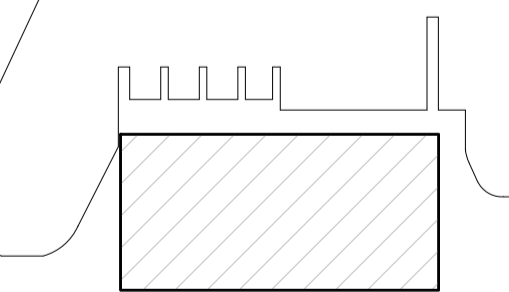
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A	12/09/18	ISSUE FOR SSD-DA
B	12/11/19	ISSUE FOR SSD-DA
C	22/03/19	ISSUE FOR SSD-DA
D	15/04/19	ISSUE FOR SSD-DA
E	27/08/19	ISSUED FOR REVIEW
F	18/09/19	ISSUE FOR SSCA
G	14/09/20	REVISED S1 SSDA

- CONSULTANT
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TEL +61 (0) 2 9098 6800
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INFRASTRUCTURE NSW
CLIENT NUMBER
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PROJECT

NEW SYDNEY FISH MARKET
1B BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

1611013 DRAWING KEY



As indicated@A1
STATUS

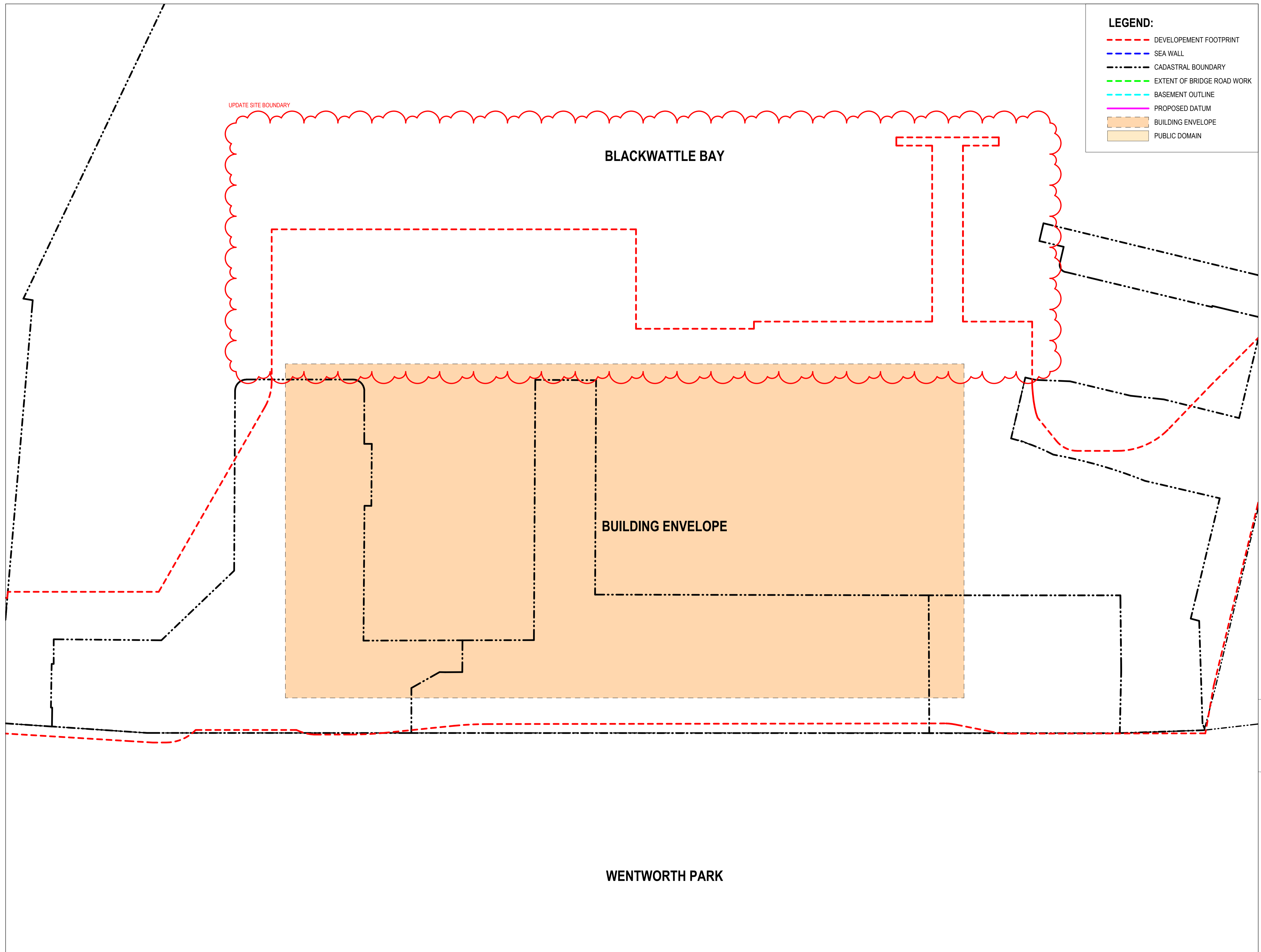
DRAWING

FLOOR PLAN MEZZANINE

ISSUE
AR- S1-B10 L02-01
G

LEGEND:

- - - - - DEVELOPEMENT FOOTPRINT
- - - - - SEA WALL
- - - - - CADASTRAL BOUNDARY
- - - - - EXTENT OF BRIDGE ROAD WORK
- - - - - BASEMENT OUTLINE
- - - - - PROPOSED DATUM
- BUILDING ENVELOPE
- PUBLIC DOMAIN



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PROJECT MANAGER

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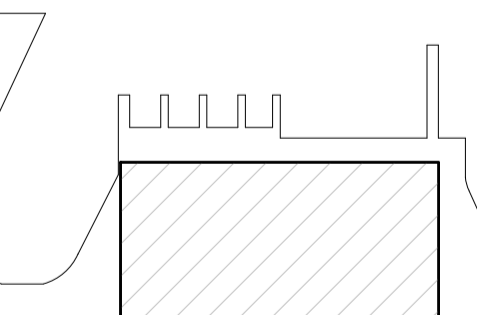
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CLIENT NUMBER

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PROJECT

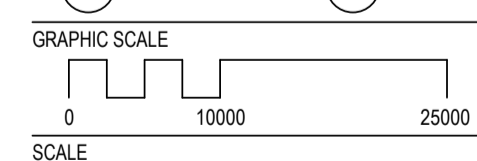
NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

1611013

DRAWING KEY



TRUE NORTH PROJECT NORTH



As indicated@A1

STATUS

DRAWING

TOP OF BUILDING ENVELOPE

ISSUE
AR- S1-B10 L10-01
G

LEGEND:

- DEVELOPEMENT FOOTPRINT
- SEA WALL
- CADASTRAL BOUNDARY
- EXTENT OF BRIDGE ROAD WORK
- BASEMENT OUTLINE
- PROPOSED DATUM
- BUILDING ENVELOPE
- PUBLIC DOMAIN

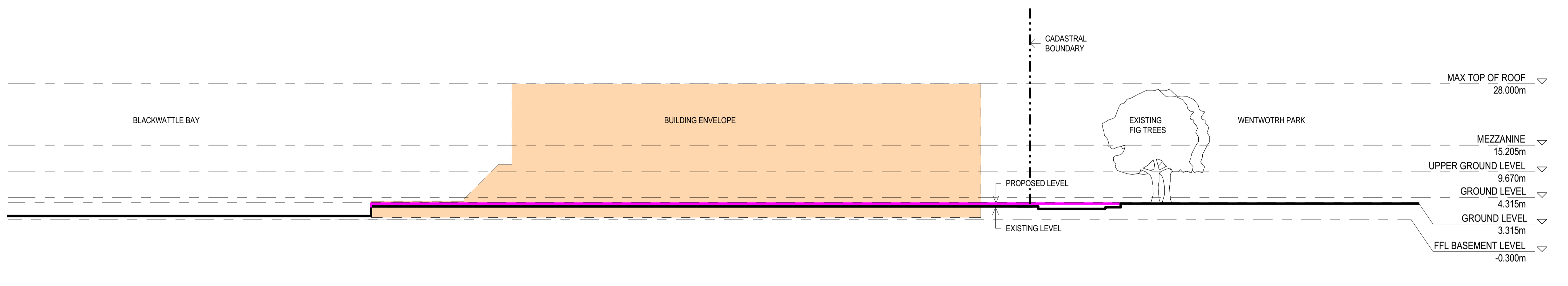
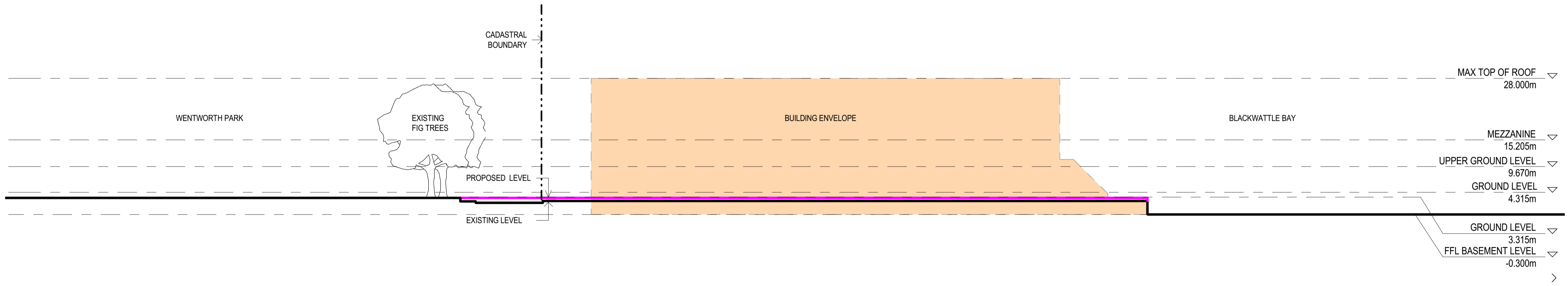
UPDATE SITE BOUNDARY

TOP OF
BUILDING ENVELOPE
RL + 28000

ISSUE	DATE	FOR
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F	18/09/19	ISSUE FOR SSDA

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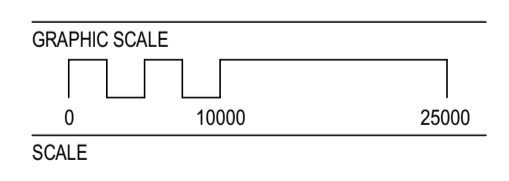
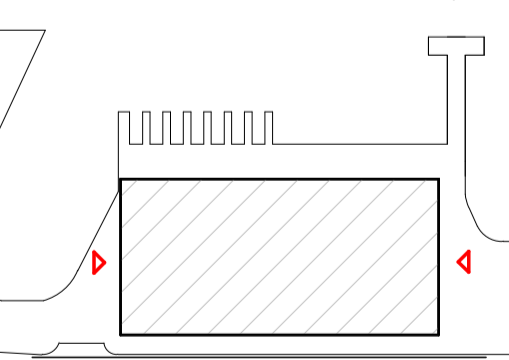
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- EXTENT OF BRIDGE ROAD WORK
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CLIENT NUMBER
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PROJECT

NEW SYDNEY FISH MARKET
1B BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER



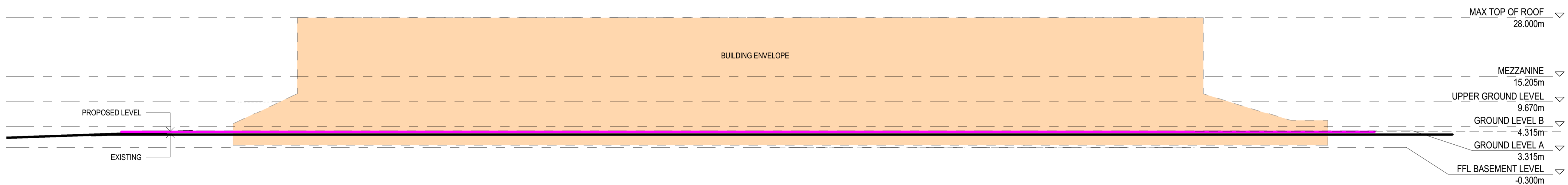
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STATUS
DRAWING

EAST & WEST ELEVATION	
ISSUE	STATUS
AR-S1-C10 AAA-01	F

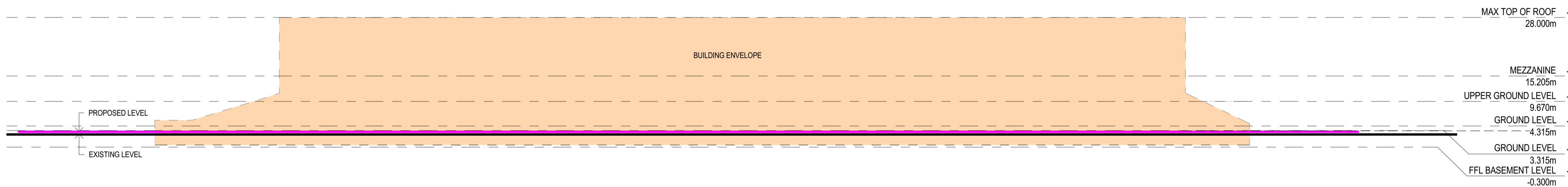
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1 NORTH ELEVATION



2 SOUTH ELEVATION

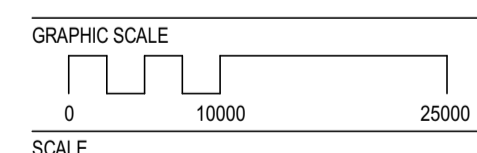
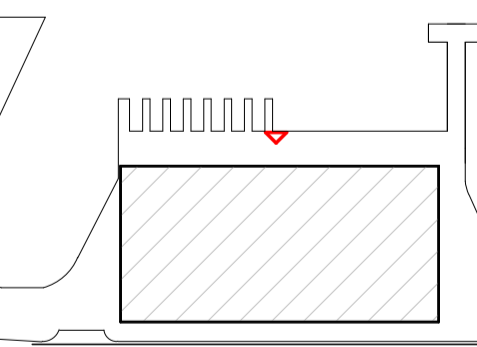
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PROJECT

NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BVM PROJECT NUMBER

1611013

DRAWING KEY



As indicated@A1

STATUS

DRAWING

NORTH & SOUTH ELEVATION

ISSUE	STATUS
AR-S1-C10 AAA-02	F

NEW SYDNEY FISH MARKET

STATE SIGNIFICANT DEVELOPMENT APPLICATION STAGE 2



DRAWING INDEX

SHEET LIST_STAGE 2					
SHEET NUMBER	SHEET NAME	REVISION	REVISION DATE	A1 SCALE	REVISION DESCRIPTION
S2-A00 AAA-01	COVER SHEET	I	14/08/20	NTS	REVISED S2 SSDA
S2-A20 AAA-01	SITE SURVEY	H	18/09/19	1:500	ISSUE FOR SSSA
S2-A20 AAA-02	LOCALITY / CONTEXT PLAN	I	14/08/20	1:2500	REVISED S2 SSSA
S2-A20 AAA-03	SITE PLAN	I	14/08/20	1:1000	REVISED S2 SSSA
S2-A20 L01-01	PUBLIC DOMAIN GROUND	H	14/08/20	1:1000	REVISED S2 SSSA
S2-A20 L02-01	PUBLIC DOMAIN UPPER GROUND	H	14/08/20	1:1000	REVISED S2 SSSA
S2-B10 L00-01	FLOOR PLAN GROUND	I	14/08/20	1:500	REVISED S2 SSSA
S2-B10 L01-01	FLOOR PLAN UPPER GROUND	I	14/08/20	1:500	REVISED S2 SSSA
S2-B10 L02-01	FLOOR PLAN MEZZANINE	I	14/08/20	1:500	REVISED S2 SSSA
S2-B10 L03-01	MEZZANINE ROOF PLAN	I	14/08/20	1:500	REVISED S2 SSSA
S2-B10 L10-01	ROOF PLAN	H	18/09/19	1:500	ISSUE FOR SSSA
S2-B10 LB1-01	FLOOR PLAN BASEMENT	I	14/08/20	1:500	REVISED S2 SSSA
S2-C10 AAA-01	EAST AND WEST ELEVATION	I	14/08/20	1:500	REVISED S2 SSSA
S2-C10 AAA-02	NORTH AND SOUTH ELEVATION	I	14/08/20	1:500	REVISED S2 SSSA
S2-D10 AAA-01	CROSS SECTIONS	I	14/08/20	1:500	REVISED S2 SSSA
S2-D10 AAA-02	LONG SECTIONS	I	14/08/20	1:500	REVISED S2 SSSA
S2-E43 AAA-01	AUCTION & OFFICE SECTION	I	14/08/20	1:50	REVISED S2 SSSA
S2-E43 AAA-02	FOOD & BEVERAGE SECTION	I	14/08/20	1:50	REVISED S2 SSSA
S2-E43 AAA-04	WHOLESALE & CATERING SECTION	I	14/08/20	1:50	REVISED S2 SSSA
S2-L10 AAA-01	GFA MEASUREMENT SREP 26	I	18/09/19	1:1000	ISSUE FOR SSSA
S2-L10 AAA-02	GFA STANDARD INSTRUMENT	I	14/08/20	1:1000	REVISED S2 SSSA

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PROJECT MANAGER

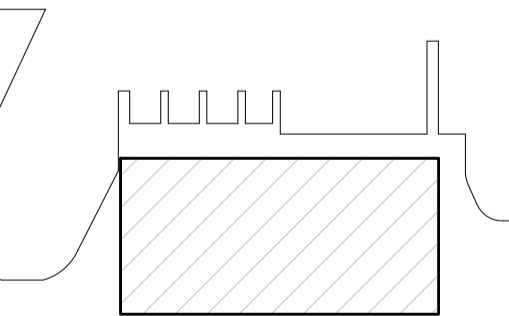
THELEM CONSULTING
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INFRASTRUCTURE NSW
CLIENT NUMBER

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PROJECT

NEW SYDNEY FISH MARKET
19 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

1611013
DRAWING KEY



GRAPHIC SCALE

SCALE

@A1

STATUS

DRAWING

COVER SHEET

ISSUE

AR- S2-A00 AAA-01 | I

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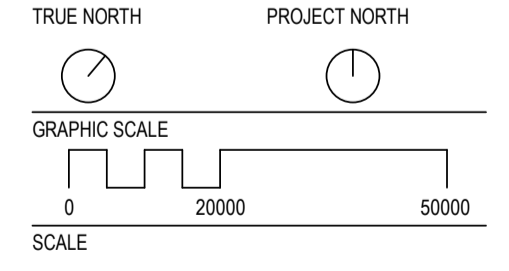
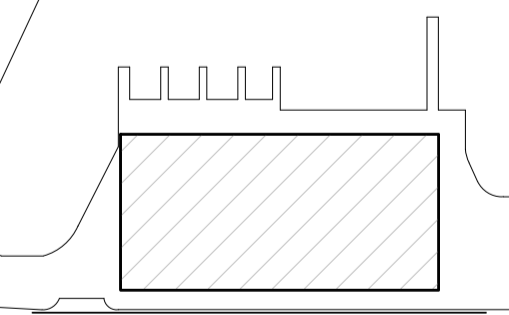
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PROJECT

NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER
1611013

DRAWING KEY

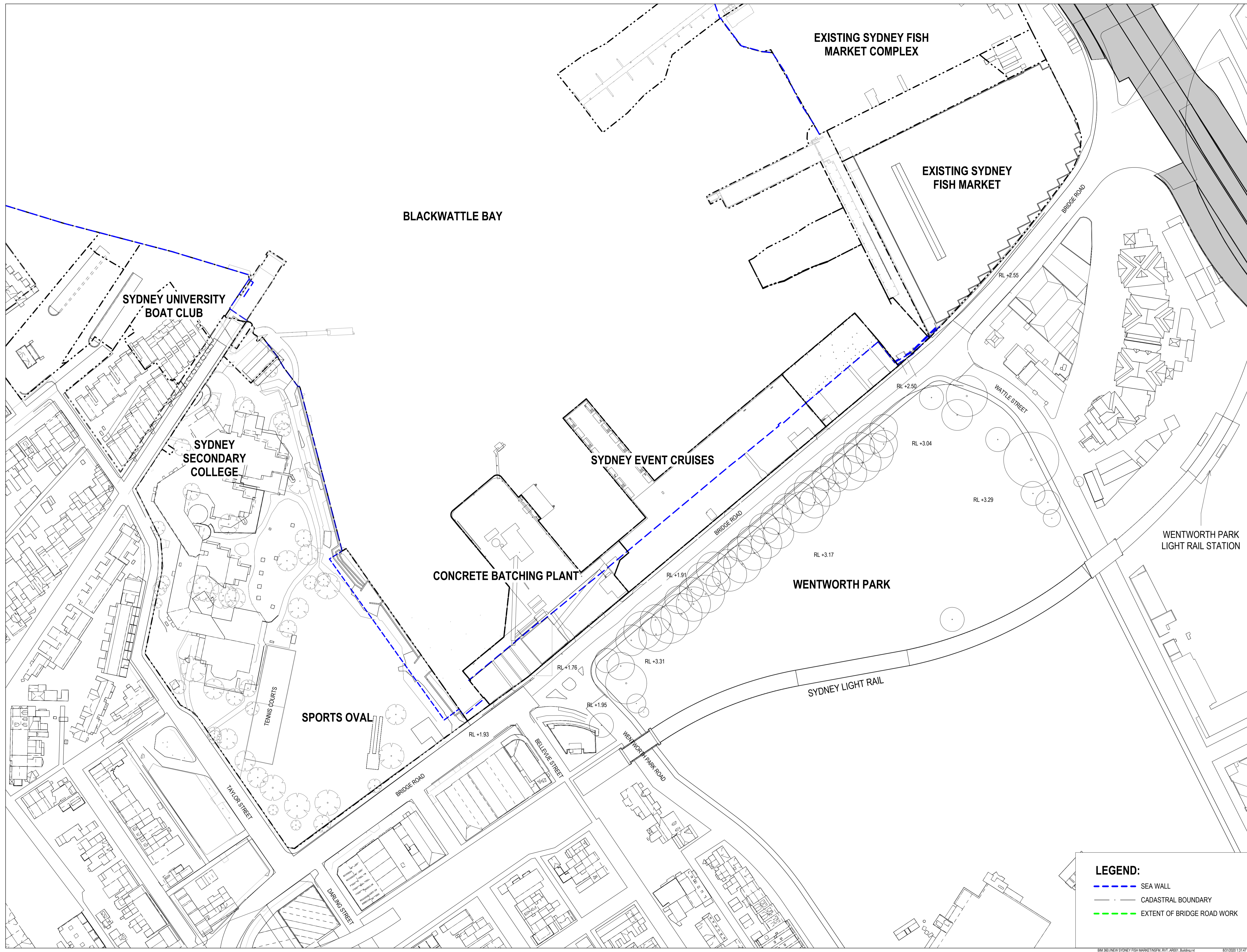


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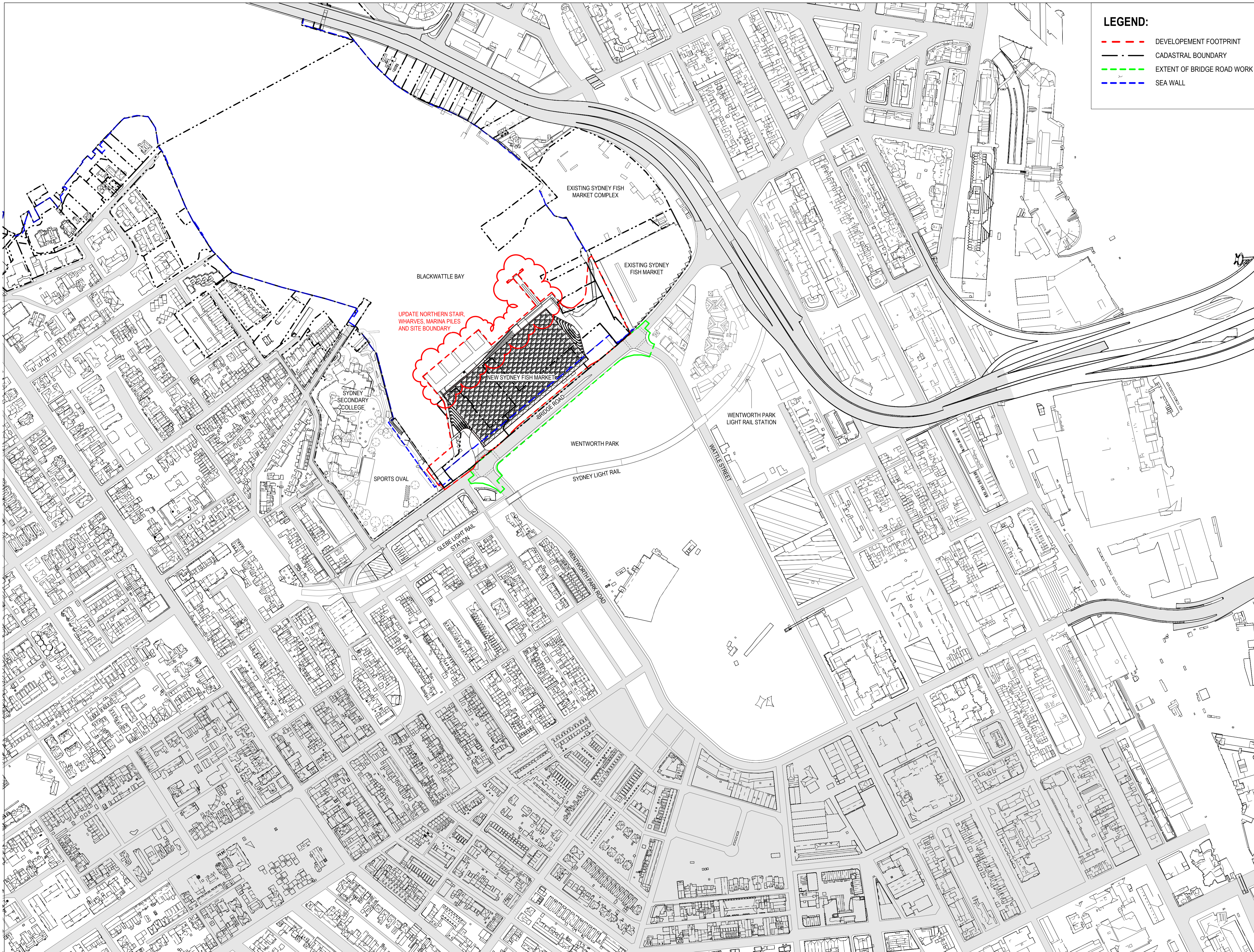
SITE SURVEY

ISSUE	STATUS
AR- S2-A20 AAA-01	H



LEGEND:

- SEA WALL
- CADASTRAL BOUNDARY
- EXTENT OF BRIDGE ROAD WORK



LEGEND:

- - - - - DEVELOPMENT FOOTPRINT
- - - - - CADASTRAL BOUNDARY
- - - - - EXTENT OF BRIDGE ROAD WORK
- - - - - SEA WALL



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WWW.3XN.COM
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PROJECT
NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

1611013

DRAWING KEY

TRUE NORTH PROJECT NORTH

GRAPHIC SCALE
0 5000 12500
SCALE

1 : 2500@A1
STATUS

DRAWING

LOCALITY / CONTEXT PLAN

ISSUE

AR- S2-A20 AAA-02 |

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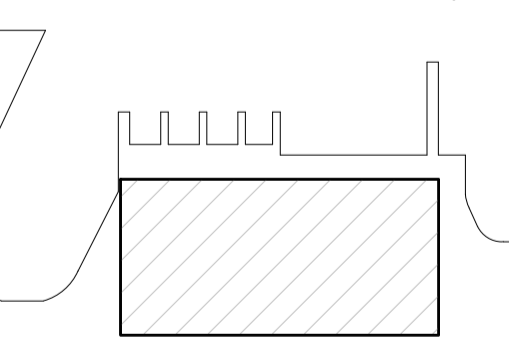
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BVA PROJECT NUMBER
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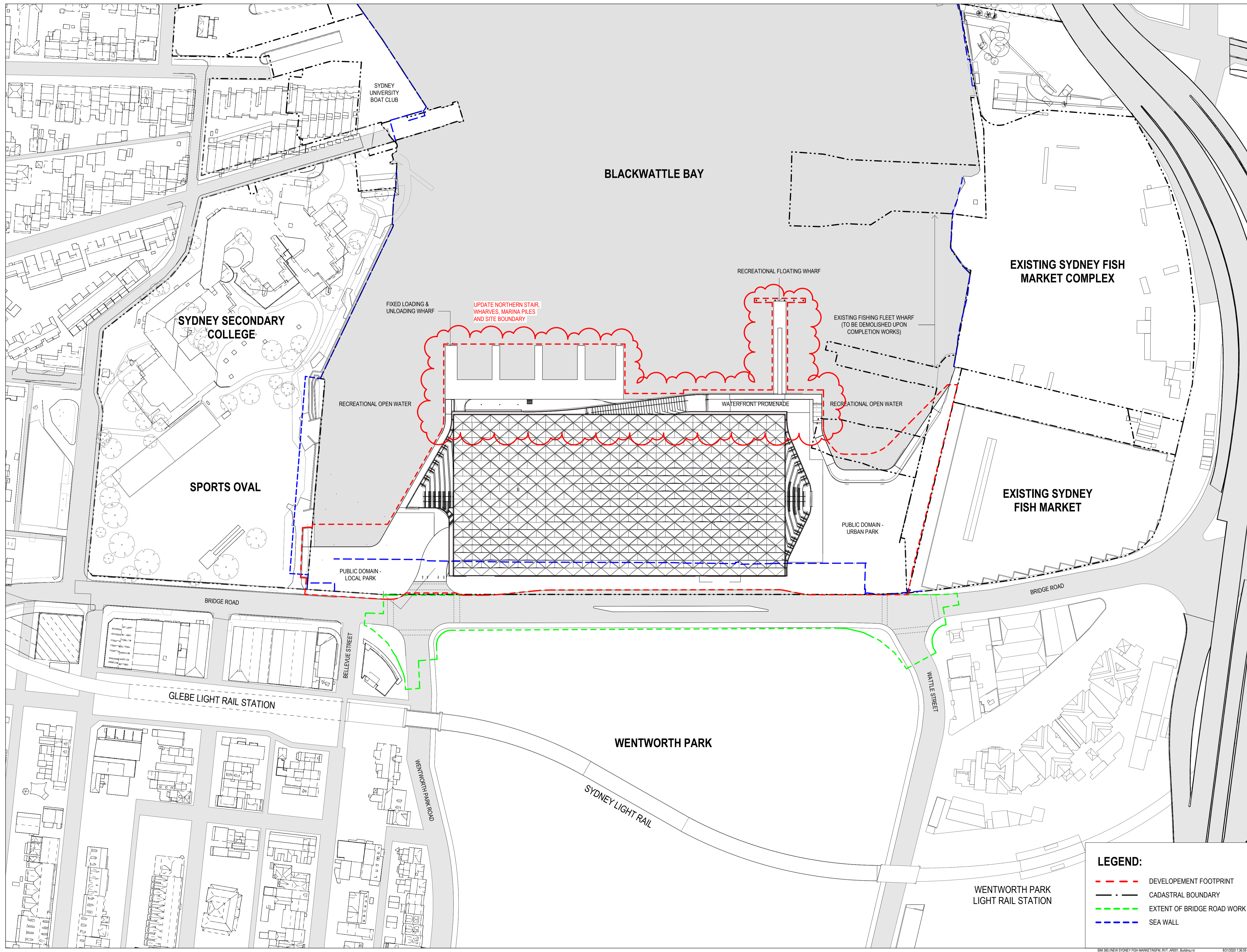


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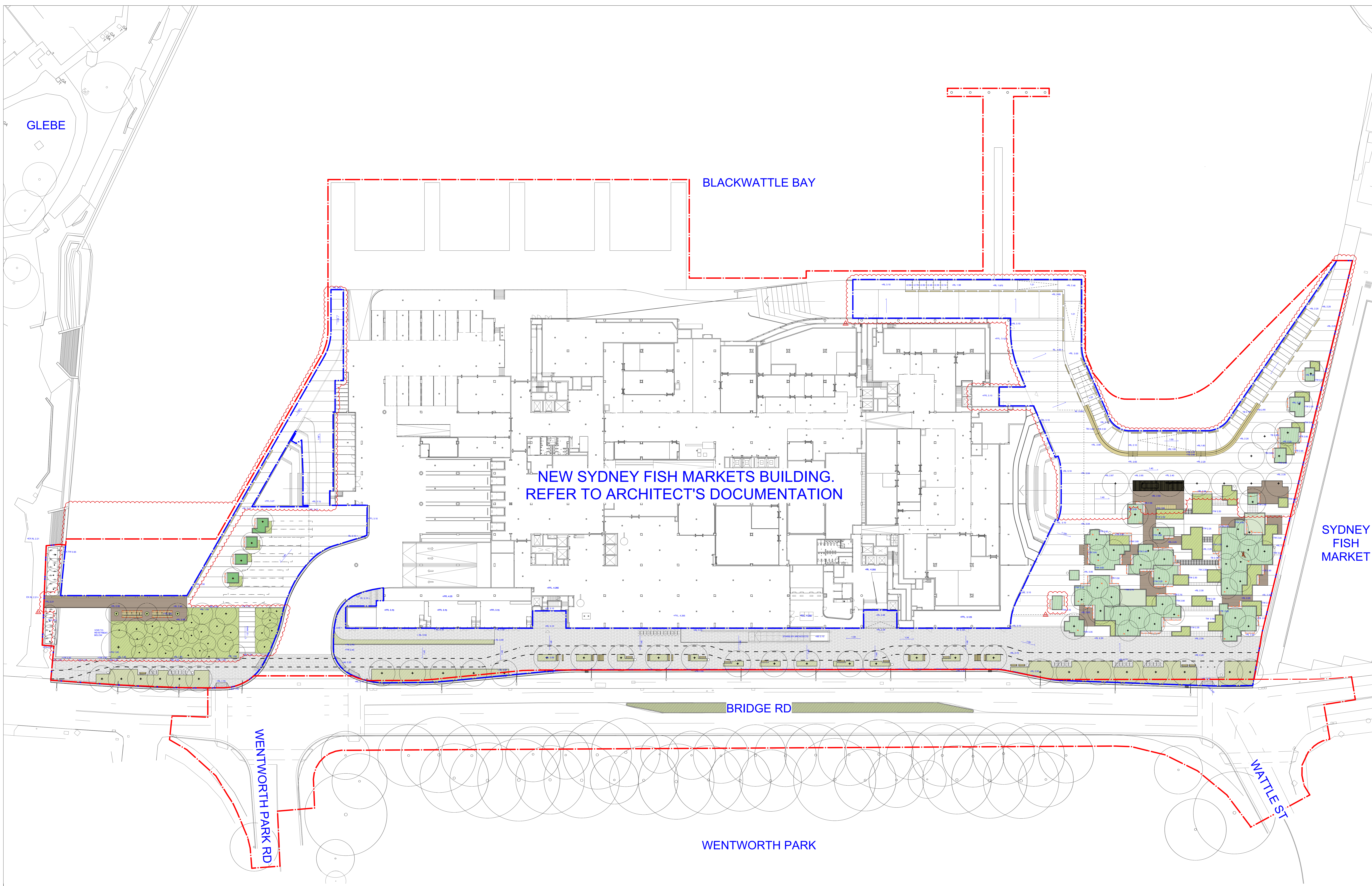
SITE PLAN

AR- S2-A20 AAA-03 | ISSUE



LEGEND:

- - - - - DEVELOPMENT FOOTPRINT
- - - - - CADASTRAL BOUNDARY
- - - - - EXTENT OF BRIDGE ROAD WORK
- - - - - SEA WALL



**NEW SYDNEY FISH MARKETS BUILDING.
REFER TO ARCHITECT'S DOCUMENTATION**

NOTE:
ALL LEVELS ARE INDICATIVE PLEASE
REFER TO CIVIL ENGINEER'S DOCUMENTATION

DATE	REV	AMENDMENTS
19/09/18	A	ISSUED FOR SSD-DA
22/11/18	B	ISSUED FOR SSD-DA
22/11/18	C	ISSUED FOR SSD-DA
15/04/19	D	ISSUED FOR SSD-DA
15/04/19	E	ISSUED FOR SSD-DA
17/09/19	F	ISSUED FOR SSD-DA
18/09/19	G	ISSUED FOR SSD-DA
13/08/20	H	ISSUED FOR REVISED S2 SSD-DA

NOTES / KEY PLAN

- All services should be referred to on the qualified engineers drawings. Landscape drawings do not include service information. Provision has been made for landscape systems and build out for services to the retained area. Feedback
- Final coordination with structural engineering has been included on this set of drawings. Please refer structural engineers drawings for all detailed structural information.
- Levels and grading have been provided for all retaining structures, road levels and drainage will depend on final flood modelling, sign-off by RMS for bridge flood design and response to SSD-DA comments and conditions.
- Setout Plans are subject to finalisation of structural and civil engineers drawings and have not been included in this documentation.
- Detail of vegetation planters subject to future approvals and direction from NSW Field Planning team including plant setout and services will be provided based on the finalisation of the above.

