

LOCALITY: MACQUARIE PARK STAGE 3 LGA: RYDE R O A D PROPOSED EASEMENTS: 15 D.P. 2 4 0 1 1 0 S.P. 5 9 9 1 62 D.P. 5 7 0 2 7 1 S.P. 7689 S.P. 6782 EASEMENT FOR PUBLIC ACCESS EASEMENT FOR SERVICES RIGHT OF CARRIAGEWAY 3170m2 EASEMENT FOR PUBLIC PARK (TA) TEMPORARY EASEMENT FOR PUBLIC ACCESS D.P. 859537 LOT 27 d No. 1) (B) (TA) LOT 14 **EXISTING EASEMENTS:** (E) EASEMENT TO DRAIN WATER 2 WIDE & VARIABLE LOT 21 (D.P.1244080) 5450m2 LOT 25 LOTS 10, 12 DP861433, LOT 100 DP1223787 AND LOT 101 DP1247443 HAVE EXISTING EASEMENTS NOT SHOWN ON THIS PLAN 2770m2 street ( LOT 28 (TA) LOT 15 NOTES: LOT 29 TO BE DEDICATED AS PUBLIC RESERVE AT A LATER DATE. PT.26 **RESIDUE LOT** SERVICE EASEMENTS TO BE CREATED TO RELEVANT UTILITY AUTHORITIES REQUIREMENTS. D.P. 8 8 0 2 8 4 IT IS INTENDED TO DEDICATE LOT 27 AS PUBLIC ROAD WITHIN 24 MONTHS OF THE COMPLETION OF STAGE 3. IT IS INTENDED TO DEDICATE LOT 28 AS PUBLIC ROAD AT THE COMPLETION OF THE PROJECT. Planning, Industry & AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY **Environment** INFORMATION OFFICE. Issued under the Environmental Planning and Assessment Act 1979 BASED ON ARCHITECTURAL PLAN AS SUPPLIED: BATES SMART ARCHITECTS Approved Section 4.55 (1A) Modification Application DRAWING No.DA02.MP.000 No: SSD 8903 MOD 2 ISSUE 12 DATED 26.8.19 SHEET 3 OF 9 Granted on 7 May 2021 SURVEYORS REF ORIGINAL Signed: A.N. SHEET SIZE 1601644 **Beveridge Williams** FLAN OF PROPOSED SUBDIVISION OF Α3 Sheet No: 3 of 22 **Development & Environment Consultants** SURVEYOR: PM CHECKED: PM LOT 1 DP859537, LOTS 6-8, 10-20 DP861433,

**Registered Surveyors** 

Sydney: (02) 9283 6677

www.beveridgewilliams.com.au

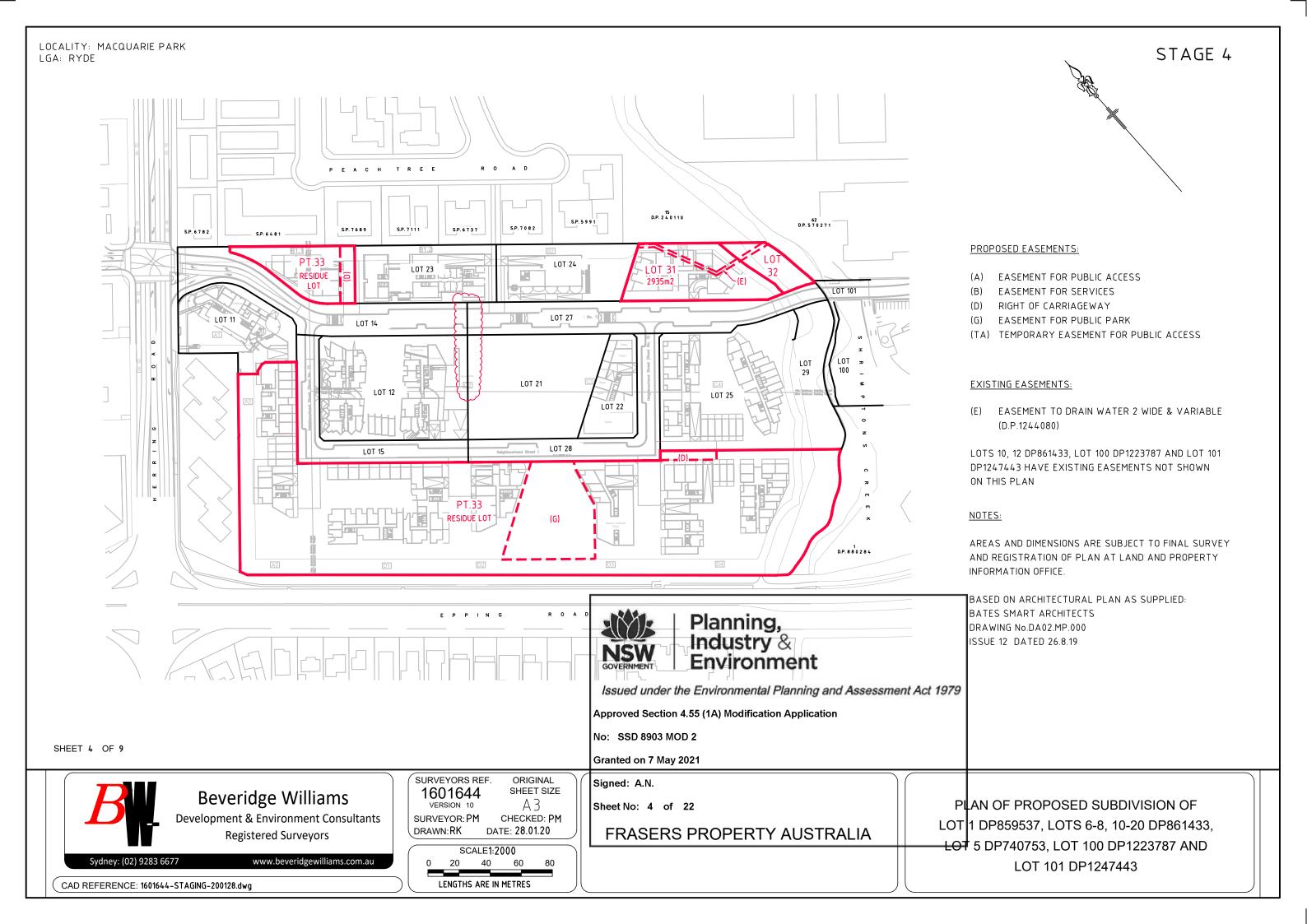
CAD REFERENCE: 1601644-STAGING-200128.dwg

