

LONGITUDINAL SECTION ROAD 1

HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:200

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
D	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: N/A	<div><div>02550</div><div>SCALE: 1:1000 [FULL]</div></div> <div><div>05010.0</div><div>SCALE: 1:200 [FULL]</div></div>	

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Approved Application No. SSD-8903Granted on the 30/4/20Signed JHSheet No. 76 of 124

drawing title:

ROAD LONGITUDINAL
SECTIONS - ROAD No.1
(STAGE 1A)location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

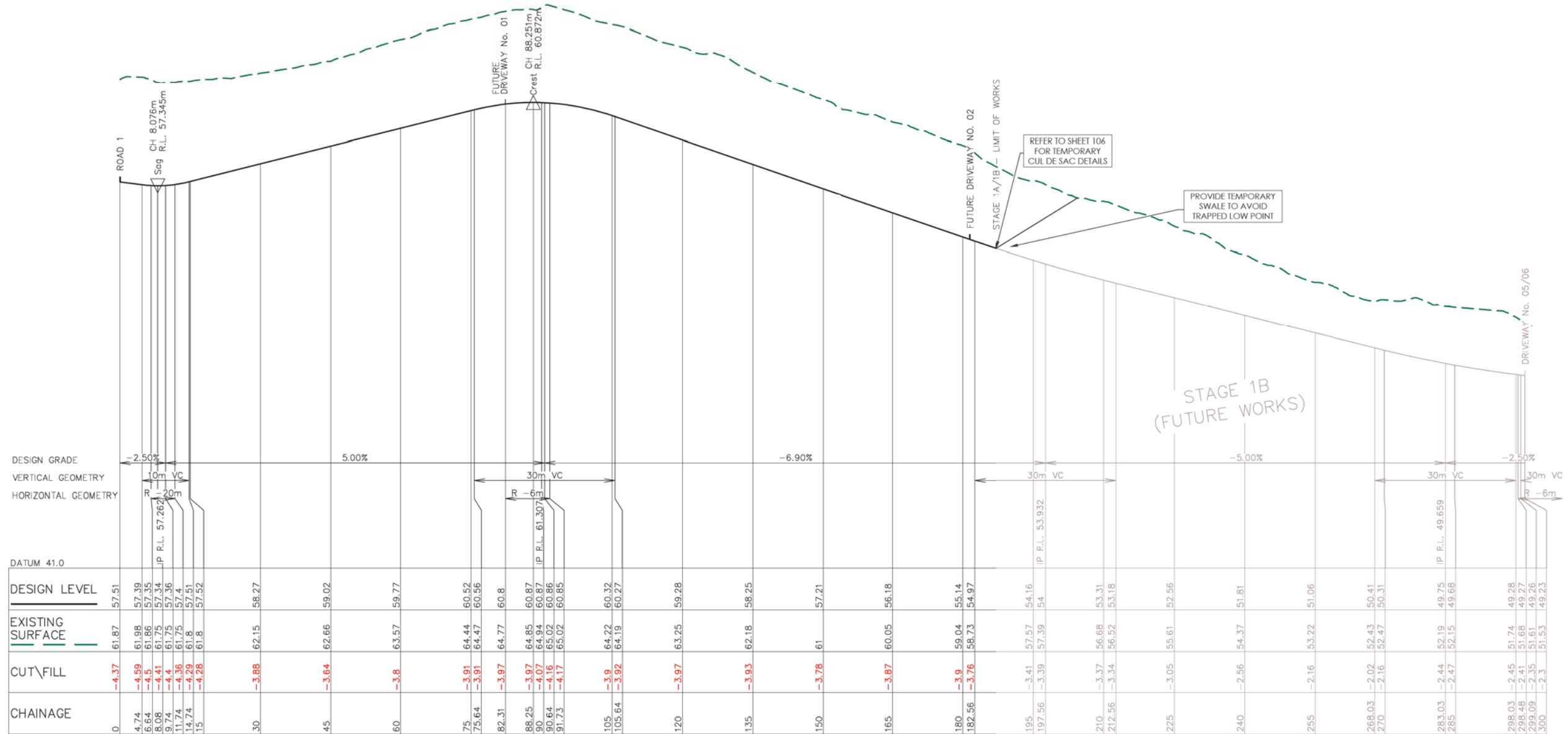
dwg ref: 300001(1)-DA-103

client:

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LONGITUDINAL SECTION ROAD 2

HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:200



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Sheet No. **77** of **124**

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
D	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: N/A	0 25 50 SCALE: 1:1000 [FULL]	0 5.0 10.0 SCALE: 1:200 [FULL]

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drawing title:

ROAD LONGITUDINAL
SECTIONS - ROAD No.2
(STAGE 1A)

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-104

client:

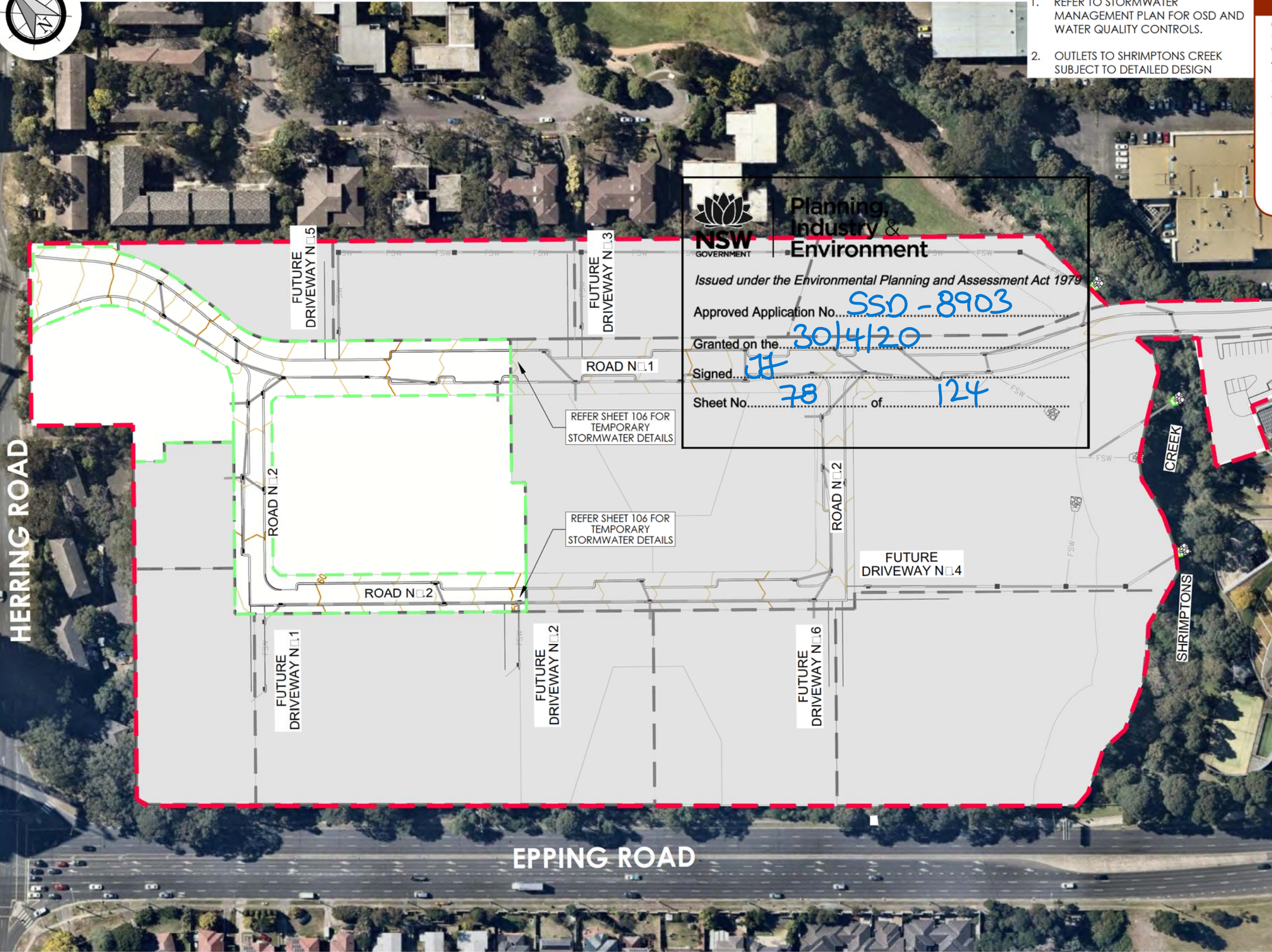
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HERRING ROAD



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Sheet No... 78 of... 124

REFER SHEET 106 FOR
TEMPORARY
STORMWATER DETAILS

REFER SHEET 106 FOR
TEMPORARY
STORMWATER DETAILS

FUTURE
DRIVEWAY N4

EPHING ROAD

LYON PARK ROAD

CREEK

SHRIMPTONS

NOTE:

1. REFER TO STORMWATER
MANAGEMENT PLAN FOR OSD AND
WATER QUALITY CONTROLS.
2. OUTLETS TO SHRIMPTONS CREEK
SUBJECT TO DETAILED DESIGN

LEGEND

- SITE BOUNDARY
- STAGE 1A BOUNDARY
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- PROPOSED STORMWATER
- PROPOSED STORMWATER OUTLET
- PROPOSED LINTEL
- PROPOSED GSI

drawing title:

CONCEPT STORMWATER PLAN STAGE 1A

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-105

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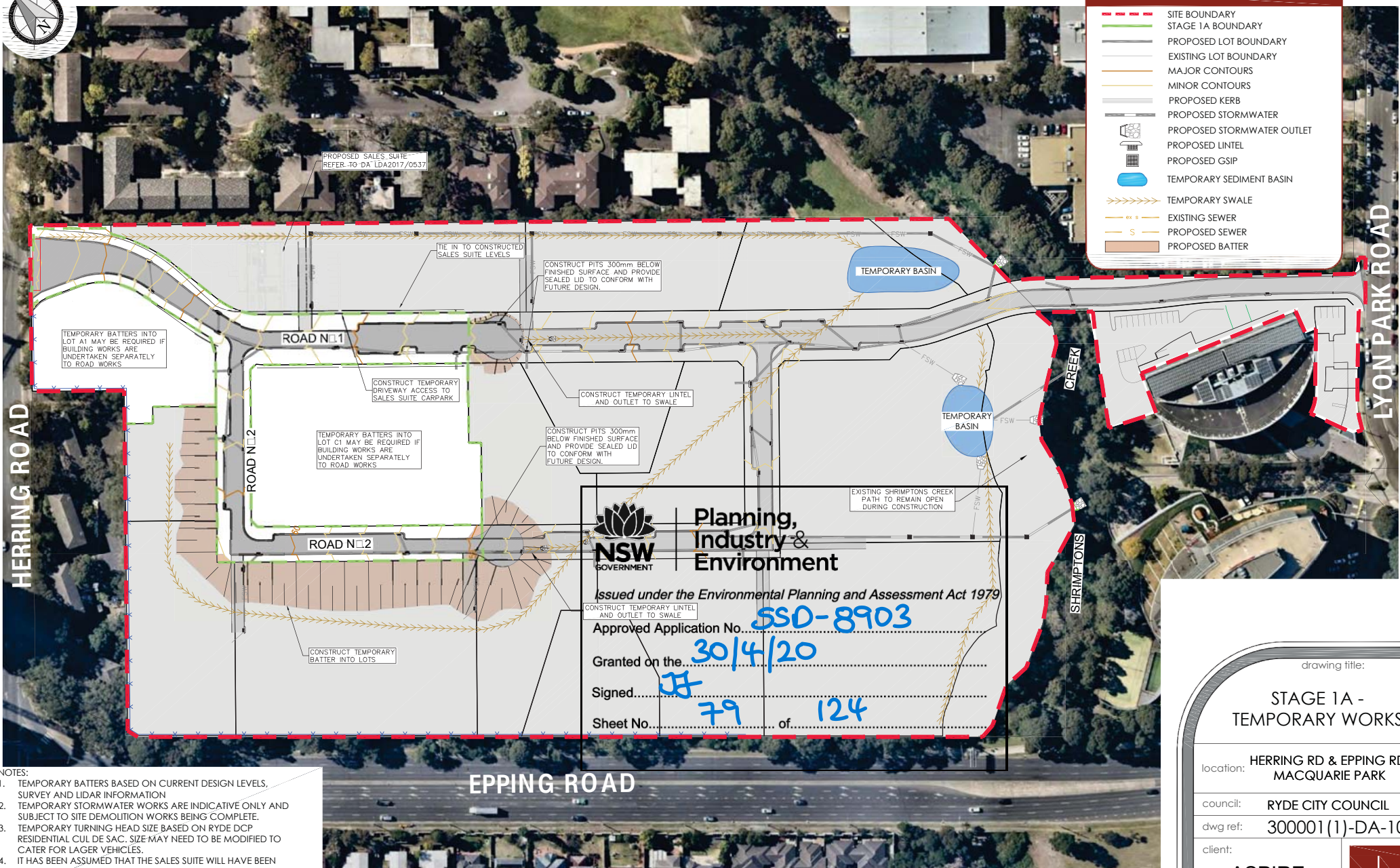
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STORMWATER PLAN

SCALE 1:1500

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
E	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: 1.0m	0 30 60 150 SCALE: 1:1500 (FULL)	

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LEGEND

- SITE BOUNDARY
- STAGE 1A BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- PROPOSED STORMWATER
- PROPOSED STORMWATER OUTLET
- PROPOSED LINTEL
- PROPOSED GSP
- TEMPORARY SEDIMENT BASIN
- TEMPORARY SWALE
- EXISTING SEWER
- PROPOSED SEWER
- PROPOSED BATTER



NSW
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Approved Application No. **SSD-8903**

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Sheet No. **79** of **124**

NOTES:

- TEMPORARY BATTERS BASED ON CURRENT DESIGN LEVELS, SURVEY AND LIDAR INFORMATION
- TEMPORARY STORMWATER WORKS ARE INDICATIVE ONLY AND SUBJECT TO SITE DEMOLITION WORKS BEING COMPLETE.
- TEMPORARY TURNING HEAD SIZE BASED ON RYDE DCP RESIDENTIAL CUL DE SAC. SIZE MAY NEED TO BE MODIFIED TO CATER FOR LARGER VEHICLES.
- IT HAS BEEN ASSUMED THAT THE SALES SUITE WILL HAVE BEEN CONSTRUCTED PRIOR TO STAGE 1A ROAD WORKS BEING COMPLETE.
- FURTHER DETAILS AROUND THE TEMPORARY WORKS WILL BE PROVIDED ONCE SITE DEMOLITION WORKS HAVE BEEN COMPLETE.

EPPING ROAD

STAGE 1A - TEMPORARY WORKS

SCALE 1:1500

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
E	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: 1.0m	0 30 60 150 SCALE: 1:1500 FULL	SEE ABOVE

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drawing title:

STAGE 1A -
TEMPORARY WORKS

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-106

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EXTENTS OF EARTHWORKS
SUBJECT TO CC DESIGN OF
TIE INTO SUITE LEVELS.



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Sheet No. **80** of **124**

NOTES:

1. EARTHWORKS WITHIN THE ROAD RESERVE IS BASED ON THE NATURAL SURFACE TO THE FINISHED SURFACE I.E. NO TOPSOIL OR PAVEMENT BOXING HAS BEEN TAKEN INTO ACCOUNT.
2. EARTHWORKS WITHIN LOTS A1 AND C1 IS BASED ON THE NATURAL SURFACE TO THE BOTTOM OF BASEMENT LEVEL. BASEMENT LEVELS SUBJECT TO DETAIL DESIGN.

CUT/FILL LEGEND

Lower value	Upper value	Colour
-8	to -4	m
-4	to -3.5	m
-3.5	to -3	m
-3	to -2.5	m
-2.5	to -2	m
-2	to -1.75	m
-1.75	to -1.5	m
-1.5	to -1.25	m
-1.25	to -1	m
-1	to -0.75	m
-0.75	to -0.5	m
-0.5	to -0.25	m
-0.25	to 0	m
0	to 0.250	m
0.250	to 0.5	m
0.500	to 0.75	m
0.75	to 1	m
1	to 1.25	m
1.25	to 1.5	m
1.5	to 1.75	m
1.75	to 2	m
2	to 2.5	m
2.5	to 3	m
3	to 3.5	m
3.5	to 4	m

CUT/FILL VOLUMES:

CUT - 212,000m³

FILL - 50m³

EXCESS MATERIAL - 211,950m³

drawing title:

STAGE 1A -
EARTHWORKS

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-107

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STAGE 1A - EARTHWORKS

SCALE 1:1500

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LEGEND

- SITE BOUNDARY
- STAGE 1B BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- PROPOSED PUBLIC VERGE AREA
- PROPOSED PRIVATE VERGE AREA
- PROPOSED PAVEMENT
- PROPOSED KERB
- BUILDING LAYOUT
- INDICATIVE RAISED THRESHOLD

NOTE:

1. REFER TO ARCHITECTS DRAWINGS FOR WORKS OUTSIDE OF ROAD RESERVE.
2. REFER TO LANDSCAPE PLANS PREPARED BY HASSEL STUDIOS FOR PROPOSED VERGE SURFACE TREATMENTS AND RAISED THRESHOLD DETAILS.
3. BUILDINGS SHOWN INDICATIVELY ONLY. REFER TO ARCHITECTS DRAWINGS
4. PARKING SIGNS ARE SHOWN INDICATIVELY ONLY. FINAL SIGNAGE TO BE DETERMINED IN CONJUNCTION WITH COUNCIL.

drawing title:

DETAIL PLAN
STAGE 1Blocation: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-201

client:

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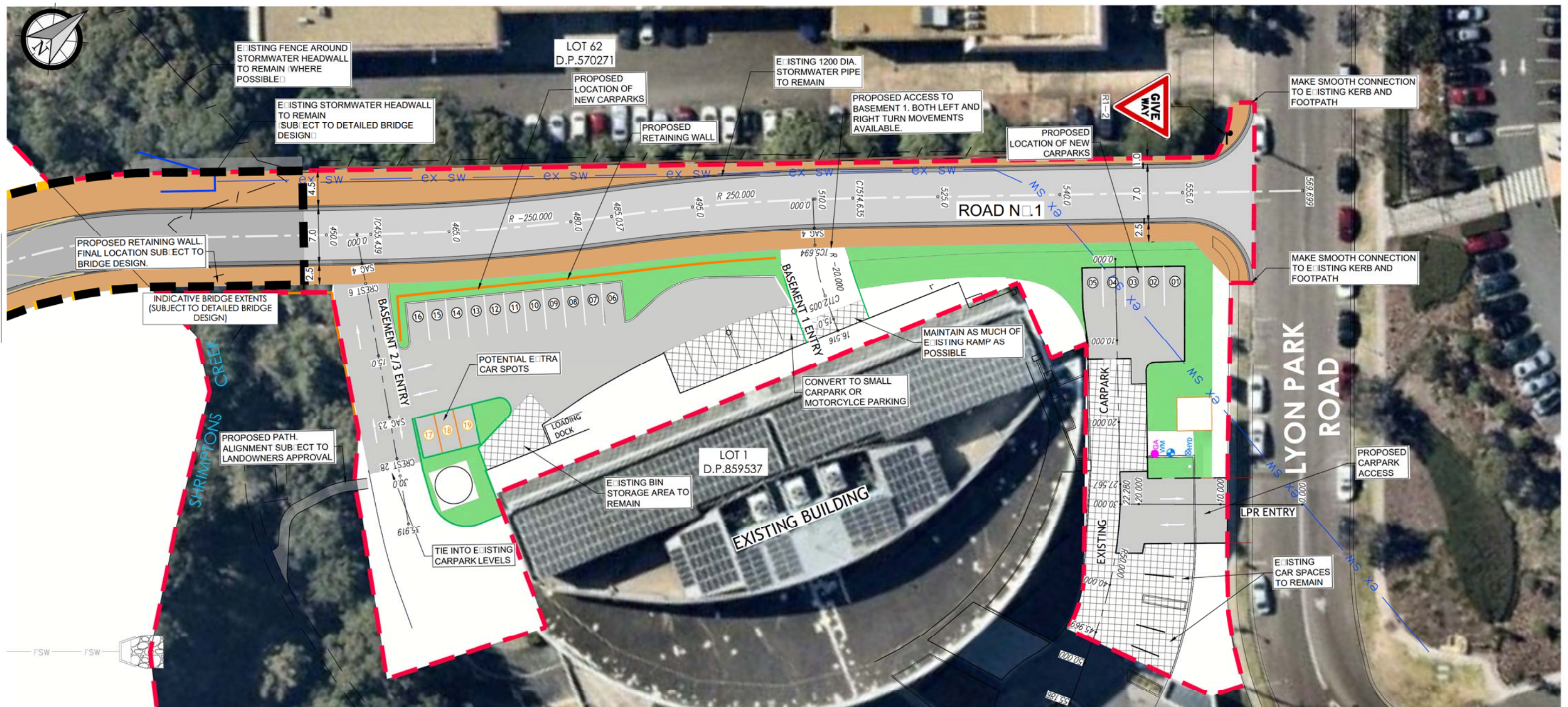


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*image source: Neatmap (20/11/2017)

LEGEND

- SITE BOUNDARY
- STAGE 1B BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- EXISTING FENCE
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- EX SW EXISTING STORMWATER
- PROPOSED VERGE AREA
- PROPOSED PAVEMENT
- PROPOSED KERB
- EXISTING CARPARK TO REMAIN
- PROPOSED CARPARK
- POTENTIAL EXTRA CARPARK

NOTE:

- ROAD 1 FINAL ALIGNMENT SUBJECT TO FURTHER GEOTECHNICAL INVESTIGATION AND DETAILED DESIGN.

DETAIL PLAN

SCALE 1:500



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Sheet No. **82** of **124**

drawing title:

DETAIL PLAN - LYON
PARK ROAD EXTENSION
STAGE 1B

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-202

client:

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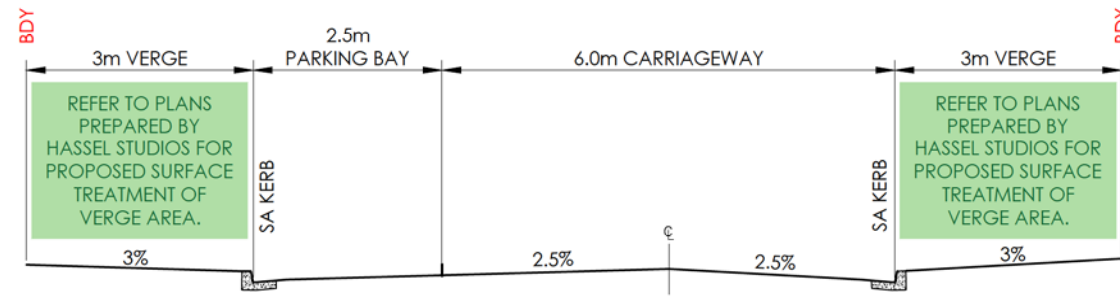


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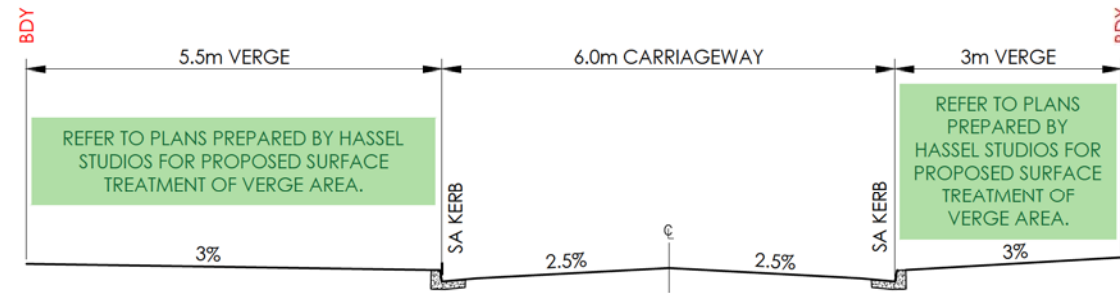
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ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
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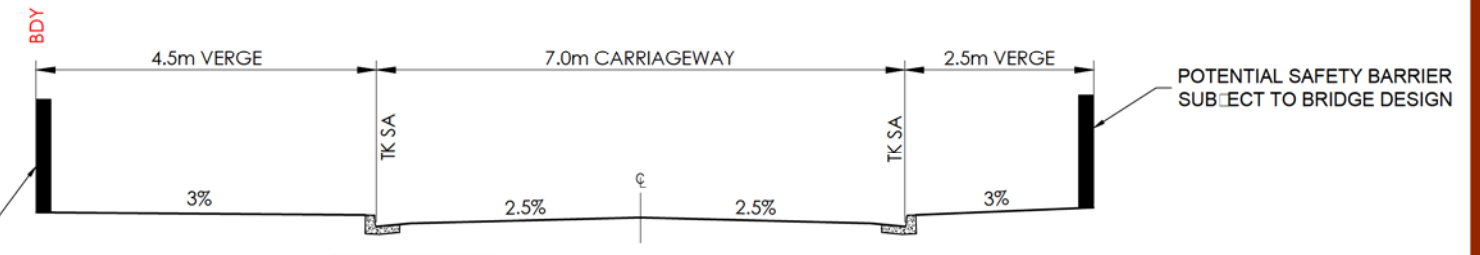
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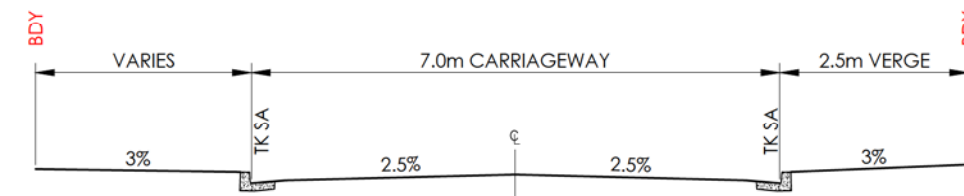
TYPICAL ROAD SECTION - ROAD No.2 & No.3 (WITH PARKING BAYS)
SCALE 1 : 100



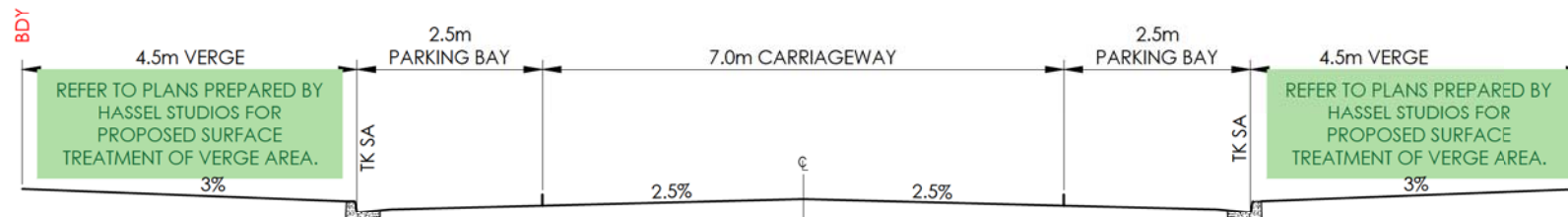
TYPICAL ROAD SECTION - ROAD No.2 & No.3 (WITHOUT PARKING BAYS)
SCALE 1 : 100



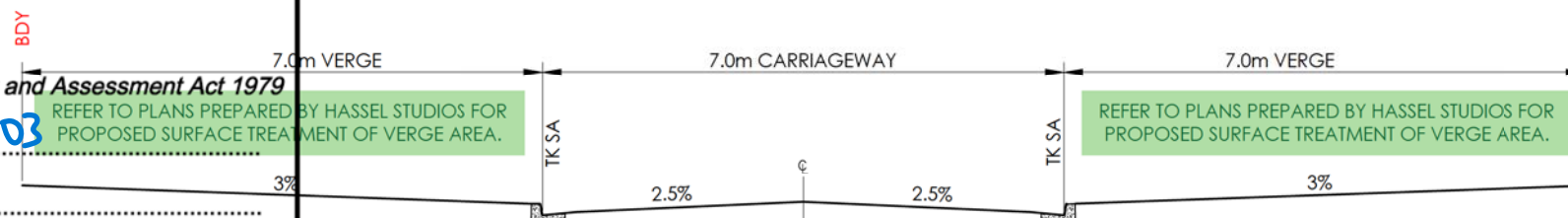
TYPICAL ROAD SECTION - ROAD No.1 (BRIDGE)
SCALE 1 : 100



TYPICAL ROAD SECTION - ROAD No.1 (THROUGH ADJ LAND TO LYON PARK ROAD)
SCALE 1 : 100



TYPICAL ROAD SECTION - ROAD No.1 (WITH PARKING BAYS)
SCALE 1 : 100



TYPICAL ROAD SECTION - ROAD No.1 (WITHOUT PARKING BAYS)
SCALE 1 : 100

NOTE:

1. REFER TO ARCHITECTS DRAWINGS FOR WORKS OUTSIDE OF ROAD RESERVE.
2. REFER TO PLANS PREPARED BY HASSEL STUDIOS FOR PROPOSED SURFACE TREATMENT OF VERGE AREA.
3. SERVICES ALLOCATIONS, WITH RESPECT TO THE BACK OF KERB LINE AND BOUNDARY, TO BE CONSISTENT WITH RYDE COUNCIL'S AND THE RELEVANT AUTHORITIES STANDARDS.