WARNING

DUAL BEFORE YOU DIG

Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of work.

These coloured drawings shall be read in digital format or colour hardcopy.

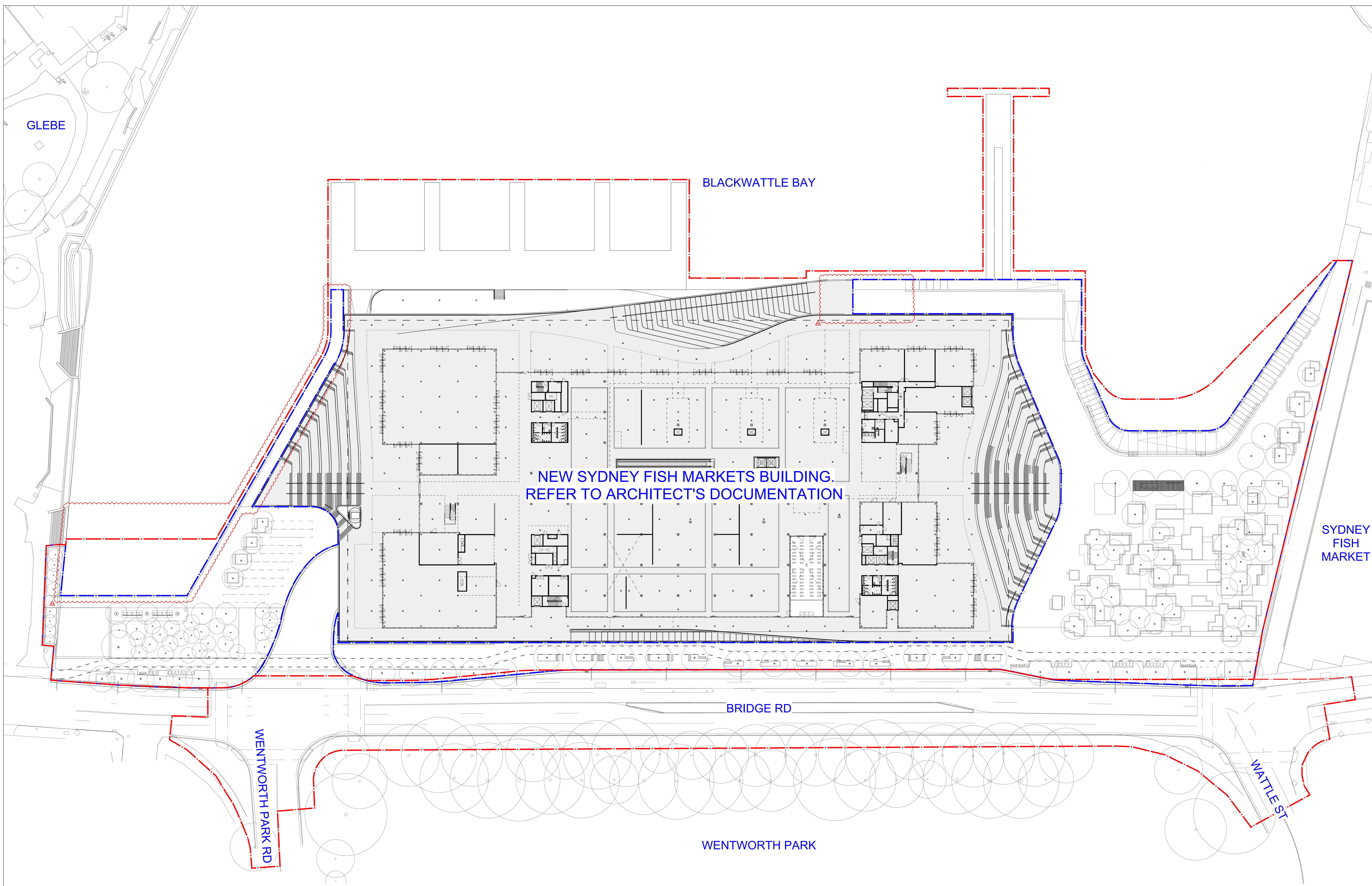
These drawings shall be read in conjunction with all relevant information (not limited to legends, schedules, specifications).

These drawings shall be read in conjunction with any Engineers, Architects or other consulted information (not limited to drawings, legends, schedules, specifications).

Check all dimensions and site conditions prior to commencement of any work or procurement or fabrication of any services, materials, fittings or equipment.

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NEW SYDNEY FISH MARKETS BUILDING.
REFER TO ARCHITECT'S DOCUMENTATION

NOTE:
ALL LEVELS ARE INDICATIVE PLEASE
REFER TO CIVIL ENGINEER'S DOCUMENTATION

DATE	REV	AMENDMENTS
19/09/18	A	ISSUED FOR SSD-DA
12/11/18	B	ISSUED FOR SSD-DA
22/11/18	C	ISSUED FOR SSD-DA
15/04/19	D	ISSUED FOR SSD-DA
15/04/19	E	ISSUED FOR SSD-DA
17/09/19	F	ISSUED FOR SSD-DA
19/09/19	G	ISSUED FOR SSD-DA
13/08/20	H	ISSUED FOR REVISED S2 SSD-DA

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NOTES / KEY PLAN

- All services should be referred to on the qualified engineers drawings. Landscape drawings do not include service information. Provision has been made for landscape systems and build up for services to the installed ground level.
- Final coordination with structural engineering has been included on this set of drawings. Please refer structural engineers drawings for all detailed structural information. Levels and drainage will depend on final flood modelling, sign off by RMS for bridge flood design and response to SSD-DA comments and conditions.
- Service Plans are subject to finalisation of structural and civil engineers drawings and have not been included in this documentation.
- Detail of installation planters subject to future approvals and direction from NSW Fire Fighting team including plant detail and services will be provided based on the finalisation of the above.

<p>CONSULTANTS</p> <p>3XN ARCHITECTURE 15A Boundary St Sydney NSW 2010 T +61 2 9234 2000 F +61 2 9234 2000</p> <p>BVN ARCHITECTURE 255 Pitt St Sydney NSW 2000 T +61 2 8297 7200</p> <p>M M ENGINEERING 303 Kent St Sydney NSW 2000 T +61 2 9268 1800</p>	<p>AECOM SERVICES 400 George St Sydney NSW 2000 P 2 9234 0000</p> <p>Carverno HYDROLOGICAL 515 St Paul's Ter Brisbane QLD 4005 T +61 7 3369 9822</p>	<p>ASPECT Studios</p> <p>ASPECT Studios Pty Ltd Level 1, 74-80 George Street Sydney NSW 2016 Australia T 02 9669 7182 www.aspectstudios.com sydney@aspectstudios.com ABN 11 120 219 961</p>	<p>PROJECT NEW SYDNEY FISH MARKET 1B Bridge Road, Glebe, NSW</p> <p>CLIENT</p> <p>inSW Infrastructure New South Wales</p>	<p>S17004 NORTH SCALE A3 SCALE A2 NOT TO SCALE DRAWN AT TL CHECKED EW DRAWING MASTERPLAN</p> <p>STATUS State Significant Development Application Stage 2</p> <p>DRAWING NO. AR-S2-A20 L02-01</p> <p>REVISION H</p> <p>NOT FOR CONSTRUCTION</p> <p>S1700405_PRODUCTION01_Phase01_CADPackage_Final</p>
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B	12/11/19	ISSUE FOR SSD-DA
C	22/03/19	ISSUE FOR SSD-DA
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H	18/09/19	ISSUE FOR SSDA
I	14/08/20	REVISED S2 SSDA

CONSULTANT

STRUCTURAL - MOTT MACDONALD	LANDSCAPE - ASPECT STUDIO	BUILDING SERVICES - AECOM	BBC PLANNING CONSULTANTS	FAÇADE ENGINEER - APEX	BC/ADDA - GROUP DLA	THELEM CONSULTING	INFRASTRUCTURE NSW
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CONSULTANT	TEL +61 (0) 2 9216 5700	PROJECT
CONSULTANT	NEW SYDNEY FISH MARKET	BVN PROJECT NUMBER
CONSULTANT	15 BRIDGE RD, GLEBE NSW	1611013

TRUE NORTH	PROJECT NORTH

GRAPHIC SCALE
SCALE

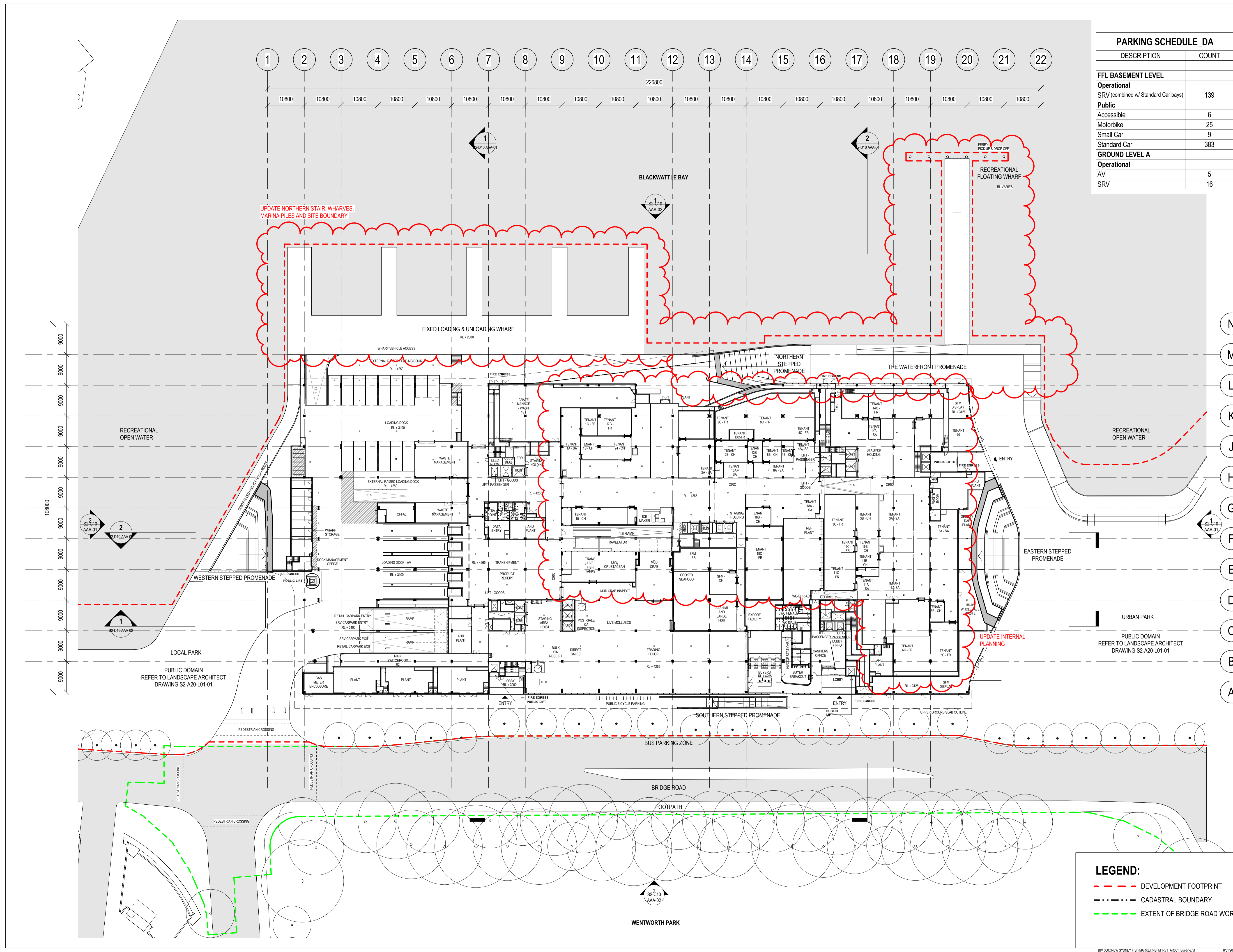
As indicated@A1
STATUS

FLOOR PLAN GROUND
ISSUE

AR- S2-B10 L00-01 |

PARKING SCHEDULE_DA

DESCRIPTION	COUNT
FFL BASEMENT LEVEL	
Operational	
SRV (combined w/ Standard Car bays)	139
Public	
Accessible	6
Motorbike	25
Small Car	9
Standard Level A	383
GROUND LEVEL A	
Operational	
AV	5
SRV	16



LEGEND:
--- DEVELOPMENT FOOTPRINT
--- CADASTRAL BOUNDARY
--- EXTENT OF BRIDGE ROAD WORK

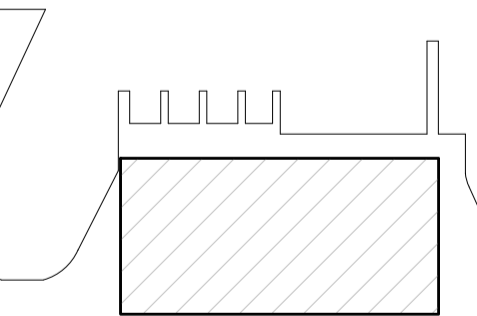
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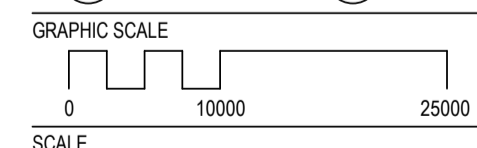
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- NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

1611013 DRAWING KEY



TRUE NORTH PROJECT NORTH

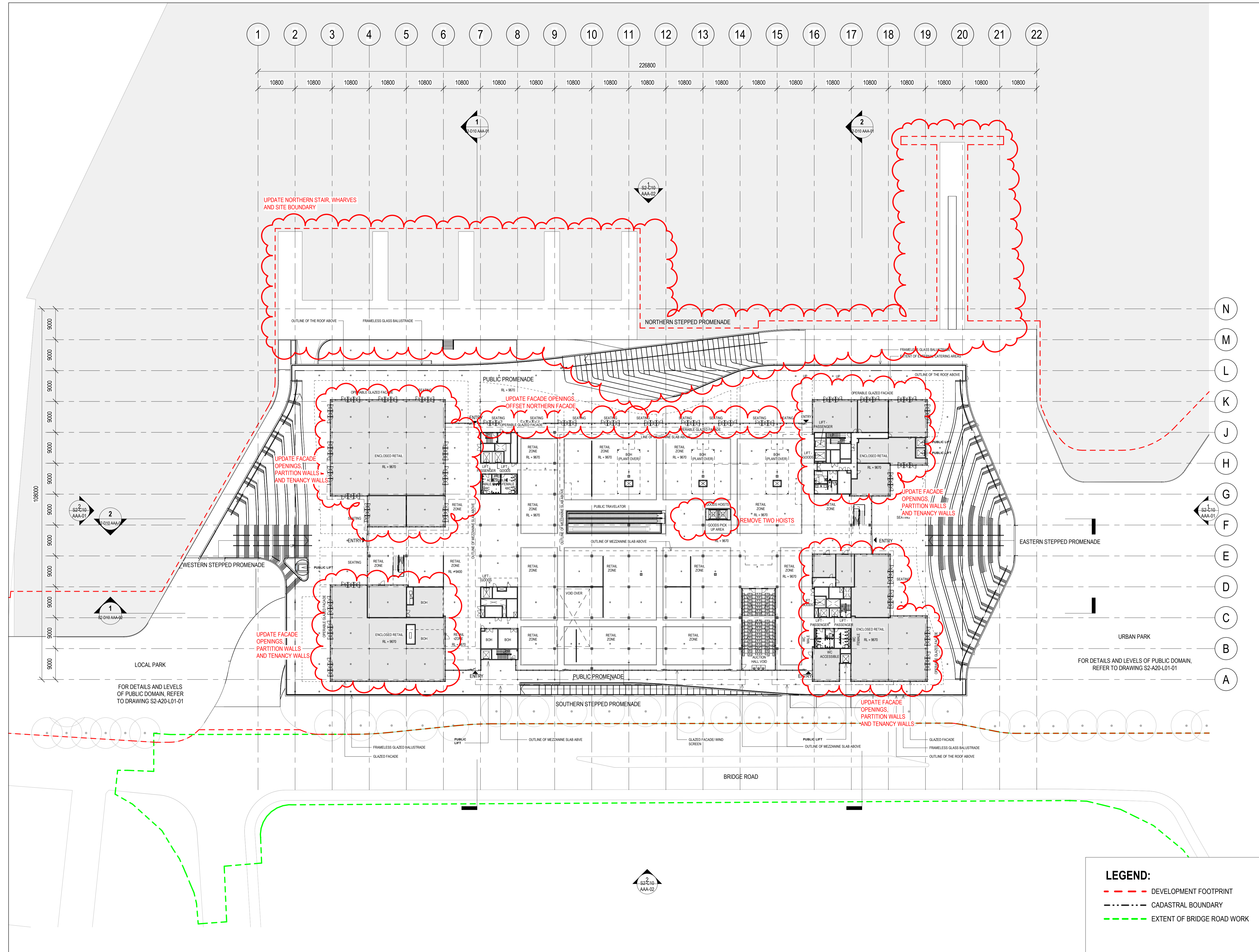


As indicated@A1
STATUS

DRAWING

FLOOR PLAN UPPER GROUND

ISSUE
AR- S2-B10 L01-01 |



LEGEND:

- - - - - DEVELOPMENT FOOTPRINT
- - - - - CADASTRAL BOUNDARY
- - - - - EXTENT OF BRIDGE ROAD WORK

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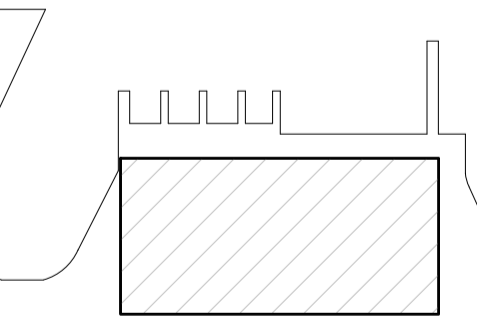
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ISSUE	DATE	FOR
A	12/09/18	ISSUE FOR SSD-DA
B	12/11/19	ISSUE FOR SSD-DA
C	22/03/19	ISSUE FOR SSD-DA
D	15/04/19	ISSUE FOR SSD-DA
E	15/04/19	ISSUE FOR 50% DD
F	19/04/19	ISSUE FOR 50% DD
G	27/08/19	ISSUED FOR REVIEW
H	18/09/19	ISSUE FOR SSDA
I	14/08/20	REVISED S2 SSDA