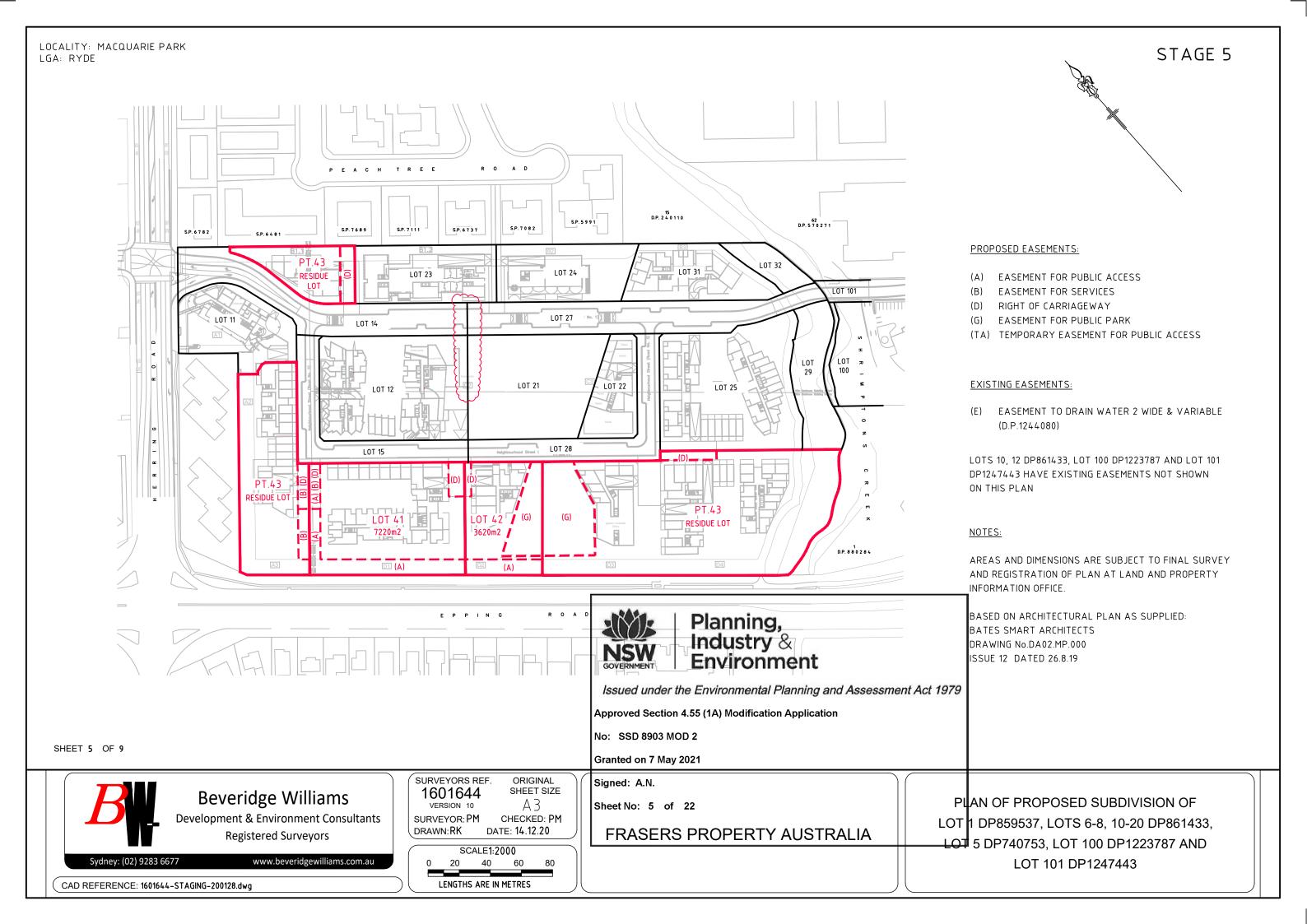
DRAWN:RK DATE: 14.12.20

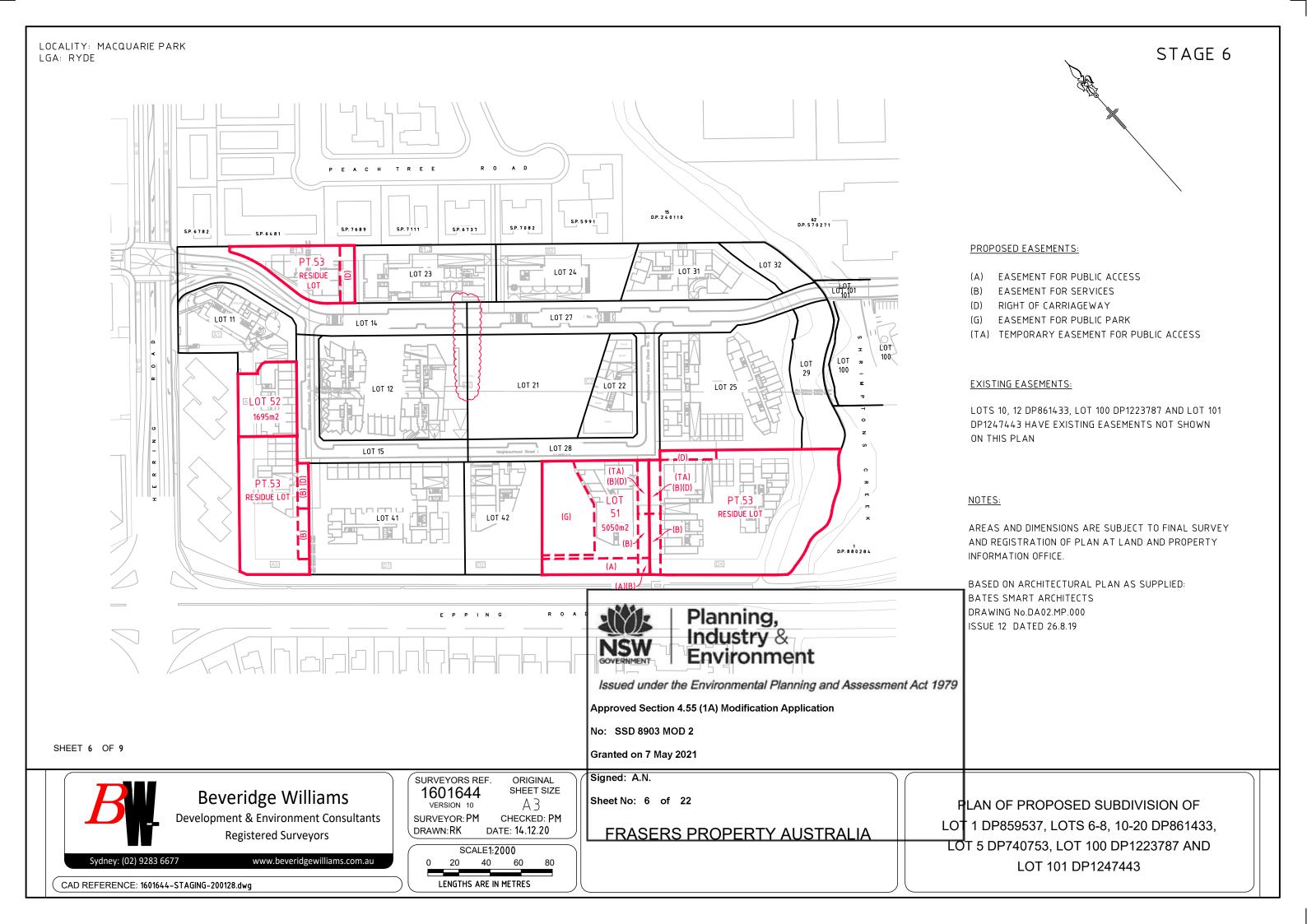
> SCALE1:2000 40 60 80 LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

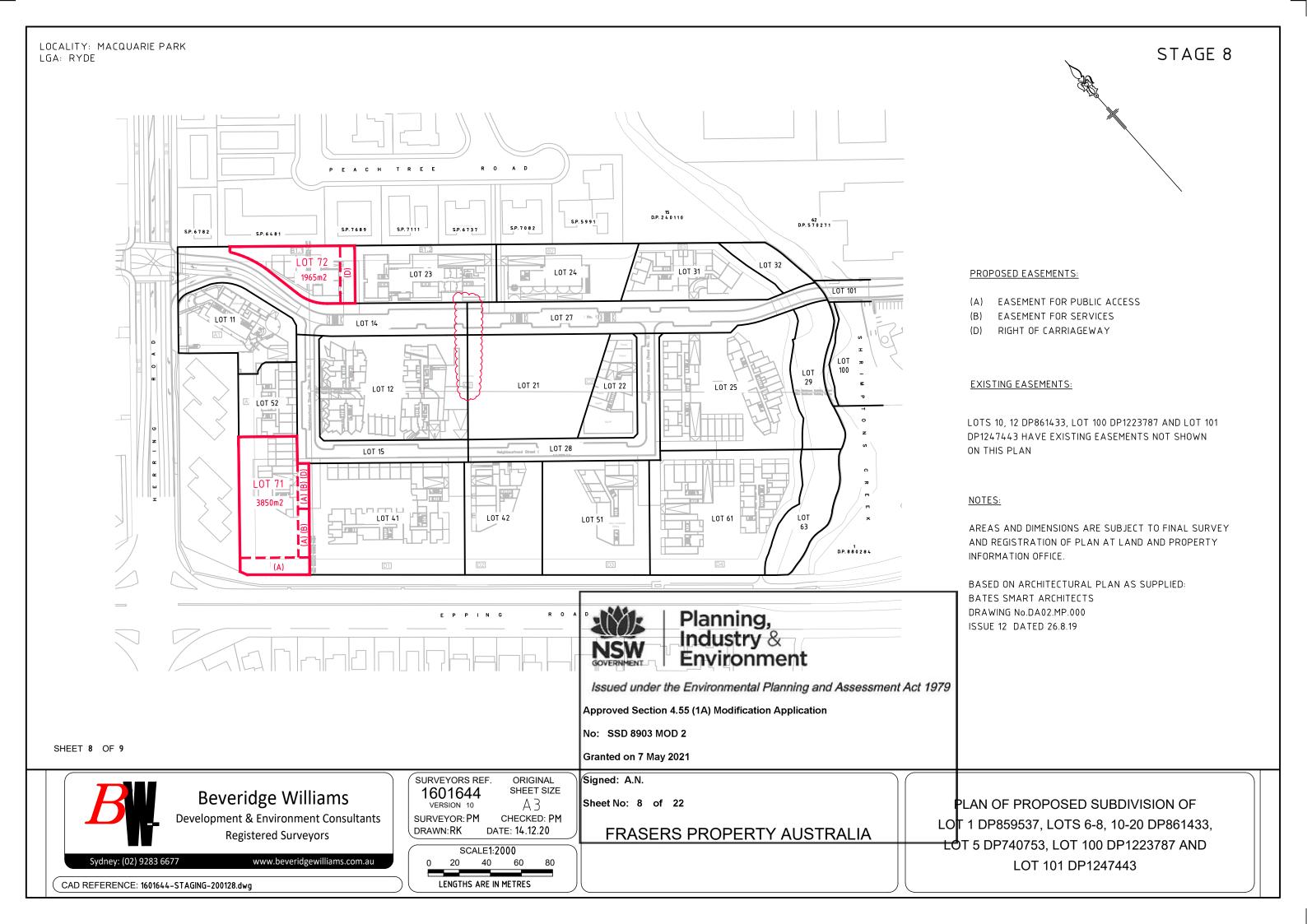
**LO**T 5 DP740753, LOT 100 DP1223787 AND LOT 101 DP1247443