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Sheet No. **83** of **124**

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
D	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: N/A	0 2.5 5.0 SCALE: 1:100 FULL	

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TYPICAL SECTIONS -
STAGE 1B

location: HERRING RD & EPPING RD,
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council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-203

client:

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TIE INTO INTERSECTION
DESIGN PREPARED BY RMS
(EXTENT OF WORKS TO BE
CONFIRMED BY RMS).

HERRING ROAD

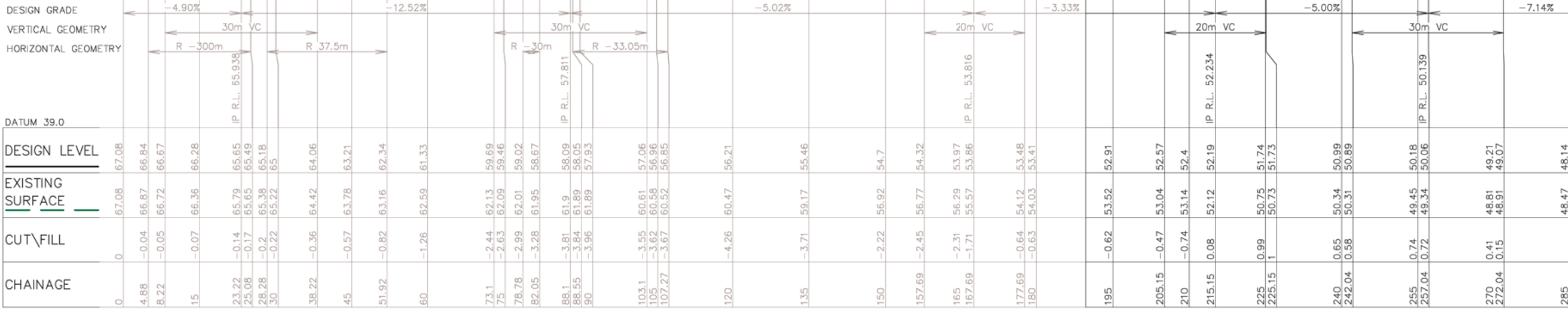
STAGE 1A WORKS
(COMPLETED)

ROAD 2

DRIVEWAY No. 05

STAGE 1A/1B - LIMIT OF WORKS

FUTURE
DRIVEWAY No. 03



LONGITUDINAL SECTION ROAD 1
HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:200



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Sheet No. **84** of **124**

drawing title:

ROAD LONGITUDINAL
SECTIONS - ROAD No.1
SHEET 1 (STAGE 1B)

location: HERRING RD & EPPING RD,
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council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-204

client:

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D	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: N/A	0 25 50 SCALE: 1:1000 [FULL]	0 5.0 10.0 SCALE: 1:200 [FULL]

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- NOTE:
1. ACCESS TO CARPARK SUBJECT TO SEPARATE DEVELOPMENT APPLICATION
 2. BRIDGE SPAN SUBJECT TO DETAILED BRIDGE DESIGN.



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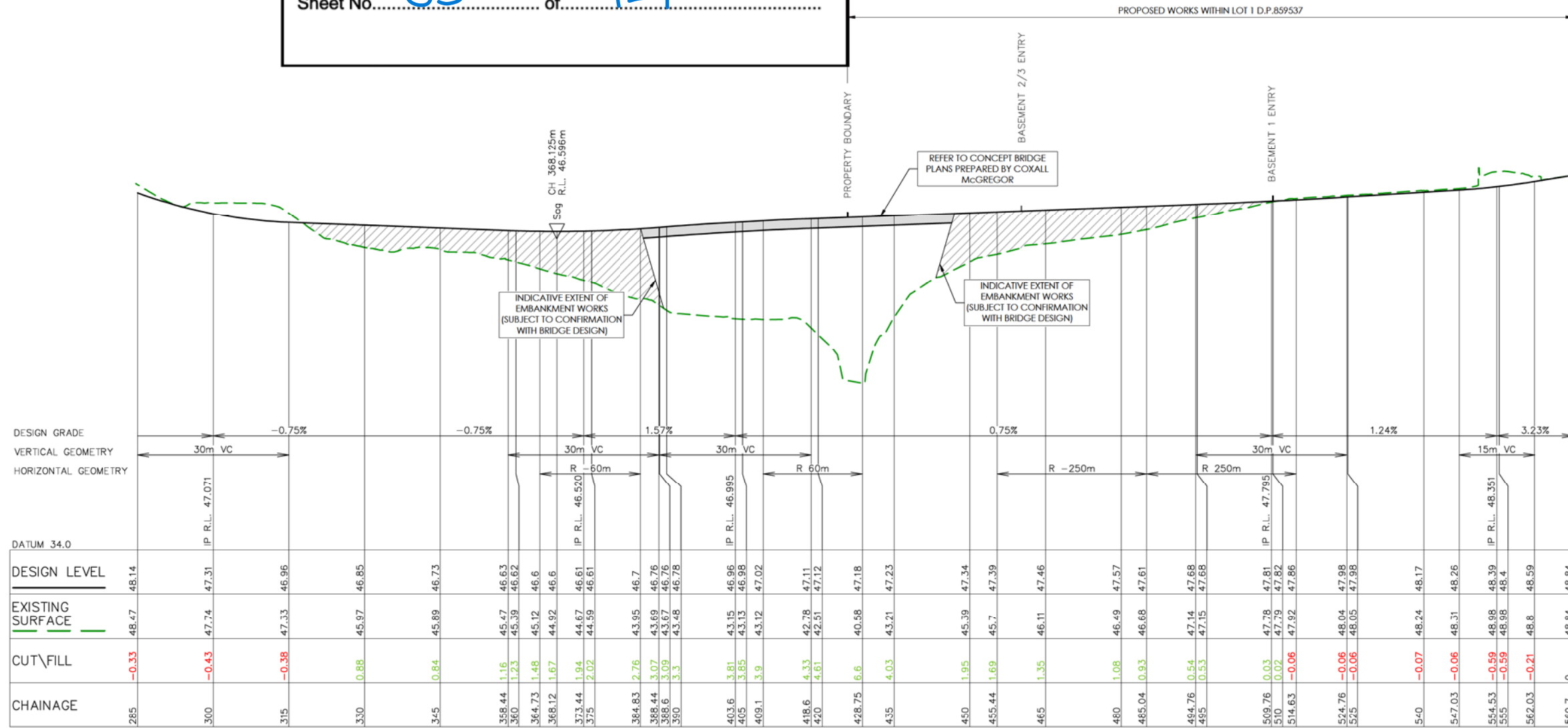
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Sheet No. 85 of 124



LONGITUDINAL SECTION ROAD 1

HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
D	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: N/A	0 25 50 SCALE: 1:1000 [FULL]	0 5.0 10.0 SCALE: 1:200 [FULL]

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drawing title:

ROAD LONGITUDINAL
SECTIONS - ROAD No.1
SHEET 2 (STAGE 1B)

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

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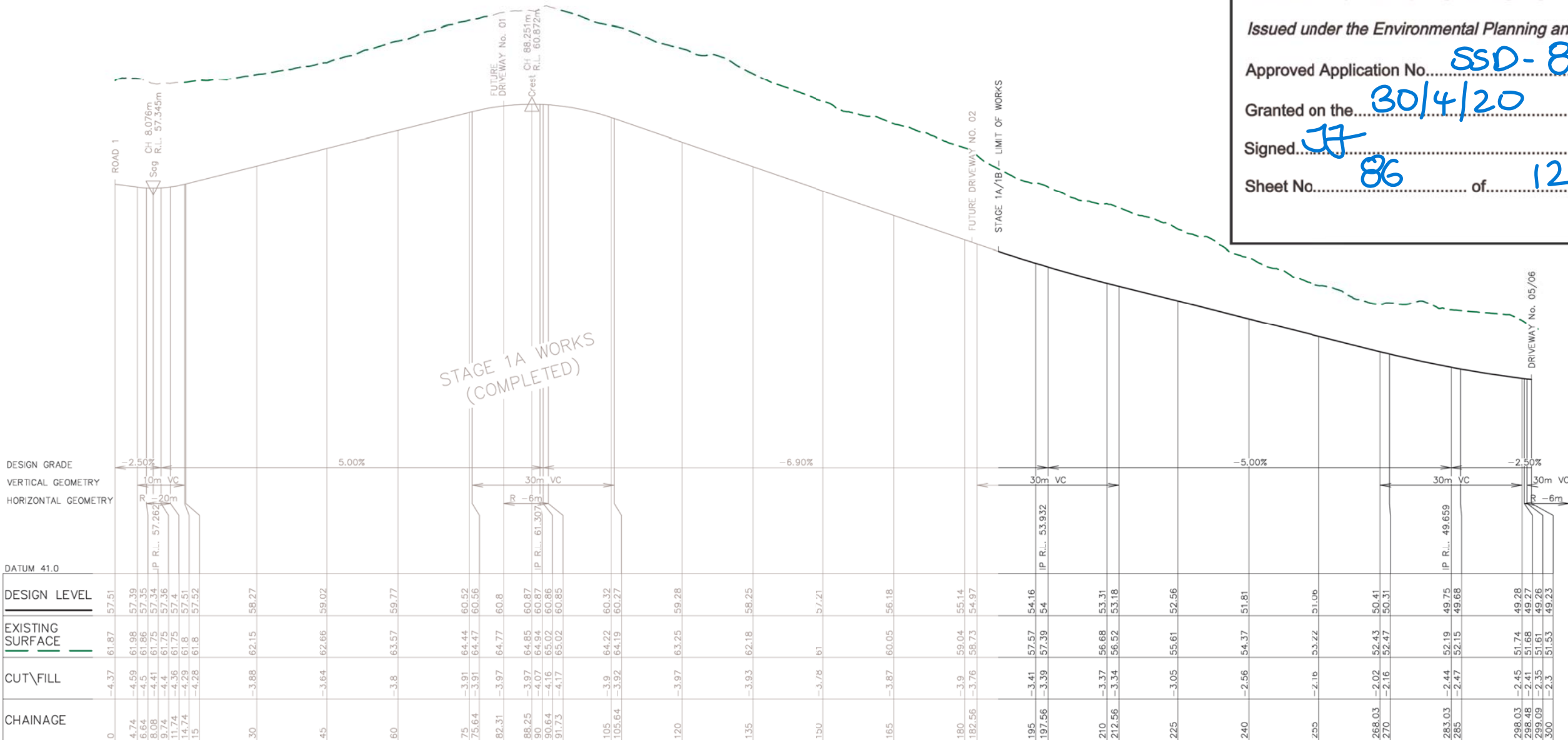
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LONGITUDINAL SECTION ROAD 2
HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:200



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Sheet No. **86** of **124**

drawing title:

ROAD LONGITUDINAL
SECTIONS - ROAD No.2
(STAGE 1B)

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-206

client:

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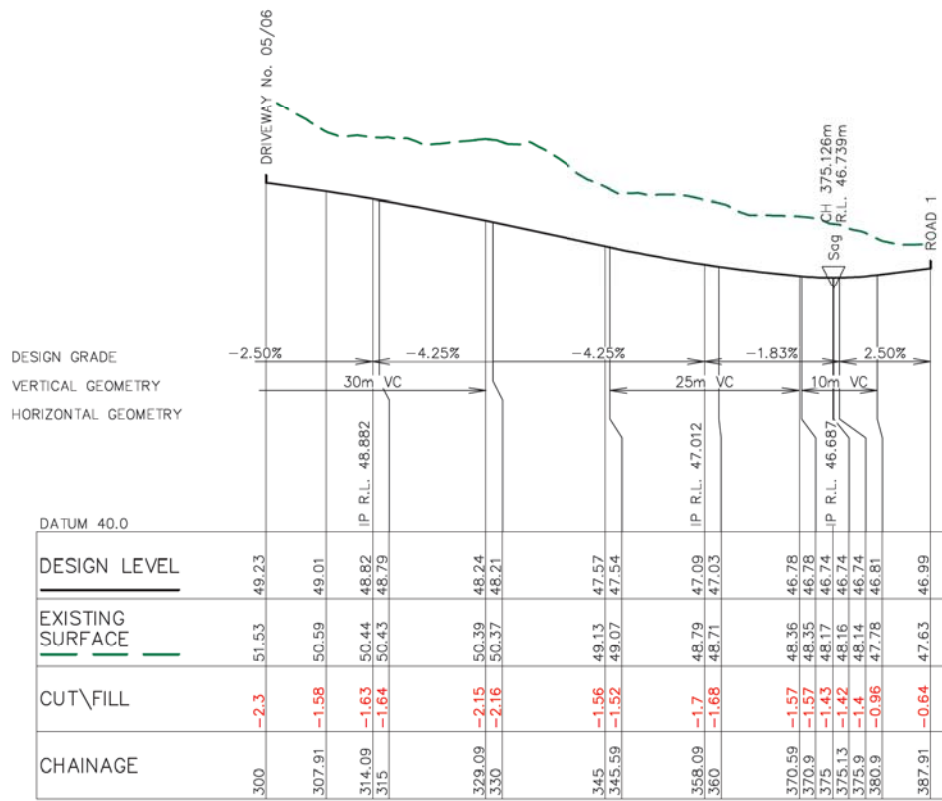


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LONGITUDINAL SECTION ROAD 2
HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:200



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Approved Application No. **850-8903**

Granted on the **30/4/20**

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Sheet No. **87** of **124**

drawing title:

ROAD LONGITUDINAL
SECTIONS - ROAD No.3
(STAGE 1B)

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-207

client:

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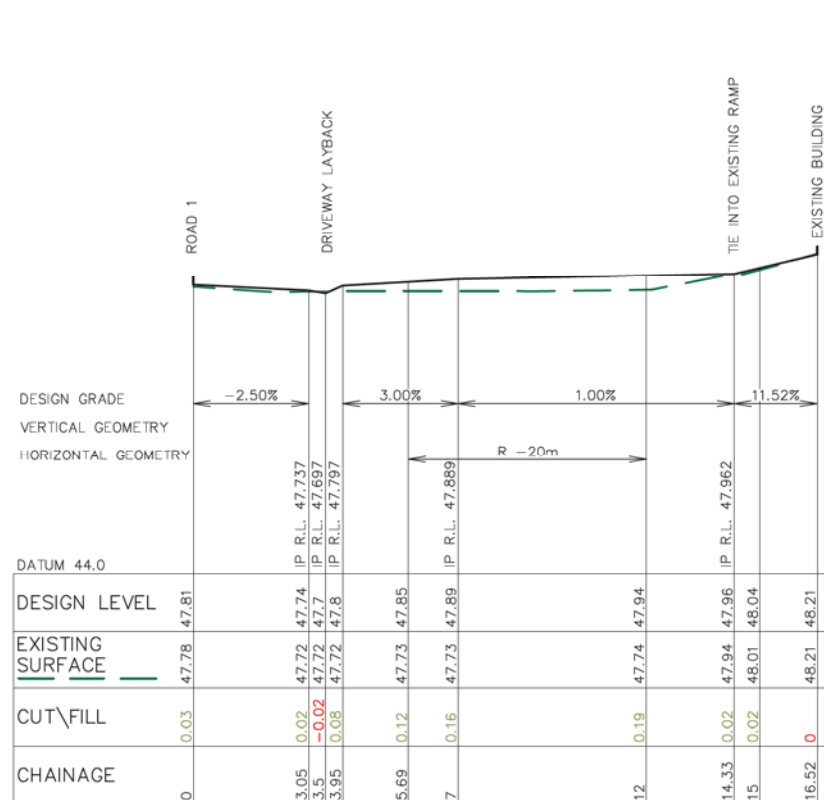


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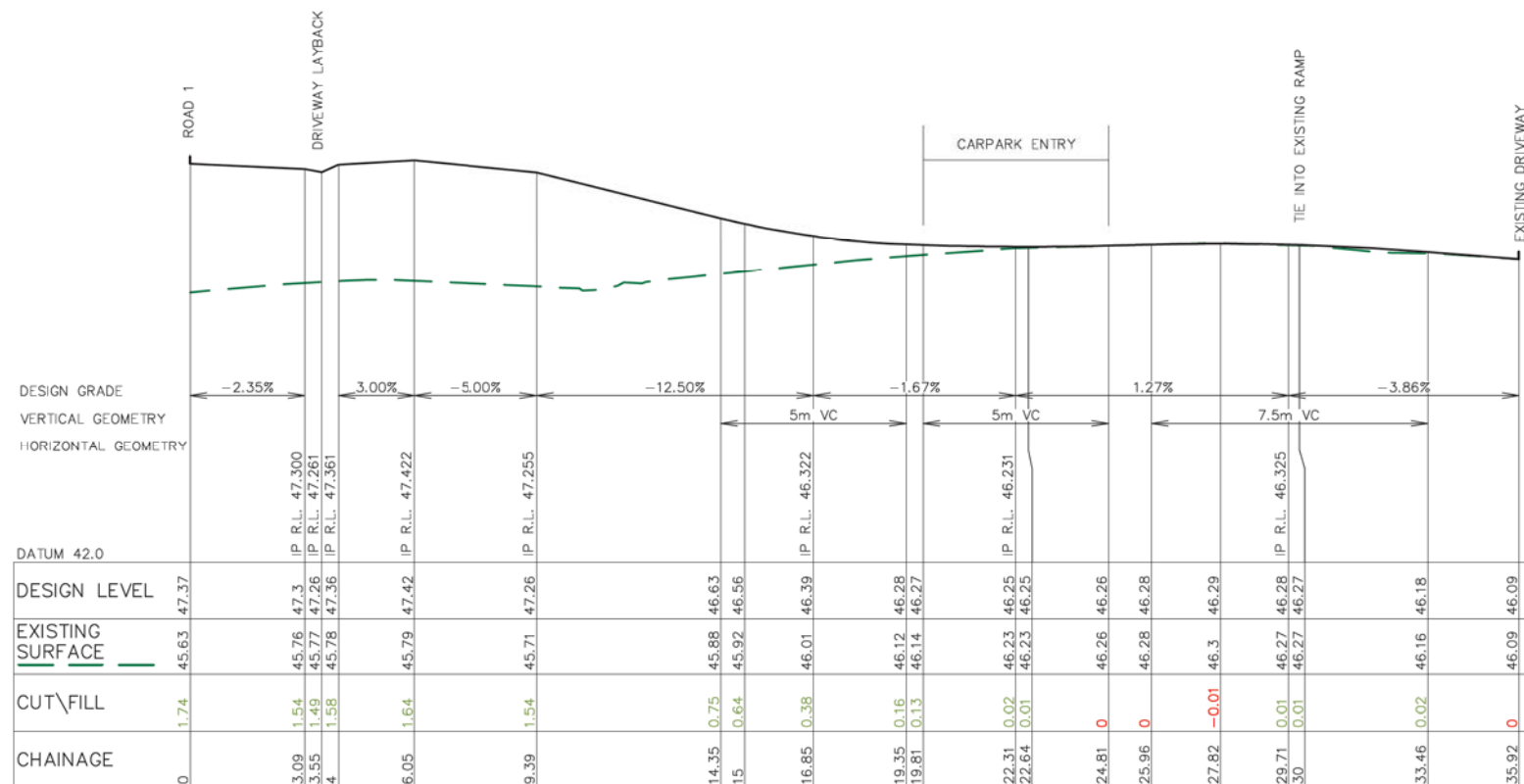
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D	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: N/A	0 25 50 SCALE: 1:1000 [FULL]	0 5.0 10.0 SCALE: 1:200 [FULL]

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LONGITUDINAL SECTION BASEMENT 1
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:100



LONGITUDINAL SECTION BASEMENT 2/3
HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:100



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Approved Application No. **SSD - 8903**

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Signed **JA**

Sheet No. **88** of **124**

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
A	26.03.18	ISSUED FOR APPROVAL	GH	BM	DATUM: N/A CONTOUR INTERVAL: N/A	0 2.5 5.0 SCALE: 1:100 [FULL]	0 5.0 10.0 SCALE: 1:200 [FULL]

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drawing title:

**LONGITUDINAL SECTIONS
BASEMENT 1
& BASEMENT 2/3**

location: **HERRING RD & EPPING RD,
MACQUARIE PARK**

council: **RYDE CITY COUNCIL**

dwg ref: **300001(1)-DA-208**

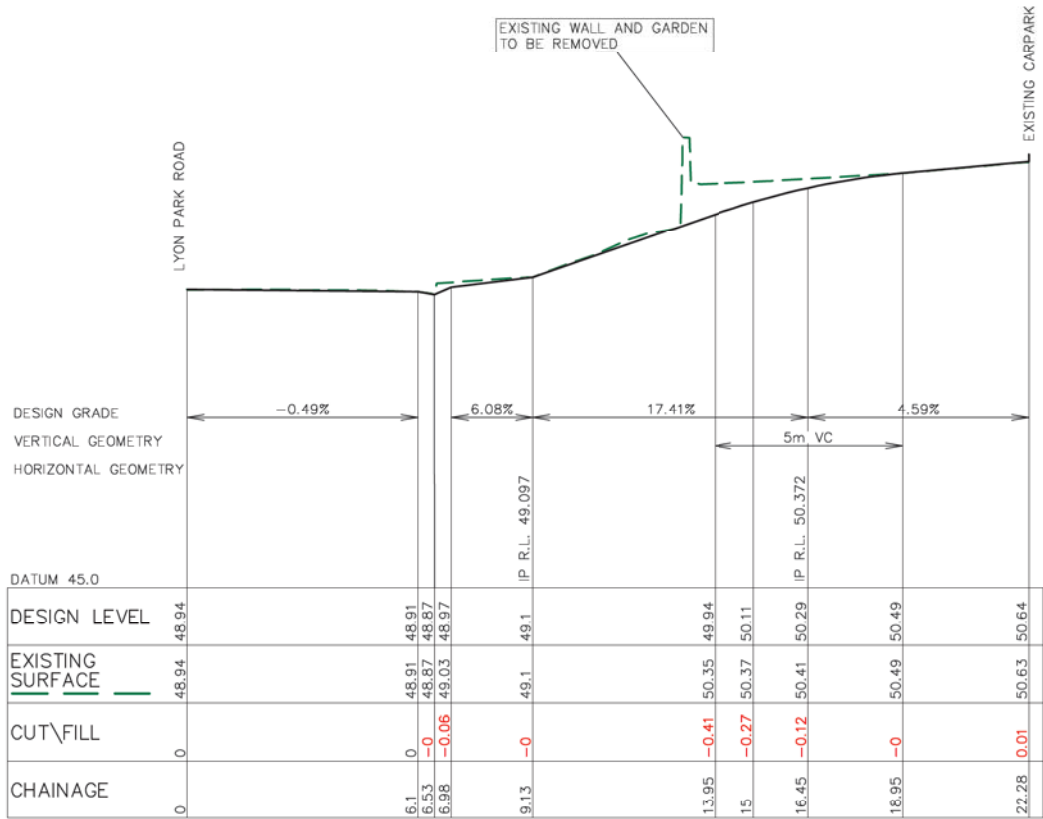
client:

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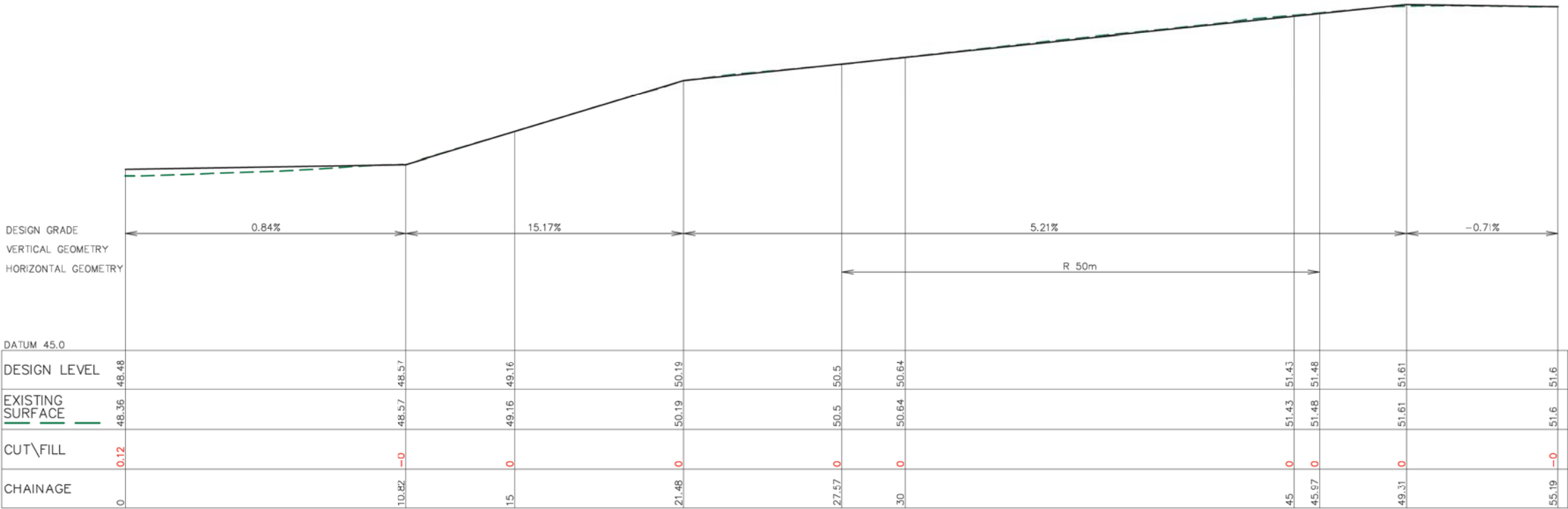
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LONGITUDINAL SECTION LPR ENTRY

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:100



LONGITUDINAL SECTION EXISTING CARPARK

HORIZONTAL SCALE 1:200
VERTICAL SCALE 1:100



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Approved Application No. **SSO-8903**

Granted on the **30/4/20**

Signed **JF**

Sheet No. **89** of **124**

drawing title:

LONGITUDINAL SECTIONS
LPR ENTRY & EXISTING
CARPARK

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-209

client:

ASPIRE

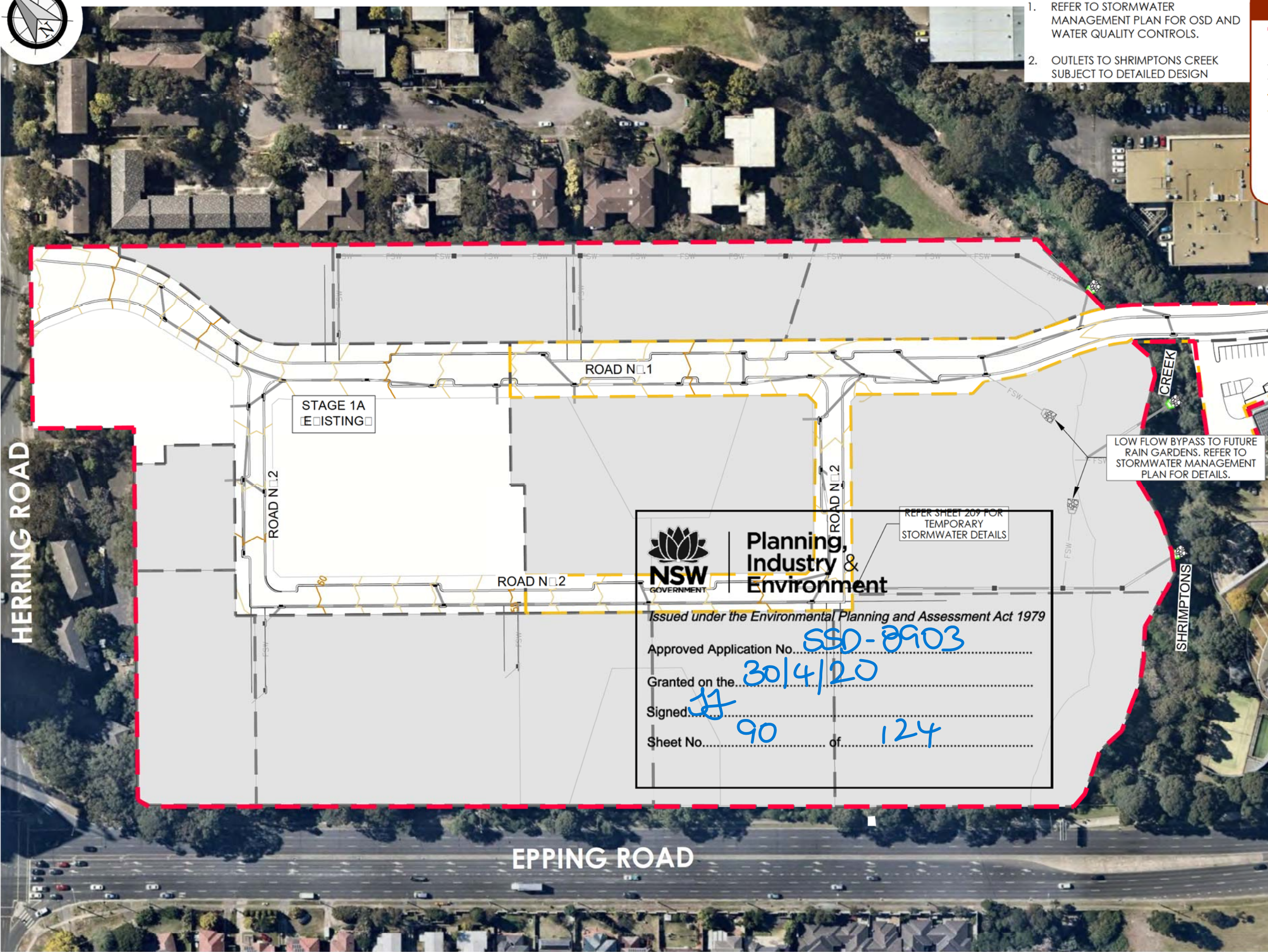


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hunter office ph: (02) 4978 5100
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ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
A	26.03.18	ISSUED FOR APPROVAL	GH	BM	DATUM: N/A CONTOUR INTERVAL: N/A	<div>02.55.0</div> <div>SCALE: 1:100 [FULL]</div>	<div>05.10.0</div> <div>SCALE: 1:200 [FULL]</div>

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- NOTE:
1. REFER TO STORMWATER MANAGEMENT PLAN FOR OSD AND WATER QUALITY CONTROLS.
 2. OUTLETS TO SHRIMPTONS CREEK SUBJECT TO DETAILED DESIGN

LEGEND

- SITE BOUNDARY
- STAGE 1B BOUNDARY
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- PROPOSED STORMWATER
- PROPOSED STORMWATER OUTLET
- PROPOSED LINTEL
- PROPOSED GSIP



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Sheet No. **90** of **124**

REFER SHEET 209 FOR
TEMPORARY
STORMWATER DETAILS

STORMWATER PLAN

SCALE 1:1500

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
E	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: 1.0m	0 30 60 5 SCALE: 1:1500 FULL	

drawing title:
**CONCEPT
STORMWATER PLAN
STAGE 1B**

location: **HERRING RD & EPPING RD,
MACQUARIE PARK**

council: **RYDE CITY COUNCIL**

dwg ref: **300001(1)-DA-210**

client:

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HERRING ROAD

LYON PARK ROAD

LEGEND

SITE BOUNDARY

PROPOSED LOT BOUNDARY

EXISTING LOT BOUNDARY

MAJOR CONTOURS

MINOR CONTOURS

PROPOSED KERB

PROPOSED STORMWATER

PROPOSED STORMWATER OUTLET

PROPOSED LINTEL

PROPOSED GSIP


TEMPORARY BASIN

TEMPORARY SWALE

EXISTING SEWER

PROPOSED SEWER

PROPOSED BATTER



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Sheet No. **91** of **124**

EPHING ROAD

STAGE 1B - TEMPORARY WORKS

SCALE 1:1500

- NOTES:
- TEMPORARY BATTERS BASED ON CURRENT DESIGN LEVELS, SURVEY AND LIDAR INFORMATION
 - TEMPORARY STORMWATER WORKS ARE INDICATIVE ONLY AND SUBJECT TO SITE DEMOLITION WORKS BEING COMPLETE.
 - STAGE 1A TEMPORARY BATTERS SHOWN FOR COMPLETENESS.
 - FURTHER DETAILS AROUND THE TEMPORARY WORKS WILL BE PROVIDED ONCE SITE DEMOLITION WORKS HAVE BEEN COMPLETE.

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
E	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: 1.0m	0 30 60 5 SCALE: 1:1500 (FULL)	SEE ABOVE

drawing title:

STAGE 1B -
TEMPORARY WORKS

location: HERRING RD & EPPING RD,
MACQUARIE PARK

council: RYDE CITY COUNCIL

dwg ref: 300001(1)-DA-211

client:

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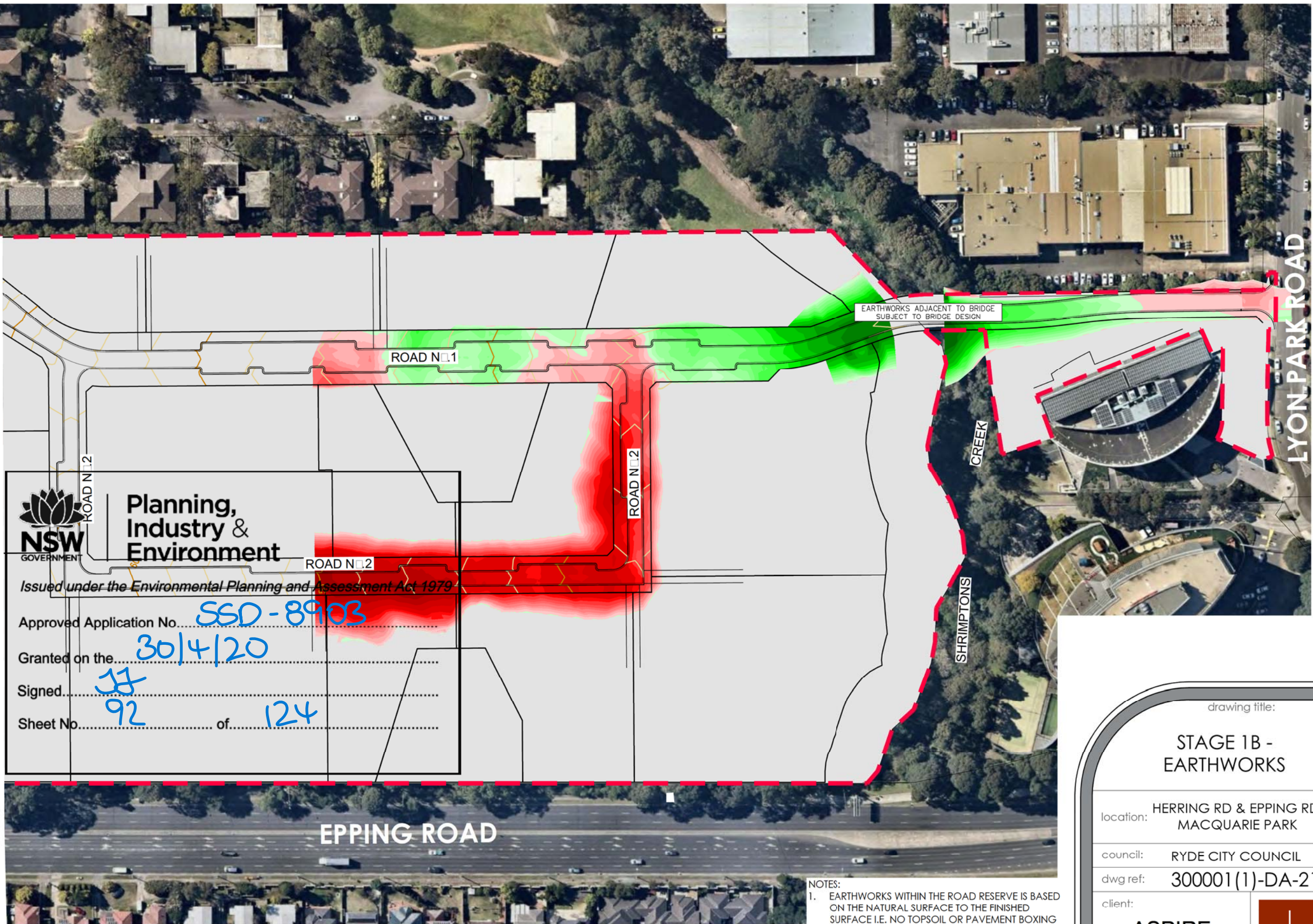
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CUT/FILL LEGEND		
Lower value	Upper value	Colour
-8	to -4	m
-4	to -3.5	m
-3.5	to -3	m
-3	to -2.5	m
-2.5	to -2	m
-2	to -1.75	m
-1.75	to -1.5	m
-1.5	to -1.25	m
-1.25	to -1	m
-1	to -0.75	m
-0.75	to -0.5	m
-0.5	to -0.25	m
-0.25	to 0	m
0	to 0.250	m
0.250	to 0.5	m
0.500	to 0.75	m
0.75	to 1	m
1	to 1.25	m
1.25	to 1.5	m
1.5	to 1.75	m
1.75	to 2	m
2	to 2.5	m
2.5	to 3	m
3	to 3.5	m
3.5	to 4	m

CUT/FILL VOLUMES:
CUT - 12,000m³
FILL - 6,500m³
EXCESS MATERIAL - 5,500m³



STAGE 1B - EARTHWORKS
SCALE 1:1500

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
D	09.09.19	UPDATED LAYOUT	PB	BM	DATUM: N/A CONTOUR INTERVAL: 1.0m	0 30 60 50 SCALE: 1:1500 (FULL)	SEE ABOVE

drawing title:

STAGE 1B -
EARTHWORKS

location:

HERRING RD & EPPING RD,
MACQUARIE PARK

council:

RYDE CITY COUNCIL

dwg ref:

300001(1)-DA-212

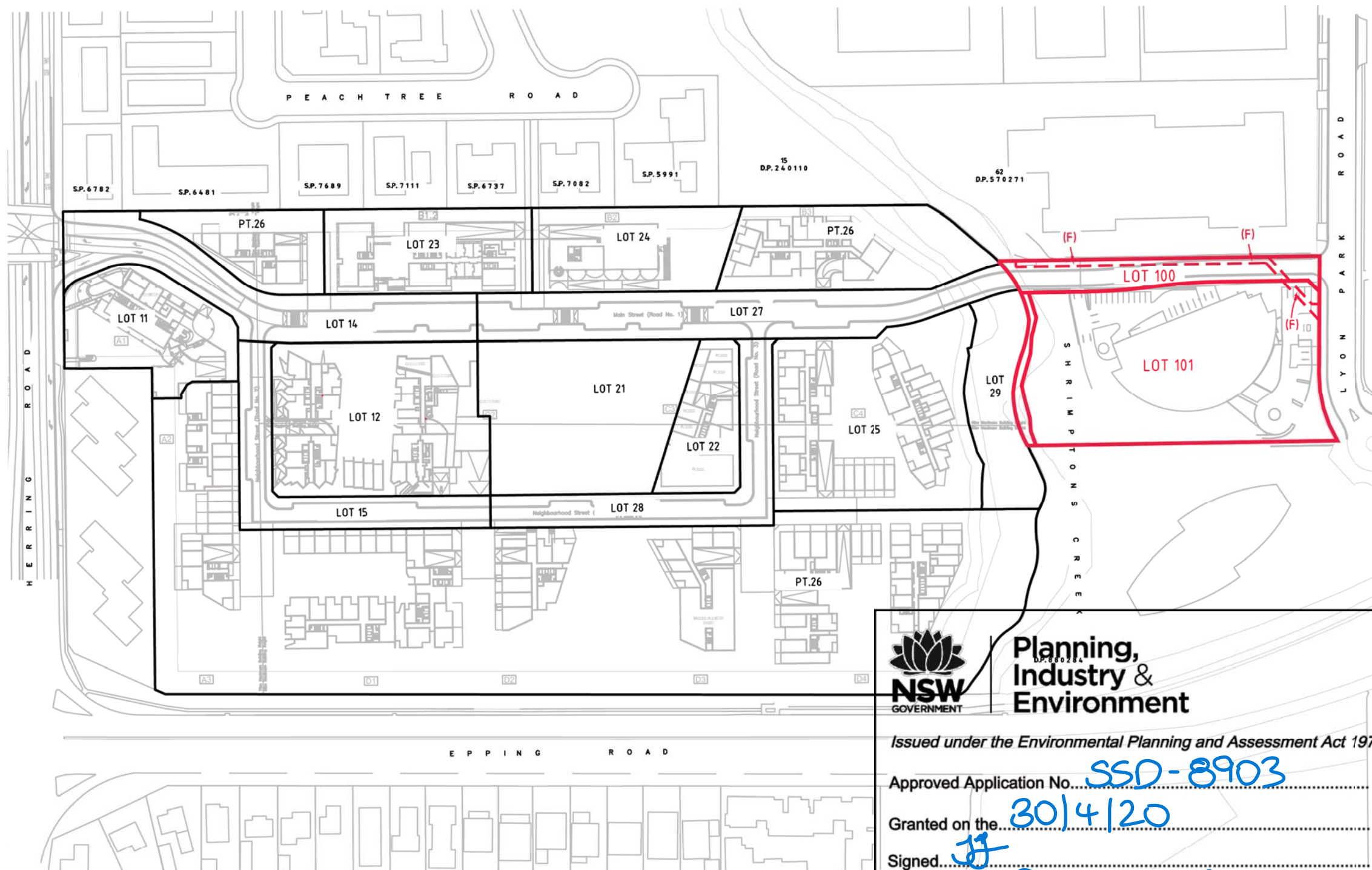
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EXISTING EASEMENTS:

(F) EASEMENT FOR DRAINAGE (R507051)

NOTES:

SERVICE EASEMENTS TO BE CREATED TO RELEVANT UTILITY AUTHORITIES REQUIREMENTS.

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE.

BASED ON DRAFT PLAN OF SUBDIVISION DATED: 22.7.19



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SHEET 1 OF 9



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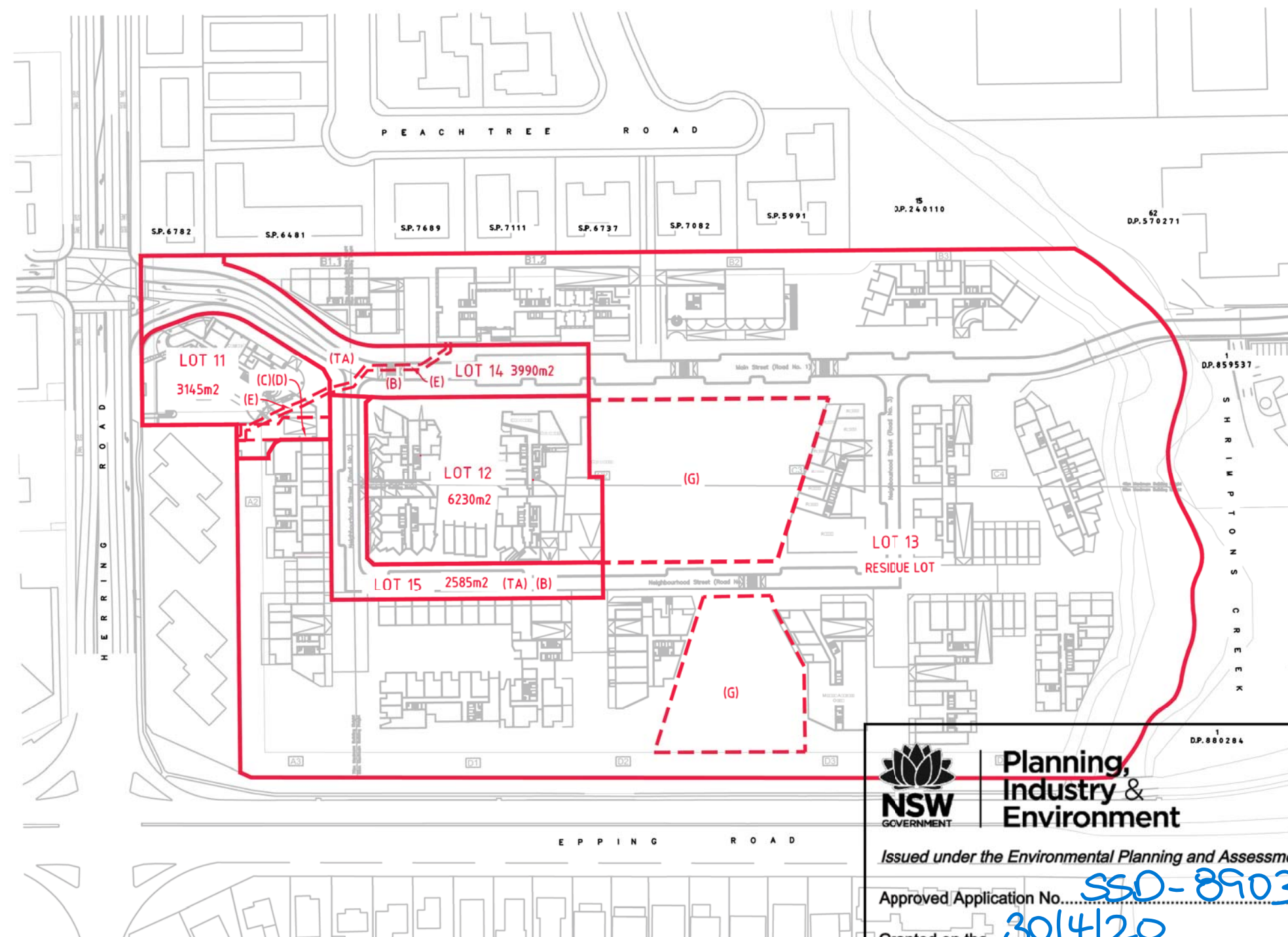
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DRAWN: RK DATE: 28.01.20

SCALE: 1:2000
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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED SUBDIVISION OF
LOT 1 DP85953, LOTS 6-8, 10-20 DP861433,
LOT 5 DP4053, LOT 100 DP12238 AND
LOT 101 DP124443



PROPOSED EASEMENTS:

- (A) EASEMENT FOR PUBLIC ACCESS
- (B) EASEMENT FOR SERVICES
- (C) EASEMENT FOR OVERLAND FLOW & EASEMENT DRAIN WATER
- (D) RIGHT OF CARRIAGEWAY
- (G) EASEMENT FOR PUBLIC PARK
- (TA) TEMPORARY EASEMENT FOR PUBLIC ACCESS

EXISTING EASEMENTS:

- (E) EASEMENT TO DRAIN WATER 2 WIDE & VARIABLE (D.P.1244080)

LOTS 10, 12 DP861433, LOT 100 DP1223787 AND LOT 101 DP1247443 HAVE EXISTING EASEMENTS NOT SHOWN ON THIS PLAN

NOTES:

IT IS INTENDED TO DEDICATE LOT 14 AS PUBLIC ROAD WITHIN 24 MONTHS OF THE COMPLETION OF STAGE 3. IT IS INTENDED TO DEDICATE LOT 15 AS PUBLIC ROAD AT THE COMPLETION OF THE PROJECT.

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE.

BASED ON ARCHITECTURAL PLAN AS SUPPLIED:
BATES SMART ARCHITECTS
DRAWING No.DA02.MP.000
ISSUE 12 DATED 26.08.19

SHEET 2 OF 9



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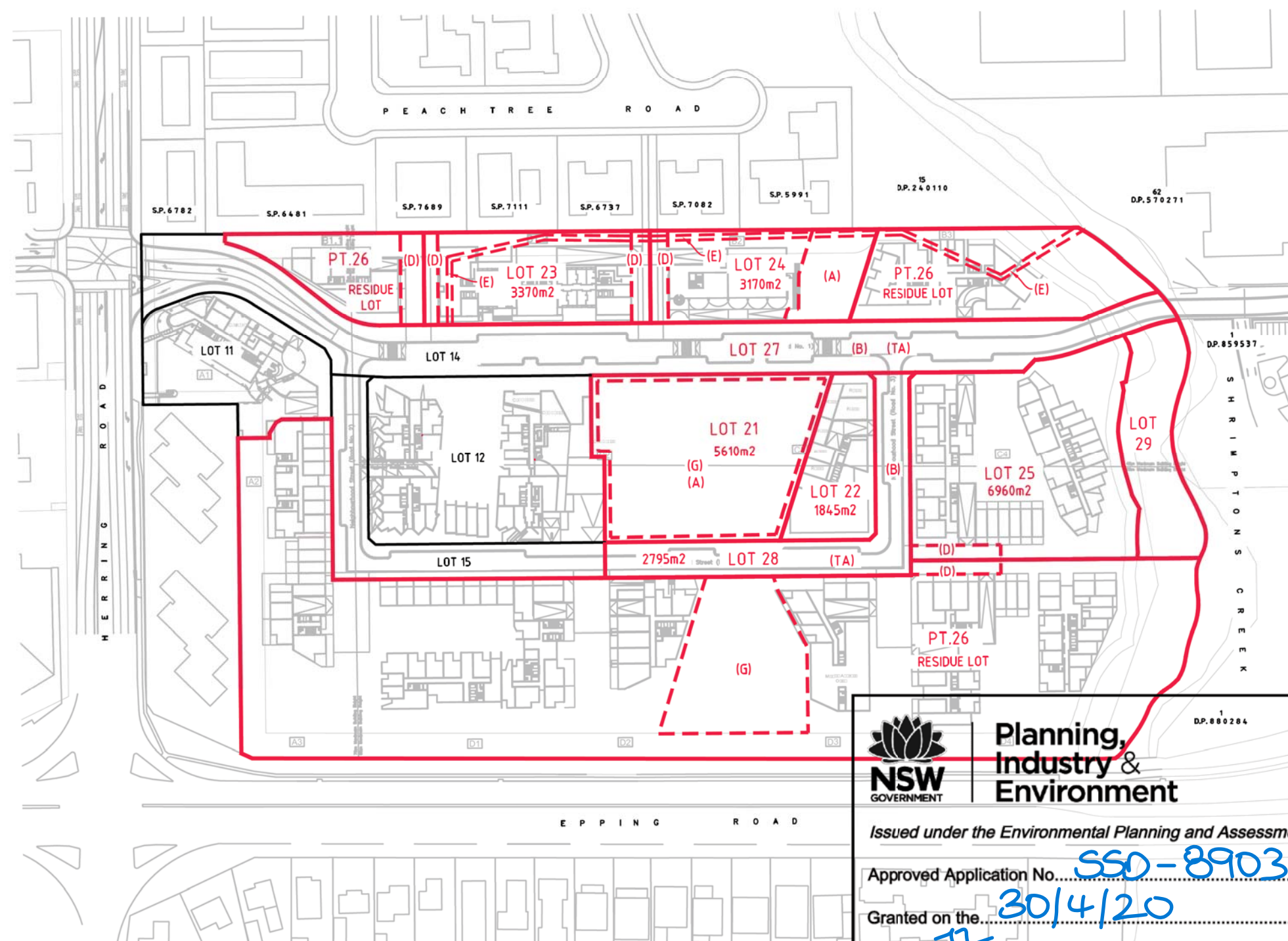
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FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED SUBDIVISION OF
LOT 1 DP85953, LOTS 6-8, 10-20 DP861433,
LOT 5 DP4053, LOT 100 DP12238 AND
LOT 101 DP124443



PROPOSED EASEMENTS:

- (A) EASEMENT FOR PUBLIC ACCESS
- (B) EASEMENT FOR SERVICES
- (C) RIGHT OF CARRIAGEWAY
- (G) EASEMENT FOR PUBLIC PARK
- (TA) TEMPORARY EASEMENT FOR PUBLIC ACCESS

EXISTING EASEMENTS:

- (E) EASEMENT TO DRAIN WATER 2 WIDE & VARIABLE (D.P.1244080)

LOTS 10, 12 DP861433, LOT 100 DP1223787 AND LOT 101 DP1247443 HAVE EXISTING EASEMENTS NOT SHOWN ON THIS PLAN

NOTES:

LOT 29 TO BE DEDICATED AS PUBLIC RESERVE AT A LATER DATE.