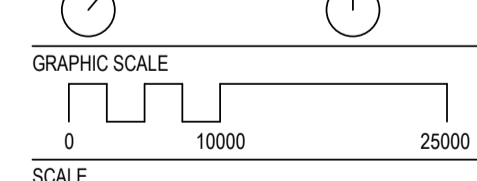
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PROJECT
- NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

1611013 DRAWING KEY



TRUE NORTH PROJECT NORTH



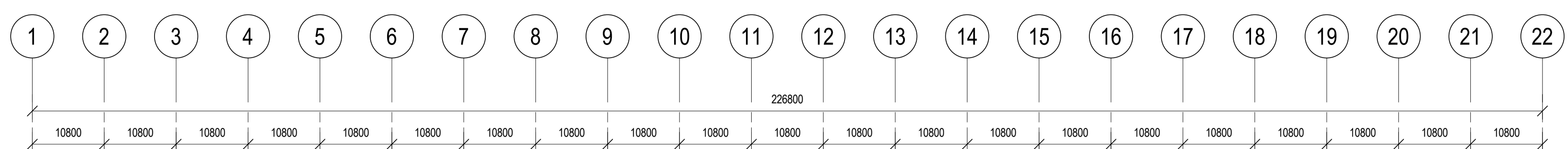
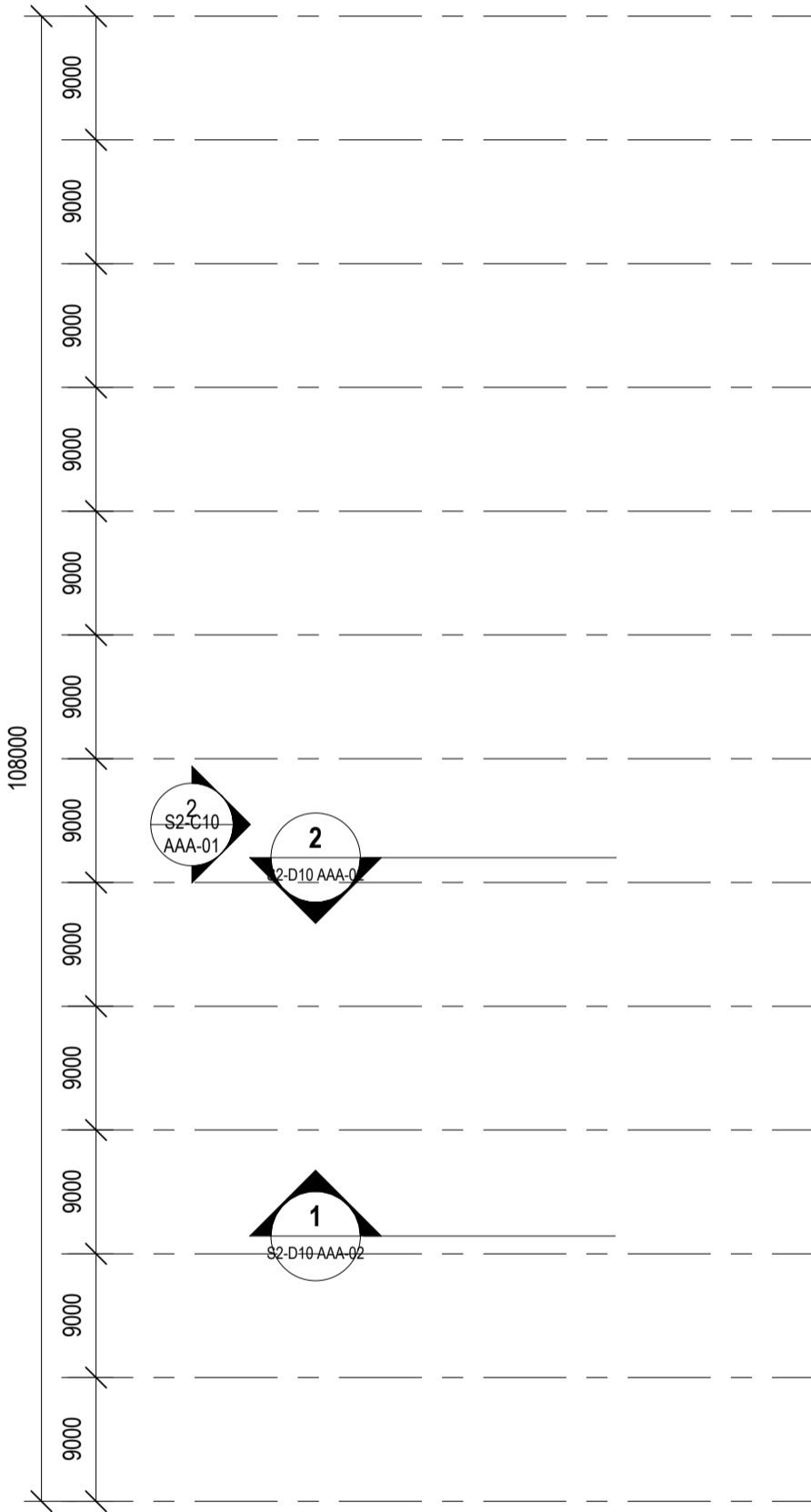
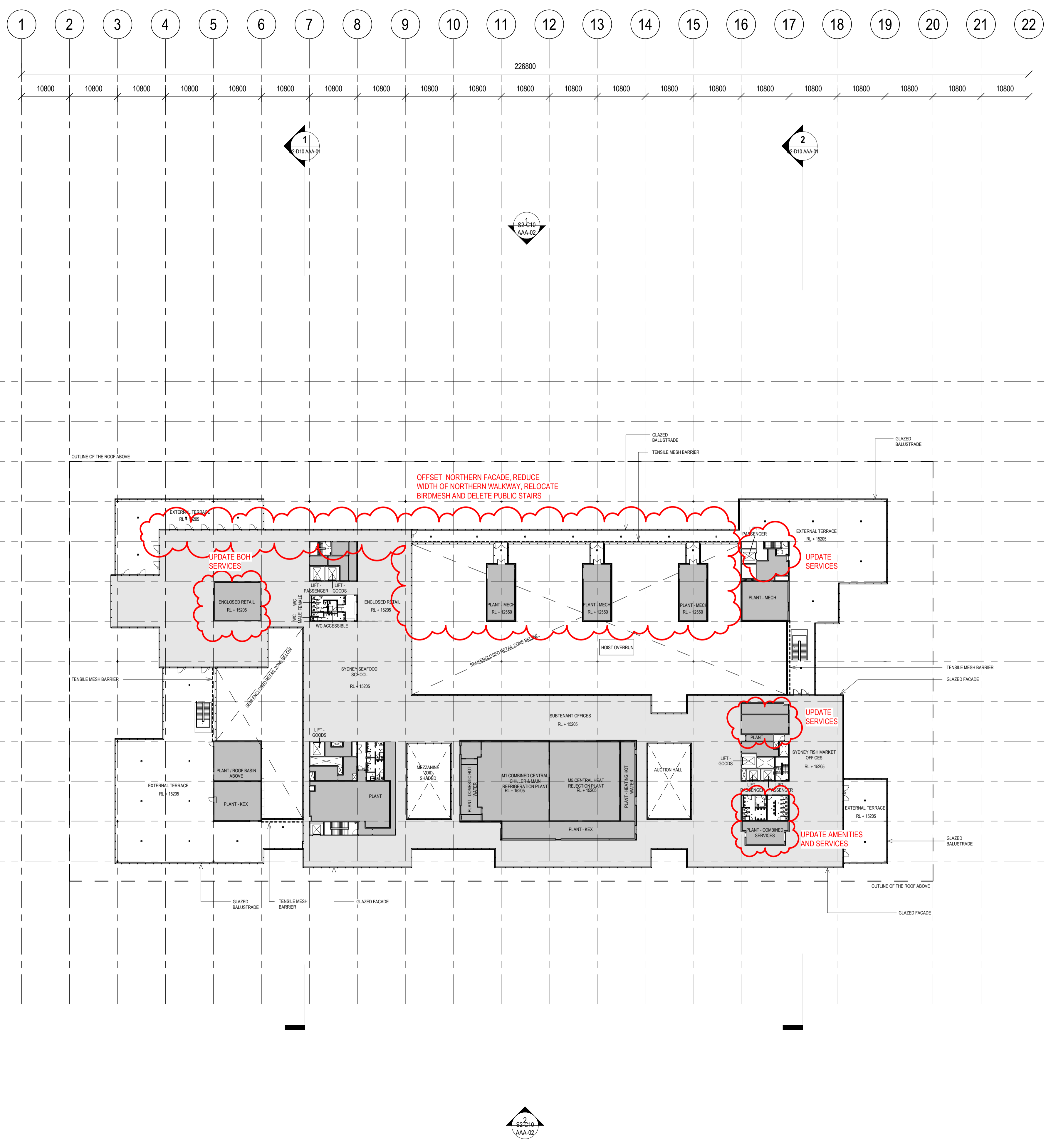
SCALE
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STATUS

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FLOOR PLAN MEZZANINE

ISSUE
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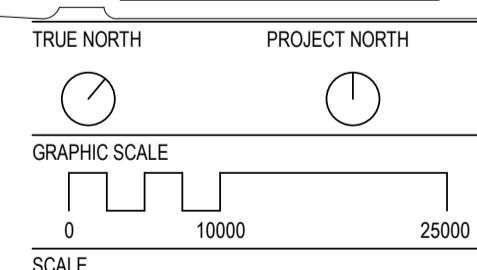
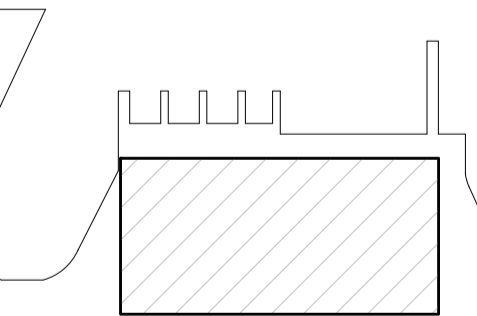
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B	12/11/19	ISSUE FOR SSD-DA
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G	27/08/19	ISSUED FOR REVIEW
H	18/09/19	ISSUE FOR SSDA
I	14/08/20	REVISED S2 SSDA

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STRUCTURAL - MOTT MACDONALD	TEL +61 (0) 2 9098 6800
LANDSCAPE - ASPECT STUDIO	TEL +61 (0) 2 9699 7182
BUILDING SERVICES - AECOM	TEL +61 (0) 2 8934 0000
RBC PLANNING CONSULTANTS	TEL +61 (0) 2 9211 4099
FAÇADE ENGINEER - APEX	TEL +61 (0) 2 8916 6264
BCADDA - GROUP DLA	TEL +61 (0) 2 8355 3160
THELEM CONSULTING	TEL +61 (0) 2 9188 9606

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INFRASTRUCTURE NSW	CLIENT NUMBER
	TEL +61 (0) 2 9216 5700
	PROJECT
	NEW SYDNEY FISH MARKET
	18 BRIDGE RD, GLEBE NSW
	BUN PROJECT NUMBER
	1611013

CONSULTANT	TEL
PROJECT MANAGER	

1611013

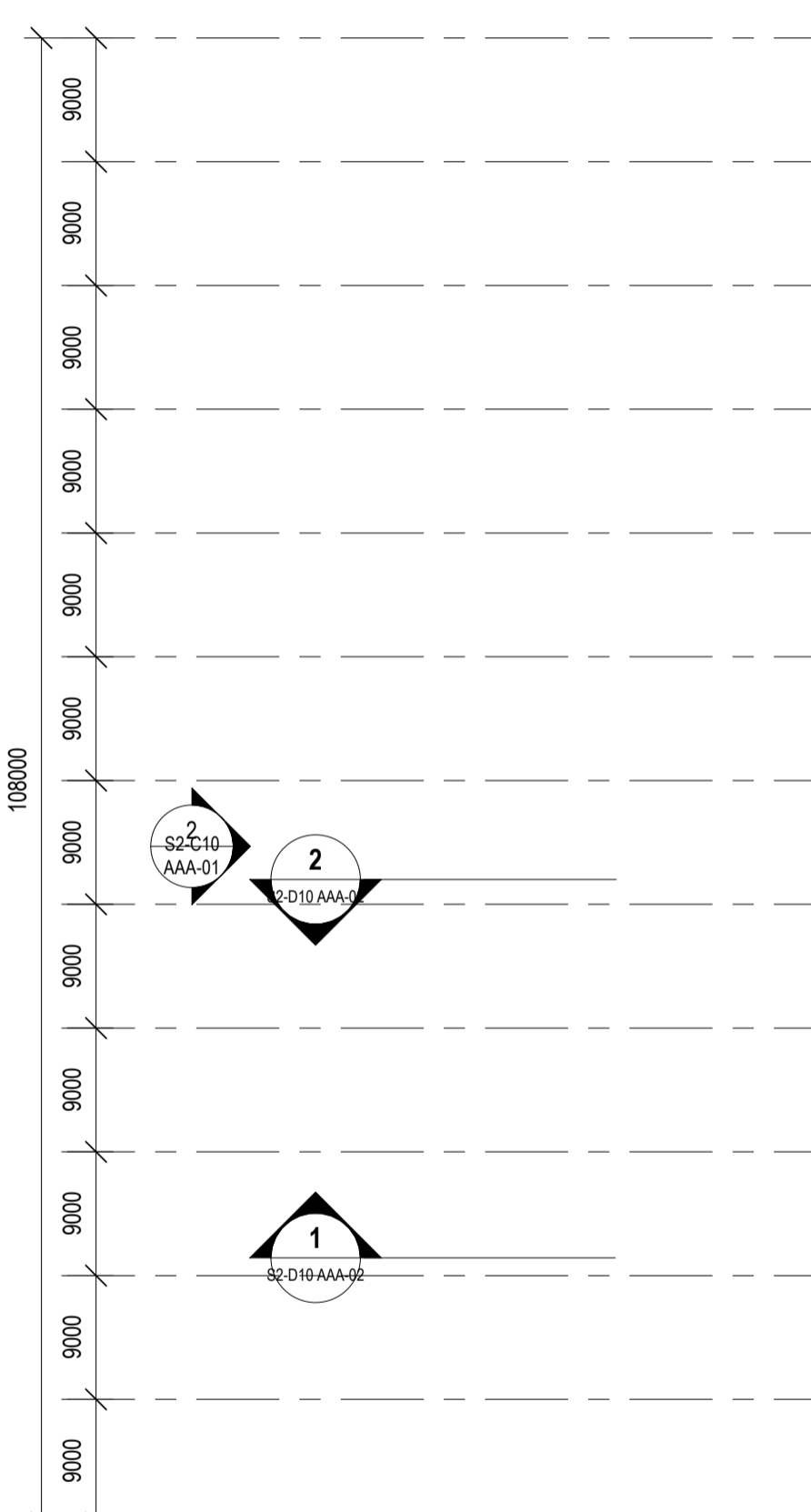
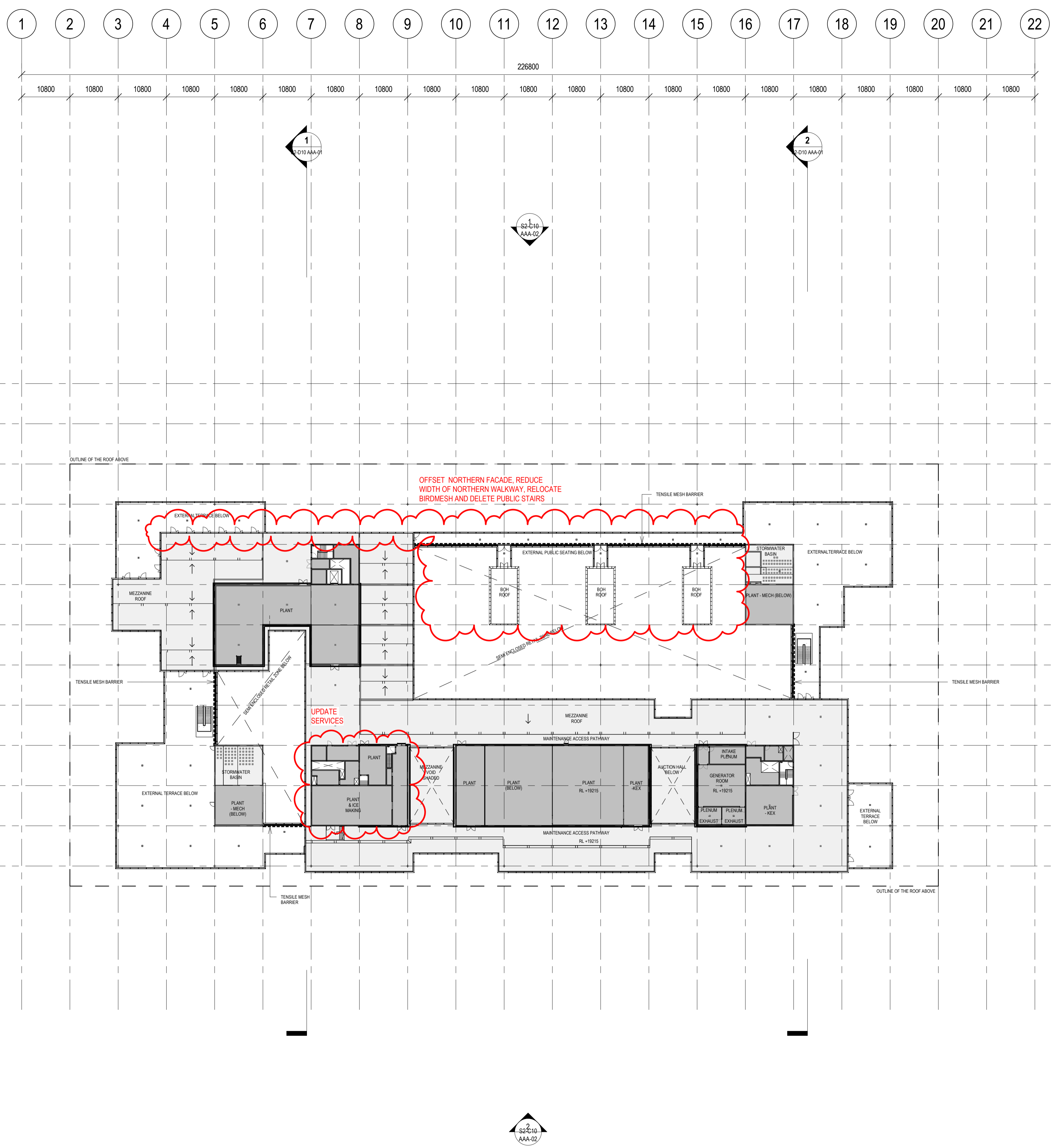