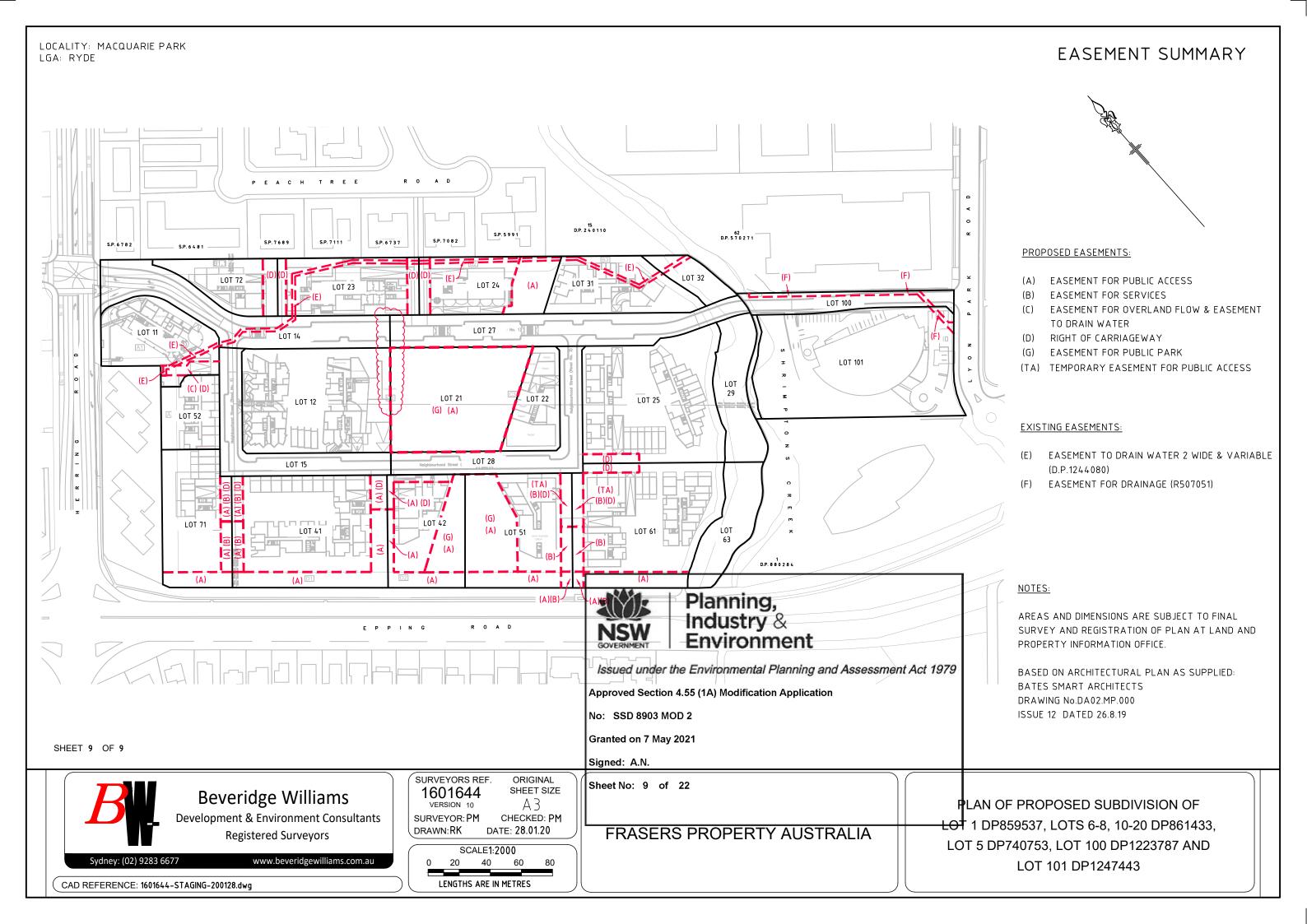


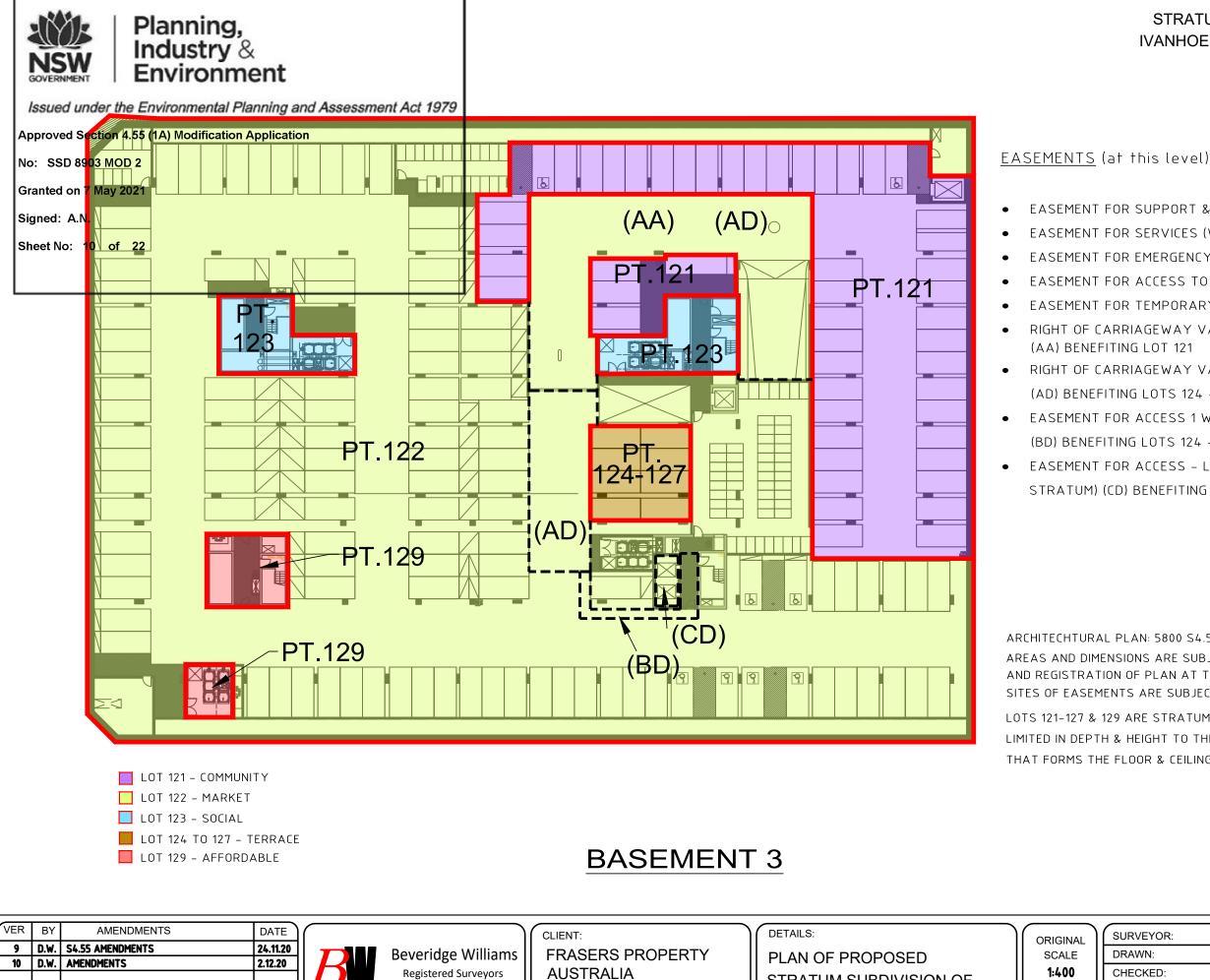




LOCALITY: MACQUARIE PARK STAGE 7 LGA: RYDE R O A D 15 D.P. 2 4 0 1 1 0 S.P. 5 9 9 1 62 D.P. 5 7 0 2 7 1 S.P. 6737 S.P. 7689 S.P. 7111 S.P. 6782 LOT 32 LOT 31 LOT 24 LOT 23 PROPOSED EASEMENTS: LOT 101 (A) EASEMENT FOR PUBLIC ACCESS EASEMENT FOR SERVICES LOT 14 RIGHT OF CARRIAGEWAY (TA) TEMPORARY EASEMENT FOR PUBLIC ACCESS L0T 29 **EXISTING EASEMENTS:** LOT 21 LOT 22 LOT 25 LOT 52 LOTS 10, 12 DP861433, LOT 100 DP1223787 AND LOT 101 DP1247443 HAVE EXISTING EASEMENTS NOT SHOWN ON THIS PLAN LOT 28 LOT 15 PT.62 RESIDUE LOT NOTES: LOT 61 LOT 42 LOT 51 LOT 63 IS TO BE DEDICATED AS PUBLIC RESERVE AT A LATER DATE. D.P. 8 8 0 2 8 4 AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE. Planning, Industry & BASED ON ARCHITECTURAL PLAN AS SUPPLIED: BATES SMART ARCHITECTS DRAWING No.DA02.MP.000 **Environment** ISSUE 12 DATED 26.8.19 Issued under the Environmental Planning and Assessment Act 1979 Approved Section 4.55 (1A) Modification Application No: SSD 8903 MOD 2 SHEET 7 OF 9 Granted on 7 May 2021 SURVEYORS REF. ORIGINAL Signed: A.N. SHEET SIZE 1601644 **Beveridge Williams** Α3 FLAN OF PROPOSED SUBDIVISION OF Sheet No: 7 of 22 **Development & Environment Consultants** SURVEYOR: PM CHECKED: PM LOT 1 DP859537, LOTS 6-8, 10-20 DP861433, DRAWN: RK DATE: 14.12.20 FRASERS PROPERTY AUSTRALIA **Registered Surveyors** <del>LO</del>T 5 DP740753, LOT 100 DP1223787 AND SCALE1:2000 Sydney: (02) 9283 6677 www.beveridgewilliams.com.au 40 80 LOT 101 DP1247443 CAD REFERENCE: 1601644-STAGING-200128.dwg LENGTHS ARE IN METRES







- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)

- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- RIGHT OF CARRIAGEWAY VARIABLE WIDTH (LIMITED IN STRATUM) (AA) BENEFITING LOT 121
- RIGHT OF CARRIAGEWAY VARIABLE WIDTH (LIMITED IN STRATUM) (AD) BENEFITING LOTS 124 - 127
- EASEMENT FOR ACCESS 1 WIDE (LIMITED IN STRATUM) (BD) BENEFITING LOTS 124 - 127
- EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CD) BENEFITING LOTS 124 - 127

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

LOTS 121-127 & 129 ARE STRATUM LOTS AT BASEMENT 3 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.