SERVICE EASEMENTS TO BE CREATED TO RELEVANT UTILITY AUTHORITIES REQUIREMENTS.

IT IS INTENDED TO DEDICATE LOT 27 AS PUBLIC ROAD WITHIN 24 MONTHS OF THE COMPLETION OF STAGE 3. IT IS INTENDED TO DEDICATE LOT 28 AS PUBLIC ROAD AT THE COMPLETION OF THE PROJECT.

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE.

BASED ON ARCHITECTURAL PLAN AS SUPPLIED:
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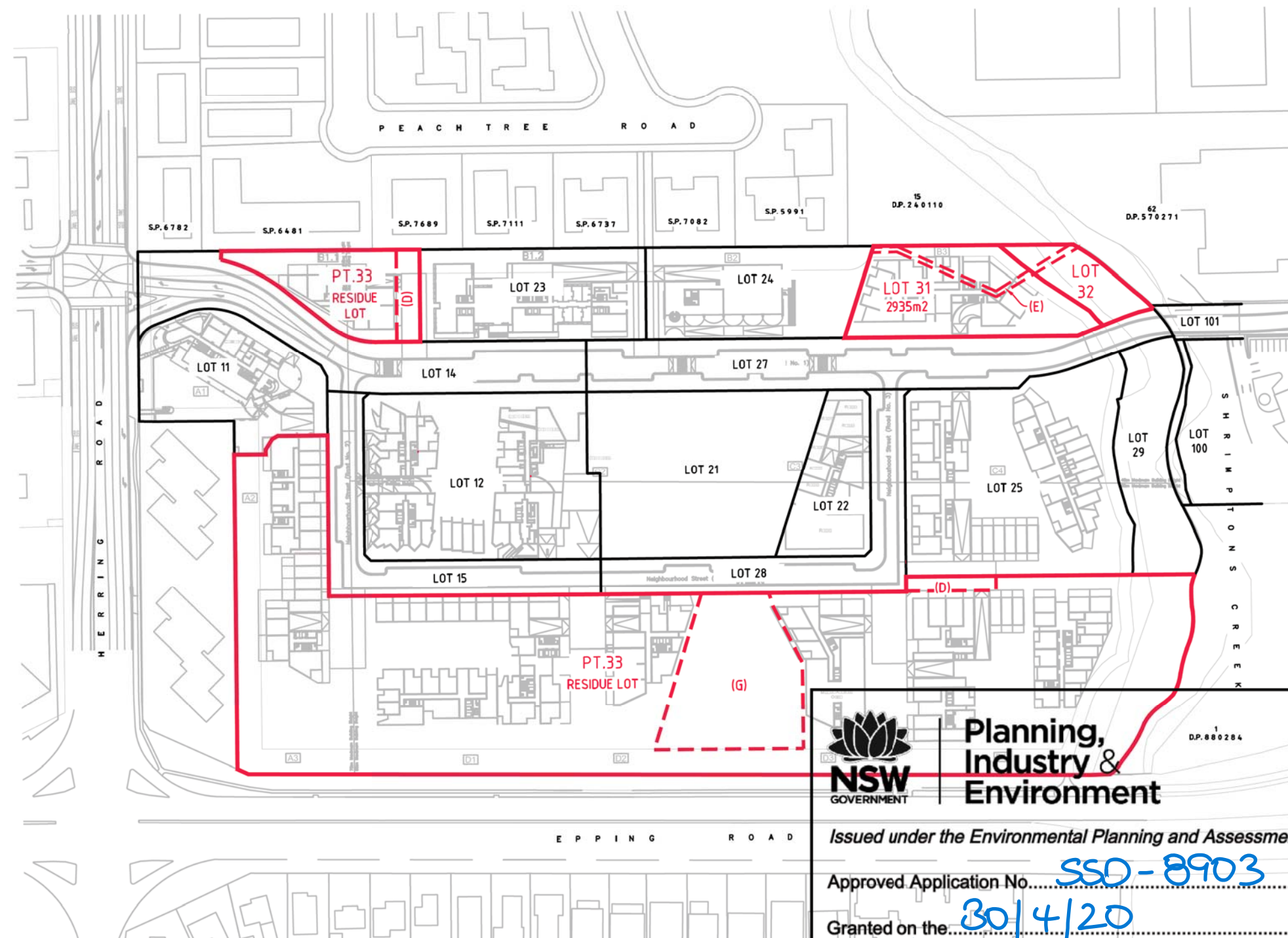
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FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED SUBDIVISION OF
LOT 1 DP85953, LOTS 6-8, 10-20 DP861433,
LOT 5 DP4053, LOT 100 DP12238 AND
LOT 101 DP124443



PROPOSED EASEMENTS:

- (A) EASEMENT FOR PUBLIC ACCESS
- (B) EASEMENT FOR SERVICES
- (D) RIGHT OF CARRIAGEWAY
- (G) EASEMENT FOR PUBLIC PARK
- (TA) TEMPORARY EASEMENT FOR PUBLIC ACCESS

EXISTING EASEMENTS:

- (E) EASEMENT TO DRAIN WATER 2 WIDE & VARIABLE (D.P.1244080)

LOTS 10, 12 DP861433, LOT 100 DP1223787 AND LOT 101 DP1247443 HAVE EXISTING EASEMENTS NOT SHOWN ON THIS PLAN

NOTES:

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE.

BASED ON ARCHITECTURAL PLAN AS SUPPLIED:
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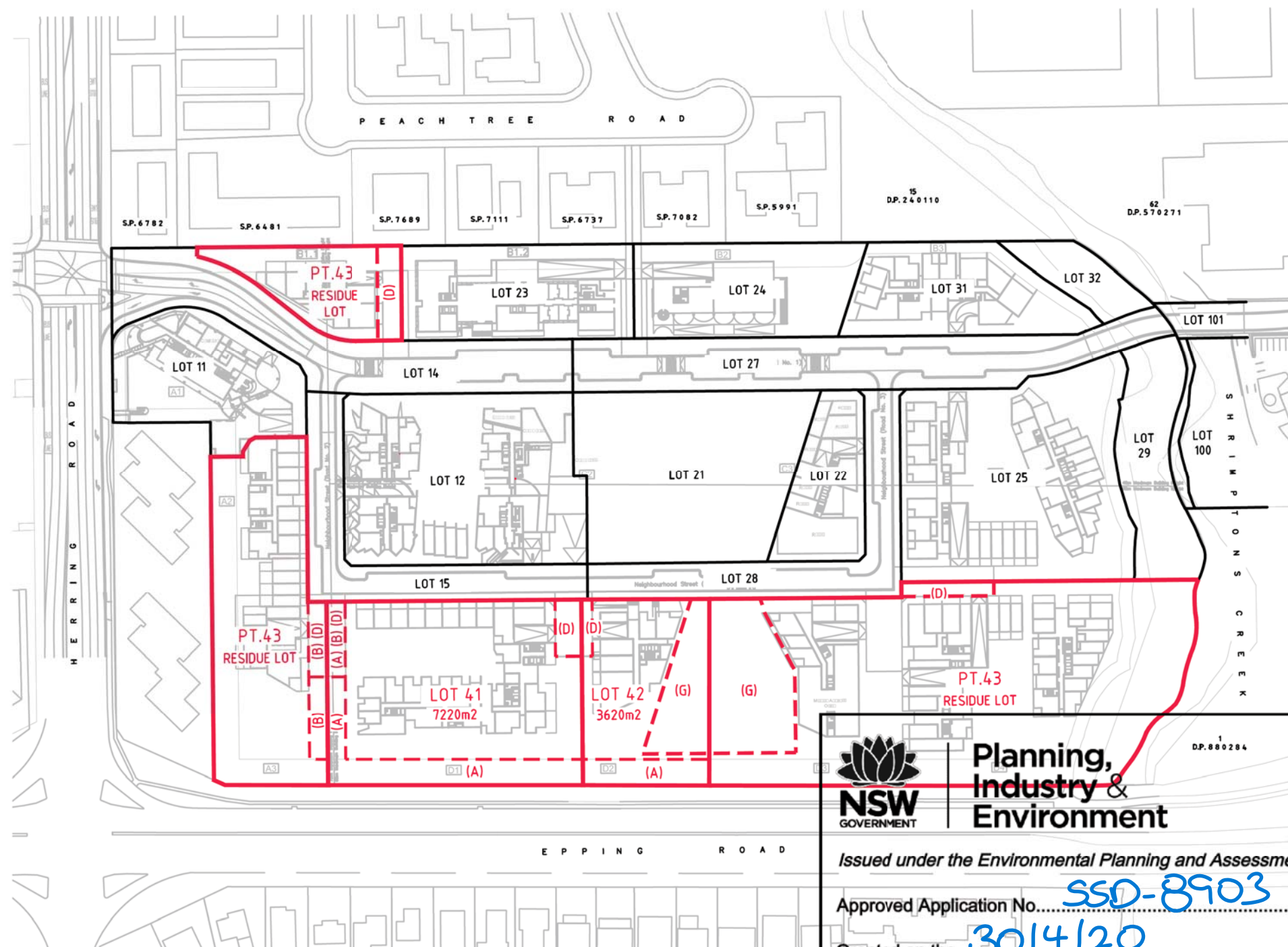
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FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED SUBDIVISION OF
LOT 1 DP85953, LOTS 6-8, 10-20 DP861433,
LOT 5 DP4053, LOT 100 DP12238 AND
LOT 101 DP124443



PROPOSED EASEMENTS:

- (A) EASEMENT FOR PUBLIC ACCESS
- (B) EASEMENT FOR SERVICES
- (D) RIGHT OF CARRIAGEWAY
- (G) EASEMENT FOR PUBLIC PARK
- (TA) TEMPORARY EASEMENT FOR PUBLIC ACCESS

EXISTING EASEMENTS:

- (E) EASEMENT TO DRAIN WATER 2 WIDE & VARIABLE (D.P.1244080)

LOTS 10, 12 DP861433, LOT 100 DP1223787 AND LOT 101 DP1247443 HAVE EXISTING EASEMENTS NOT SHOWN ON THIS PLAN

NOTES:

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE.

BASED ON ARCHITECTURAL PLAN AS SUPPLIED:
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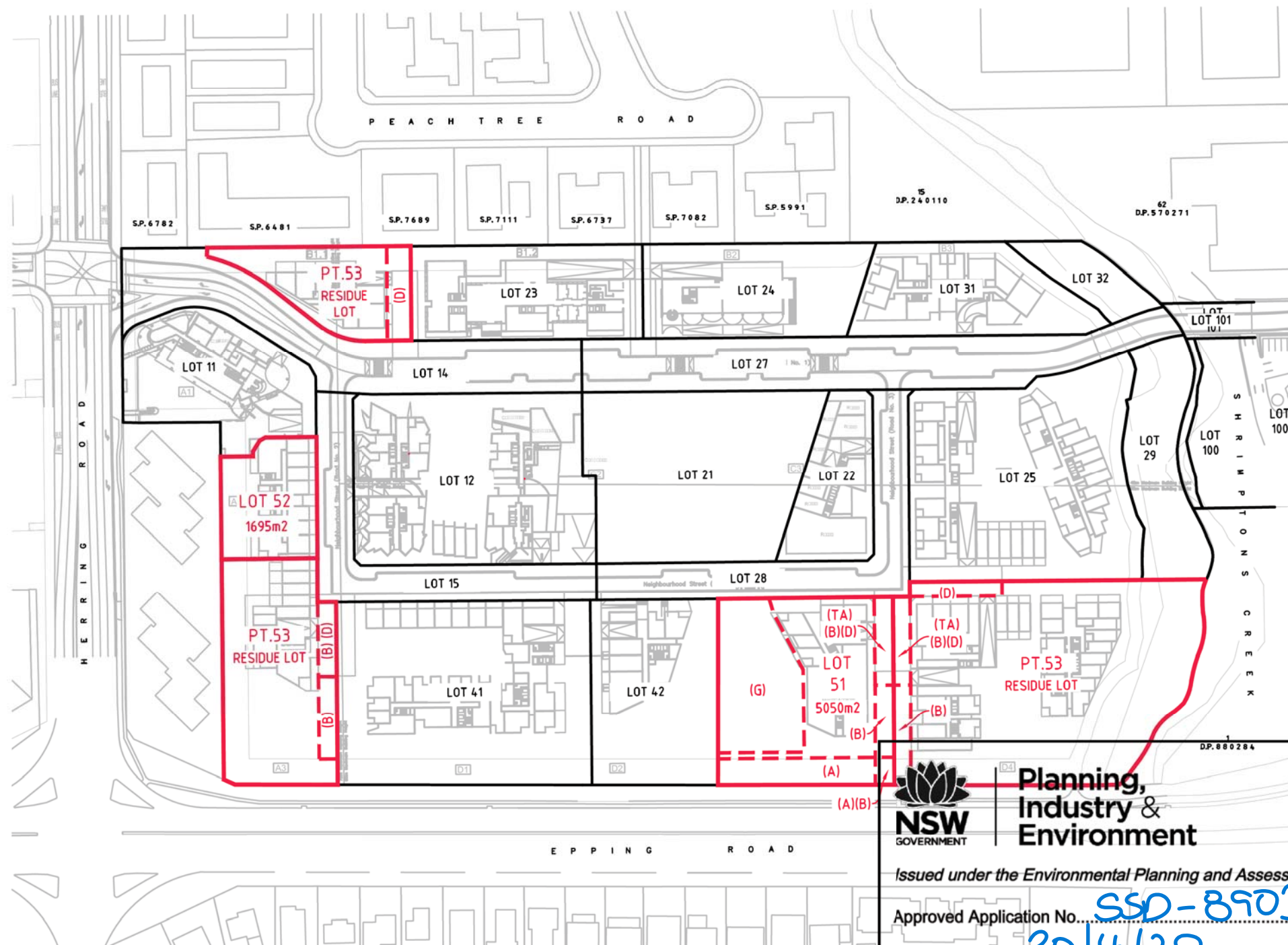
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FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED SUBDIVISION OF
LOT 1 DP85953, LOTS 6-8, 10-20 DP861433,
LOT 5 DP4043, LOT 100 DP12238 AND
LOT 101 DP124443



PROPOSED EASEMENTS:

- (A) EASEMENT FOR PUBLIC ACCESS
- (B) EASEMENT FOR SERVICES
- (C) RIGHT OF CARRIAGEWAY
- (D) EASEMENT FOR PUBLIC PARK
- (TA) TEMPORARY EASEMENT FOR PUBLIC ACCESS

EXISTING EASEMENTS:

LOTS 10, 12 DP861433, LOT 100 DP1223787 AND LOT 101 DP1247443 HAVE EXISTING EASEMENTS NOT SHOWN ON THIS PLAN

NOTES:

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE.

BASED ON ARCHITECTURAL PLAN AS SUPPLIED:
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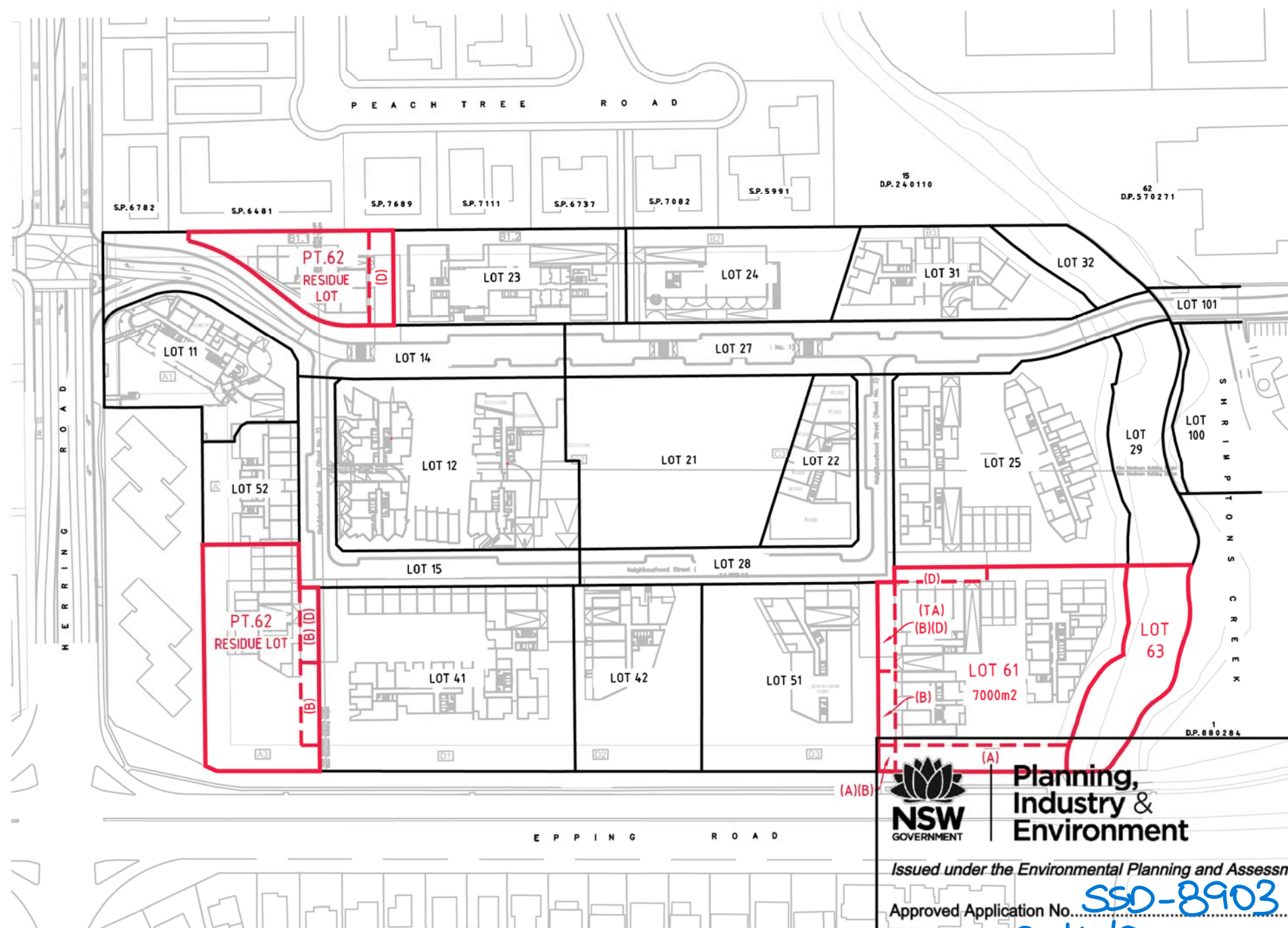
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FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED SUBDIVISION OF
LOT 1 DP85953, LOTS 6-8, 10-20 DP861433,
LOT 5 DP4053, LOT 100 DP12238 AND
LOT 101 DP124443

CAD REFERENCE: 1601644-STAGING-200128.dwg



PROPOSED EASEMENTS:

- (A) EASEMENT FOR PUBLIC ACCESS
- (B) EASEMENT FOR SERVICES
- (D) RIGHT OF CARRIAGEWAY
- (TA) TEMPORARY EASEMENT FOR PUBLIC ACCESS

EXISTING EASEMENTS:

LOTS 10, 12 DP861433, LOT 100 DP1223787 AND LOT 101 DP1247443 HAVE EXISTING EASEMENTS NOT SHOWN ON THIS PLAN

NOTES:

LOT 63 IS TO BE DEDICATED AS PUBLIC RESERVE AT A LATER DATE.

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE.

BASED ON ARCHITECTURAL PLAN AS SUPPLIED:
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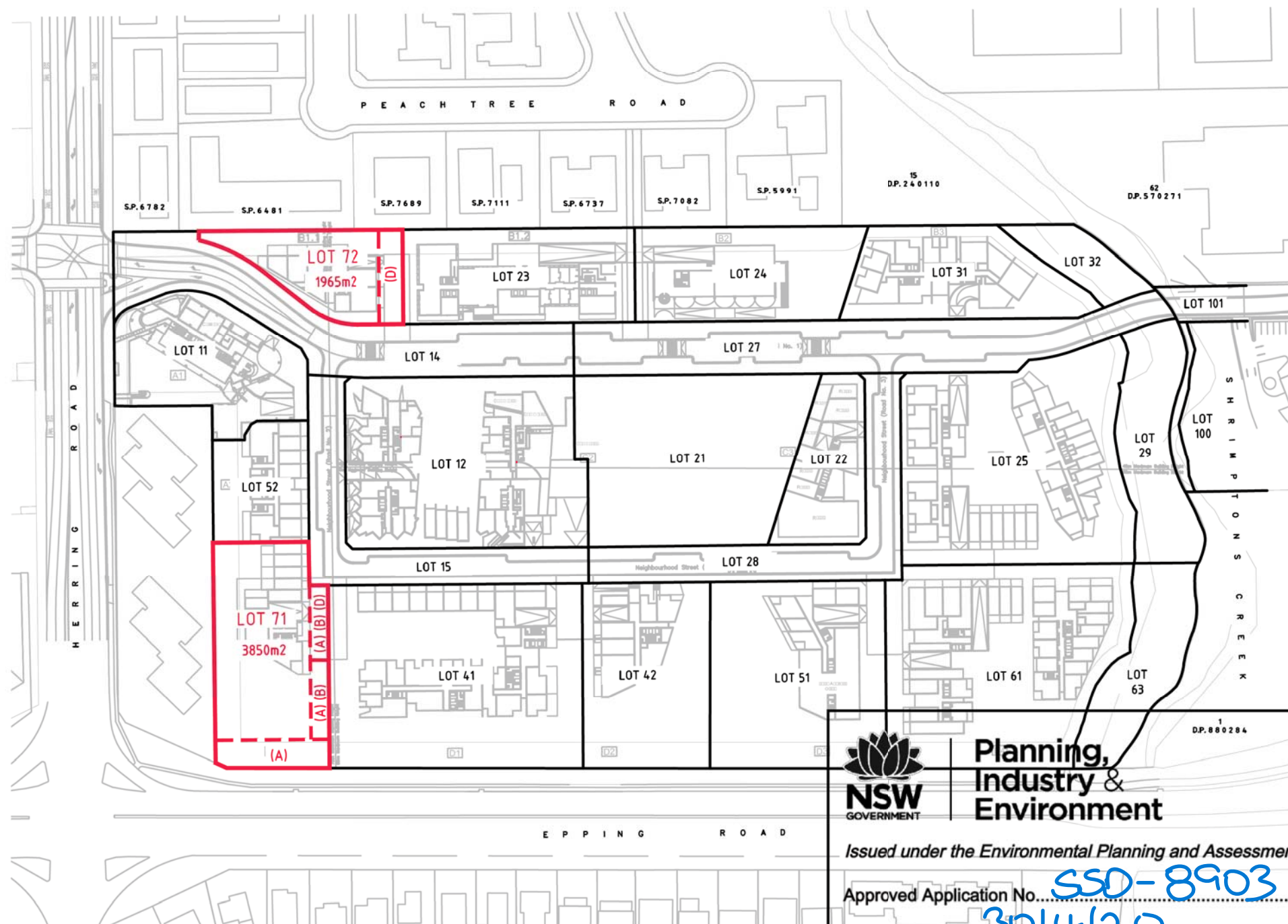
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FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED SUBDIVISION OF
LOT 1 DP85953, LOTS 6-8, 10-20 DP861433,
LOT 5 DP4053, LOT 100 DP12238 AND
LOT 101 DP124443



PROPOSED EASEMENTS:

- (A) EASEMENT FOR PUBLIC ACCESS
- (B) EASEMENT FOR SERVICES
- (D) RIGHT OF CARRIAGEWAY

EXISTING EASEMENTS:

LOTS 10, 12 DP861433, LOT 100 DP1223787 AND LOT 101 DP1247443 HAVE EXISTING EASEMENTS NOT SHOWN ON THIS PLAN

NOTES:

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE.