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STATUS

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MEZZANINE ROOF PLAN

AR- S2-B10 L03-01 | ISSUE



2
S2-B10
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ISSUE	DATE	FOR
A	12/09/18	ISSUE FOR SSD-DA
B	12/11/19	ISSUE FOR SSD-DA
C	22/03/19	ISSUE FOR SSD-DA
D	15/04/19	ISSUE FOR SSD-DA
E	15/04/19	ISSUE FOR 50% DD
F	19/04/19	ISSUE FOR 50% DD
G	27/08/19	ISSUED FOR REVIEW
H	18/09/19	ISSUE FOR SSDA

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STRUCTURAL - MOTT MACDONALD TEL +61 (0) 2 9096 6800
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BCA/DIDA - GROUP DLA TEL +61 (0) 2 8355 3160 PROJECT MANAGER
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INFRASTRUCTURE NSW
CLIENT NUMBER

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PROJECT

NEW SYDNEY FISH MARKET
15 BRIDGE RD, GLEBE NSW
B+V PROJECT NUMBER

1611013
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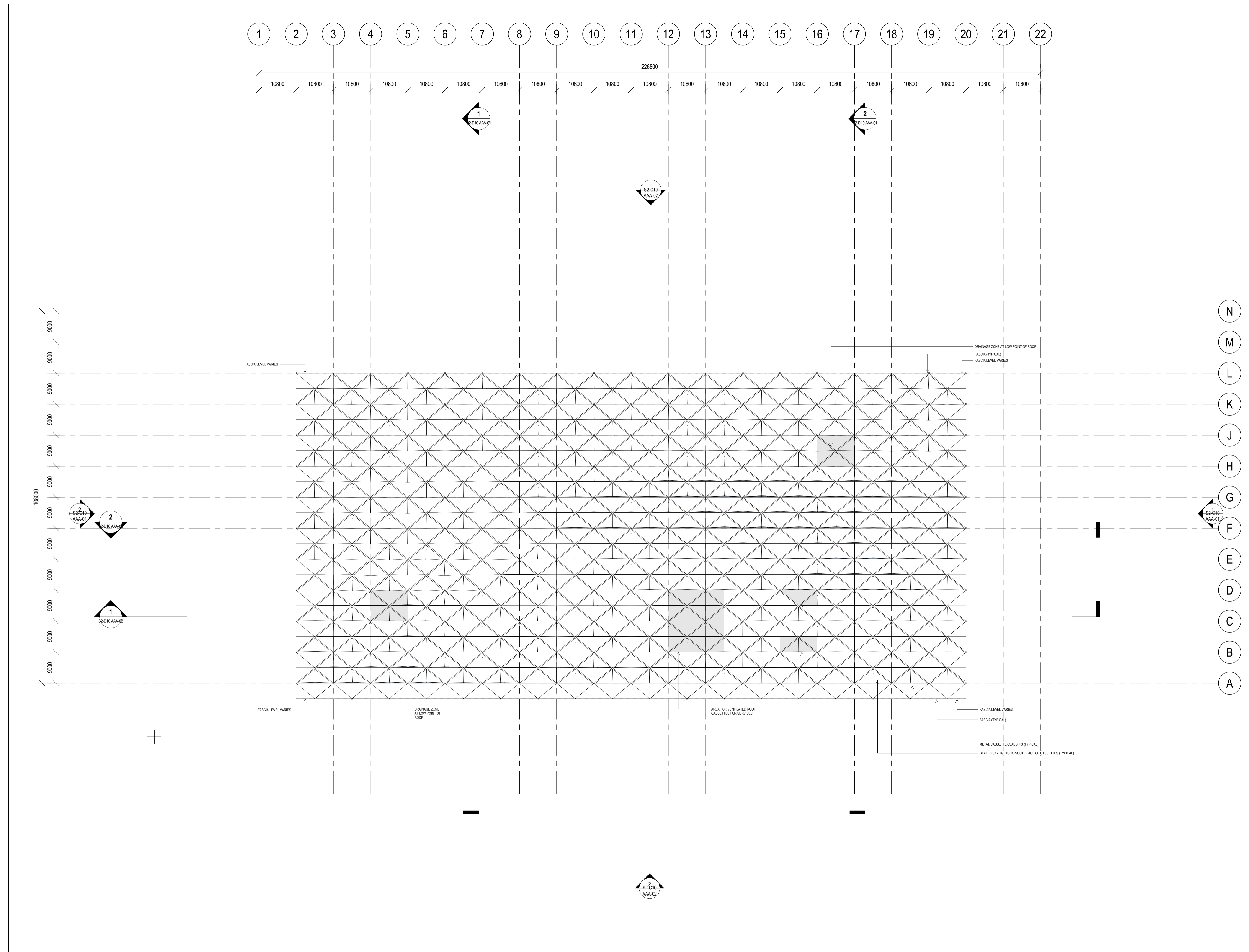
TRUE NORTH PROJECT NORTH

GRAPHIC SCALE
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STATUS

DRAWING

ROOF PLAN
ISSUE
AR-S2-B10 L10-01 H



ISSUE	DATE	FOR
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B	12/11/19	ISSUE FOR SSD-DA
C	22/03/19	ISSUE FOR SSD-DA
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BUILDING SERVICES - AECOM
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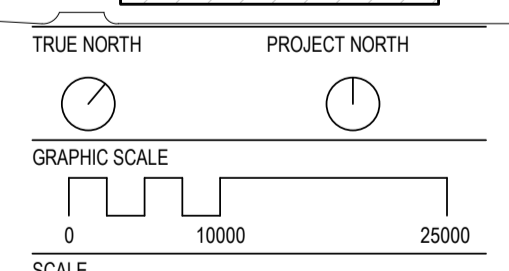
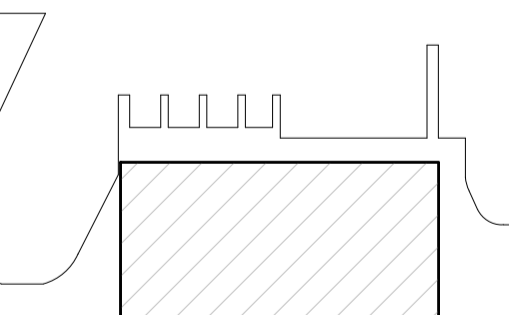
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NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW

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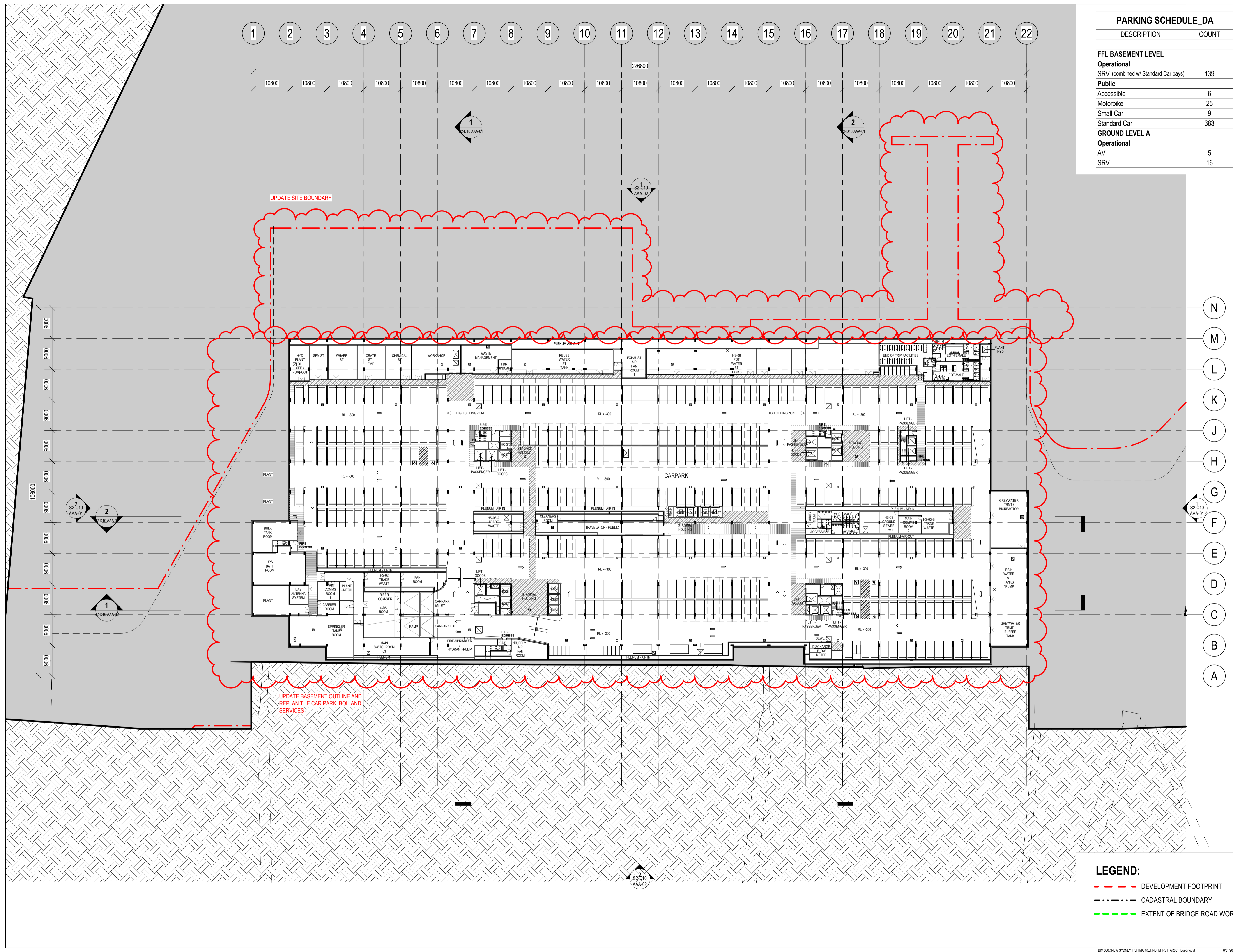
As indicated@A1
STATUS

DRAWING

FLOOR PLAN BASEMENT

AR- S2-B10 LB1-01 | ISSUE

PARKING SCHEDULE_DA	
DESCRIPTION	COUNT
FFL BASEMENT LEVEL	
Operational	
SRV (combined w/ Standard Car bays)	139
Public	
Accessible	6
Motorbike	25
Small Car	9
Standard Car	383
GROUND LEVEL A	
Operational	
AV	5
SRV	16



LEGEND:

- - - - - DEVELOPMENT FOOTPRINT
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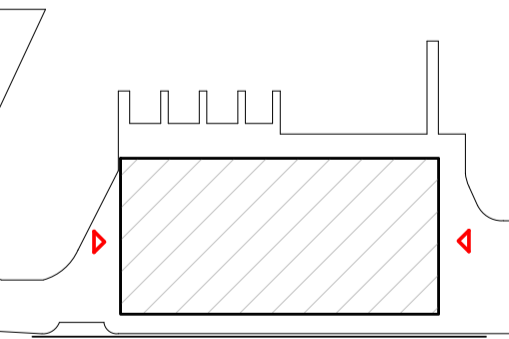
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NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

1611013 DRAWING KEY



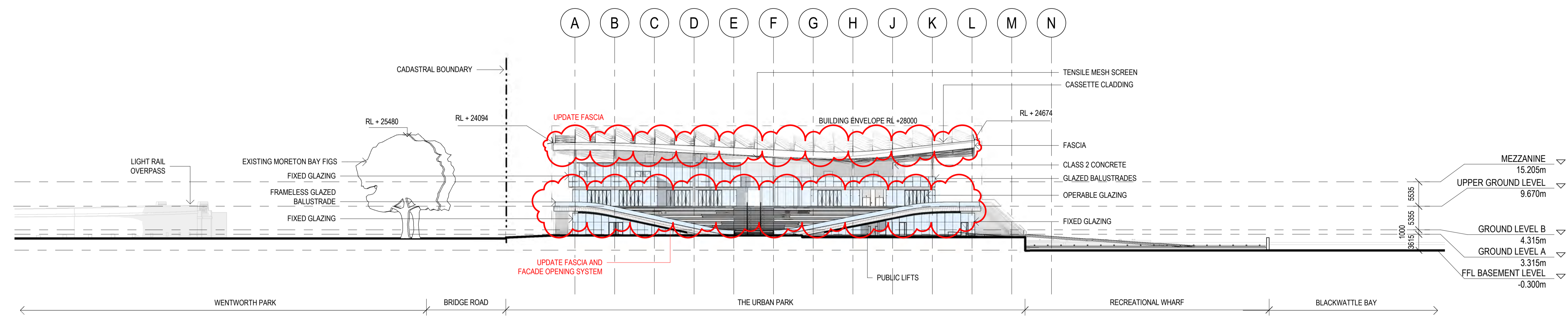
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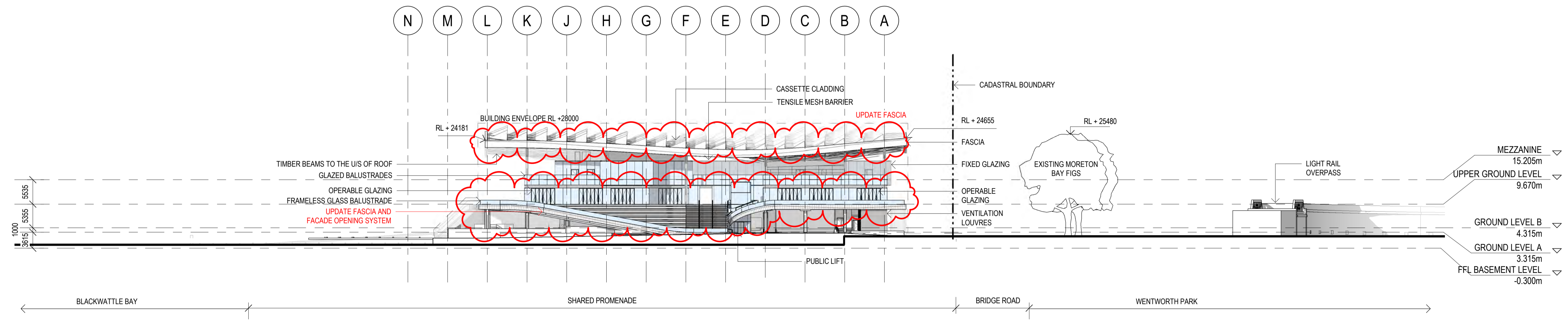
DRAWING

EAST AND WEST ELEVATION

ISSUE
AR- S2-C10 AAA-01 |



1 S2 - EAST ELEVATION
1:500



2 S2 - WEST ELEVATION
1:500

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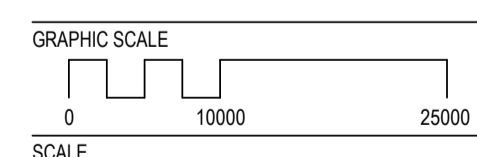
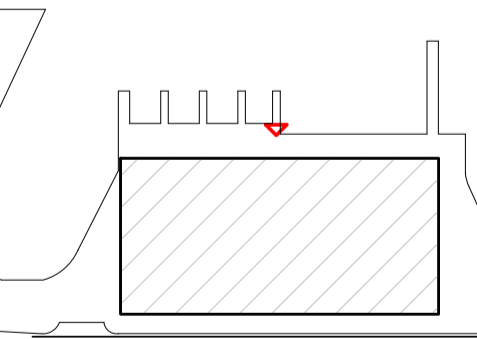
ISSUE	DATE	FOR
A	12/09/18	ISSUE FOR SSD-DA
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18 BRIDGE RD, GLEBE NSW
BVA PROJECT NUMBER

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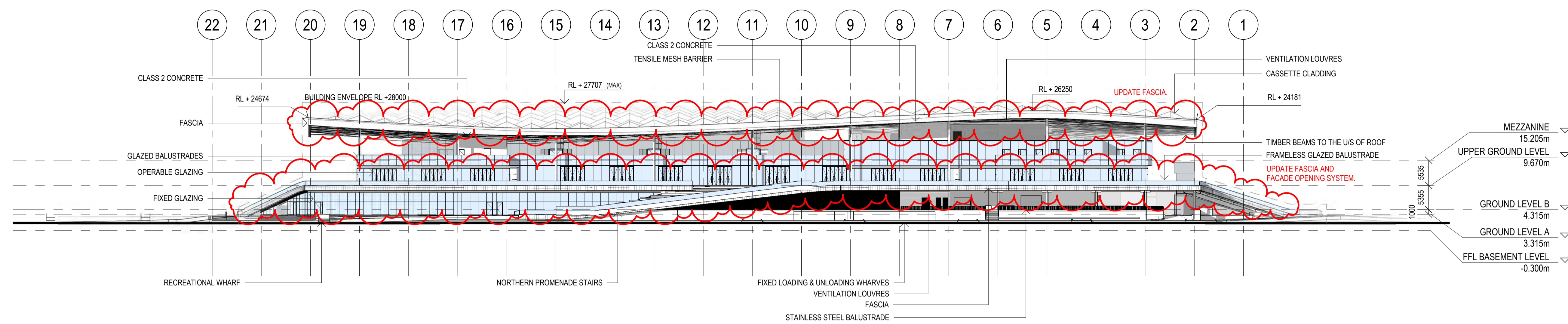


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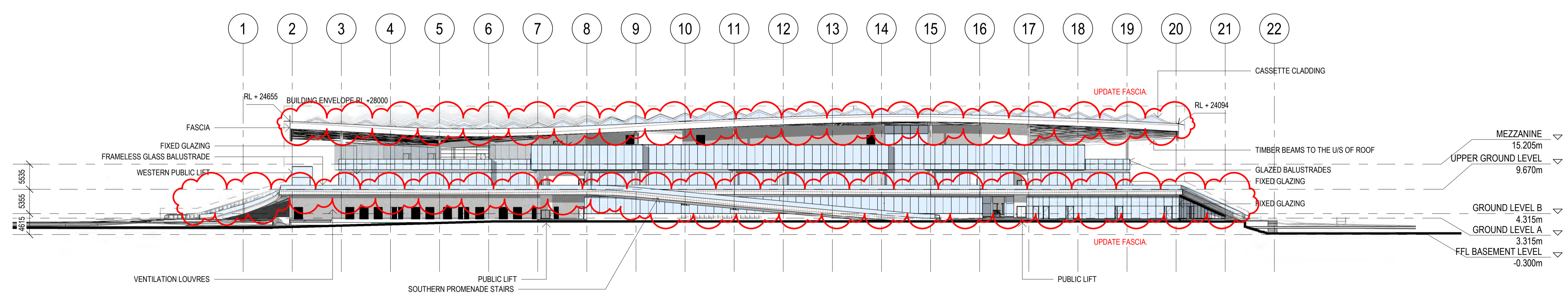
DRAWING