VER	BY	AMENDMENTS	DATE
9	D.W.	S4.55 AMENDMENTS	24.11.20
10	D.W.	AMENDMENTS	2.12.20
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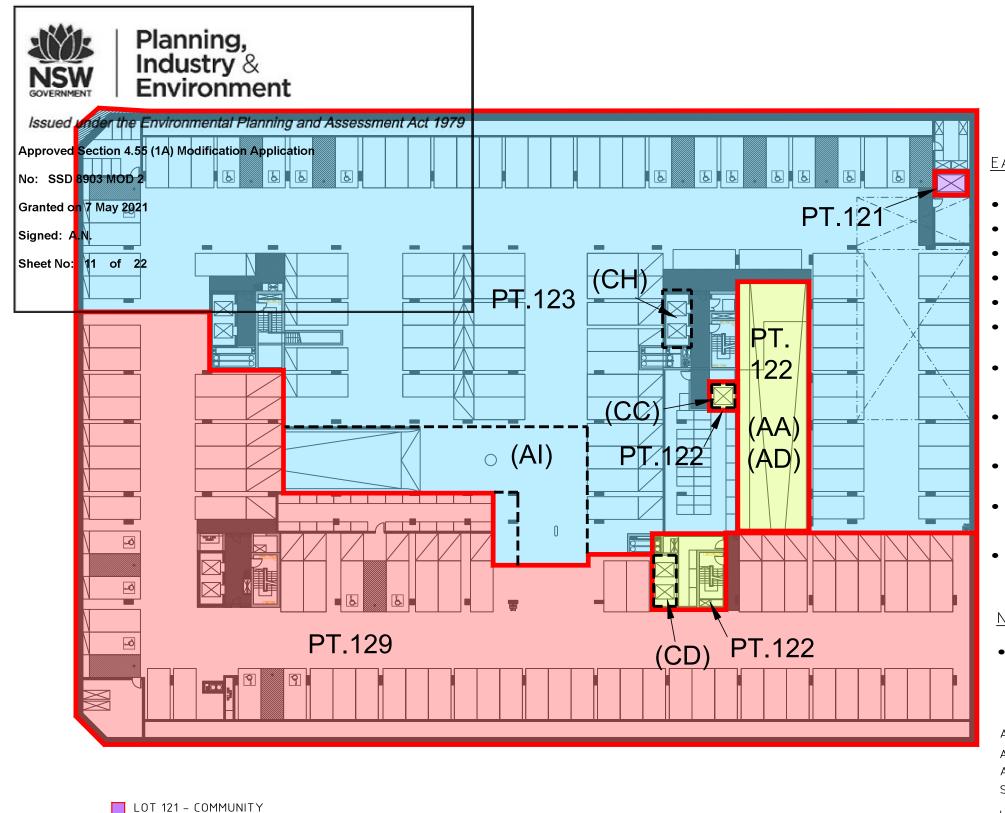
STRATUM SUBDIVISION OF

LOT 12 DP

ORIGINAL SCALE 1:400
SHEET SIZE

SURVEYOR:	D.G.W.
DRAWN:	J.T.
CHECKED:	P.J.M.
SURVEY DATE:	12/11/2020
CAD REFERENCE:	1601644_STRATUM_201123
SHEET 1	OF 13

PROJECT No.			
1601644			
DRAWING REF.			
LOT 12 - STRATUM			
VERSION 10			





### EASEMENTS (at this level)

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- RIGHT OF CARRIAGEWAY VARIABLE WIDTH (LIMITED IN STRATUM) (AA) BENEFITING LOT 121
- RIGHT OF CARRIAGEWAY VARIABLE WIDTH (LIMITED IN STRATUM)
   (AD) BENEFITING LOTS 124 127
- RIGHT OF CARRIAGEWAY VARIABLE WIDTH (LIMITED IN STRATUM)
   (AI) BENEFITING LOT 129
- EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CC) BENEFITING LOT 123, 128, 129
- EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CD) BENEFITING LOTS 124 – 127
- EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CH) BENEFITING LOT 128

### NOTE

 LOT 128 (SOCIAL ILU) REQUIRES RIGHTS FOR ACCESS AND PARKING AT THIS LEVEL WITHIN LOT 123 (SOCIAL) TO BE INCORPORATED INTO THE MANAGEMENT STATEMENTS THAT ACCOMPANY THE STRATUM AND STRATA PLANS

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

LOTS 121 - 123 & 129 ARE STRATUM LOTS AT BASEMENT 2 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.



# VER BY AMENDMENTS DATE 9 D.W. \$4.55 AMENDMENTS 24.11.20 10 D.W. AMENDMENTS 2.12.20

LOT 122 - MARKET

LOT 123 - SOCIAL

LOT 129 - AFFORDABLE



FRASERS PROPERTY
AUSTRALIA

**BASEMENT 2** 

PLAN OF PROPOSED STRATUM SUBDIVISION OF LOT 12 DP

DETAILS:

(	ORIGINAL
l	SCALE
	1:400
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SURVEYOR:	D.G.W.
DRAWN:	J.T.
CHECKED:	P.J.M.
SURVEY DATE:	12/11/2020
CAD REFERENCE:	1601644_STRATUM_201123
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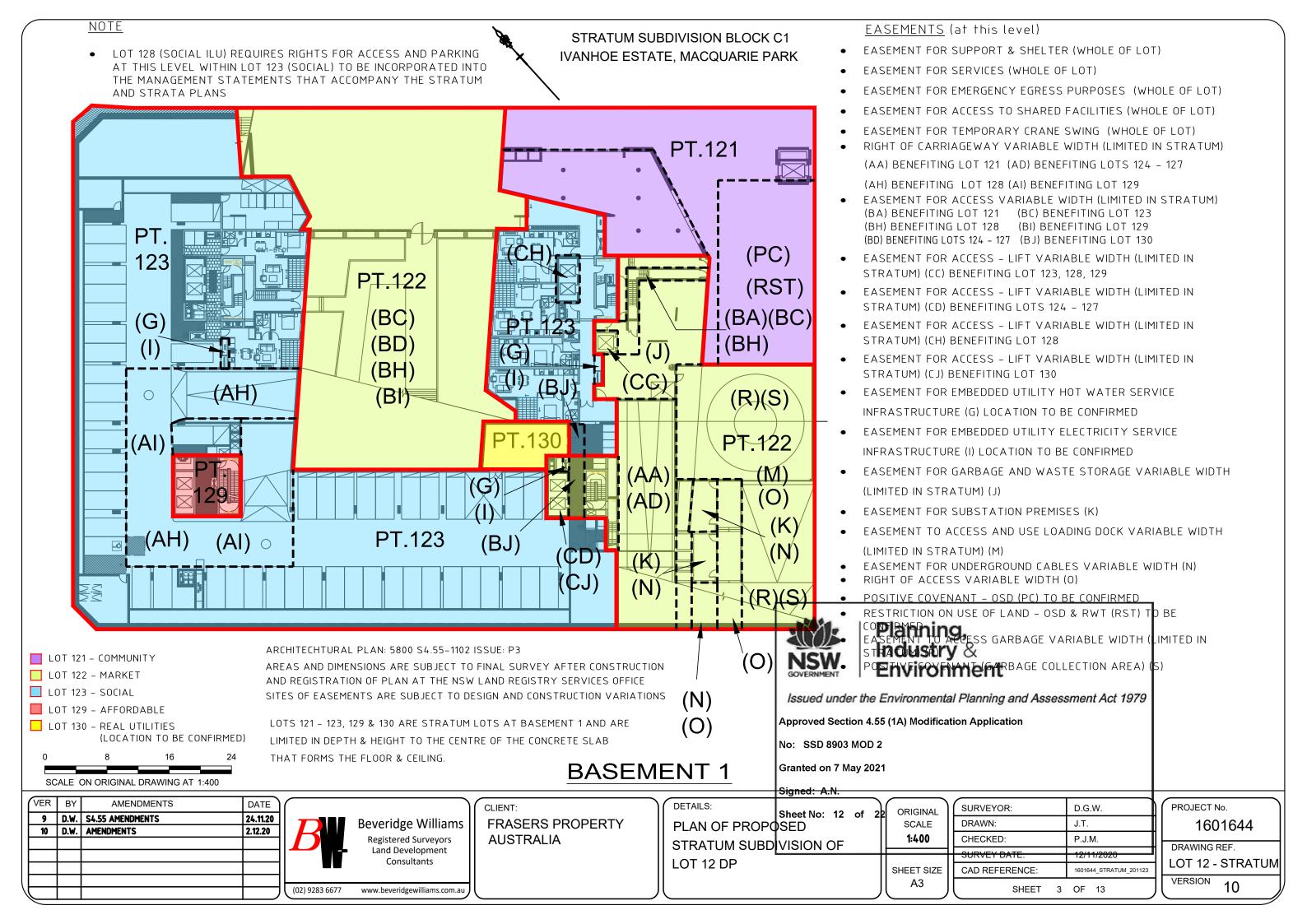
PROJECT No.