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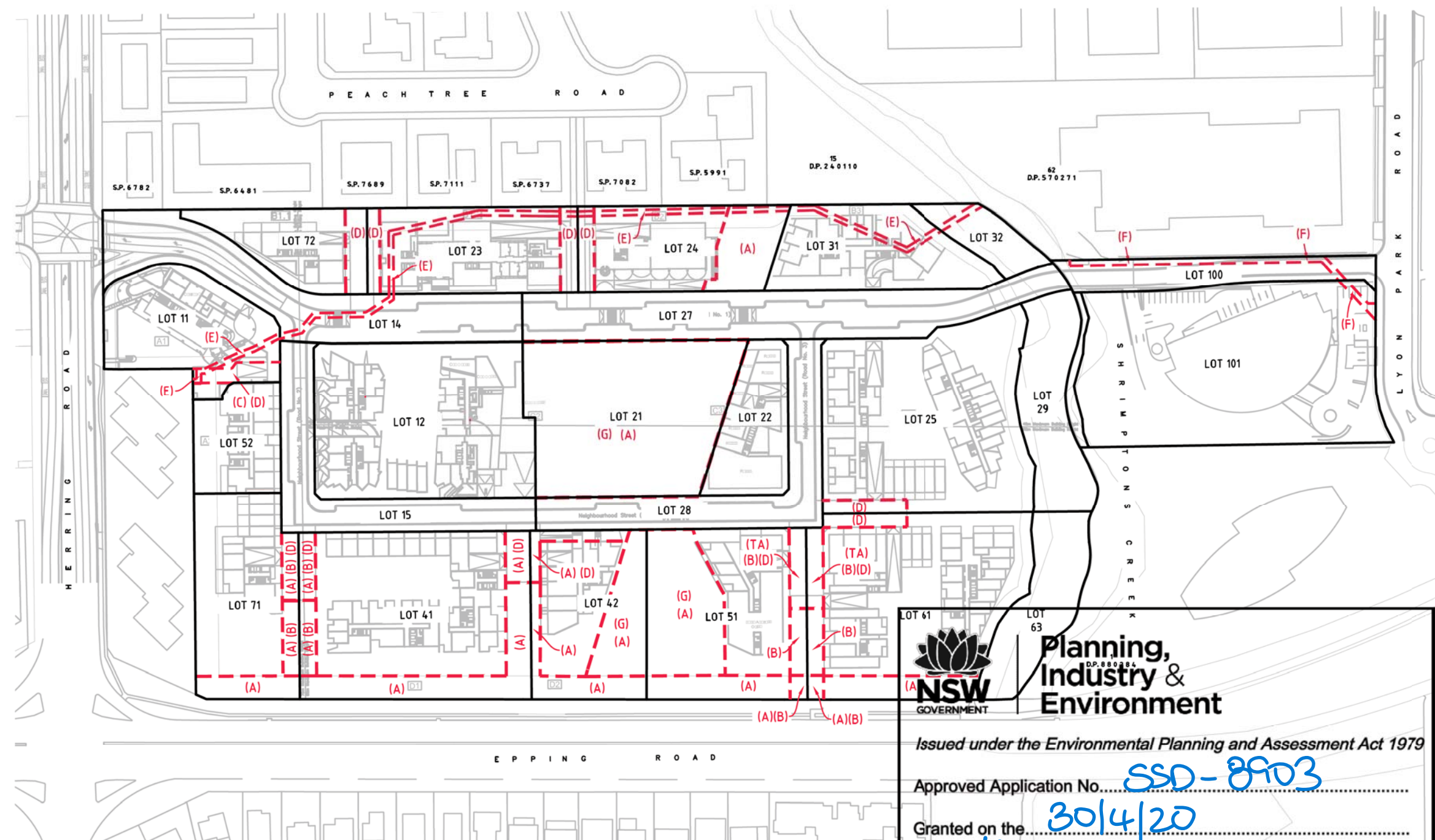
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PLAN OF PROPOSED SUBDIVISION OF
LOT 1 DP85953, LOTS 6-8, 10-20 DP861433,
LOT 5 DP4053, LOT 100 DP12238 AND
LOT 101 DP124443



PROPOSED EASEMENTS:

- (A) EASEMENT FOR PUBLIC ACCESS
- (B) EASEMENT FOR SERVICES
- (C) EASEMENT FOR OVERLAND FLOW & EASEMENT TO DRAIN WATER
- (D) RIGHT OF CARRIAGEWAY
- (G) EASEMENT FOR PUBLIC PARK
- (TA) TEMPORARY EASEMENT FOR PUBLIC ACCESS

EXISTING EASEMENTS:

- (E) EASEMENT TO DRAIN WATER 2 WIDE & VARIABLE (D.P.1244080)
- (F) EASEMENT FOR DRAINAGE (R507051)

NOTES:

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF PLAN AT LAND AND PROPERTY INFORMATION OFFICE.

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FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED SUBDIVISION OF
LOT 1 DP85953, LOTS 6-8, 10-20 DP861433,
LOT 5 DP4053, LOT 100 DP12238 AND
LOT 101 DP124443



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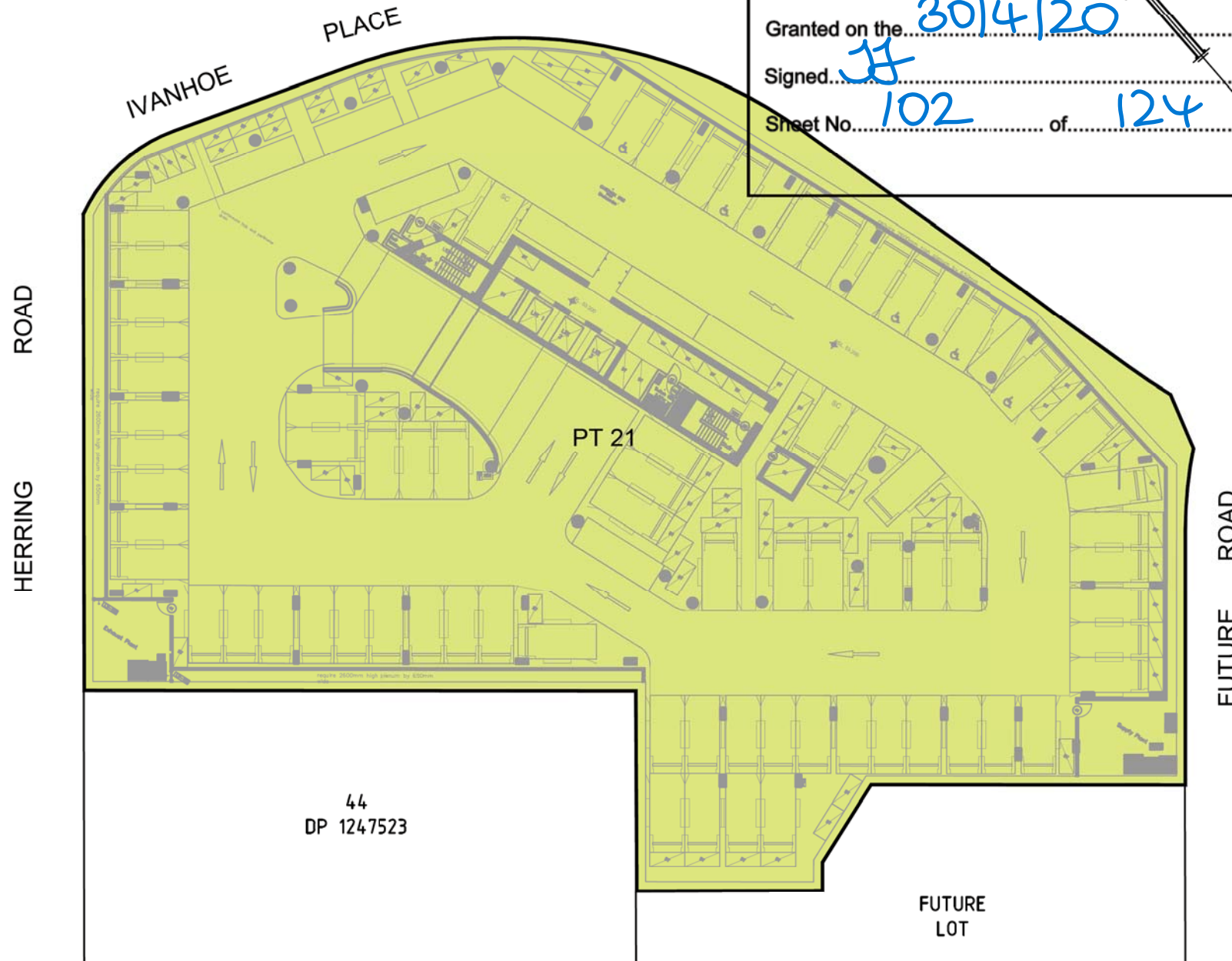
Signed JH

Sheet No. 102 of 124

STRATUM SUBDIVISION BLOCK A1 IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)



■ LOT 21 - RESIDENTIAL

LOTS 21 & 22 ARE STRATUM LOTS AT BASEMENT 2 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLABS THAT FORM THE FLOORS & CEILINGS.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS

BOUNDARIES ARE CALCULATED FROM ARCHITECTURAL PLANS SUPPLIED BY FRASERS PROPERTY:
A01.A1.002 REV B DATED 27.02.2020

SHEET 1 OF 10

BASEMENT 2 & BELOW

ALL AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES.
SITES OF BOUNDARIES & EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS



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SURVEYORS REF. 1601644 L11_1
VERSION D
SURVEYOR: V.D. CHECKED: V.D.
DRAWN: C.A. DATE: 17.03.2020

ORIGINAL
SHEET SIZE
A3

SCALE 1:400

0 4 8 12 16

LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg



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Approved Application No. SSD 8903

Granted on the 30/4/20

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Sheet No. 103 of 124

STRATUM SUBDIVISION
BLOCK A1
IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)

(A) RIGHT OF CARRIAGEWAY (LIMITED IN STRATUM)

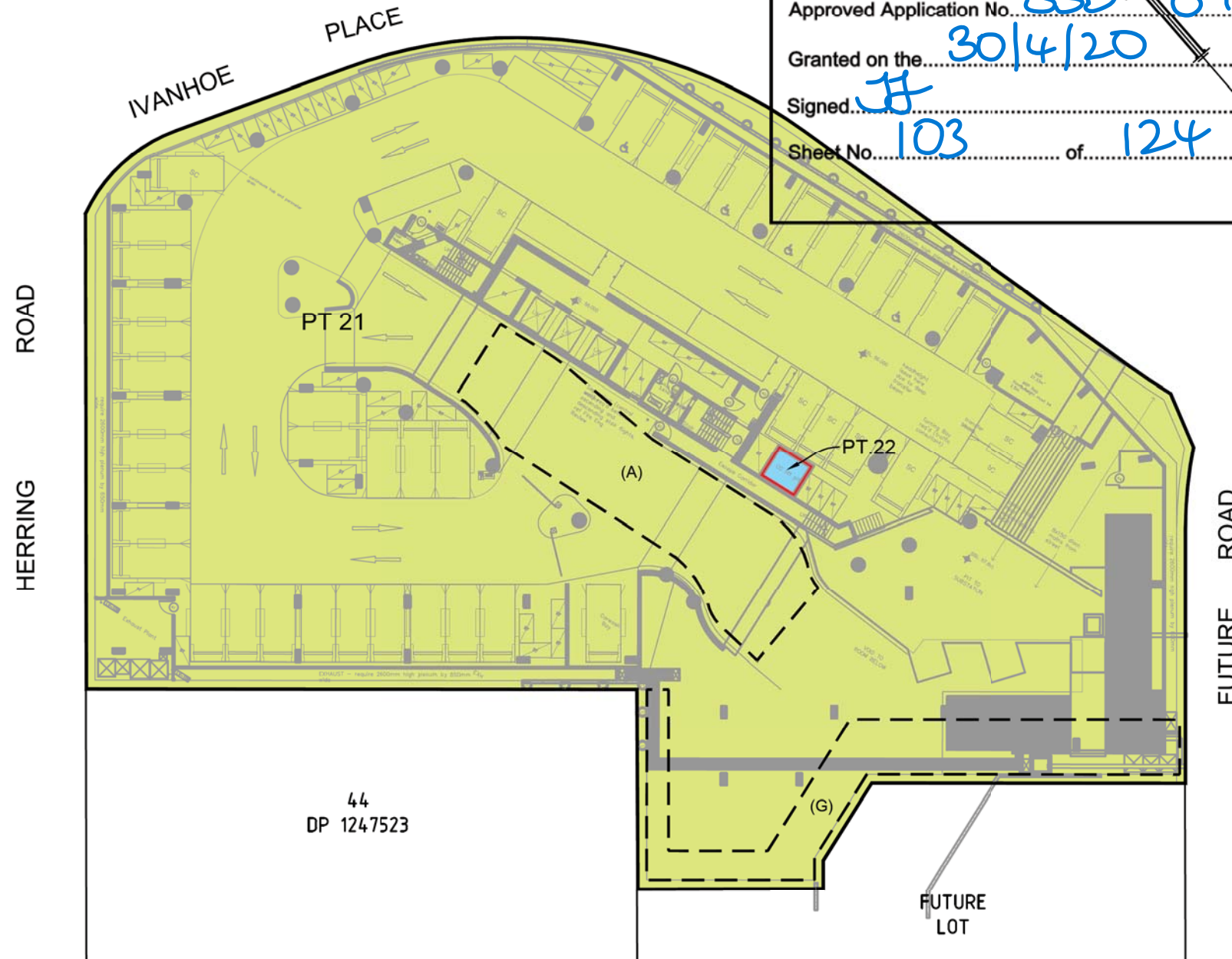
(G) EASEMENT TO DRAIN WATER (LIMITED IN STRATUM)

- LOT 21 - RESIDENTIAL
- LOT 22 - CHILDCARE

LOTS 21 & 22 ARE STRATUM LOTS AT BASEMENT 2 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLABS THAT FORM THE FLOORS & CEILINGS.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS

BOUNDARIES ARE CALCULATED FROM ARCHITECTURAL PLANS SUPPLIED BY FRASERS PROPERTY:
A01.A1.002 REV B DATED 27.02.2020



SHEET 2 OF 10

BASEMENT 1

ALL AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE NSW LAND REGISTRY SERVICES.
SITES OF BOUNDARIES & EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS



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SURVEYORS REF.
1601644 L11_1
VERSION D
SURVEYOR: V.D. CHECKED: V.D.
DRAWN: C.A. DATE: 17.03.2020

ORIGINAL
SHEET SIZE
A3

SCALE 1:400
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LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg



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Sheet No. 104 of 124

STRATUM SUBDIVISION
BLOCK A1
IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)

(A) RIGHT OF CARRIAGEWAY (LIMITED IN STRATUM)

(A2) RIGHT OF CARRIAGEWAY (LIMITED IN STRATUM)

(B) EASEMENT FOR ACCESS (LIMITED IN STRATUM)

(C) EASEMENT FOR SUBSTATION (LIMITED IN STRATUM)

(D) EASEMENT FOR ACCESS AND USE LOADING DOCK
(LIMITED IN STRATUM)

(E) EASEMENT FOR ACCESS TO UTILITY ROOM
(LIMITED IN STRATUM)

(G) EASEMENT TO DRAIN WATER (LIMITED IN STRATUM)

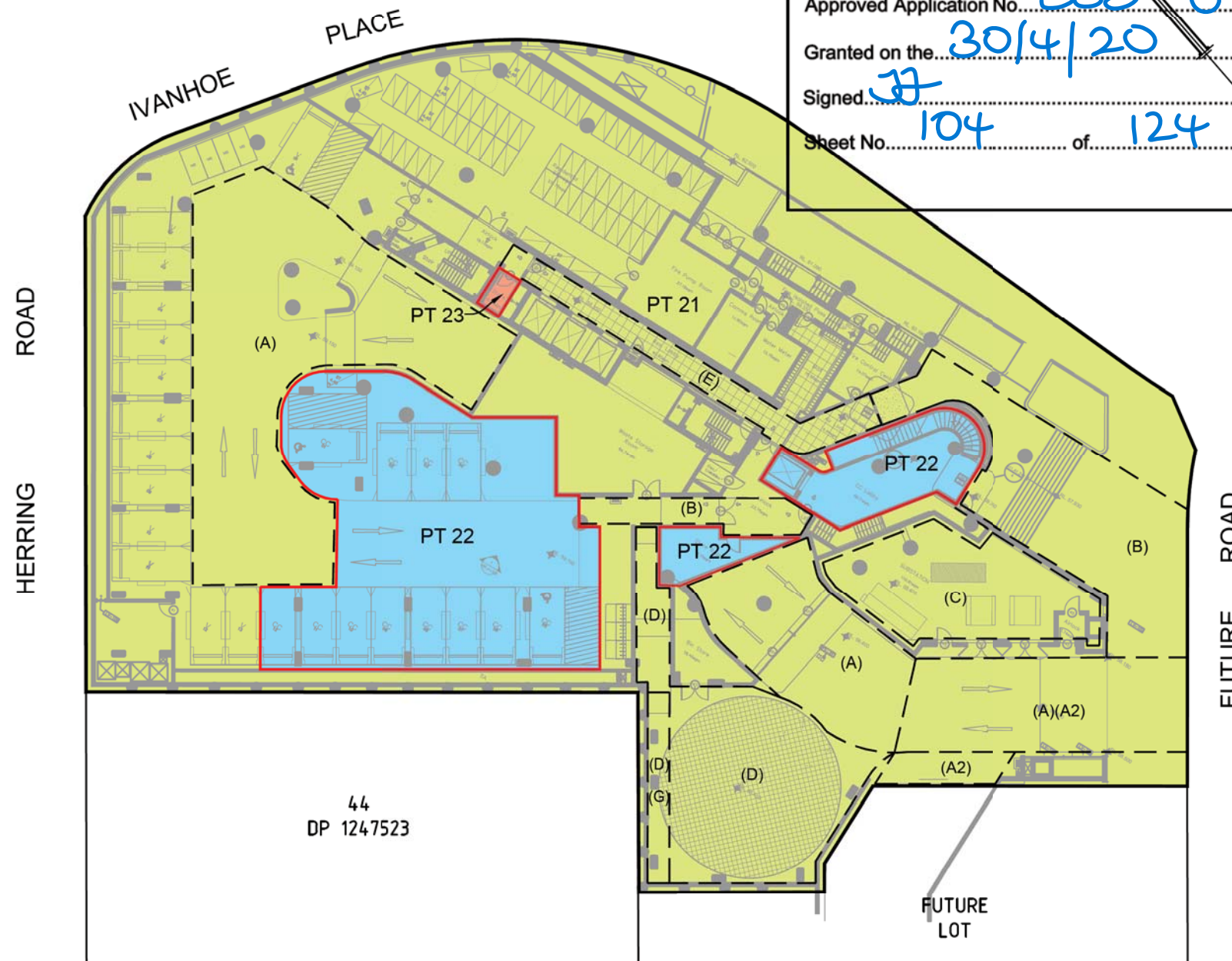
- LOT 21 - RESIDENTIAL
- LOT 22 - CHILDCARE
- LOT 23 - REAL UTILITIES

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SHEET 3 OF 10

LOWER GROUND LEVEL



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ORIGINAL
SHEET SIZE
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SCALE 1:400

0 4 8 12 16

LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg



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Sheet No. 105 of 124

STRATUM SUBDIVISION BLOCK A1 IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
 - EASEMENT FOR SERVICES (WHOLE OF LOT)
 - EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
 - EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)
- (B) EASEMENT FOR ACCESS (LIMITED IN STRATUM)
- (H) EASEMENT FOR OVERLAND FLOW (LIMITED IN STRATUM)
- RESTRICTION ON THE USE OF LAND
- (I) EASEMENT FOR ACCESS AND MAINTENANCE (LIMITED IN STRATUM)
- (K) EASEMENT FOR ACCESS (LIMITED IN STRATUM)

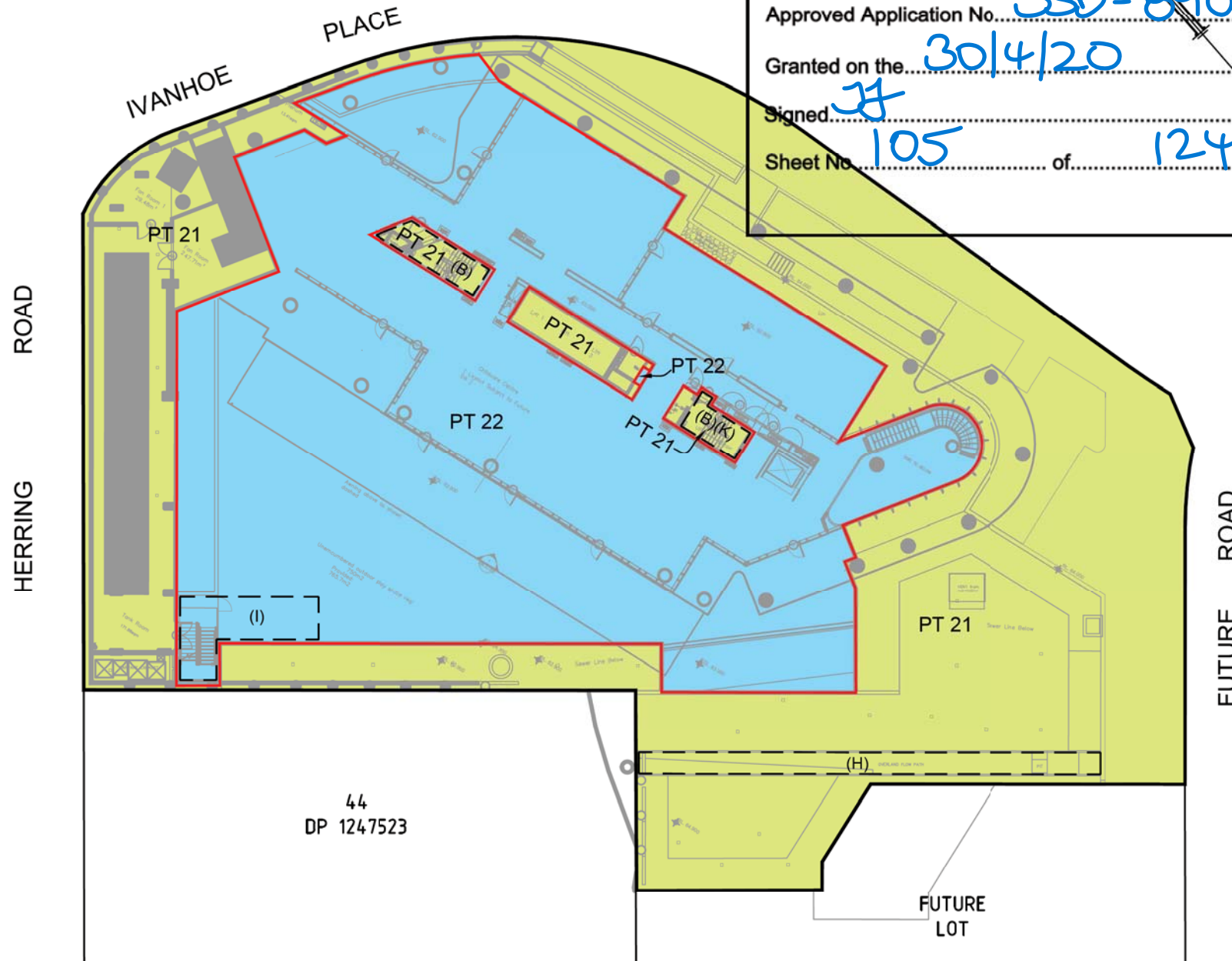
- LOT 21 - RESIDENTIAL
- LOT 22 - CHILDCARE
- LOT 23 - REAL UTILITIES

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UPPER GROUND LEVEL

SHEET 4 OF 10



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SURVEYOR: V.D. CHECKED: V.D.
DRAWN: C.A. DATE: 17.03.2020

ORIGINAL
SHEET SIZE
A3

SCALE 1:400
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LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg



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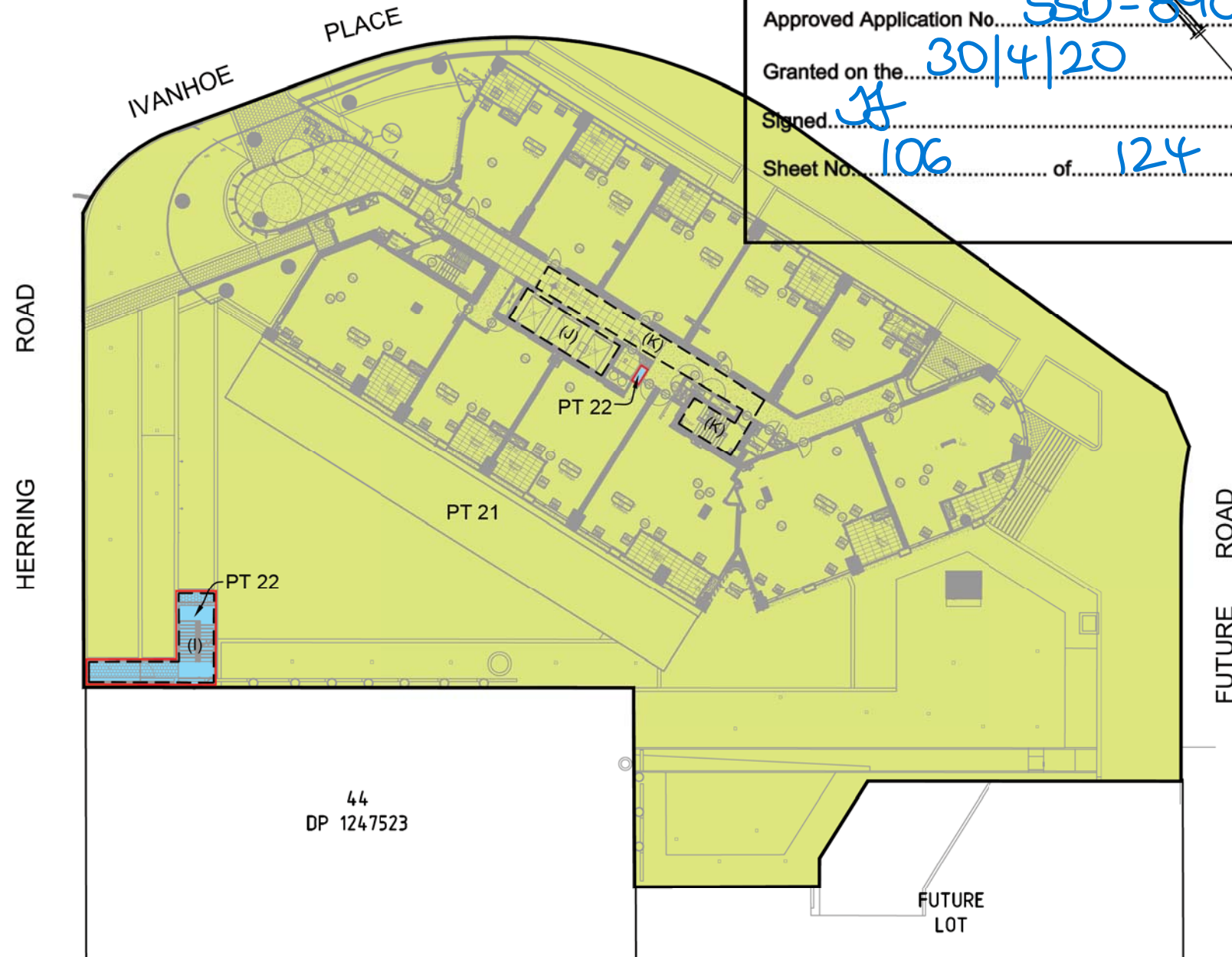
Sheet No. 106 of 124

STRATUM SUBDIVISION
BLOCK A1
IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)
- (I) EASEMENT FOR ACCESS AND MAINTENANCE (LIMITED IN STRATUM)
- (J) EASEMENT TO USE LIFTS (LIMITED IN STRATUM)
- (K) EASEMENT FOR ACCESS (LIMITED IN STRATUM)

- LOT 21 - RESIDENTIAL
- LOT 22 - CHILDCARE



LOTS 21 & 22 ARE STRATUM LOTS AT BASEMENT 2 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLABS THAT FORM THE FLOORS & CEILINGS.