NORTH AND SOUTH ELEVATION

ISSUE
AR- S2-C10 AAA-02 |



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1: 500



2 S2 - SOUTH ELEVATION
1: 500

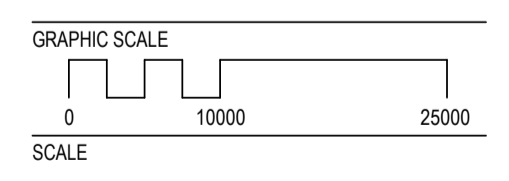
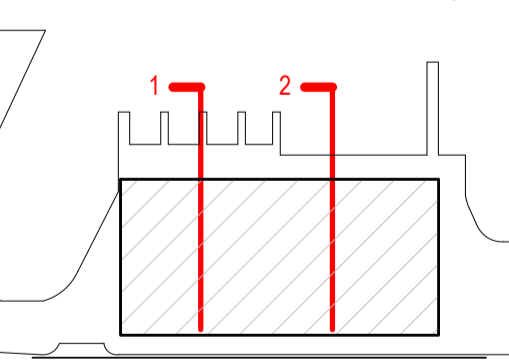
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PROJECT
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18 BRIDGE RD, GLEBE NSW
BVA PROJECT NUMBER
1611013



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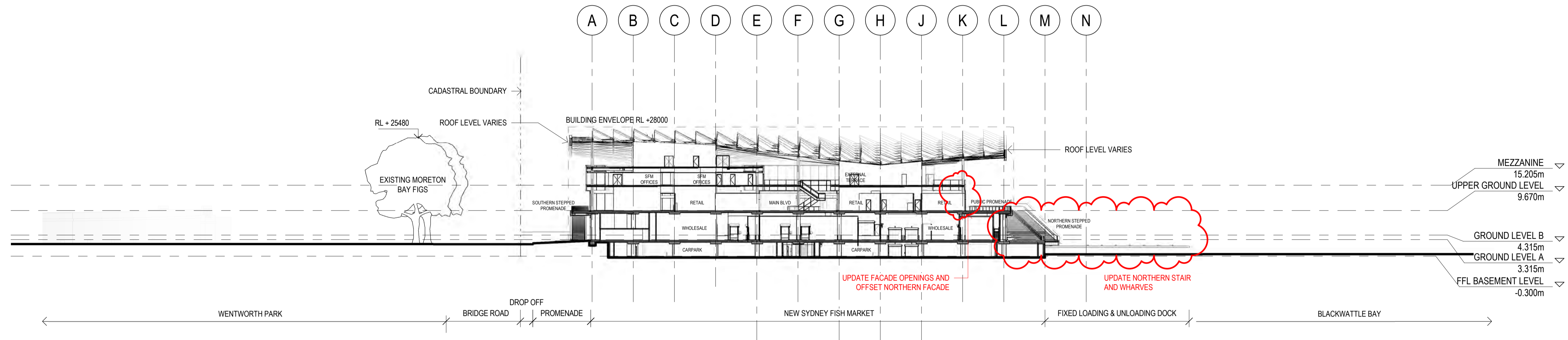
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CROSS SECTIONS

ISSUE
AR- S2-D10 AAA-01



1 S2 SECTION BB
1:500



2 S2 SECTION DD
1:500

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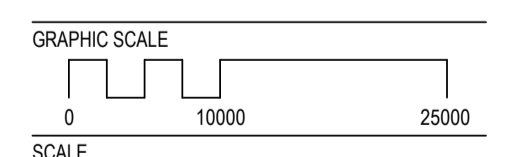
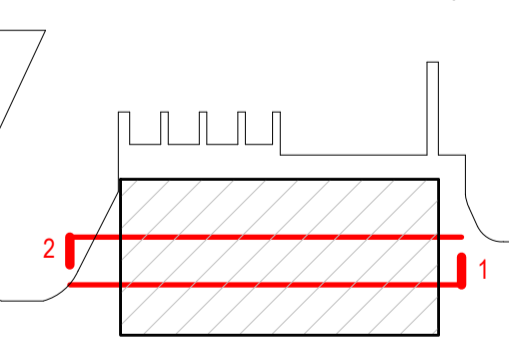
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BUN PROJECT NUMBER
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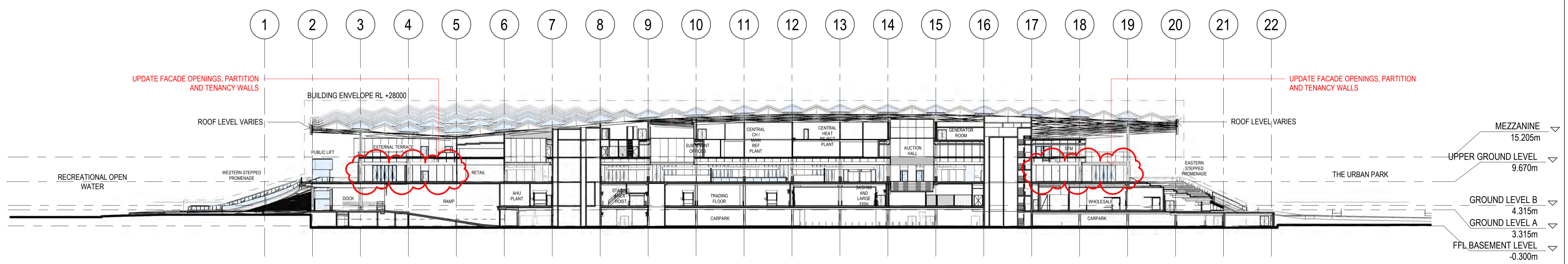


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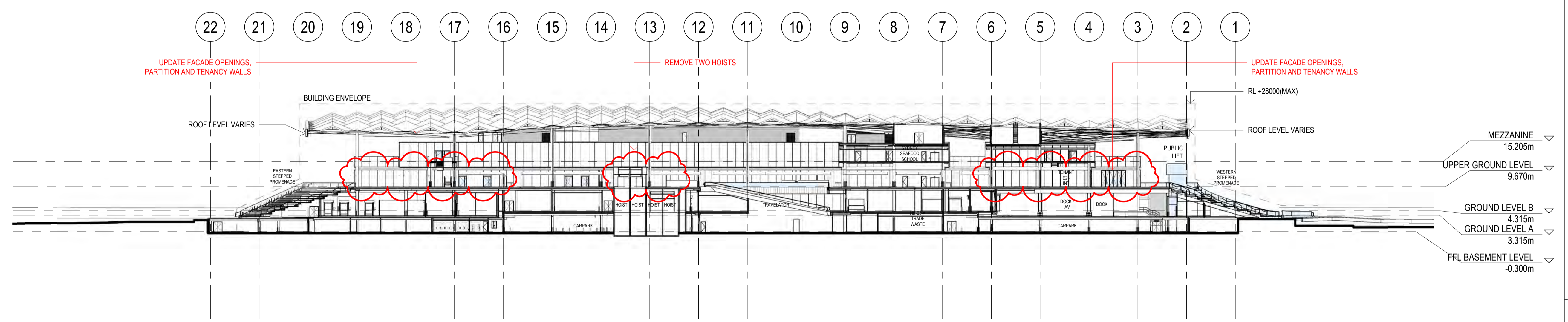
DRAWING

LONG SECTIONS

AR- S2-D10 AAA-02 | ISSUE



1 S2 SECTION AA
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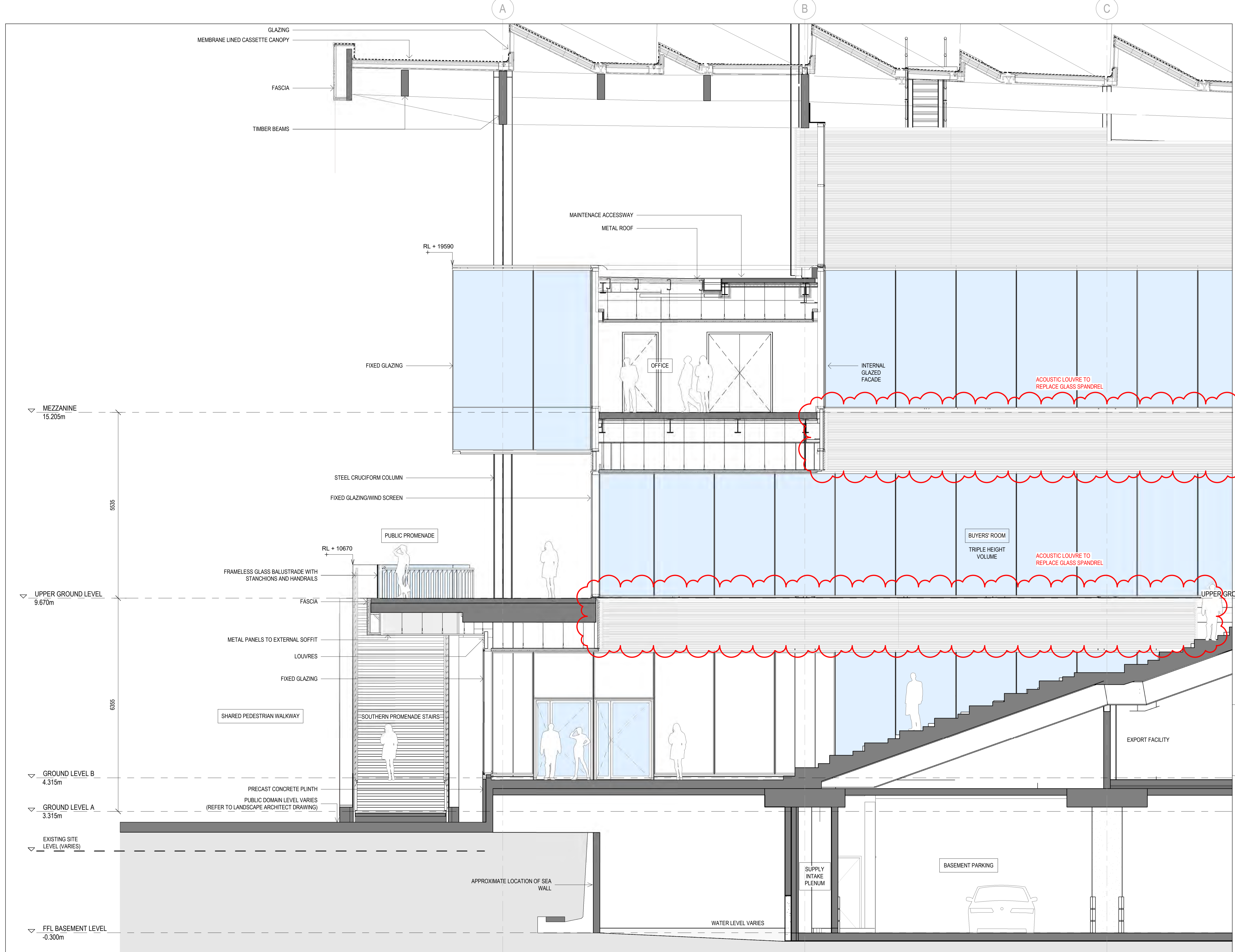


2 S2 SECTION CC
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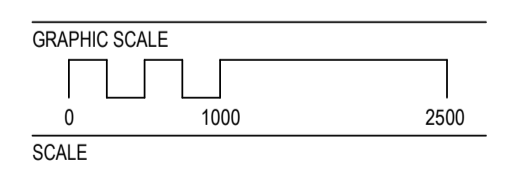
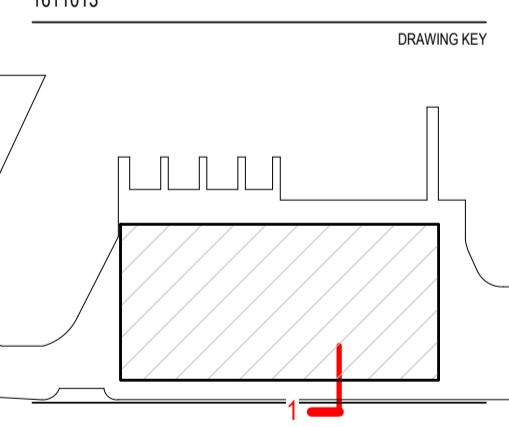
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18 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

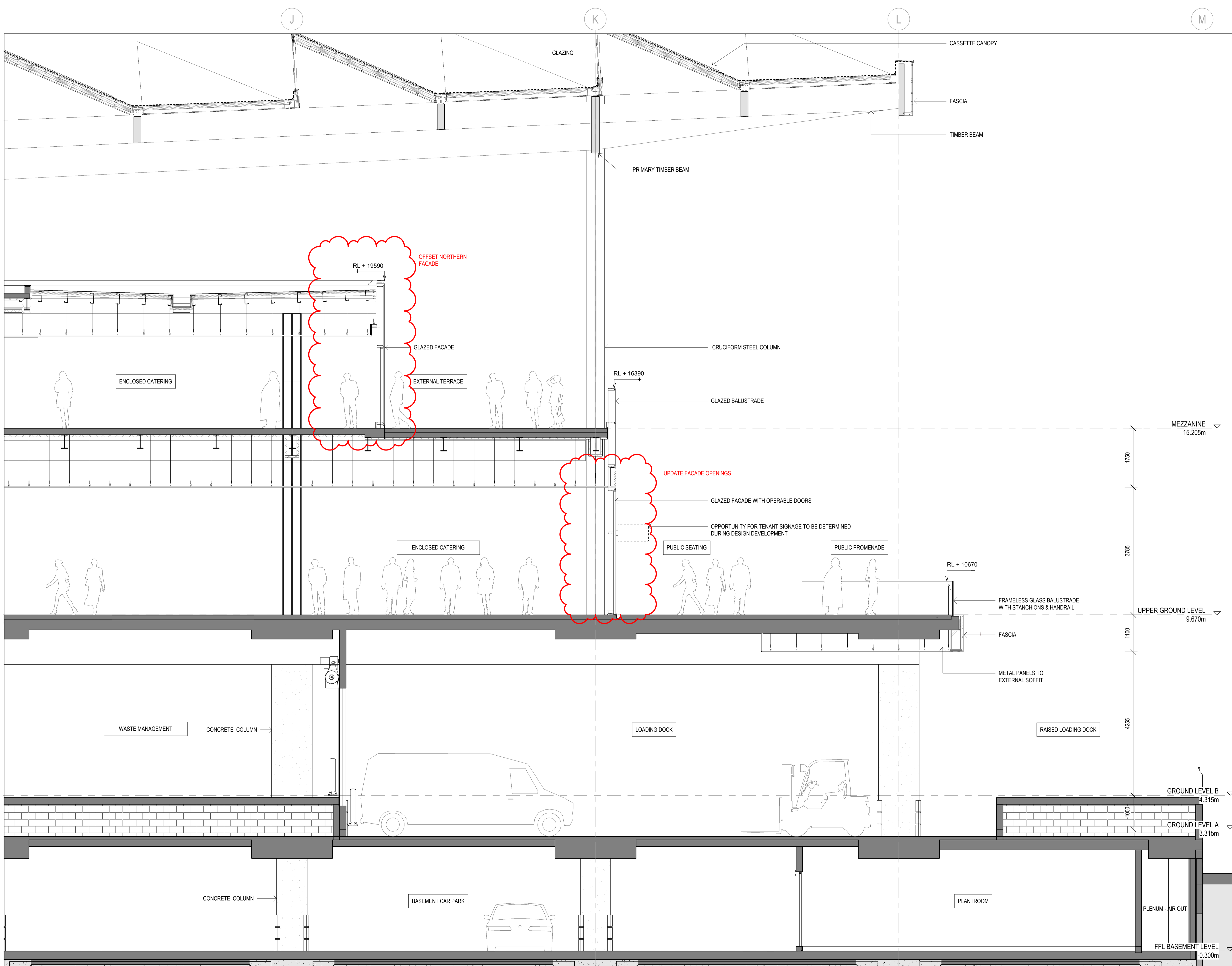
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AUCTION & OFFICE SECTION

AR- S2-E43 AAA-01 |



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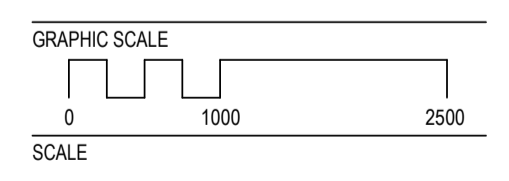
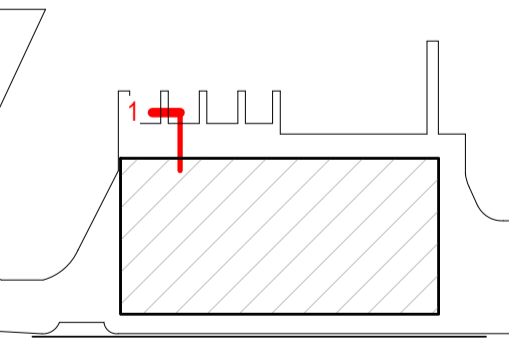
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- NEW SYDNEY FISH MARKET
18 BRIDGE RD, GLEBE NSW
BUN PROJECT NUMBER

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1 : 50@A1
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DRAWING