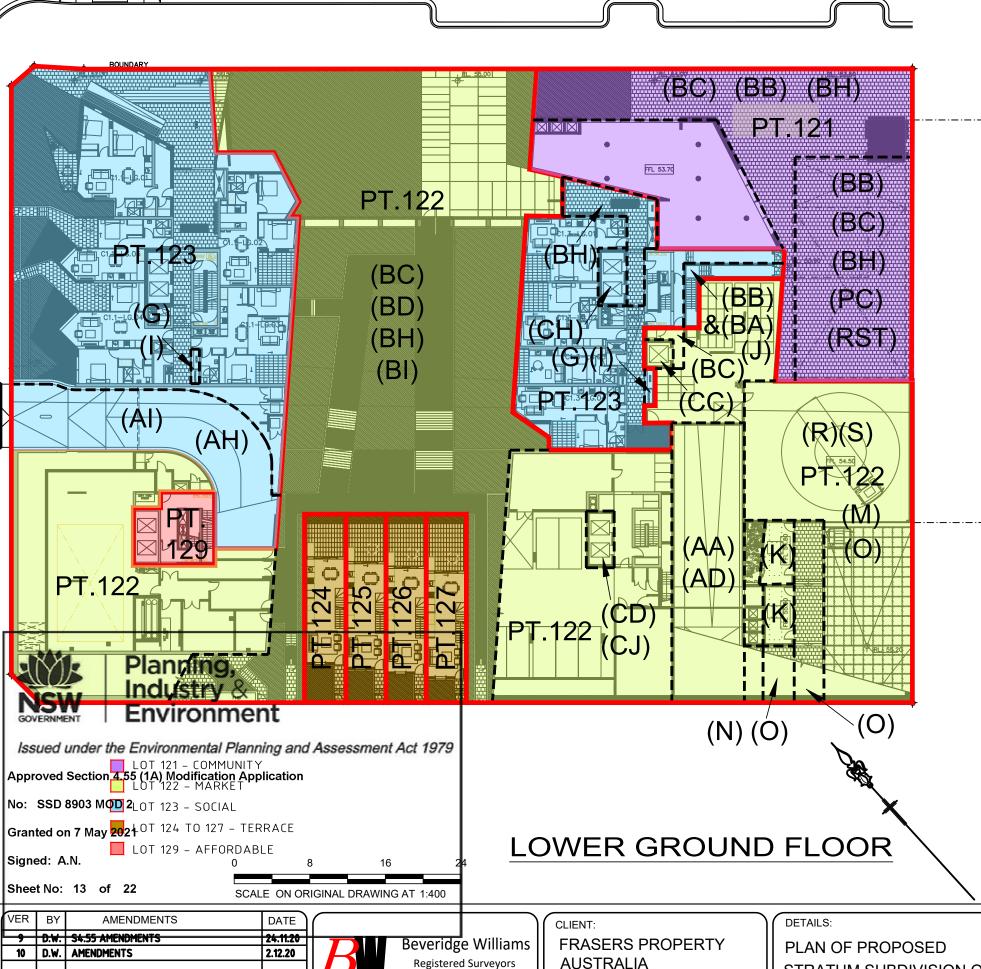
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DRAWING REF.

LOT 12 - STRATUM

VERSION 10





EASEMENTS (at this level)

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- RIGHT OF CARRIAGEWAY VARIABLE WIDTH (LIMITED IN STRATUM) (A) (AA) BENEFITING LOT 121 (AD) BENEFITING LOTS 124 - 127 (AI) BENEFITING LOT 129 (AH) BENEFITING LOT 128
- EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (B) (BA) BENEFITING LOT 121 (BB) BENEFITING LOT 122 (BC) BENEFITING LOT 123 (BD) BENEFITING LOTS 124 - 127 (BH) BENEFITING LOT 128 (BI) BENEFITING LOT 129
- EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (C)
  - (CC) BENEFITING LOT 123, 128, 129 (CD) BENEFITING LOTS 124 127 (CH) BENEFITING LOT 128 (CJ) BENEFITING LOT 130
- EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE INFRASTRUCTURE (G) LOCATION TO BE CONFIRMED
- EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE INFRASTRUCTURE (I) LOCATION TO BE CONFIRMED
- EASEMENT FOR GARBAGE AND WASTE STORAGE VARIABLE WIDTH (LIMITED IN STRATUM) (J)
- EASEMENT FOR INDOOR SUBSTATION (K)
- EASEMENT TO ACCESS AND USE LOADING DOCK VARIABLE WIDTH (LIMITED IN STRATUM) (M)
- EASEMENT FOR UNDERGROUND CABLES VARIABLE WIDTH (N)
- RIGHT OF ACCESS VARIABLE WIDTH (0)
- POSITIVE COVENANT OSD (PC) TO BE CONFIRMED
- RESTRICTION ON USE OF LAND OSD (RST) TO BE CONFIRMED
- EASEMENT TO ACCESS GARBAGE VARIABLE WIDTH (LIMITED IN STRATUM) (R)
- POSITIVE COVENANT (GARBAGE COLLECTION AREA) (S)

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3 AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS LOTS 121 - 127 & 129 ARE STRATUM LOTS AT LOWER GROUND FLOOR AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

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Land Development Consultants

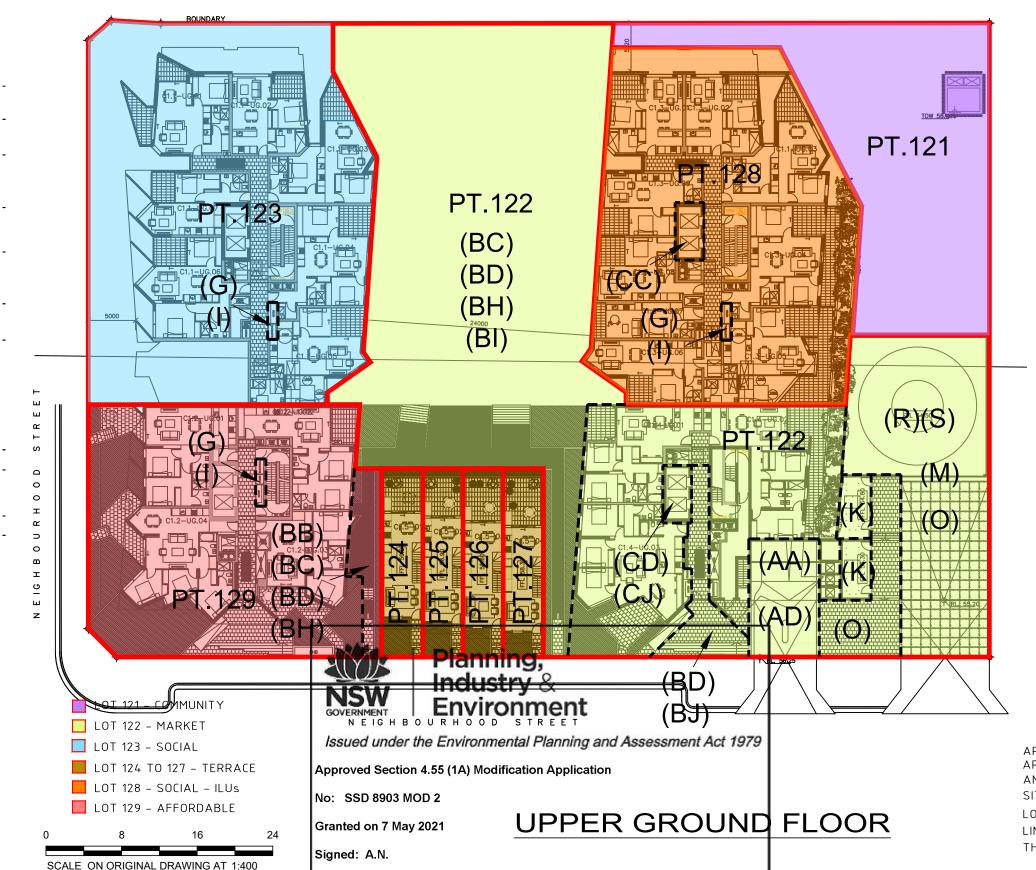
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STRATUM SUBDIVISION OF LOT 12 DP