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SHEET 5 OF 10



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ORIGINAL
SHEET SIZE
A3

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0 4 8 12 16

LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg



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Sheet No. 107 of 124

STRATUM SUBDIVISION
BLOCK A1
IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)
- (J) EASEMENT TO USE LIFTS (LIMITED IN STRATUM)

- LOT 21 - RESIDENTIAL
- LOT 22 - CHILDCARE



LOTS 21 & 22 ARE STRATUM LOTS AT BASEMENT 2 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLABS THAT FORM THE FLOORS & CEILINGS.

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LEVEL 2 - LEVEL 21

SHEET 6 OF 10



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LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg



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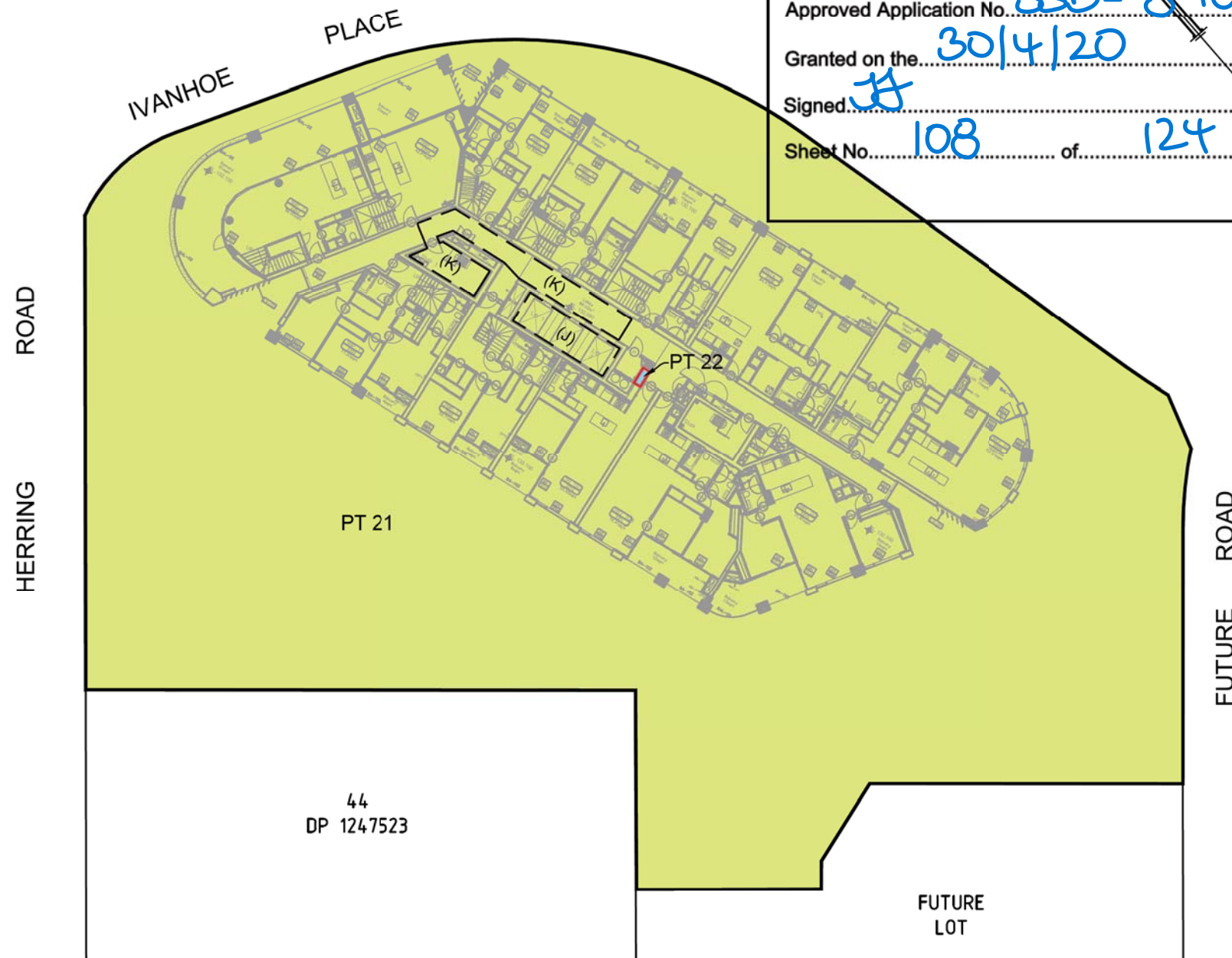
Sheet No. 108 of 124

STRATUM SUBDIVISION
BLOCK A1
IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)
- (J) EASEMENT TO USE LIFTS (LIMITED IN STRATUM)
- (K) EASEMENT FOR ACCESS (LIMITED IN STRATUM)

- LOT 21 - RESIDENTIAL
- LOT 22 - CHILDCARE



LOTS 21 & 22 ARE STRATUM LOTS AT BASEMENT 2 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLABS THAT FORM THE FLOORS & CEILINGS.

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SHEET 7 OF 10



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SURVEYORS REF. 1601644 L11_1
VERSION D
SURVEYOR: V.D. CHECKED: V.D.
DRAWN: C.A. DATE: 17.03.2020

ORIGINAL
SHEET SIZE
A3

SCALE 1:400
0 4 8 12 16
LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg



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Environment

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Approved Application No. **SSD-8903**

Granted on the **30/4/20**

Signed **JH**

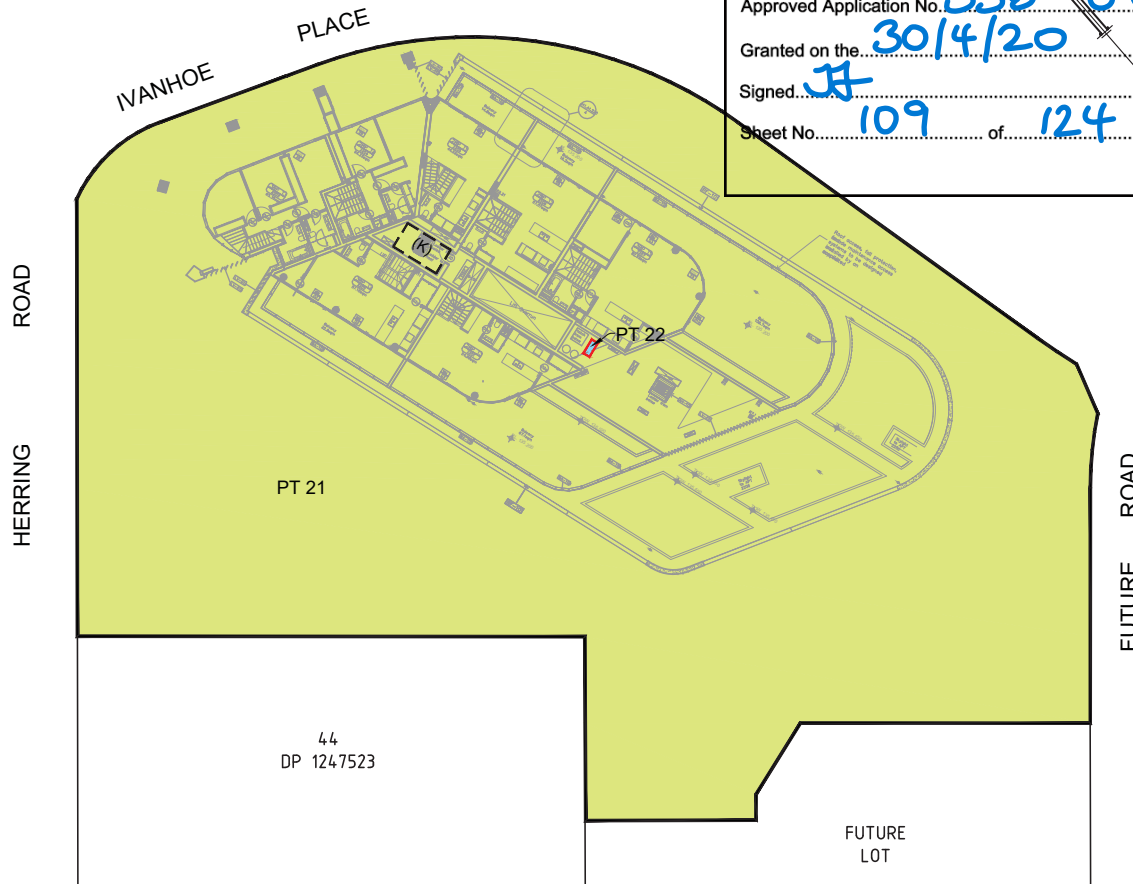
Sheet No. **109** of **124**

STRATUM SUBDIVISION
BLOCK A1
IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- EASEMENT FOR SERVICES (WHOLE OF LOT)
- EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)
- (K) EASEMENT FOR ACCESS (LIMITED IN STRATUM)

- LOT 21 - RESIDENTIAL
- LOT 22 - CHILDCARE



LOTS 21 & 22 ARE STRATUM LOTS AT BASEMENT 2 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLABS THAT FORM THE FLOORS & CEILINGS.

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LEVEL 23

SHEET 8 OF 10



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SURVEYORS REF. 1601644 L11_1
VERSION D
SURVEYOR: V.D. CHECKED: V.D.
DRAWN: C.A. DATE: 17.03.2020

ORIGINAL
SHEET SIZE
A3

SCALE 1:400

0 4 8 12 16

LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg



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Approved Application No. SSD-8903

Granted on the 30/4/20

Signed JH

Sheet No. 110 of 124

STRATUM SUBDIVISION BLOCK A1 IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
 - EASEMENT FOR SERVICES (WHOLE OF LOT)
 - EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
 - EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)
- (F) EASEMENT FOR EMBEDDED UTILITY SOLAR GENERATION INFRASTRUCTURE (LIMITED IN STRATUM)
- (H) EASEMENT FOR SERVICES (LIMITED IN STRATUM)
- (L) EASEMENT FOR ACCESS AND MAINTENANCE (LIMITED IN STRATUM)

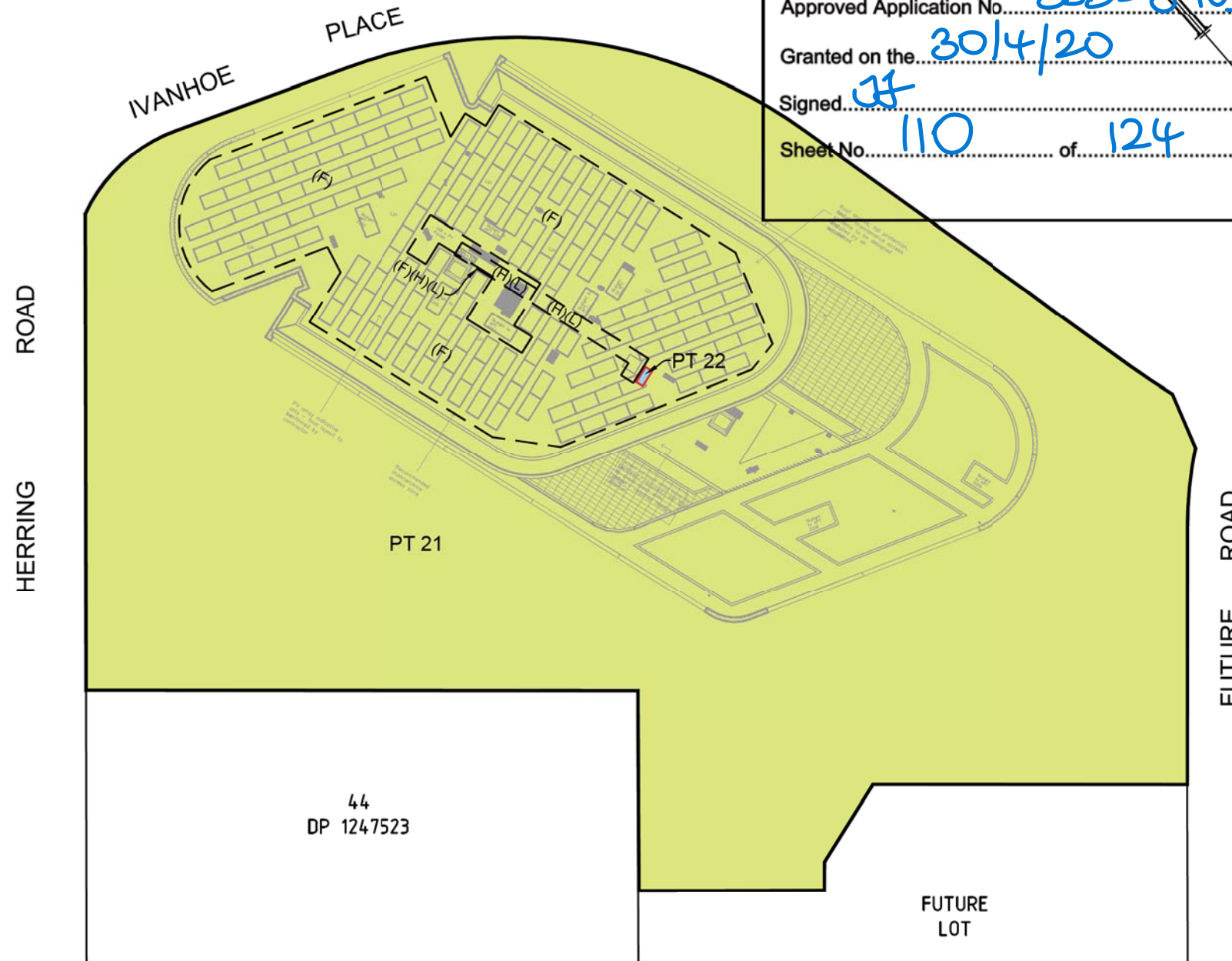
- LOT 21 - RESIDENTIAL
- LOT 22 - CHILDCARE

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ROOF LEVEL

SHEET 9 OF 10



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SURVEYORS REF. 1601644 L11_1
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SURVEYOR: V.D. CHECKED: V.D.
DRAWN: C.A. DATE: 17.03.2020

ORIGINAL
SHEET SIZE
A3

SCALE 1:400
0 4 8 12 16
LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg

STRATUM SUBDIVISION
BLOCK A1
IVANHOE ESTATE, MACQUARIE PARK

PROPOSED EASEMENTS

- (1) EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- (2) EASEMENT FOR SERVICES (WHOLE OF LOT)
- (3) EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- (4) EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)
- (5) RIGHT OF CARRIAGEWAY (LIMITED IN STRATUM) (A)
- (6) RIGHT OF CARRIAGEWAY (LIMITED IN STRATUM) (A2)
- (7) EASEMENT FOR ACCESS (LIMITED IN STRATUM) (B)
- (8) EASEMENT FOR SUBSTATION (LIMITED IN STRATUM) (C)
- (9) EASEMENT FOR ACCESS AND USE LOADING DOCK (LIMITED IN STRATUM) (D)
- (10) EASEMENT FOR ACCESS TO UTILITY ROOM (LIMITED IN STRATUM) (E)
- (11) EASEMENT FOR EMBEDDED UTILITY SOLAR GENERATION INFRASTRUCTURE (LIMITED IN STRATUM) (F)
- (12) EASEMENT TO DRAIN WATER (LIMITED IN STRATUM) (G)
- (13) EASEMENT FOR SERVICES (LIMITED IN STRATUM) (H)
- (14) EASEMENT FOR ACCESS AND MAINTENANCE (LIMITED IN STRATUM) (I)
- (15) EASEMENT TO USE LIFTS (LIMITED IN STRATUM) (J)
- (16) EASEMENT FOR ACCESS (LIMITED IN STRATUM) (K)
- (17) EASEMENT FOR ACCESS AND MAINTENANCE (LIMITED IN STRATUM) (L)



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Sheet No. 111 of 124

SHEET 10 OF 10



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SCALE 1:400

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LENGTHS ARE IN METRES



PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 11 D.P.

CAD REFERENCE 1601644 Lot 11_1_200317 Block A1 Stratum REV D.dwg



Planning, Industry & Environment

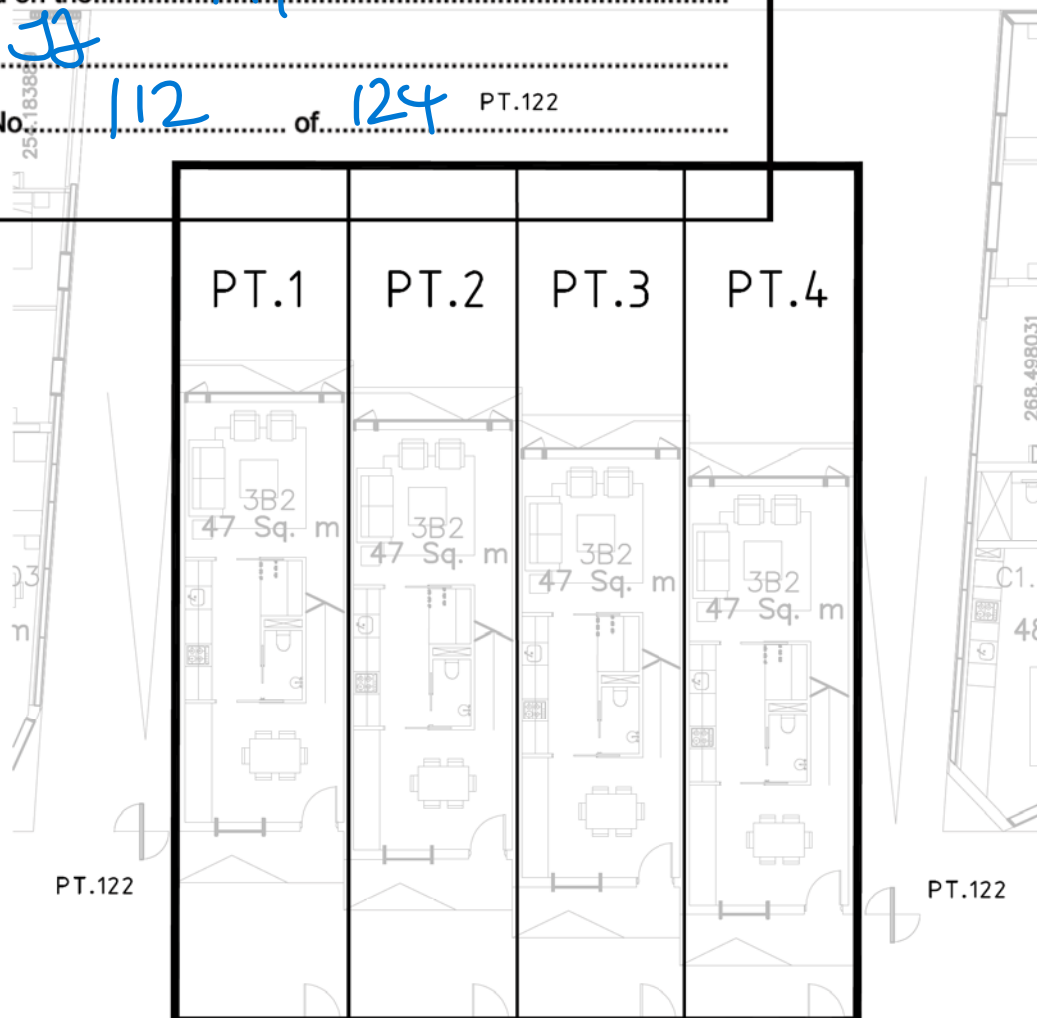
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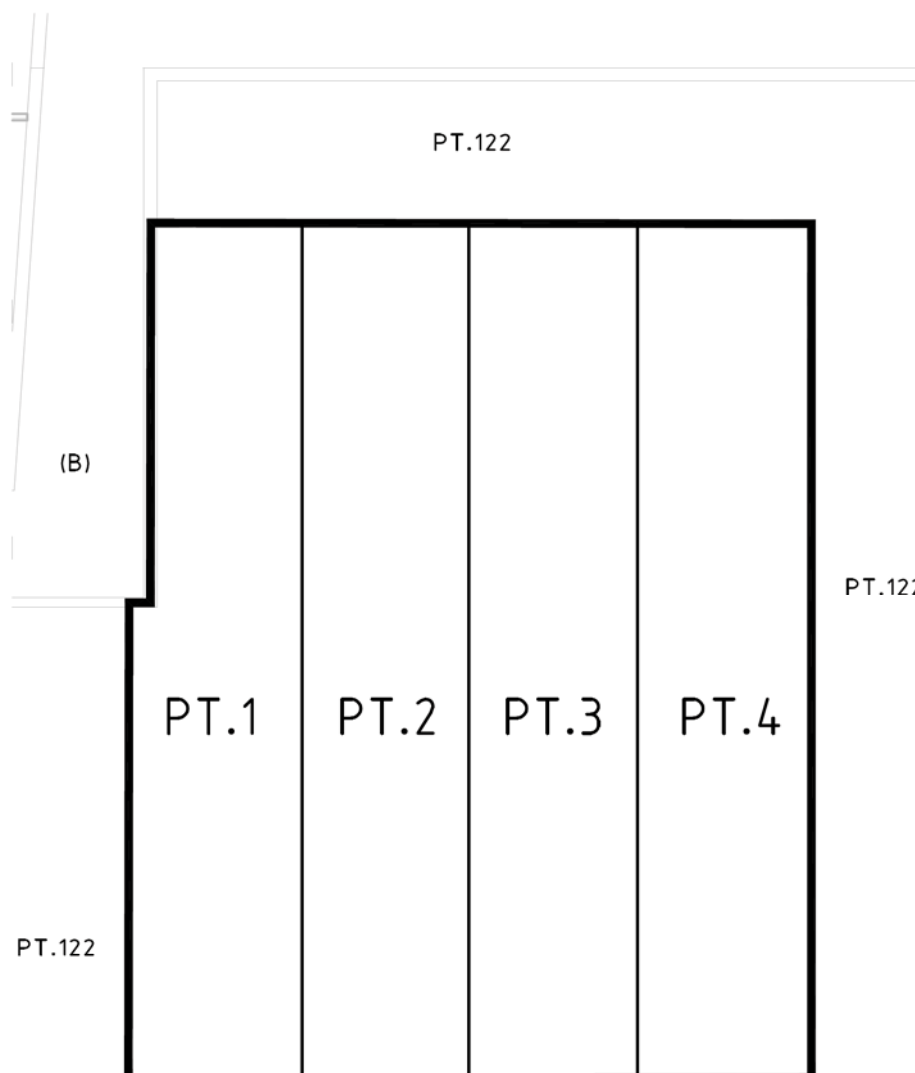
Signed JH

Sheet No. 112 of 124 PT.122



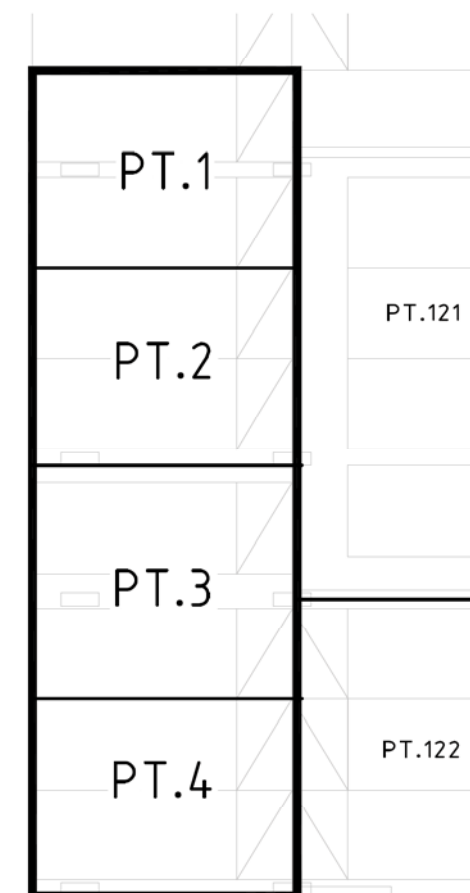
PROPOSED ROAD

UPPER GROUND LEVEL TO R.L.73.20



LOWER GROUND LEVEL

PROPOSED SUBDIVISION
IVANHOE ESTATE, MACQUARIE PARK



BASEMENT 2

PROPOSED EASEMENTS

- (B) EASEMENT FOR ACCESS
- (C) RIGHT OF CARRIAGEWAY

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE LAND AND PROPERTY INFORMATION OFFICE
SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

SHEET 1 OF 1



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incorporating Dunlop Thorpe
Sydney ph : 02 9283 6677

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CAD REFERENCE: 1601644 Lot 12_3_180216 Terrace Subdivision.dwg

SURVEYORS REF. ORIGINAL
1601644 L12 SHEET SIZE
VERSION 1 A3
SURVEYOR: P.M. CHECKED: P.M.
DRAWN: R.K. DATE: 16.02.18

SCALE 1:200
0 2 4 6 8
LENGTHS ARE IN METRES

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FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED SUBDIVISION OF
LOT 124 D.P.