FOOD & BEVERAGE SECTION

ISSUE
AR-S2-E43 AAA-02 |

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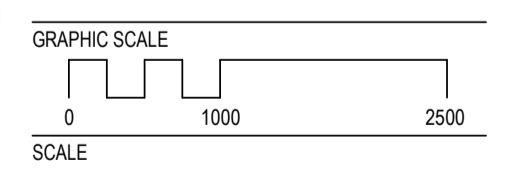
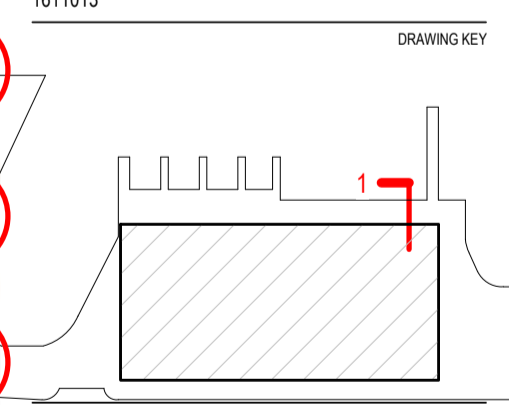
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18 BRIDGE RD, GLEBE NSW
BVA PROJECT NUMBER
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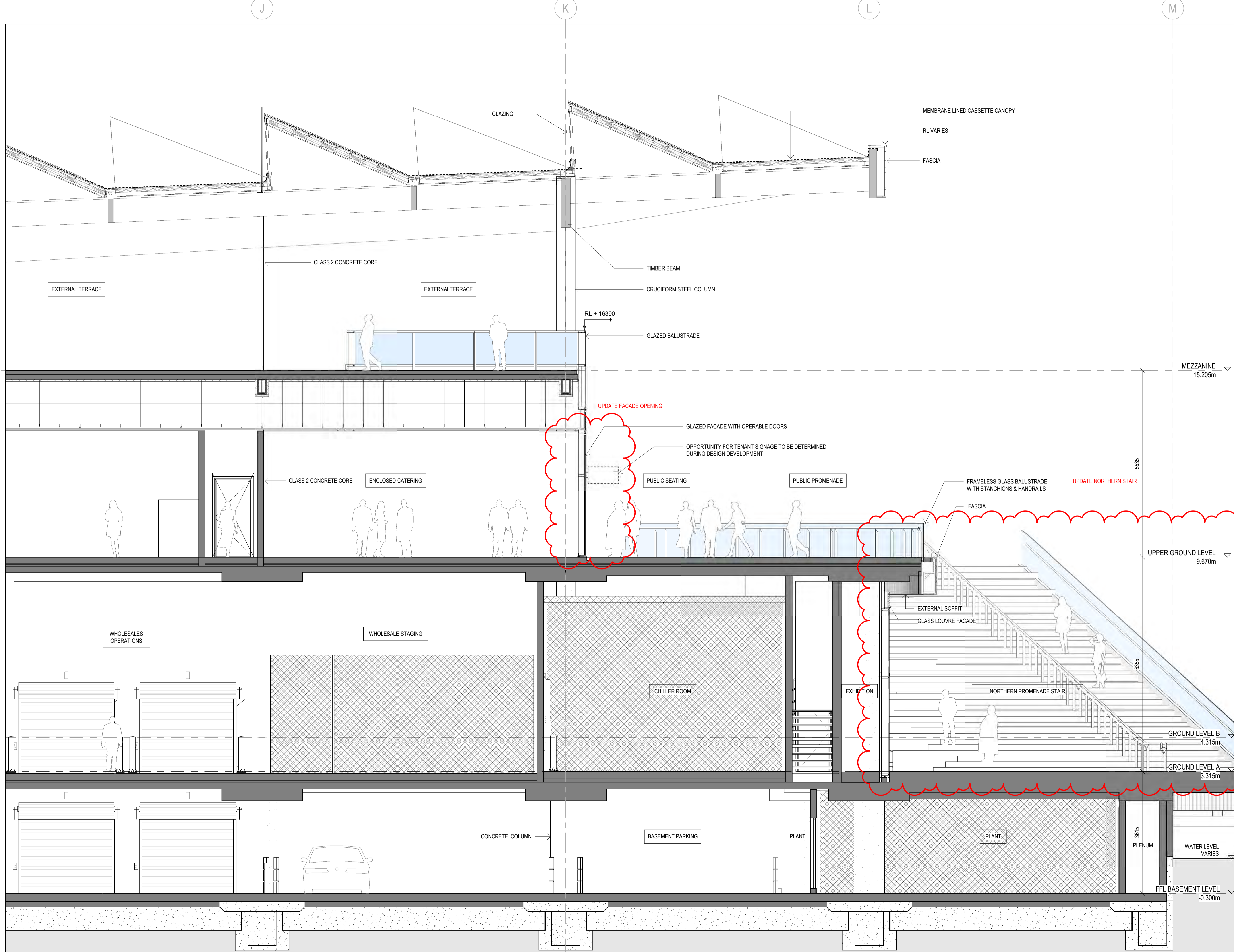
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STATUS

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WHOLESALE & CATERING SECTION

ISSUE
AR- S2-E43 AAA-04



ISSUE	DATE	FOR
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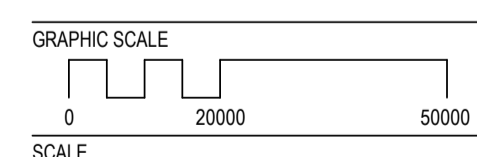
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18 BRIDGE RD, GLEBE NSW
BVN PROJECT NUMBER

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DRAWING KEY



1 : 1000@A1
STATUS

DRAWING

GFA MEASUREMENT SREP 26

ISSUE	STATUS
AR-S2-L10 AAA-01	H

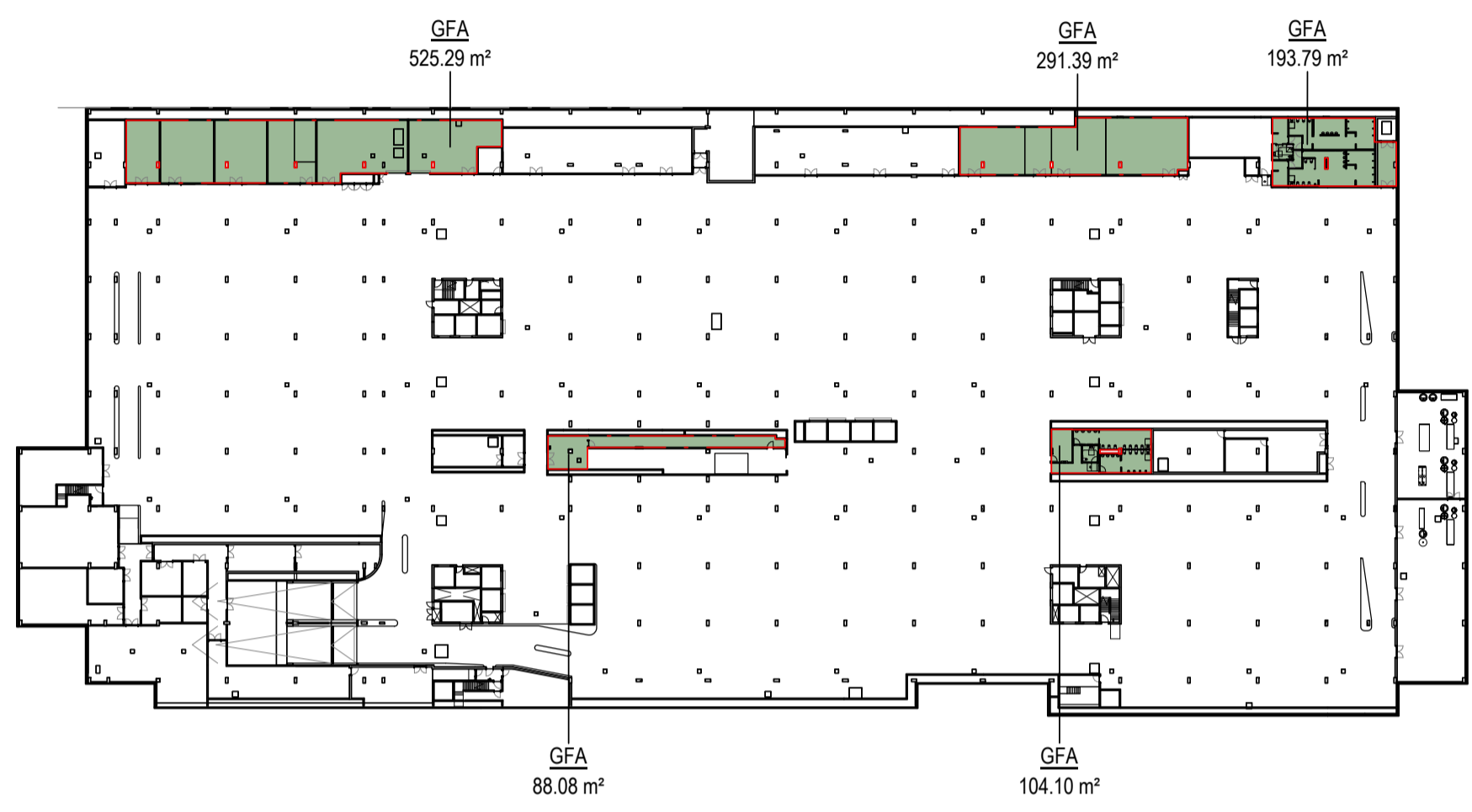
BCP_A-AREA (GFA-SREP 26)_STAGE 2

LEVEL	AREA
UPPER GROUND	4025.29 m ²
BASEMENT	1202.64 m ²
GROUND	10962.23 m ²
UPPER GROUND	6061.65 m ²
MEZZANINE	4583.44 m ²
	26835.25 m ²

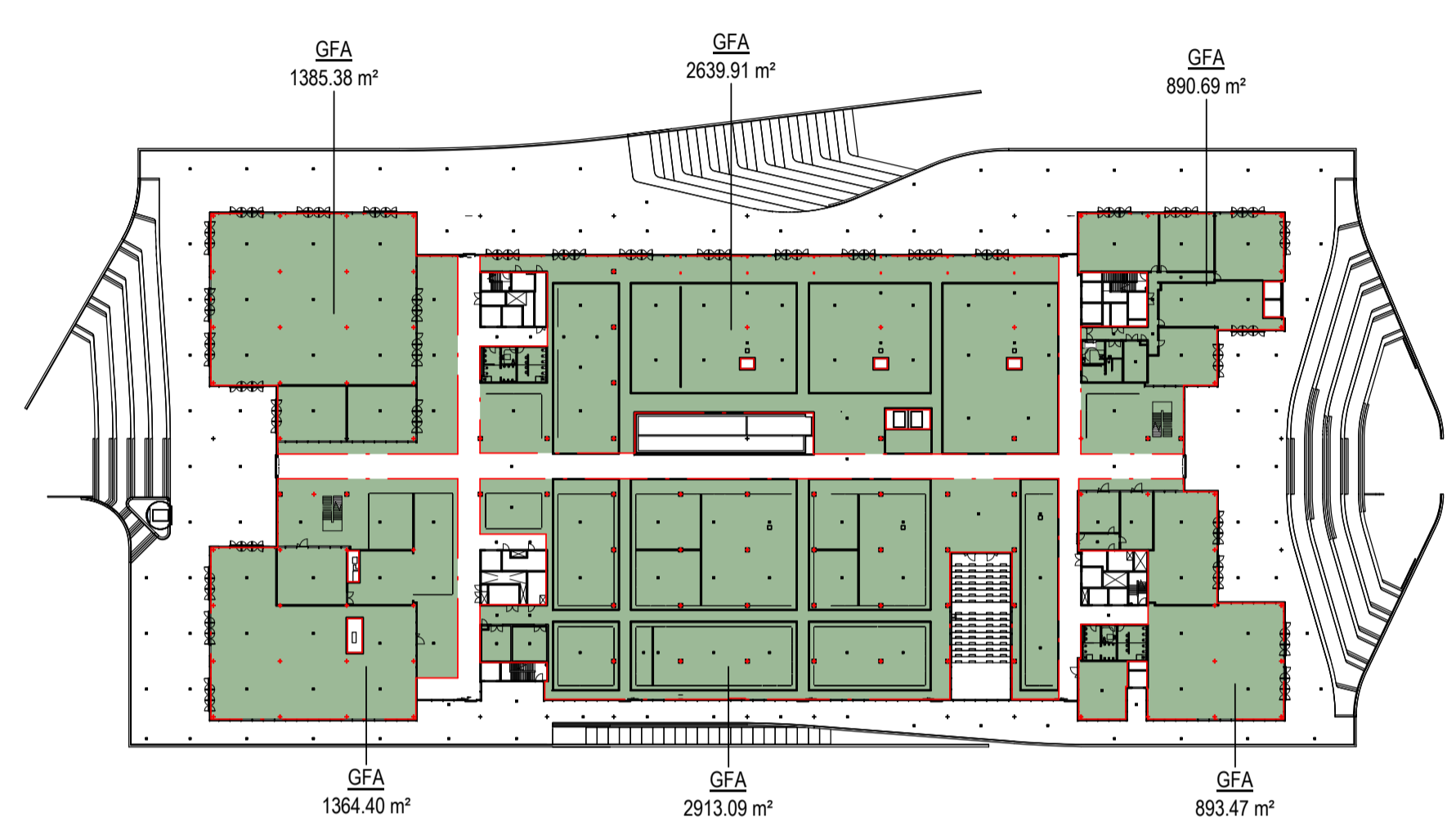
From SREP 26

Gross floor area means the sum of the areas of each floor of a building where the area of each floor is taken to be the area within the inner faces of the external enclosing walls as measured at a height of 1,400 millimetres above each floor level, excluding:

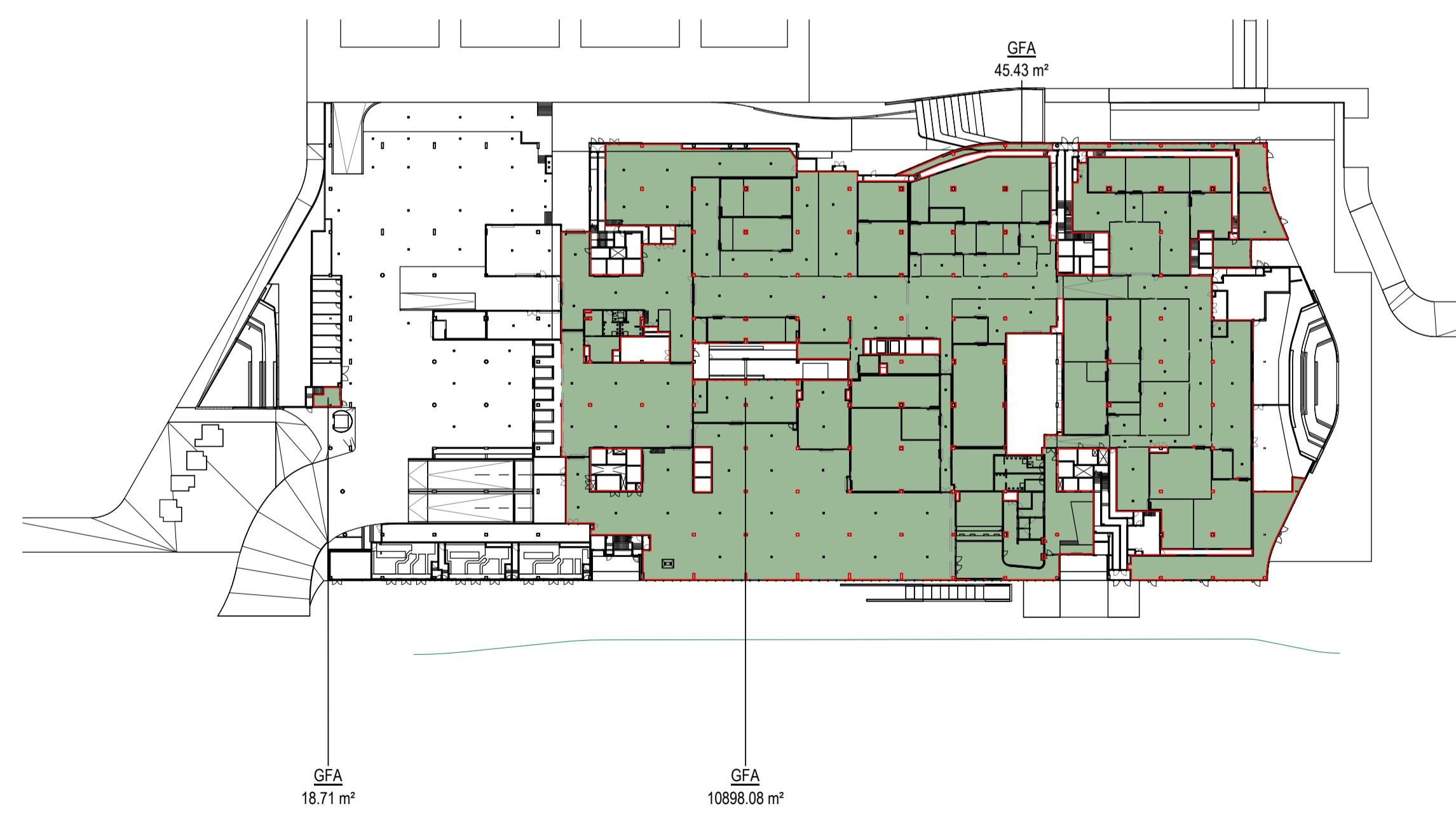
- columns, fin walls, sun control devices, awnings and any other elements, projections or works outside the general lines of the outer face of the external wall, and
- lift towers, cooling towers, machinery and plant rooms, and air conditioning and ventilation ducts, and
- ancillary car parking and any associated internal designated vehicular and pedestrian access thereto, and
- space for the loading and unloading of goods, and
- internal public areas such as arcades, atria and thoroughfares, and terraces and balconies with outer walls less than 1,400 millimetres high.