ORIGINAL SCALE 1:400
SHEET SIZE

SURVEYOR:	D.G.W.
DRAWN:	J.T.
CHECKED:	P.J.M.
SURVEY DATE:	12/11/2020
CAD REFERENCE:	1601644_STRATUM_201123
SHEET 4	OF 13

١	PROJECT No.		
	1601644		
	DRAWING REF.		
	LOT 12 - STRATUM		
	VERSION 10		



### EASEMENTS (at this level)

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- RIGHT OF CARRIAGEWAY VARIABLE WIDTH (LIMITED IN STRATUM) (A)
   (AA) BENEFITING LOT 121 (AD) BENEFITING LOTS 124 127
- EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (B)
   (BB) BENEFITING LOT 122 (BC) BENEFITING LOT 123
   (BH) BENEFITING LOT 128 (BI) BENEFITING LOT 129
   (BD) BENEFITING LOTS 124 127 (BJ) BENEFITING LOT 130
- EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (C)
  - (CC) BENEFITING LOT 123 (CD) BENEFITING LOTS 124 127 (CJ) BENEFITING LOT 130
- EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE INFRASTRUCTURE (G) LOCATION TO BE CONFIRMED
- EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE INFRASTRUCTURE (I) - LOCATION TO BE CONFIRMED
- EASEMENT FOR SUBSTATION PREMISES (K)
- EASEMENT TO ACCESS AND USE LOADING DOCK VARIABLE WIDTH (LIMITED IN STRATUM) (M)
- EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (0)
- EASEMENT TO ACCESS GARBAGE VARIABLE WIDTH (LIMITED IN STRATUM) (R)
- POSITIVE COVENANT (GARBAGE COLLECTION AREA) (S)

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3
AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION
AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE
SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS
LOTS 121 - 129 ARE STRATUM LOTS AT UPPER GROUND FLOOR AND ARE
LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB
THAT FORMS THE FLOOR & CEILING.

Sheet No: 14 of 22

(02) 9283 6677

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 AMENDMENTS
 DATE

 9
 D.W.
 \$4.55 AMENDMENTS
 24.11.20

 10
 D.W.
 AMENDMENTS
 2.12.20

### Beveridge Williams

Registered Surveyors Land Development Consultants

Consultants
www.beveridgewilliams.com.au

### CLIENT:

FRASERS PROPERTY
AUSTRALIA

#### DETAILS:

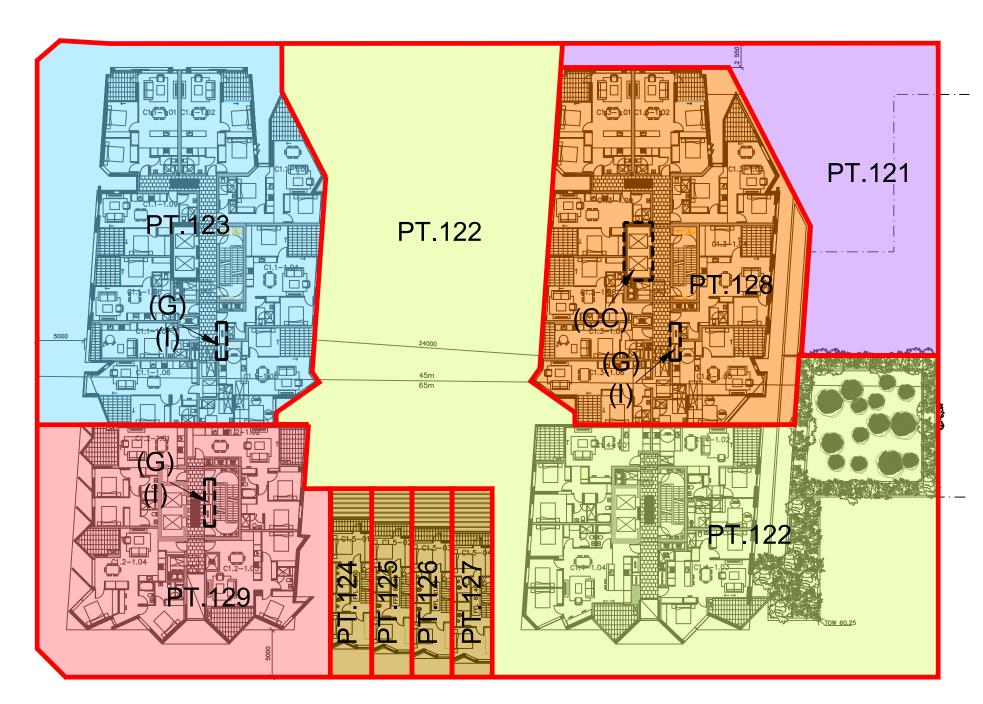
PLAN OF PROPOSED STRATUM SUBDIVISION OF LOT 12 DP

	ORIGINAL SCALE 1:400
Ę	SHEET SIZE

A3

SURVEYOR:	D.G.W.
DRAWN:	J.T.
CHECKED:	P.J.M.
SURVEY DATE:	12/11/2020
CAD REFERENCE:	1601644_STRATUM_201123
SHEET 5	OF 13

1	PROJECT No.		
1	1601644		
┨	DRAWING REF.		
┨	LOT 12 - STRATUM		
1	VERSION 10		



LOT 121 - COMMUNITY

LOT 122 - MARKET

LOT 123 - SOCIAL

LOT 124 TO 127 - TERRACE

LOT 128 - SOCIAL - ILUs

LOT 129 - AFFORDABLE

LEVEL 1

### EASEMENTS (at this level)

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CC)-BENEFITS LOT 123
- EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE INFRASTRUCTURE (G) - LOCATION TO BE CONFIRMED
- EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE

INFRASTRUCTURE (I) - LOCATION TO BE CONFIRMED Planning, Industry & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 4.55 (1A) Modification Application

No: SSD 8903 MOD 2

Granted on 7 May 2021

Signed: A.N.

Sheet No: 15 of 22

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

LOTS 121 - 129 ARE STRATUM LOTS AT LEVEL 1 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

SCALE ON ORIGINAL DRAWING AT 1:400

VER	BY	AMENDMENTS	DATE
9	D.W.	S4.55 AMENDMENTS	24.11.20
10	D.W.	AMENDMENTS	2.12.20
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FRASERS PROPERTY **AUSTRALIA** 

DETAILS:

PLAN OF PROPOSED STRATUM SUBDIVISION OF LOT 12 DP

ORIGINA SCALE 1:400	
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CHECKED:
SURVEY DATE
CAD REFEREN
SH

SURVEYOR:	D.G.W.
DRAWN:	J.T.
CHECKED:	P.J.M.
SURVEY DATE:	12/11/2020
CAD REFERENCE:	1601644_STRATUM_201123
SHFFT 6	OF 13

PROJECT No.
1601644
DRAWING REF.
LOT 12 - STRATUM
VERSION 10



### EASEMENTS (at this level)

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CC) BENEFITING LOT 123
- EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE INFRASTRUCTURE (G) - LOCATION TO BE CONFIRMED
- EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE INFRASTRUCTURE (I) - LOCATION TO BE CONFIRMED

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

LOTS 121 - 129 ARE STRATUM LOTS AT LEVEL 2 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

Planning, Industry & NSW **Environment** 

PT.121

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 4.55 (1A) Modification Application

No: SSD 8903 MOD 2 Granted on 7 May 2021

Signed: A.N.

Sheet No: 16 of 22

VER	BY	AMENDMENTS	DATE
9	D.W.	S4.55 AMENDMENTS	24.11.20
10	D.W.	AMENDMENTS	2.12.20

LOT 121 - COMMUNITY

LOT 124 TO 127 - TERRACE

LOT 128 - SOCIAL - ILUs

LOT 129 - AFFORDABLE

LOT 122 - MARKET

LOT 123 - SOCIAL

Beveridge Williams Registered Surveyors Land Development Consultants

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(02) 9283 6677

LEVEL 2

PT.122

FRASERS PROPERTY **AUSTRALIA** 

DETAILS:	
PLAN OF PROPOSED	_
STRATUM SUBDIVISION OF	
LOT 12 DP	

ORIGINAL	SURVEYOR:		D.G.W.	
SCALE	DRAWN:		J.T.	
1:400	CHECKED:		P.J.M.	
	SURVEY DATE:		12/11/2020	
SHEET SIZE	CAD REFERENCE:		1601644_STRATUM_20112	
A3	SHEET	7	OF 13	

PROJECT No. 1601644 DRAWING REF. LOT 12 - STRATUM VERSION 10

SCALE ON ORIGINAL DRAWING AT 1:400

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### EASEMENTS (at this level)

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CC) BENEFITING LOT 123
- EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE
   INFRASTRUCTURE (G) LOCATION TO BE CONFIRMED
- EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE INFRASTRUCTURE (I) LOCATION TO BE CONFIRMED

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

LOTS 121 - 129 ARE STRATUM LOTS AT LEVELS 3 & 4 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

SOVERNMENT Environment

Planning,

PT.121

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 4.55 (1A) Modification Application

No: SSD 8903 MOD 2
Granted on 7 May 2021

Signed: A.N.