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



**Planning,
Industry &
Environment**

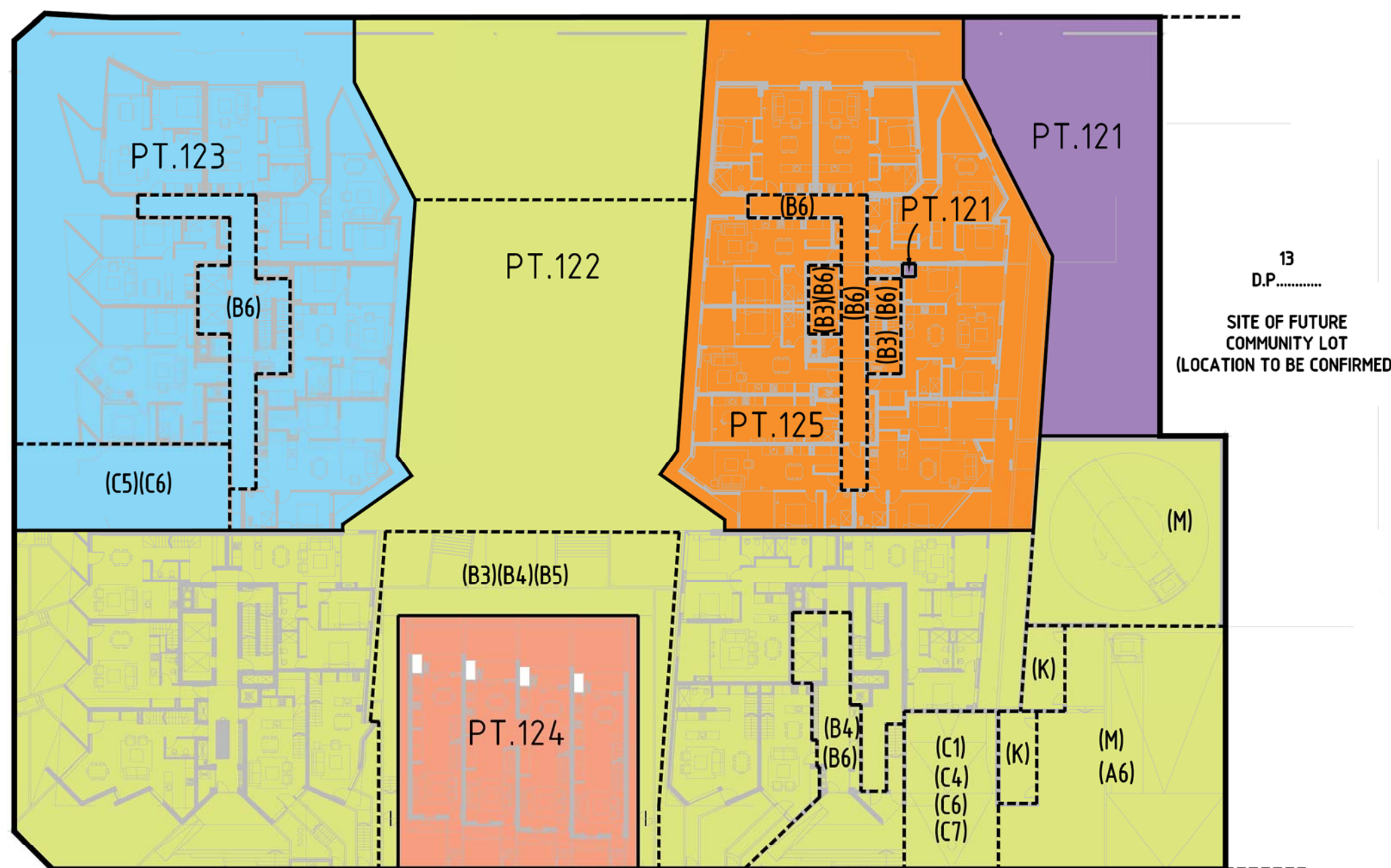
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Signed JH

Sheet No. 113 of 124



SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

LOTS 121, 122, 123 & 124 ARE STRATUM LOTS AT UPPER GROUND LEVEL AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

ARCHITECTURAL PLAN: DA-1106 ISSUE: P15

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE LAND AND PROPERTY INFORMATION OFFICE
SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

UPPER GROUND LEVEL

SHEET 1 OF 12



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VERSION 8
SURVEYOR: PM CHECKED: PM
DRAWN: RK DATE: 17.09.19

SCALE 1:400
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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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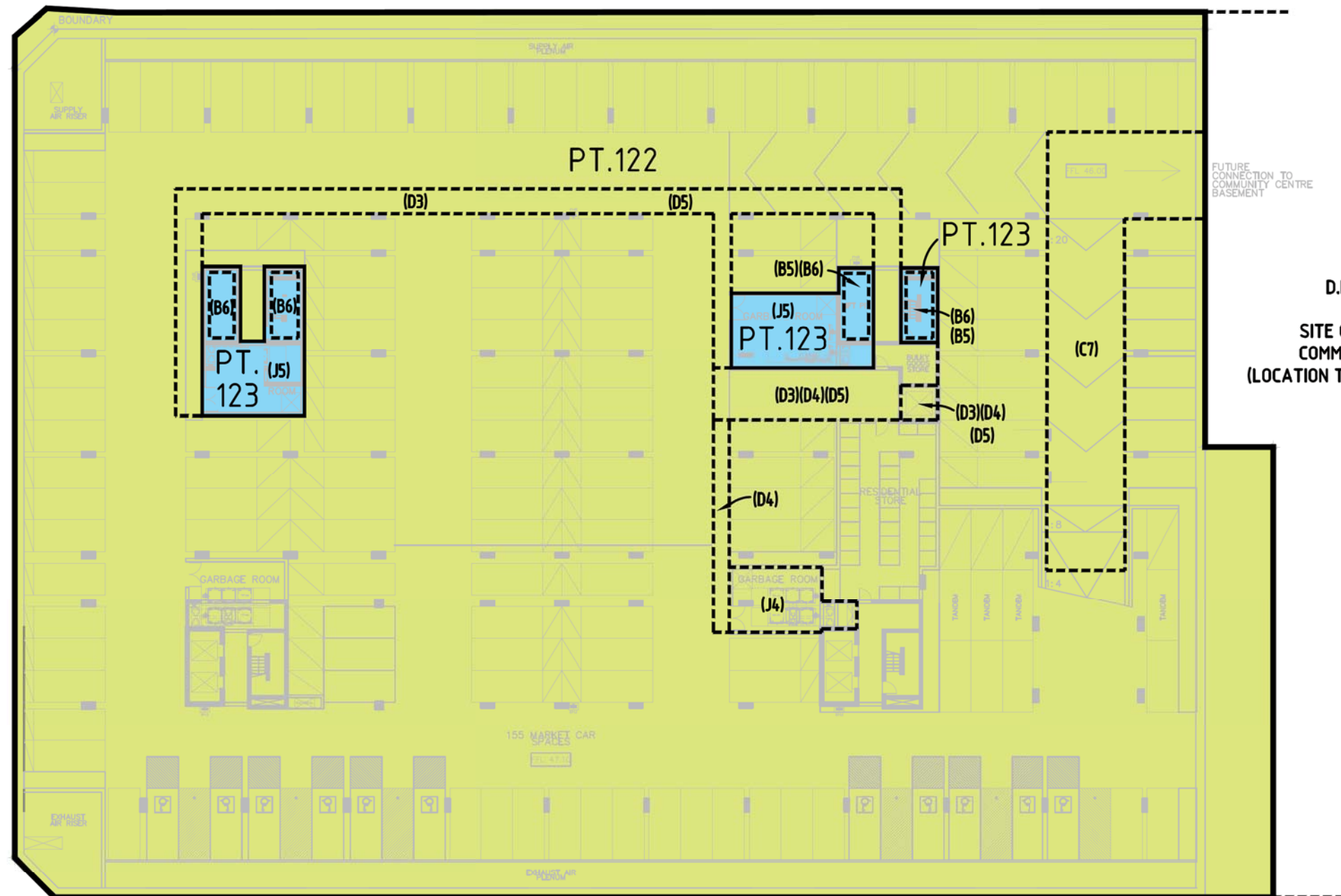
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Approved Application No. **SSO-8903**

Granted on the **30/4/20**

Signed **JH**

Sheet No. **114** of **124**



13
D.P.
SITE OF FUTURE
COMMUNITY LOT
(LOCATION TO BE CONFIRMED)

SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

LOT 122 & 123 ARE STRATUM LOTS AT BASEMENT 3 AND ARE LIMITED IN HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE CEILING & UNLIMITED IN DEPTH.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

ARCHITECTURAL PLAN: DA-1102 ISSUE: P13

BASEMENT 3

SHEET 2 OF 12

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SURVEYOR: PM
DRAWN: RK
ORIGINAL SHEET SIZE
A3
CHECKED: PM
DATE: 17.09.19

SCALE 1:400
0 4 8 12 16
LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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Signed **ST**

Sheet No. **115** of **124**

SEE SHEET 12 FOR EASEMENT DETAILS.

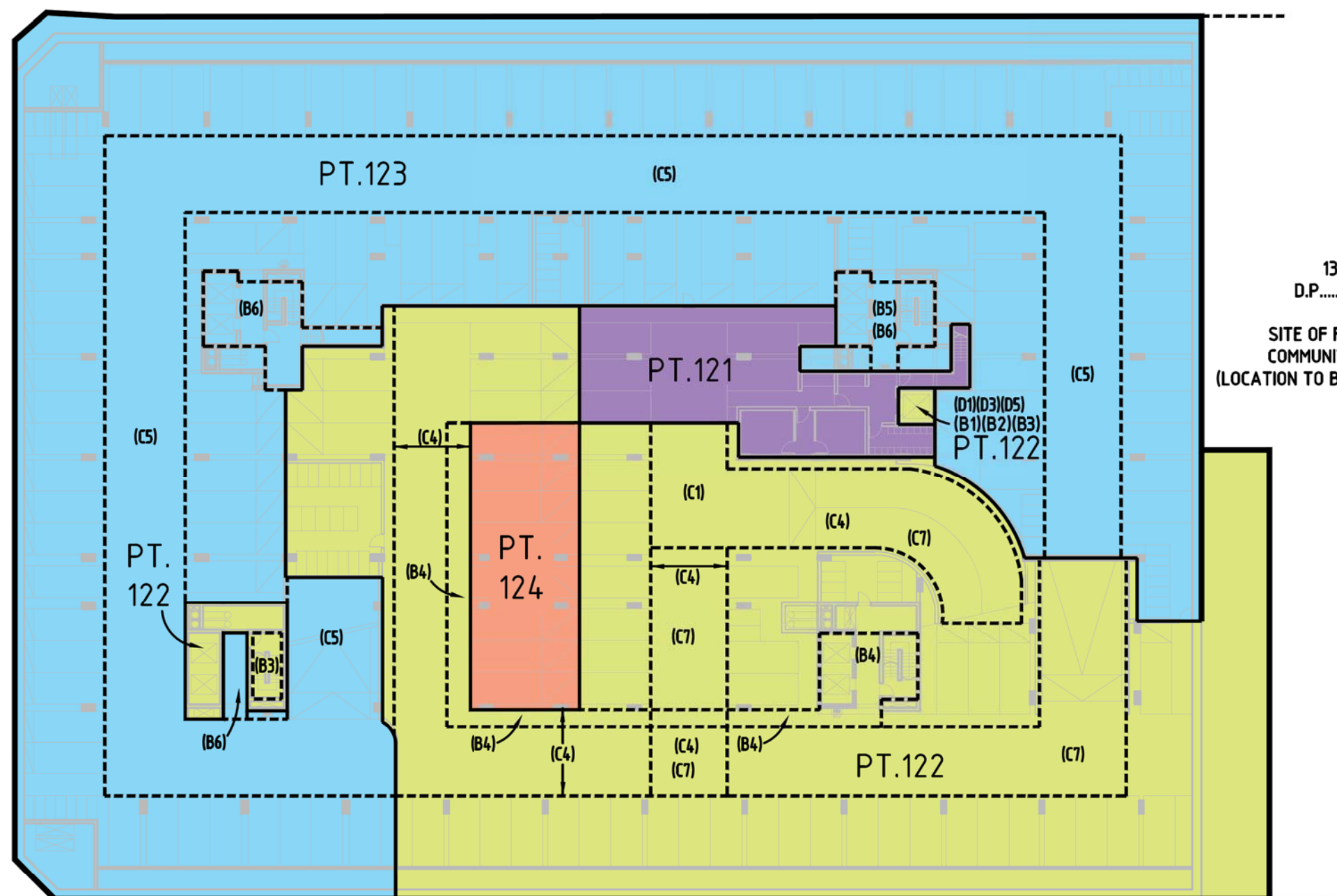
- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

SITE OF LOT 123 SUBJECT TO PROVISION OF CAR PARKING AND ASSOCIATED EASEMENTS FOR LOT 125. LOTS 121, 122, 123 & 124 ARE STRATUM LOTS AT BASEMENT 2 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

ARCHITECTURAL PLAN: DA-1103 ISSUE: P13

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE LAND AND PROPERTY INFORMATION OFFICE
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13
D.P.
SITE OF FUTURE
COMMUNITY LOT
(LOCATION TO BE CONFIRMED)

BASEMENT 2

SHEET 3 OF 12



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ORIGINAL SHEET SIZE
A3
CHECKED: PM
DATE: 17.09.19

SCALE 1:400
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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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116

Sheet No. **116** of **124**

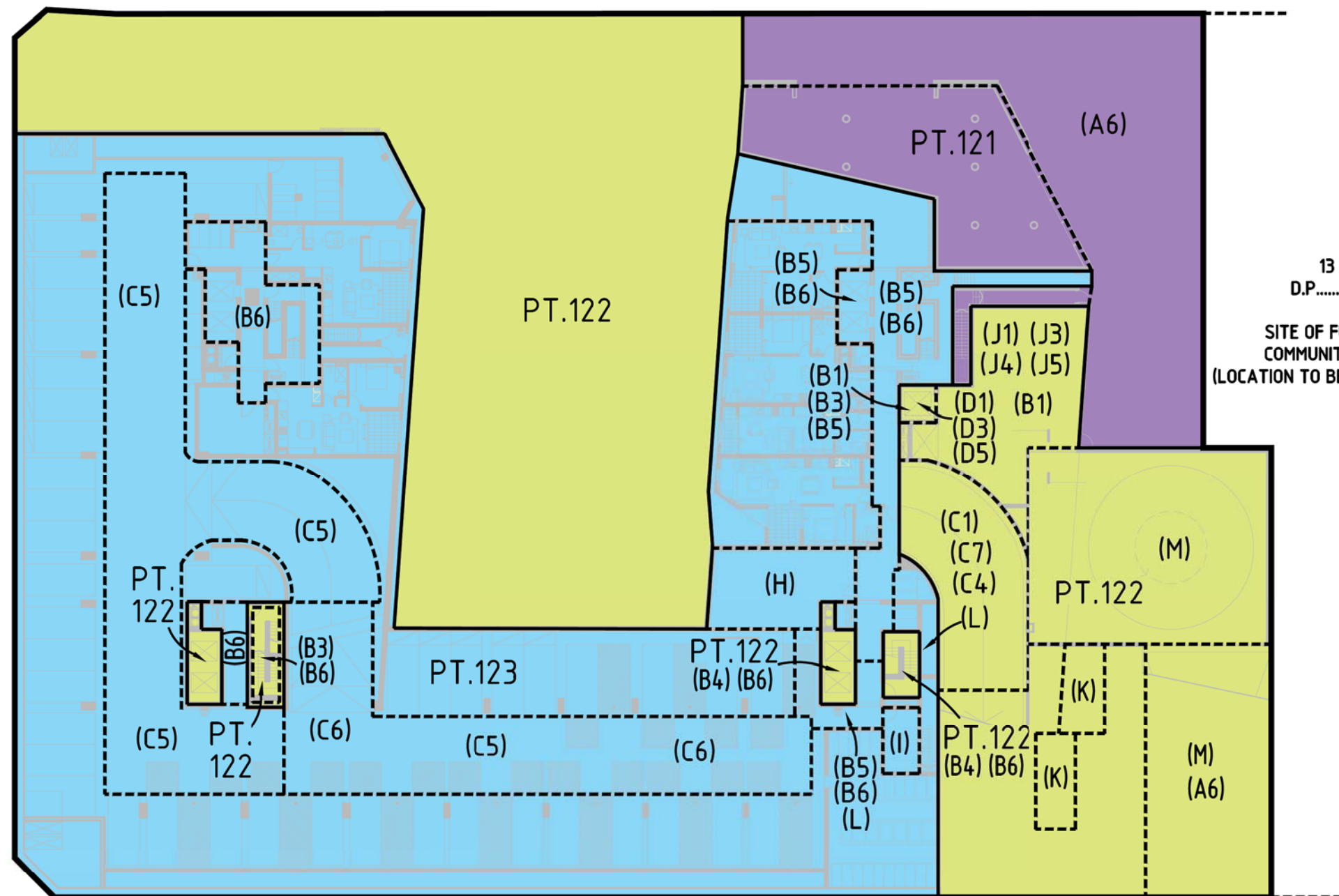
SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

LOTS 121, 122 & 123 ARE STRATUM LOTS AT BASEMENT 1 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING. STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

SITE OF LOT 123 SUBJECT TO PROVISION OF CAR PARKING AND ASSOCIATED EASEMENTS FOR LOT 125.

ARCHITECTURAL PLAN: DA-1104 ISSUE: P13



13
D.P.
SITE OF FUTURE
COMMUNITY LOT
(LOCATION TO BE CONFIRMED)

BASEMENT 1

SHEET 4 OF 12

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE LAND AND PROPERTY INFORMATION OFFICE
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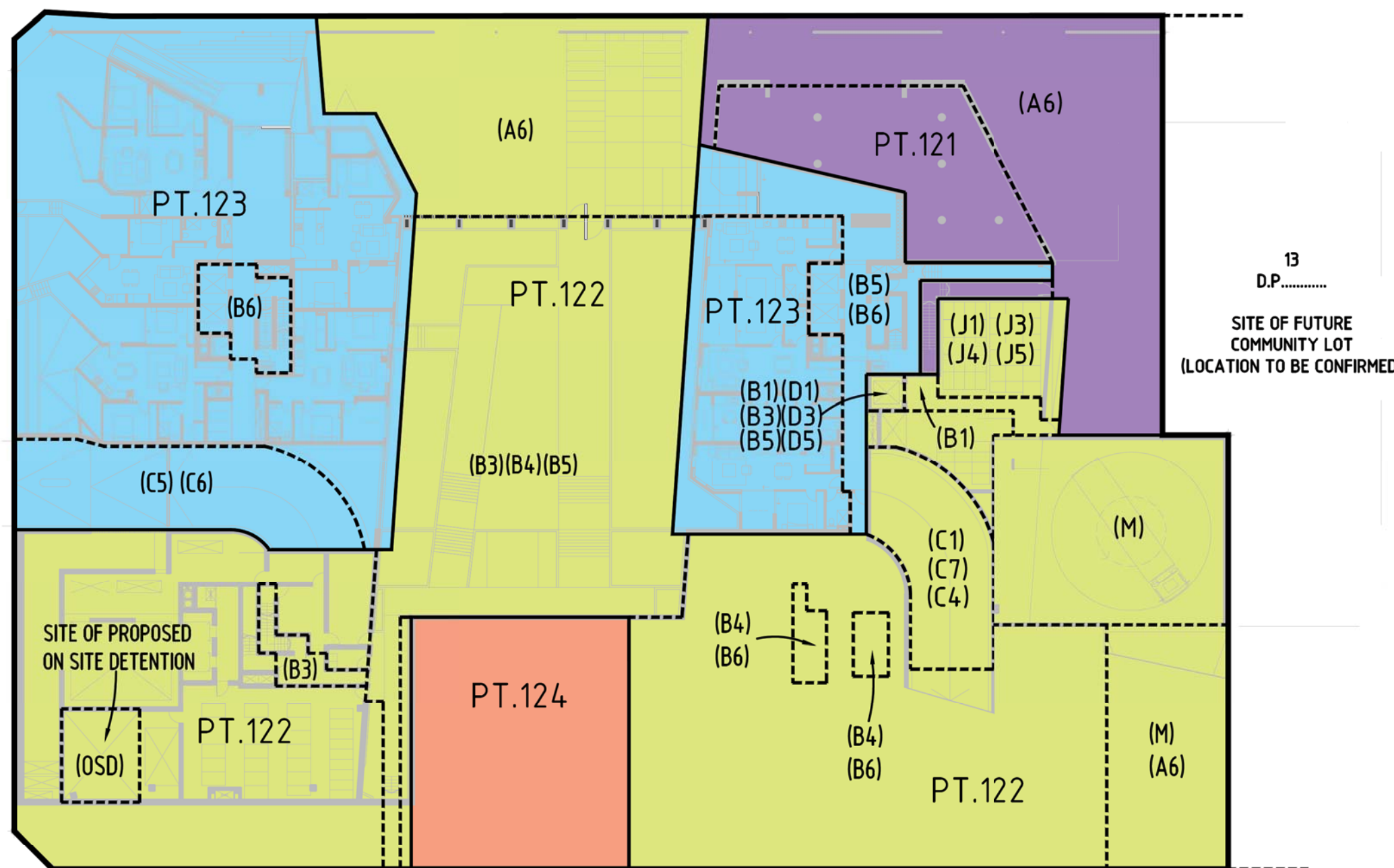
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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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Sheet No. 117 of 124

SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

ARCHITECTURAL PLAN: DA-1105 ISSUE: P15

LOTS 121, 122, 123 & 124 ARE STRATUM LOTS AT LOWER GROUND LEVEL AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE LAND AND PROPERTY INFORMATION OFFICE
SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

LOWER GROUND LEVEL

SHEET 5 OF 12



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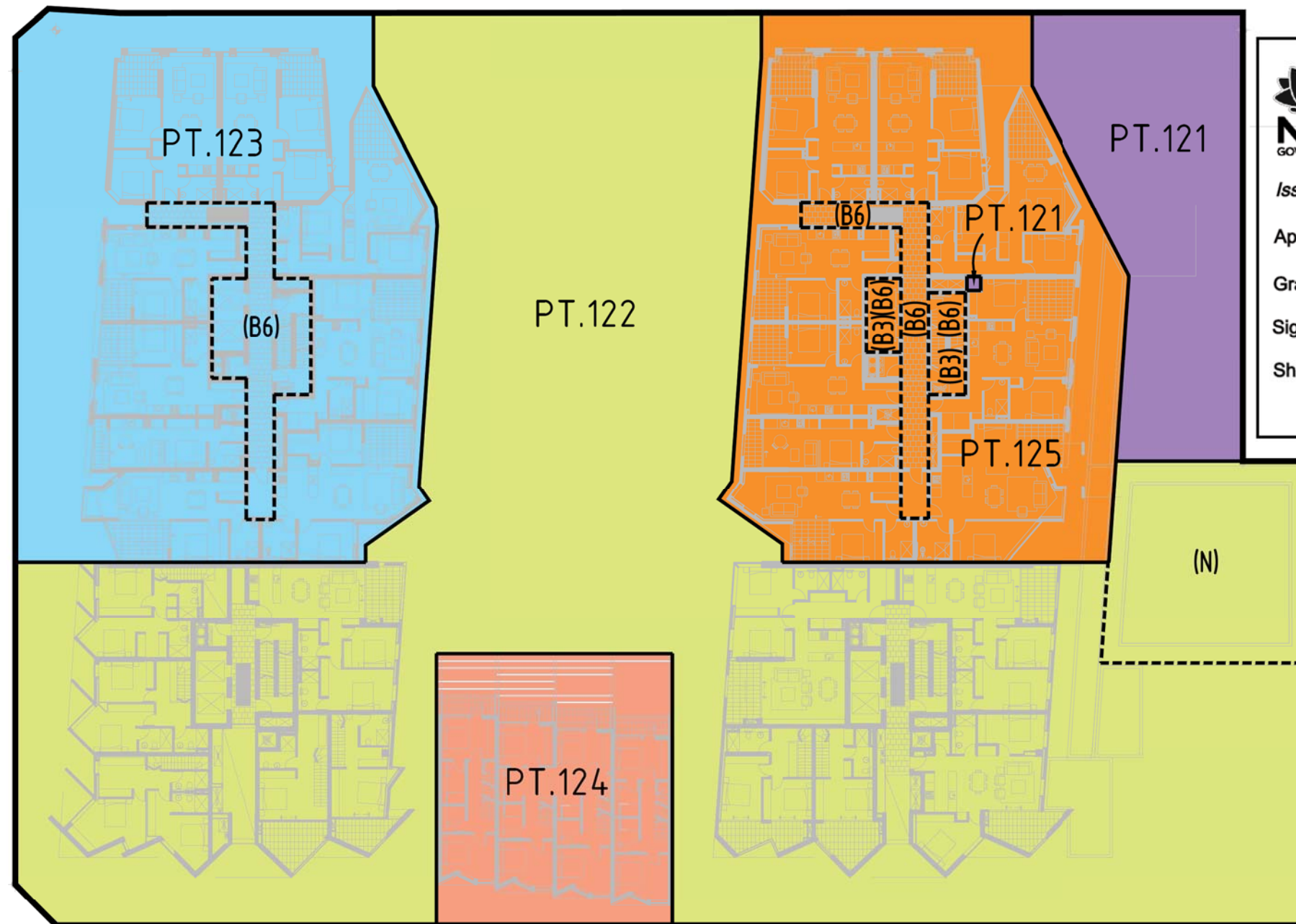
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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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Signed JA

Sheet No. 118 of 124

SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

LOTS 121, 122, 123 & 124 ARE STRATUM LOTS AT LEVEL 1 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

ARCHITECTURAL PLAN: DA-1107 ISSUE: P13

LEVEL 1

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE LAND AND PROPERTY INFORMATION OFFICE
SITES OF EASEMENTS ARE SUBJECT TO DESIGN AND CONSTRUCTION VARIATIONS