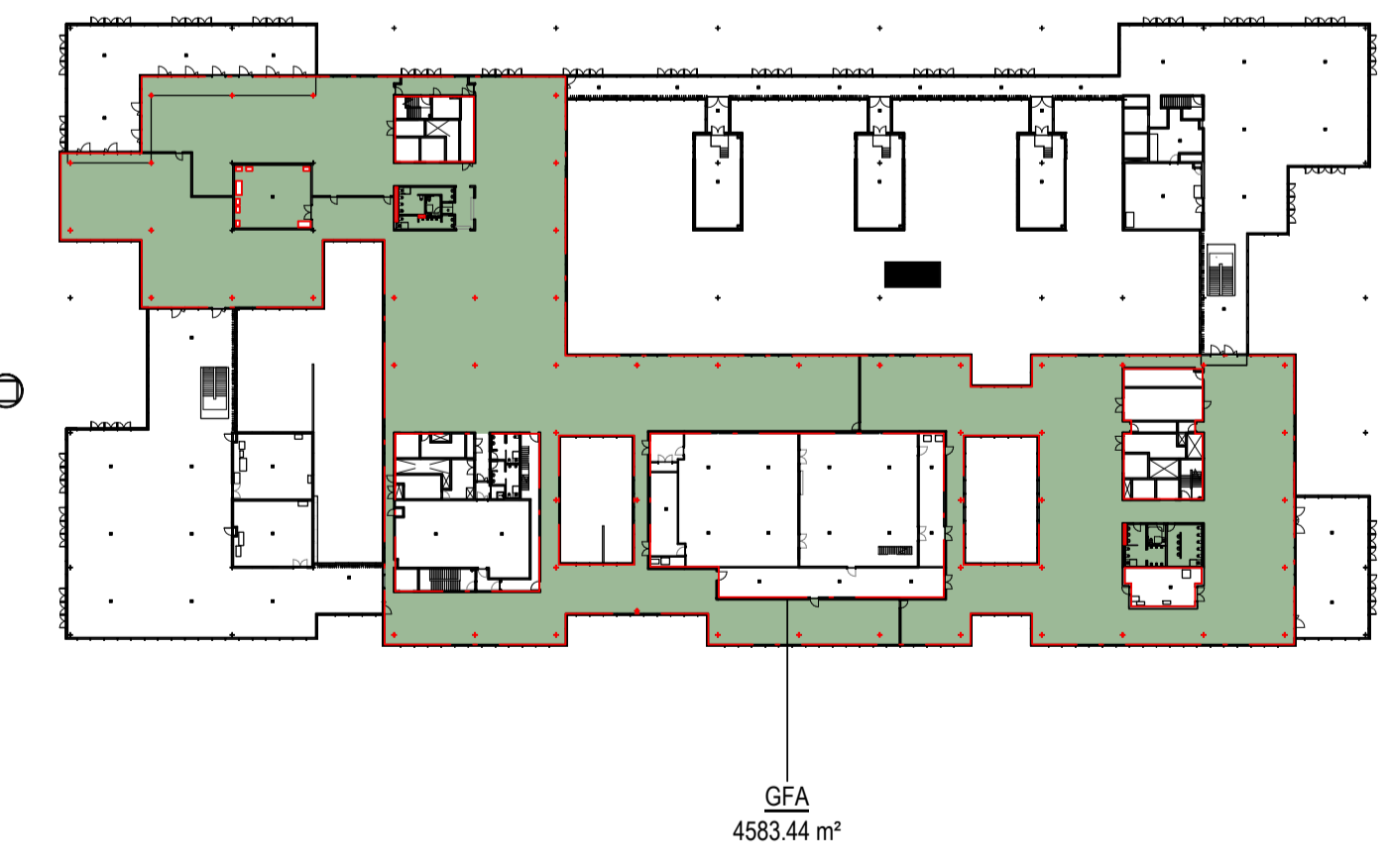
1 BASEMENT LEVEL



3 UPPER GROUND LEVEL



2 GROUND LEVEL



4 MEZZANINE

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BCP_A-AREA (GFA-STANDARD)_STAGE 2

LEVEL	Area
GROUND	11042.09 m ²
UPPER GROUND	11284.98 m ²
MEZZANINE	4600.53 m ²
BASEMENT	16.74 m ²
	26944.33 m ²

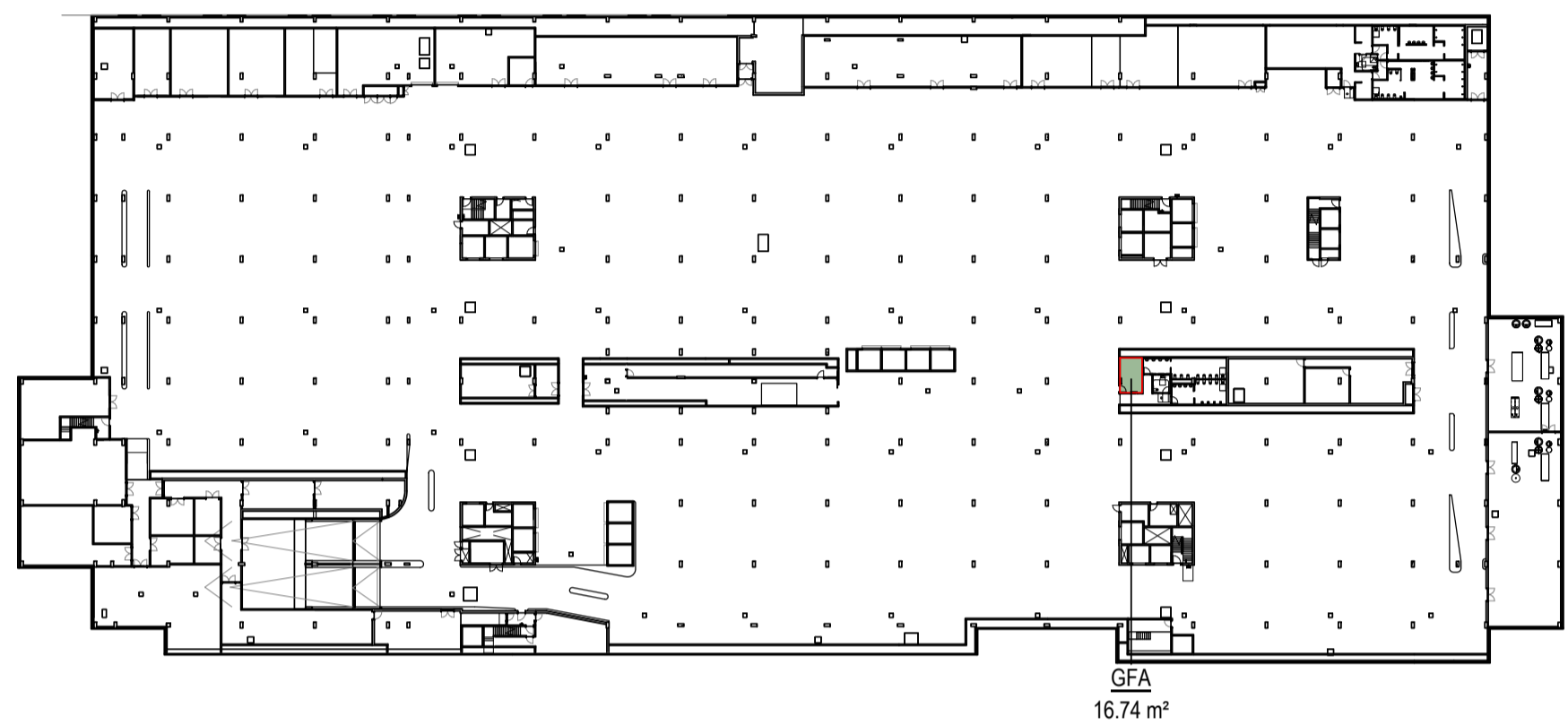
From the NCC instrument

gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

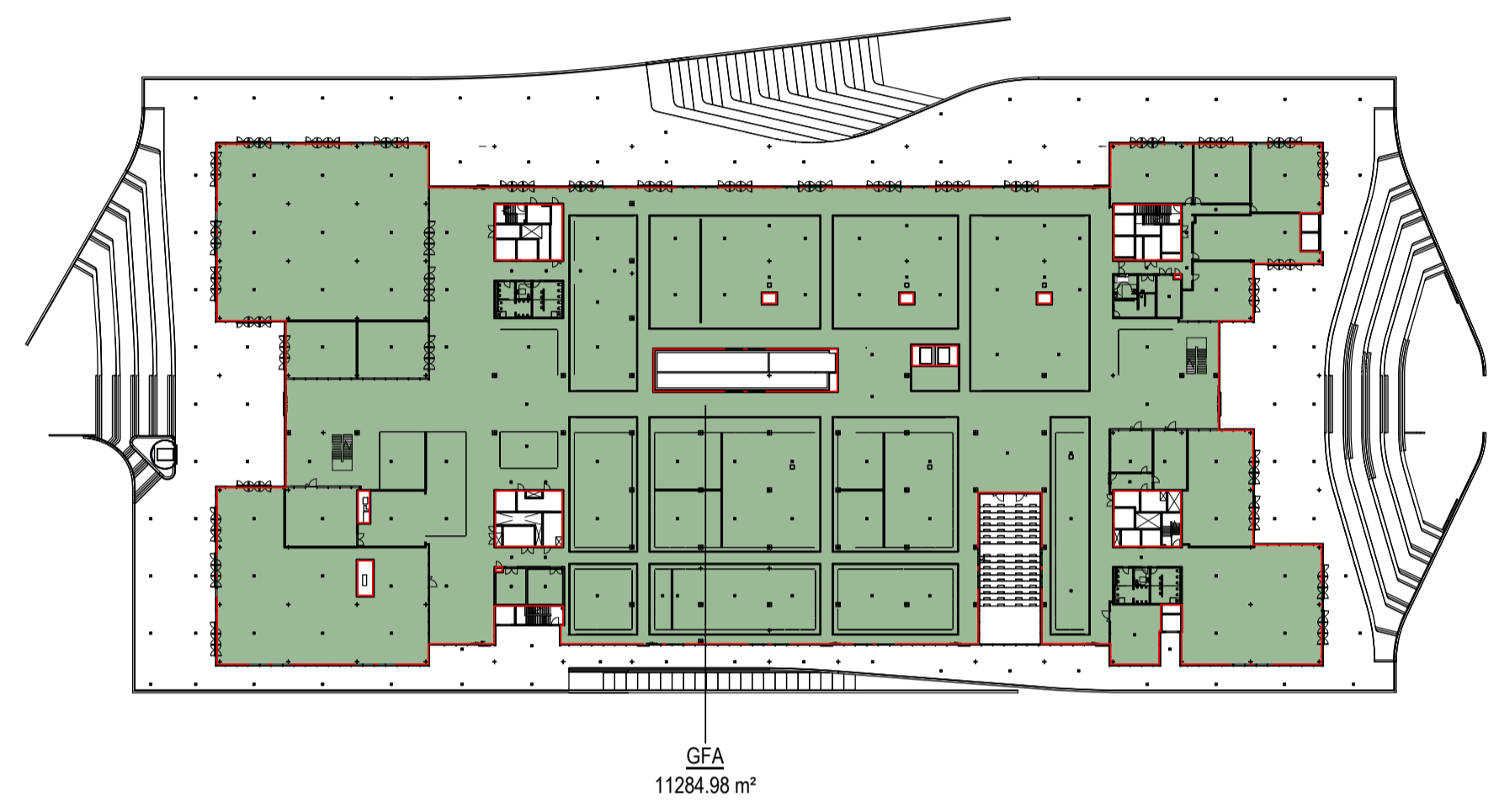
- (a) the area of a mezzanine, and
- (b) habitable rooms in a basement or an attic, and
- (c) any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes:

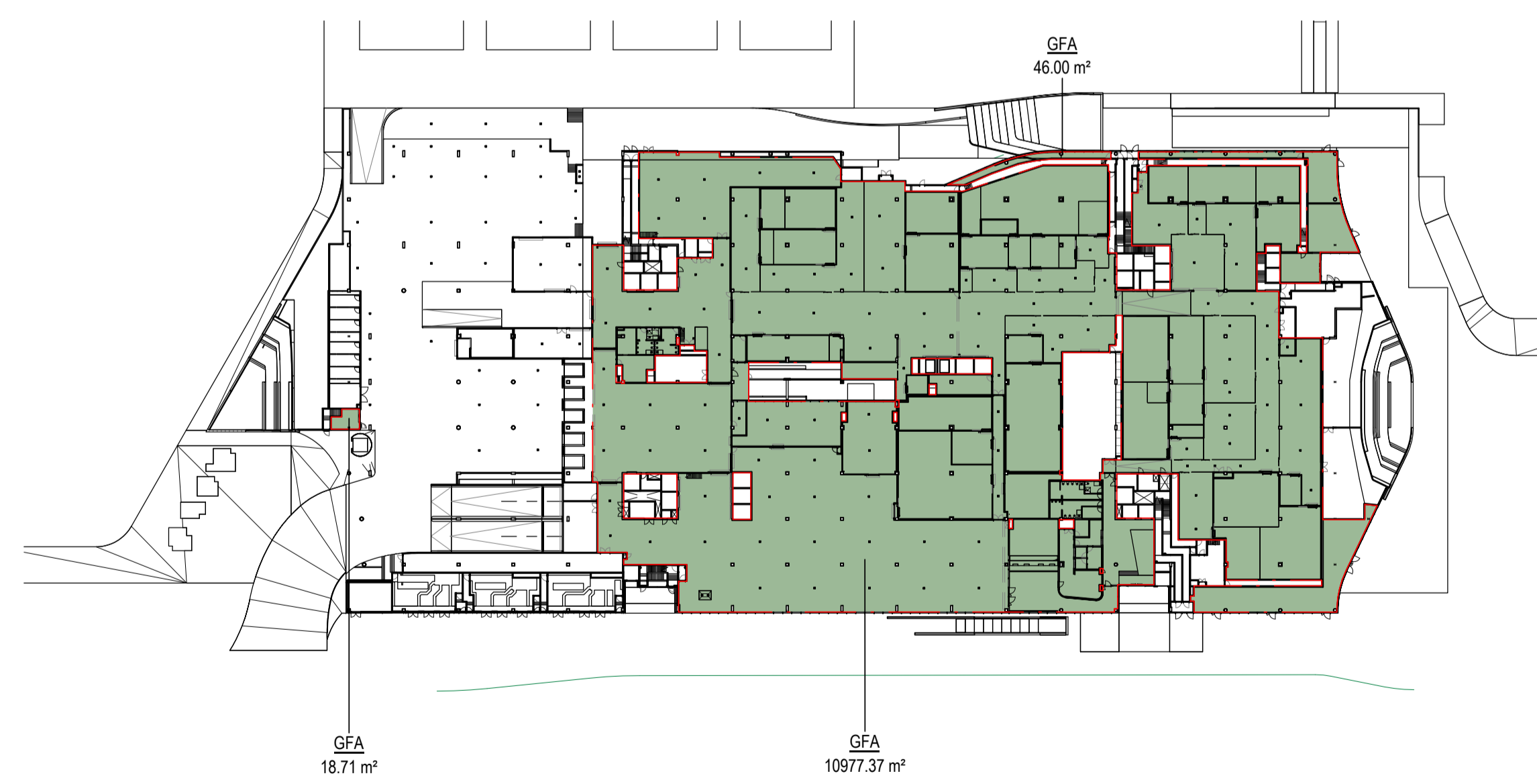
- (d) any area for common vertical circulation, such as lifts and stairs, and
- (e) any basement:
 - (i) storage, and
 - (ii) vehicular access, loading areas, garbage and services, and
- (f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
- (g) car parking to meet any requirements of the consent authority (including access to that car parking), and
- (h) any space used for the loading or unloading of goods (including access to it), and
- (i) terraces and balconies with outer walls less than 1.4 metres high, and
- (j) voids above a floor at the level of a storey or storey above.



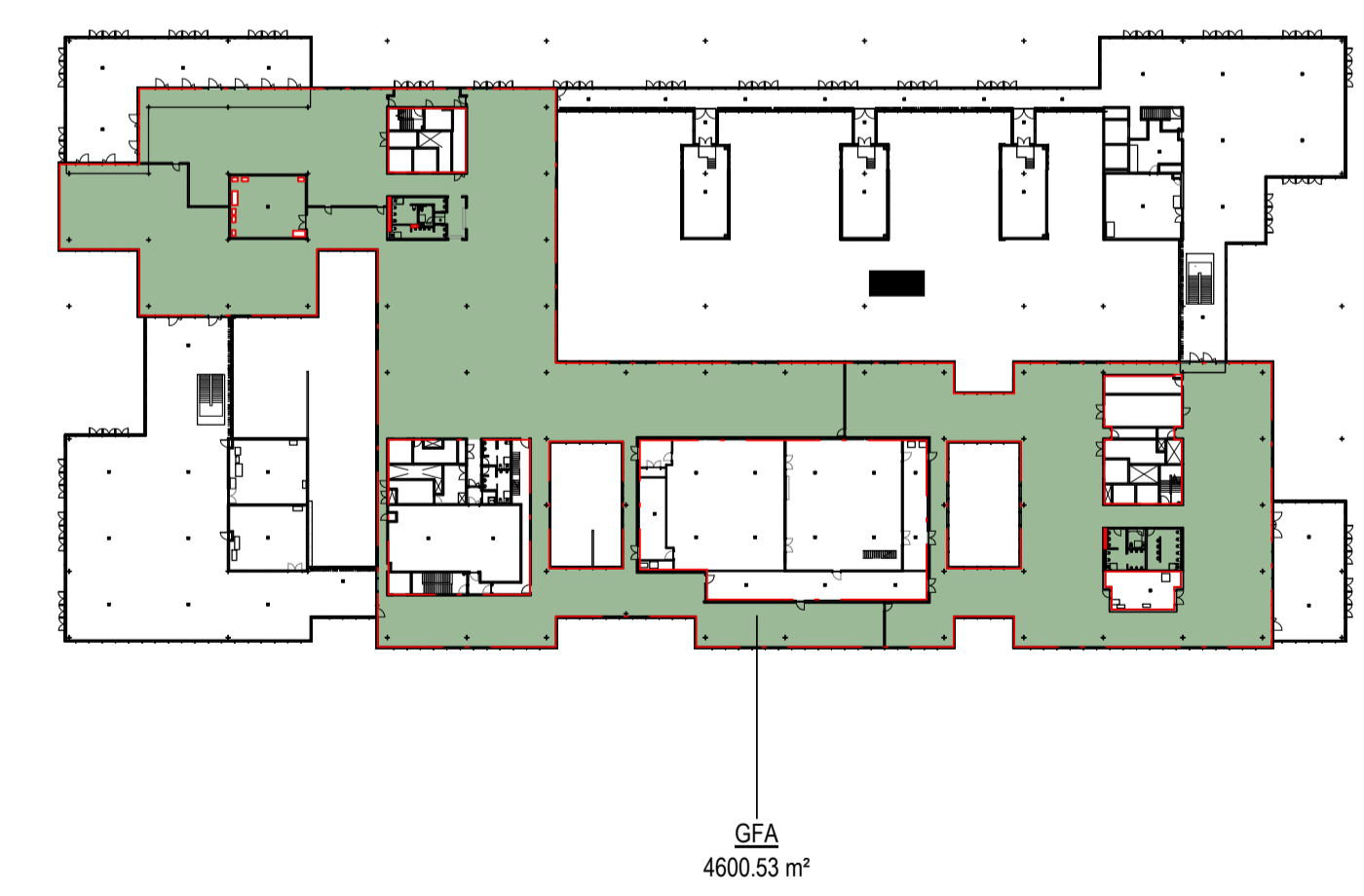
1 BASEMENT LEVEL
10C-AA01 1:1000



4 UPPER GROUND LEVEL
10C-AA01 1:1000



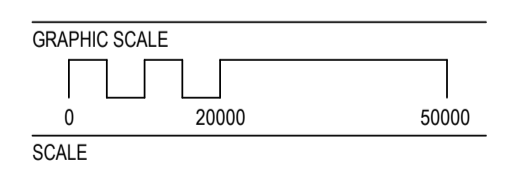
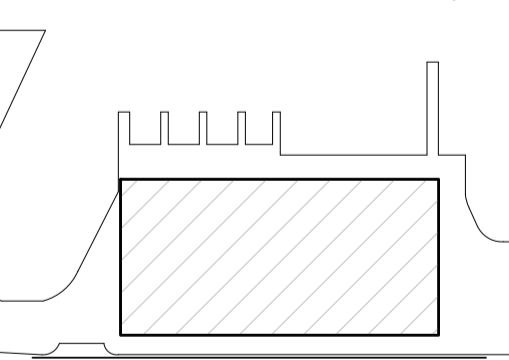
2 GROUND LEVEL A
10C-AA01 1:1000



3 MEZZANINE
10C-AA01 1:1000

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STATUS

DRAWING