Sheet No: 17 of 22

LOT 123 - SOCIAL

LOT 124 TO 127 - TERRACE

LOT 128 - SOCIAL - ILUS

LOT 129 - AFFORDABLE

AMENDMENTS

9 D.W. S4.55 AMENDMENTS

10 D.W. AMENDMENTS

LOT 121 - COMMUNITY
LOT 122 - MARKET

**LEVELS 3 & 4** 

DATE 24.11.20 2.12.20

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Beveridge Williams
Registered Surveyors

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PT

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PT.122

Registered Surveyors Land Development Consultants

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CLIENT:

FRASERS PROPERTY AUSTRALIA

DETAILS:
PLAN OF PROPOSED
STRATUM SUBDIVISION OF
LOT 12 DP

ORIGINAL	SURVEYOR:	D.G.W.
SCALE	DRAWN:	J.T.
1:400	CHECKED:	P.J.M.
	SURVEY DATE:	12/11/2020
SHEET SIZE	CAD REFERENCE:	1601644_STRATUM_201123
A3 )	SHEET 8	OF 13

PROJECT No.		
160	)1644	
DRAWING	REF.	
LOT 12 -	STRATUM	
VERSION	10	

SCALE ON ORIGINAL DRAWING AT 1:400



### EASEMENTS (at this level)

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- INFRASTRUCTURE (G) LOCATION TO BE CONFIRMED
- INFRASTRUCTURE (I) LOCATION TO BE CONFIRMED

EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE

• EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

Environmented in Depth & Height to the Centre of the Concrete Slab That forms the floor & Ceiling

Industry & LOTS 121 - 127 & 129 ARE STRATUM LOTS AT LEVELS 5 - 12 AND ARE

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 4.55 (1A) Modification Application

Planning,

PT.121

No: SSD 8903 MOD 2 Granted on 7 May 2021

Signed: A.N.

DETAILS:

NSW

Sheet No: 18 of 22

SCALE ON ORIGINAL DRAWING AT 1:400

LEVELS 5 TO 12

**AUSTRALIA** 

DATE 24.11.20 2.12.20

LOT 121 - COMMUNITY

LOT 124 TO 127 - TERRACE LOT 129 - AFFORDABLE

LOT 122 - MARKET

LOT 123 - SOCIAL

AMENDMENTS

9 D.W. S4.55 AMENDMENTS

10 D.W. AMENDMENTS

**Beveridge Williams** 

(02) 9283 6677

.125

.124

.126

PT

N.

PT

CLIENT:

Registered Surveyors Land Development

PT.122

Consultants www.beveridgewilliams.com.au

FRASERS PROPERTY

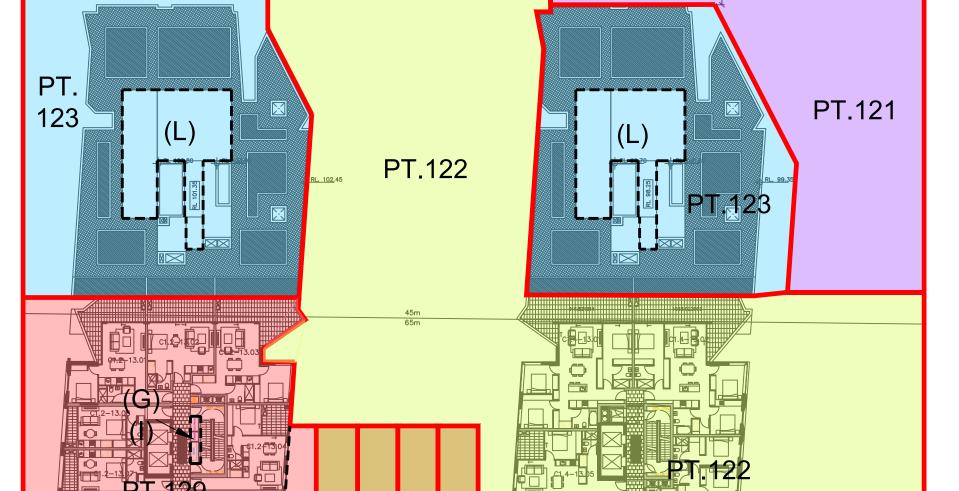
PLAN OF PROPOSED STRATUM SUBDIVISION OF LOT 12 DP

ORIGINAL
SCALE
1:400
SHEET SIZE

$\rightarrow$	SHRVEYOR:	D.G.W.
AL E	DRAWN:	J.T.
)	CHECKED:	P.J.M.
	SURVEY DATE:	12/11/2020
IZE	CAD REFERENCE:	1601644_STRATUM_20112
	SUFET 0	OF 12

PROJECT N	۱o.
160	1644
DRAWING I	REF.
LOT 12 -	STRATUM
VERSION	10





### EASEMENTS (at this level)

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE INFRASTRUCTURE (G) – LOCATION TO BE CONFIRMED
- EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE
   INFRASTRUCTURE (I) LOCATION TO BE CONFIRMED
- EASEMENT FOR EMBEDDED UTILITY HOT WATER PLANT AND INFRASTRUCTURE VARIABLE WIDTH (L)-LOCATION TO BE CONFIRMED

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE

SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

LOTS 121 - 127 & 129 ARE STRATUM LOTS AT LEVEL 13 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

LOT 121 – COMMUNITY

LOT 122 - MARKET

LOT 123 - SOCIAL

LOT 124 TO 127 - TERRACE

LOT 129 - AFFORDABLE

Issued under the Environmental Planning and Assessment Act 1979

Planning, Industry & Environment

Approved Section 4.55 (1A) Modification Application

No: SSD 8903 MOD 2

Granted on 7 May 2021

Signed: A.N.

Sheet No: 19 of 22

0	8		1	6	24	
SCALE	ON OR	IGINAL	DRAWII	NG AT 1	:400	

VER	BY	AMENDMENTS	DATE
9	D.W.	S4.55 AMENDMENTS	24.11.20
10	D.W.	AMENDMENTS	2.12.20
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### Beveridge Williams

Registered Surveyors
Land Development
Consultants

.125

PT

.126

PT

PT.127

www.beveridgewilliams.com.au

CLIENT:

LEVEL 13

FRASERS PROPERTY AUSTRALIA DETAILS:

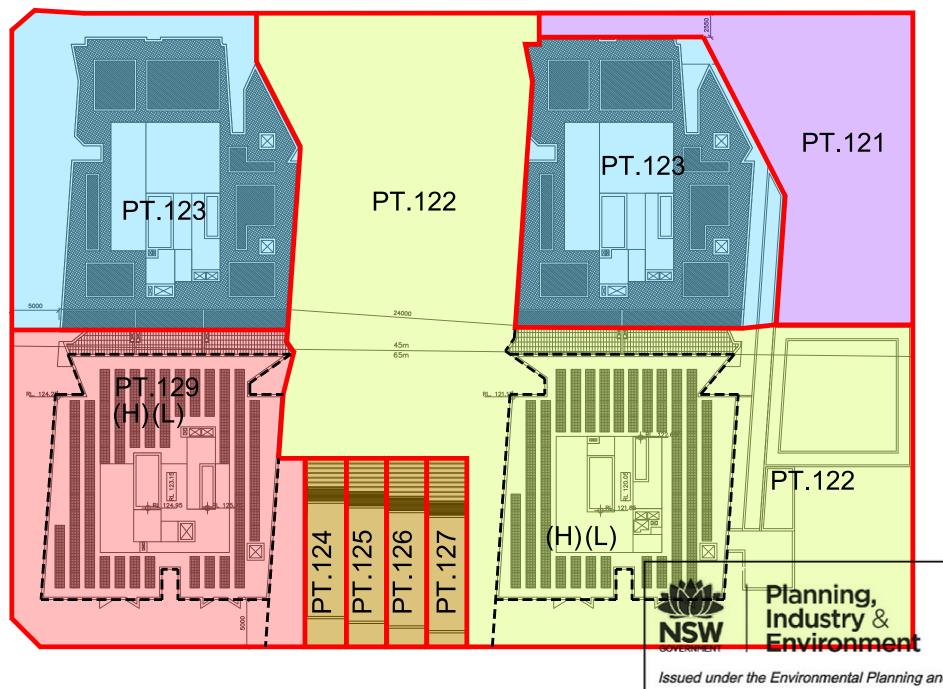
PLAN OF PROPOSED
STRATUM SUBDIVISION OF
LOT 12 DP

ORIGINAL SCALE	
1:400	
SHEET SIZE A3	

	SUI	VEYOR:			D.G	.W.		
_	DR	DRAWN:				J.T.		
	СНІ	CHECKED:				P.J.M.		
	SUI	RVEY DAT	E:		12/1	1/2020		
E	CAI	REFERE	NCE:		16016	44_STRATUM_2011		
		5	SHEET	10	OF	13		