SHEET 6 OF 12

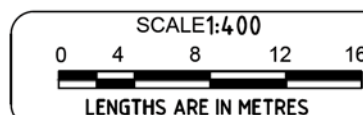


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CHECKED: PM
DATE: 17.09.19

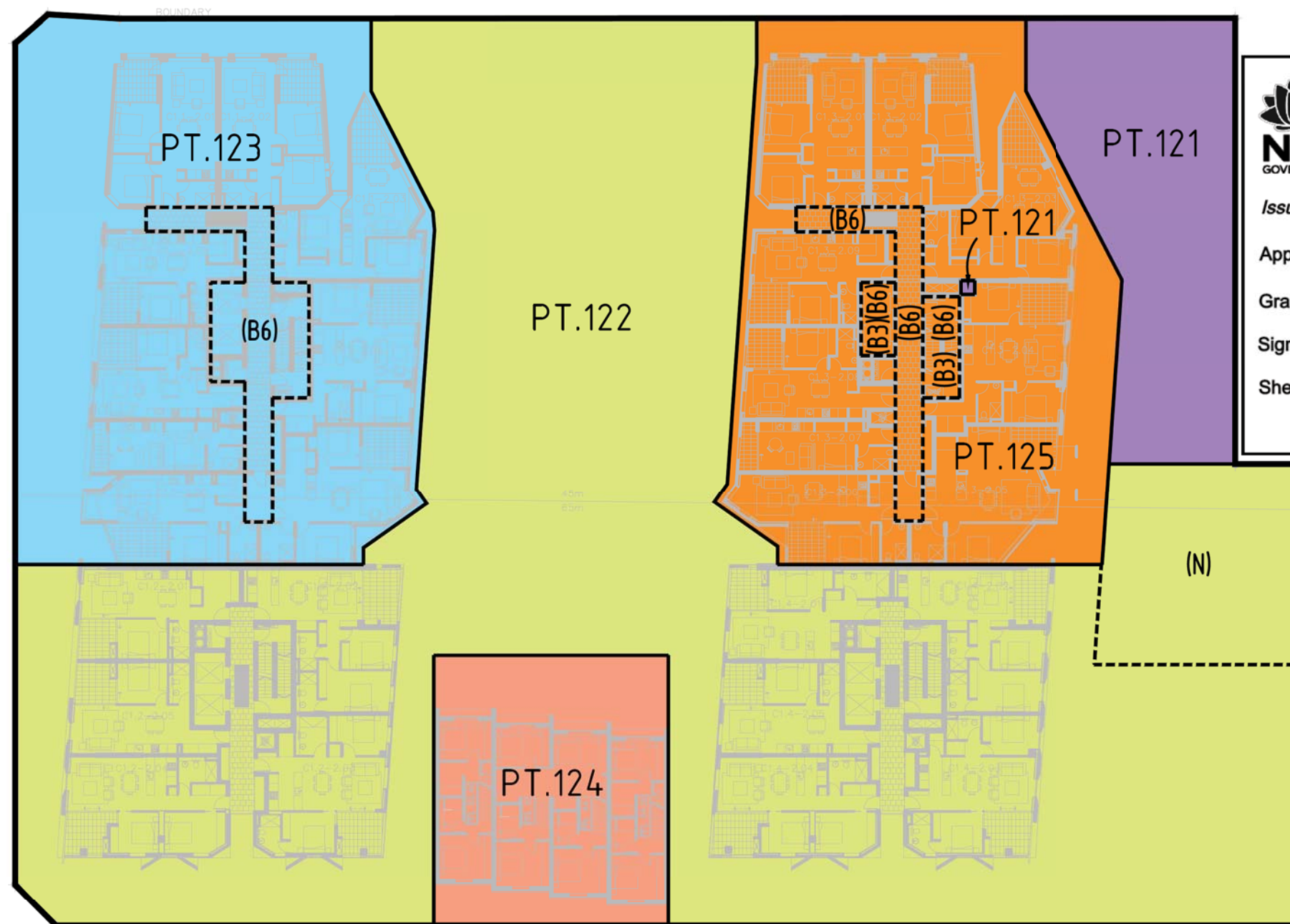


FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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Granted on the **30/4/20**

Signed **JH**

Sheet No. **119** of **124**

SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

LOTS 121, 122, 123 & 124 ARE STRATUM LOTS AT LEVELS 2 - 4 AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

ARCHITECTURAL PLAN: 5800__DA 1108__FLOOR
PLAN\12__ISSUE B

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LEVEL 2 - 4

SHEET 7 OF 12



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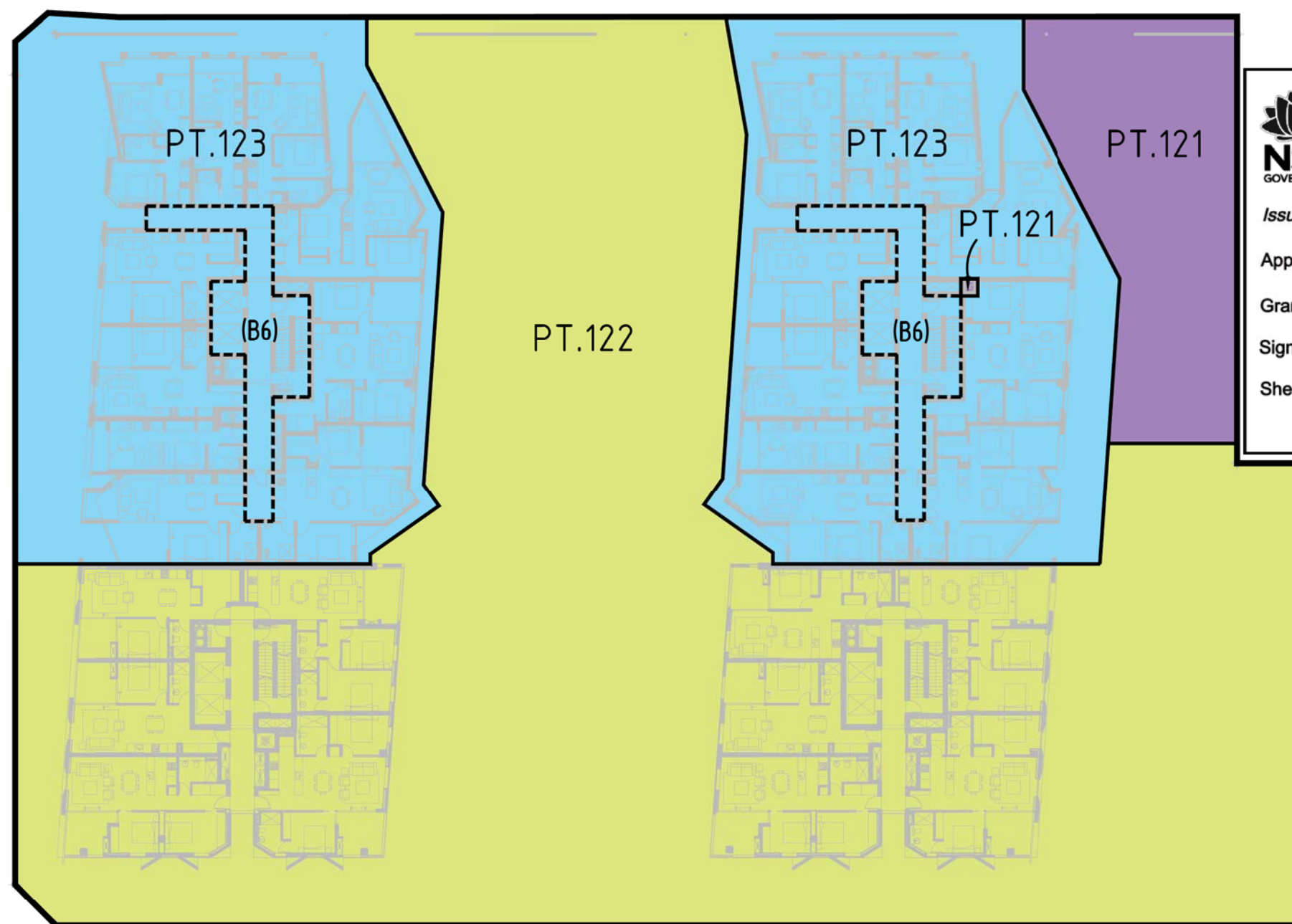
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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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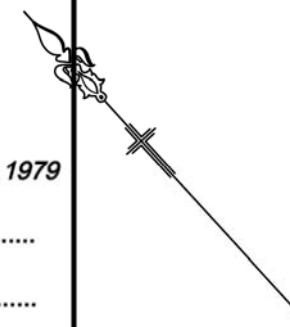
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Signed [Signature]

Sheet No. 120 of 124



SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

LOTS 121, 122 & 123 ARE STRATUM LOTS AT LEVELS 5 - 12
AND ARE LIMITED IN DEPTH & HEIGHT TO THE CENTRE OF THE
CONCRETE SLAB THAT FORMS THE FLOOR & CEILING.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE
CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF
WALLS.

ARCHITECTURAL PLAN: DA-1110 ISSUE: P13

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LEVEL 5 -12

SHEET 8 OF 12



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CHECKED: PM
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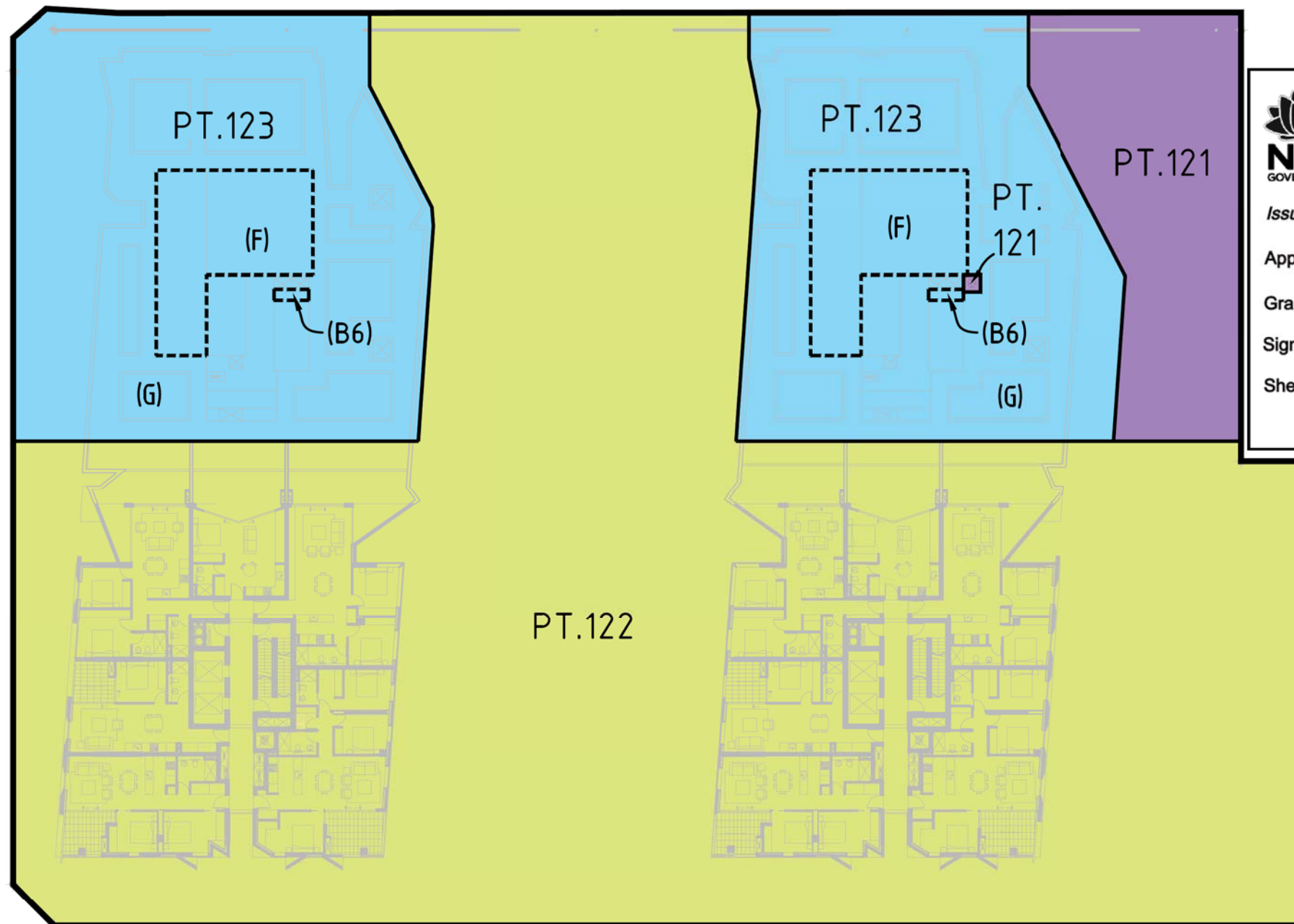
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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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Signed: JH

Sheet No. 121 of 124

SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

LOTS 121 & 122 ARE STRATUM LOTS AT LEVEL 13. LOT 121 IS LIMITED IN DEPTH TO THE CONCRETE SLAB THAT FORMS THE FLOOR AND LIMITED IN HEIGHT TO LEVEL 14. LOT 122 IS LIMITED IN DEPTH AND HEIGHT TO THE CONCRETE SLABS THAT FORMS THE FLOOR AND CEILING.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

ARCHITECTURAL PLAN: DA-1111 ISSUE: P13

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE LAND AND PROPERTY INFORMATION OFFICE
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LEVEL 13

SHEET 9 OF 12



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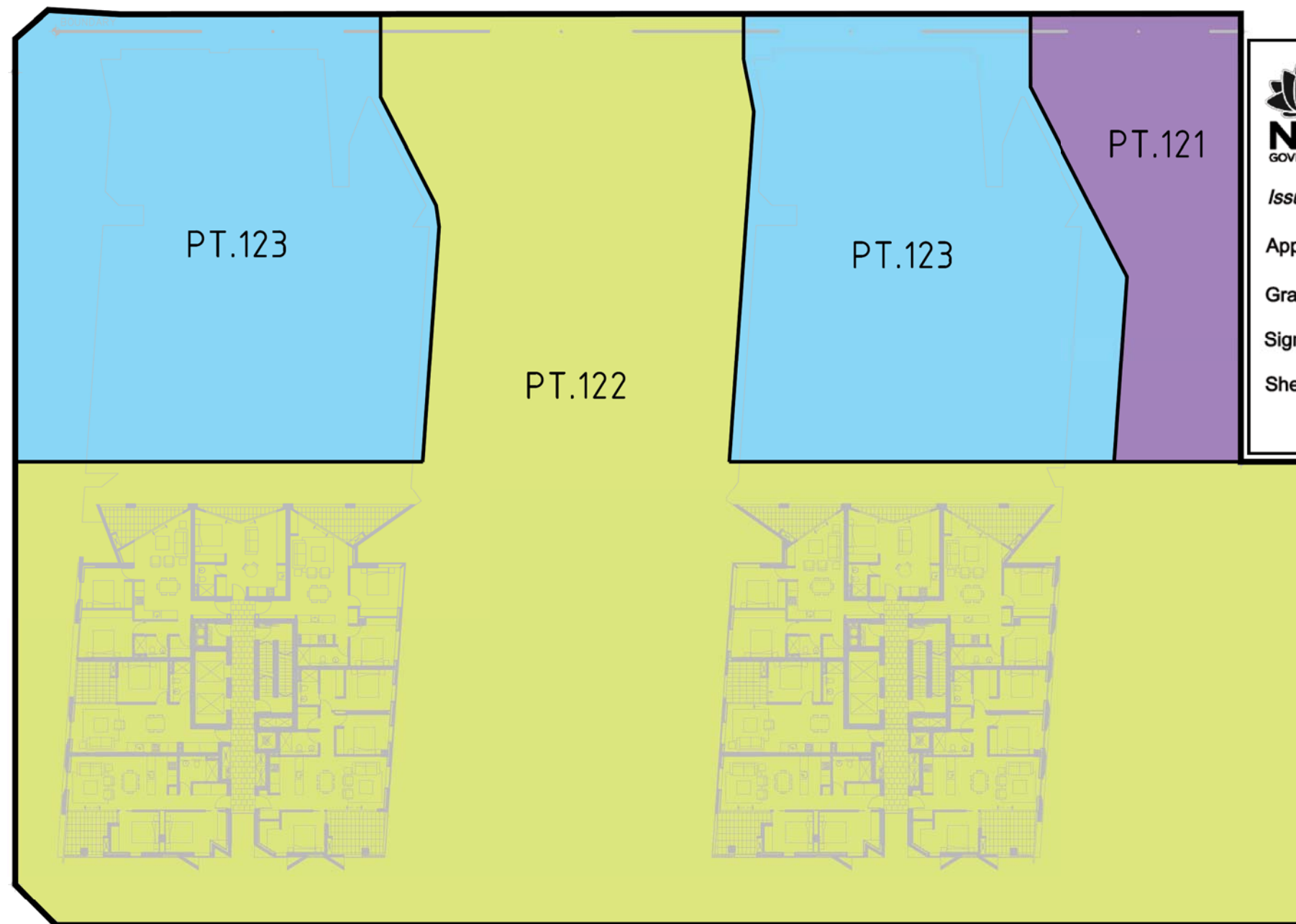
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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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Approved Application No. SSO-8903

Granted on the 30/4/20

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Sheet No. 122 of 124

SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

LOTS 122 IS A STRATUM LOT AT LEVELS 14-19 AND IS LIMITED IN DEPTH AND HEIGHT TO THE CONCRETE SLABS THAT FORM THE FLOOR AND CEILING.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

ARCHITECTURAL PLAN: DA-1112 ISSUE: P13

AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY AFTER CONSTRUCTION AND REGISTRATION OF PLAN AT THE LAND AND PROPERTY INFORMATION OFFICE
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LEVEL 14-19

SHEET 10 OF 12



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CHECKED: PM
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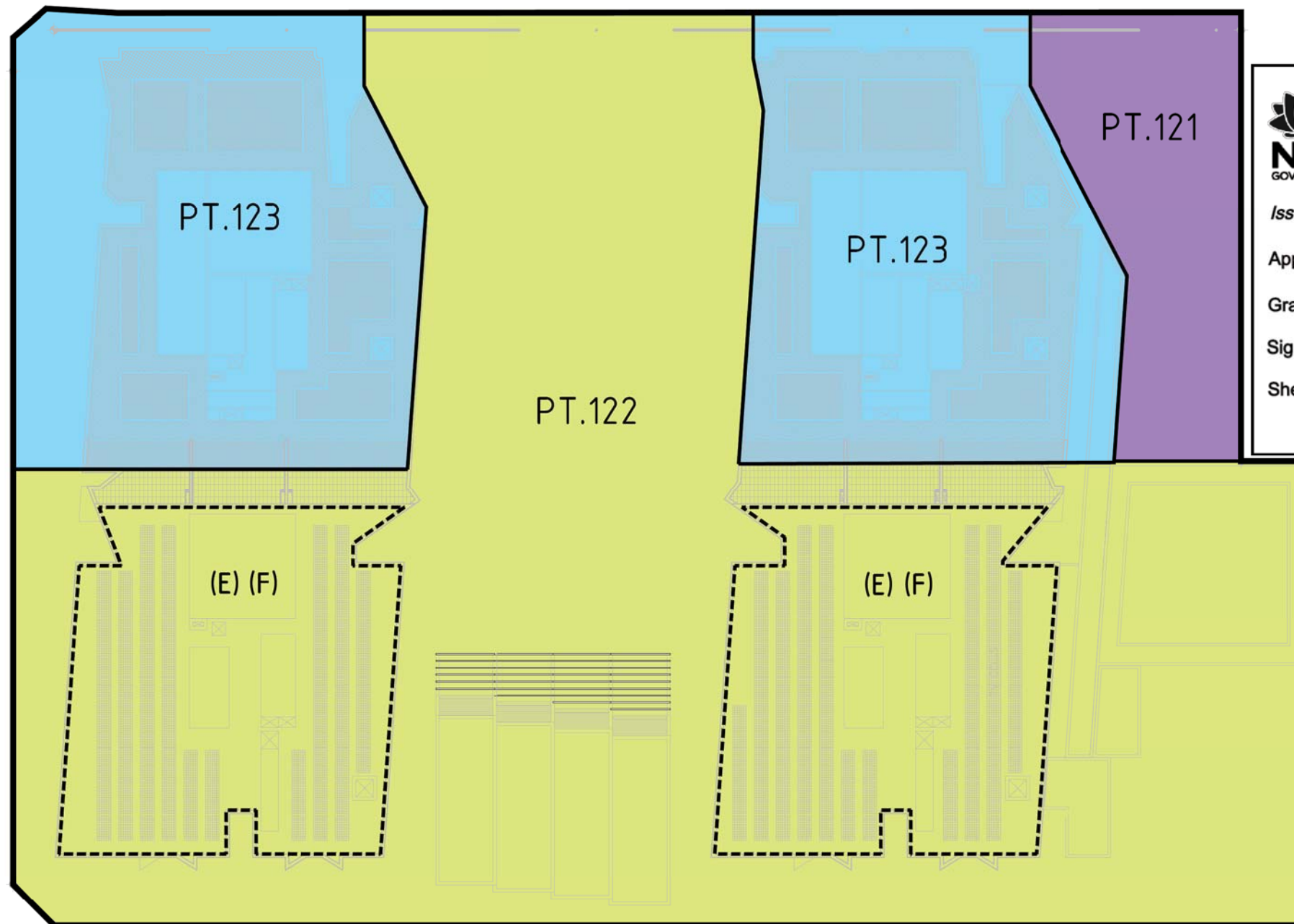
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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

STRATUM SUBDIVISION
BLOCK C1
IVANHOE ESTATE, MACQUARIE PARK



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Approved Application No. SSD-8903

Granted on the 30/4/20

Signed JH

Sheet No. 123 of 124

SEE SHEET 12 FOR EASEMENT DETAILS.

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

LOT 122 IS A STRATUM LOT AT LEVEL 20 AND ABOVE AND IS LIMITED IN DEPTH TO THE CONCRETE SLAB THAT FORMS THE FLOOR AND IS UNLIMITED IN HEIGHT.

STRATUM BOUNDARIES WILL IN GENERAL RELATE TO THE CENTRE OF THE CONCRETE FLOOR SLABS AND CENTRE OF WALLS.

ARCHITECTURAL PLAN: DA-1113 ISSUE: P12

LEVEL 20 & ABOVE

SHEET 11 OF 12

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LENGTHS ARE IN METRES

FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

PROPOSED EASEMENTS

- (1) EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT)
- (2) EASEMENT FOR SERVICES (WHOLE OF LOT)
- (3) EASEMENT FOR EMERGENCY EGRESS PURPOSES (WHOLE OF LOT)
- (4) EASEMENT FOR ACCESS & USE OF PLANT ROOMS & ASSOCIATED SERVICES (WHOLE OF LOT)
- (5) EASEMENT FOR FUTURE SERVICES (WHOLE OF LOT)
- (6) EASEMENT FOR CONSTRUCTION PURPOSES (WHOLE OF LOT)
- (7) EASEMENT FOR TEMPORARY CRANE SWING (WHOLE OF LOT)
- (8) POSITIVE COVENANT (OSD)
- (9) RESTRICTION ON THE USE OF LAND (OSD)
- (10) EASEMENT FOR ACCESS TO MECHANICAL SERVICES (WHOLE OF LOT)
- (11) EASEMENT FOR PUBLIC ACCESS (LIMITED IN STRATUM) (A)
(A6) (BENEFITING PUBLIC)
- (12) EASEMENT FOR ACCESS (LIMITED IN STRATUM) (B)
(B1) (BENEFITING LOT 121), (B2) (BENEFITING LOT 122),
(B3) (BENEFITING LOT 123), (B4) (BENEFITING LOT 124),
(B5) (BENEFITING LOT 125), (B6) (BENEFITING REAL UTILITIES)
- (13) RIGHT OF CARRIAGEWAY (LIMITED IN STRATUM) (C)
(C1) (BENEFITING LOT 121), (C3) (BENEFITING LOT 123), (C4) (BENEFITING LOT 124),
(C5) (BENEFITING LOT 125), (C6) (BENEFITING REAL UTILITIES),
(C7) RIGHT OF CARRIAGEWAY BENEFITTING PART LOT 13 D.P. (LOCATION TO BE CONFIRMED)
- (14) EASEMENT FOR GARBAGE TRANSPORT LIMITED IN STRATUM
(D3) (BENEFITING LOT 123), (D4) (BENEFITING LOT 124), (D5) (BENEFITING LOT 125)
- (15) EASEMENT FOR EMBEDDED UTILITY SOLAR GENERATION INFRASTRUCTURE (LIMITED IN STRATUM)
(E) (BENEFITING REAL UTILITIES)
- (16) EASEMENT FOR EMBEDDED UTILITY HOT WATER PLANT & INFRASTRUCTURE (LIMITED IN STRATUM)
(F) (BENEFITING REAL UTILITIES)
- (17) EASEMENT FOR ACCESS & MAINTENANCE (LIMITED IN STRATUM) (G) (BENEFITING REAL UTILITIES)
- (18) EASEMENT FOR SWITCH ROOM (LIMITED IN STRATUM) (H) (BENEFITING REAL UTILITIES)
- (19) EASEMENT FOR COMMS ROOM (LIMITED IN STRATUM) (I) (BENEFITING LOTS 122 & 126)
- (20) EASEMENT FOR EMBEDDED UTILITY ELECTRICITY SERVICE INFRASTRUCTURE (WHOLE OF LOT)
- (21) EASEMENT FOR EMBEDDED UTILITY HOT WATER SERVICE INFRASTRUCTURE (WHOLE OF LOT)
- (22) EASEMENT FOR EMBEDDED UTILITY SERVICE INFRASTRUCTURE
- (23) EASEMENT FOR GARBAGE AND WASTE STORAGE
(J1) (BENEFITING LOT 121), (J3) (BENEFITING LOT 121),
(J4) (BENEFITING LOT 124), (J5) (BENEFITING LOT 125)
- (24) LEASE TO AUSGRID (LIMITED IN STRATUM) (K)
- (25) EASEMENT TO ACCESS SHARED SERVICES (LIMITED IN STRATUM) (L)
(BENEFITING LOTS 121, 122, 124, 125, REAL UTILITIES)
- (26) EASEMENT TO ACCESS AND USE LOADING DOCK (LIMITED IN STRATUM) (M)
(BENEFITING LOTS 121, 123, 124, 125)
- (27) EASEMENT FOR GREENSPACE LIMITED IN STRATUM (N)
(BENEFITING LOT 121)



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Approved Application No. SSD-8903

Granted on the 30/4/20

Signed JF

Sheet No. 124 of 124

- LOT 121 - COMMUNITY
- LOT 122 - MARKET
- LOT 123 - SOCIAL
- LOT 124 - FUTURE TERRACES
- LOT 125 - SOCIAL - ILUs

SHEET 12 OF 12



Beveridge Williams
Development & Environment Consultants
Registered Surveyors

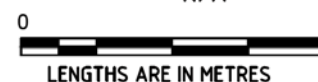
Sydney: (02) 9283 6677

www.beveridgewilliams.com.au

CAD REFERENCE: 1601644 Lot 12_190917 Block C1 Stratum REV 8.dwg

SURVEYORS REF. ORIGINAL
1601644 L12 SHEET SIZE
VERSION 8 A3
SURVEYOR: PM CHECKED: PM
DRAWN: RK DATE: 17.09.19

SCALE N/A



FRASERS PROPERTY AUSTRALIA

PLAN OF PROPOSED STRATUM SUBDIVISION OF
LOT 12 D.P.