)	PROJECT No.
1	1601644
┨	DRAWING REF.
ł	LOT 12 - STRATUM
1	VERSION 10

#### STRATUM SUBDIVISION BLOCK C1 IVANHOE ESTATE, MACQUARIE PARK EASEMENTS (at this level) PT.121 • EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT) EASEMENT FOR SERVICES (WHOLE OF LOT) PT.123 PT.122 EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT) PT.123 EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT) EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT) EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE INFRASTRUCTURE (G) - LOCATION TO BE CONFIRMED EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE INFRASTRUCTURE (I) - LOCATION TO BE CONFIRMED ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3 PT.125 126 27 AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS Planning, ots 121 - 127 & 129 ARE STRATUM LOTS AT LEVELS 14-19 AND ARE Industry Wited in Depth & Height to the Centre of the concrete slab Environment Issued under the Environmental Planning and Assessment Act 1979 LOT 121 - COMMUNITY Approved Section 4.55 (1A) Modification Application LOT 122 - MARKET LOT 123 - SOCIAL No: SSD 8903 MOD 2 LOT 124 TO 127 - TERRACE Granted on 7 May 2021 **LEVELS 14 TO 19** LOT 129 - AFFORDABLE Signed: A.N. SCALE ON ORIGINAL DRAWING AT 1:400 Sheet No: 20 of 22 AMENDMENTS DATE DETAILS: CLIENT: PROJECT No. SURVEYOR: D.G.W. ORIGINAL 9 D.W. S4.55 AMENDMENTS 24.11.20 **Beveridge Williams** FRASERS PROPERTY SCALE DRAWN: J.T. 1601644 PLAN OF PROPOSED 10 D.W. AMENDMENTS 2.12.20 Registered Surveyors 1:400 CHECKED: P.J.M. **AUSTRALIA** STRATUM SUBDIVISION OF DRAWING REF. Land Development SURVEY DATE: 12/11/2020 Consultants LOT 12 DP LOT 12 - STRATUM SHEET SIZE CAD REFERENCE: 1601644 STRATUM 201123 VERSION A3 10 SHEET 11 OF 13 (02) 9283 6677



### EASEMENTS (at this level)

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- EASEMENT FOR EMBEDDED UTILITY SOLAR GENERATION INFRASTRUCTURE VARIABLE WIDTH (LIMITED IN STRATUM) (H)
- EASEMENT FOR EMBEDDED UTILITY HOT WATER PLANT AND INFRASTRUCTURE VARIABLE WIDTH (LIMITED IN STRATUM) (L)

ARCHITECHTURAL PLAN: 5800 S4.55-1102 ISSUE: P3

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES OFFICE SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

LOTS 121 - 129 ARE STRATUM LOTS AT LEVEL 1 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 4.55 (1A) Modification Application

No: SSD 8903 MOD 2 Granted on 7 May 2021

ROOF LEVEL Signed: A.N.

Sheet No: 21 of 22

SCALE ON ORIGINAL DRAWING AT 1:400

VER	BY	AMENDMENTS	DATE
9	D.W.	S4.55 AMENDMENTS	24.11.20
10	D.W.	AMENDMENTS	2.12.20

LOT 121 - COMMUNITY

LOT 124 TO 127 - TERRACE

LOT 129 - AFFORDABLE

LOT 122 - MARKET

LOT 123 - SOCIAL



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(02) 9283 6677

CLIENT: FRASERS PROPERTY **AUSTRALIA** 

PLAN OF PROPOSED STRATUM SUBDIVISION OF LOT 12 DP

ORIGINAL
SCALE
1:400
SHEET SIZE A3

SUR	EYOR:	D.G.W.		
DRAV	VN:		J.T.	
CHEC	CKED:		P.J.I	M.
SUR\	/EY DATE:		12/1	1/2020
CAD	REFERENCE:		160164	44_STRATUM_201123
	SHEET	12	OF	13

PROJECT No.
1601644
DRAWING REF.
LOT 12 - STRATUM
VERSION 10

- (1) EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOT)
- (2) EASEMENT FOR SERVICES (WHOLE OF LOT)
- (3) EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- (4) EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOT)
- (5) EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- (6) RIGHT OF CARRIAGE WAY VARIABLE WIDTH (LIMITED IN STRATUM) (AA) BENEFITING LOT 121 BURDENS LOT 122
- (7) RIGHT OF CARRIAGE WAY VARIABLE WIDTH (LIMITED IN STRATUM) (AD) BENEFITING LOTS 124-127 BURDENS LOT 122
- (8) RIGHT OF CARRIAGE WAY VARIABLE WIDTH (LIMITED IN STRATUM) (AH) BENEFITING LOT 128 BURDENS LOT 123
- (9) RIGHT OF CARRIAGE WAY VARIABLE WIDTH (LIMITED IN STRATUM) (AI) BENEFITING LOT 129 BURDENS LOT 123
- (10) EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (BA) BENEFITING LOT 121 BURDENS LOTS 122, 123
- (11) EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (BB) BENEFITING LOT 122 BURDENS LOTS 121, 123, 129
- (12) EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (BC) BENEFITING LOT 123 BURDENS LOTS 121, 123, 129
- (13) EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (BD) BENEFITING LOTS 124-127 (INCL.) BURDENS LOTS 122, 129
- (14) EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (BH) BENEFITING LOT 128 BURDENS LOTS 121, 122, 123, 129
- (15) EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (BI) BENEFITING LOT 129 BURDENS LOTS 122
- (16) EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (BJ) BENEFITING LOT 130 BURDENS LOTS 122, 123
- (17) EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CC) BENEFITING LOT 123, 128, 129 BURDENS LOTS 122, 128
- (18) EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CD) BENEFITING LOTS 124-127 (INCL.) BURDENS LOT 122
- (19) EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CH) BENEFITING LOT 128 BURDENS LOT 123
- (20) EASEMENT FOR ACCESS LIFT VARIABLE WIDTH (LIMITED IN STRATUM) (CJ) BENEFITING LOT 130 BURDENS LOT 122
- (21) EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE INFRASTRUCTURE(G) BENEFITING LOT 130 BURDENS LOT 122, 123, 128, 129 LOCATION TO BE CONFIRMED
- (22) EASEMENT FOR EMBEDDED UTILITY SOLAR GENERATION (H) BENEFITING LOT 130 BURDENS LOT 122, 129
- (23) EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE INFRASTRUCTURE (I) BENEFITING LOT 130 BURDENS LOT 122, 123, 128, 129 LOCATION TO BE CONFIRMED
- (24) EASEMENT FOR GARBAGE AND WASTE STORAGE (J) BENEFITING LOT EVERY OTHER LOT BURDENS LOT 122
- (25) EASEMENT FOR SUBSTATION PREMISES VARIABLE WIDTH (LIMITED IN STRATUM) (K) BENEFITING AUTHORITY AUSGRID BURDENS LOT 122
- (26) EASEMENT FOR EMBEDDED UTILITY HOT WATER PLANT & INFRASTRUCTURE (L) BENEFITING LOT 130 BURDENS LOT 122, 123, 129
- (27) EASEMENT FOR ACCESS AND USE OF LOADING DOCK VARIABLE WIDTH (LIMITED IN STRATUM) (M) BENEFITING LOT EVERY OTHER LOT BURDENS LOT 122
- (28) EASEMENT FOR UNDERGROUND CABLES VARIABLE WIDTH (LIMITED IN STRATUM)(N) BENEFITING AUTHORITY AUSGRID BURDENS LOT 122
- (29) RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM (0) BENEFITING AUTHORITY AUSGRID BURDENS LOT 122
- (30) POSITIVE COVENANT (ON-SITE DETENTION) (PC) (TBC) BENEFITING AUTHORITY RYDE COUNCIL BURDENS LOT 121
- (31) RESTRICTION ON THE USE OF LAND (ON-SITE DETENTION & RAINWATER TANK) (TBC) BENEFITING AUTHORITY RYDE COUNCIL BURDENS LOT 121
- (32) EASEMENT TO ACCESS GARBAGE VARIABLE WIDTH (LIMITED IN STRATUM) (R) BENEFITING AUTHORITY RYDE COUNCIL BURDENS LOT 122
- (33) POSITIVE COVENANT (GARBAGE COLLECTION AREA) (S) BENEFITING AUTHORITY RYDE COUNCIL BURDENS LOT 122

### <u>NOTE</u>

 LOT 128 (SOCIAL ILU) REQUIRES RIGHTS FOR ACCESS AND PARKING WITHIN LOT 123 (SOCIAL) AT BASEMENT LEVELS 1 & 2 TO BE INCORPORATED INTO THE MANAGEMENT STATEMENTS THAT ACCOMPANY THE STRATUM AND STRATA PLANS



Issued under the Environmental Planning and Assessment Act 1979

Approved Section 4.55 (1A) Modification Application

No: SSD 8903 MOD 2
Granted on 7 May 2021

Signed: A.N.

Sheet No: 22 of 22

BY	AMENDMENTS	DATE
D.W.	S4.55 AMENDMENTS	24.11.20
D.W.	AMENDMENTS	2.12.20
	D.W.	D.W. S4.55 AMENDMENTS



FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF LOT 12 DP

DETAILS:

ORIGINAL SCALE 1:400
SHEET SIZI

SURVEYOR:	D.G.W.
DRAWN:	J.T.
CHECKED:	P.J.M.
SURVEY DATE:	12/11/2020
CAD REFERENCE:	1601644_STRATUM_201123
SHEET 13	OF 13

FROJECT NO.			
1601644			
DRAWING REF.			
LOT 12 -	STRATUM		
VERSION	10		

DRO IECT No