

EXTERNAL ELEMENTS

The new external elements are generally similar to the proposals for Pier 2/3, and consistent with the conservation strategies for the precinct. They include:

- Three new external lifts.
- New egress and access stairs: two to east and two to west.
- New internal valley roof 'pop-ups'.
- Localised new external glazing.
- Renewal of glazed elements at the lower levels to improve access and thermal performance.

Similar detailing of new elements is proposed across the precinct.

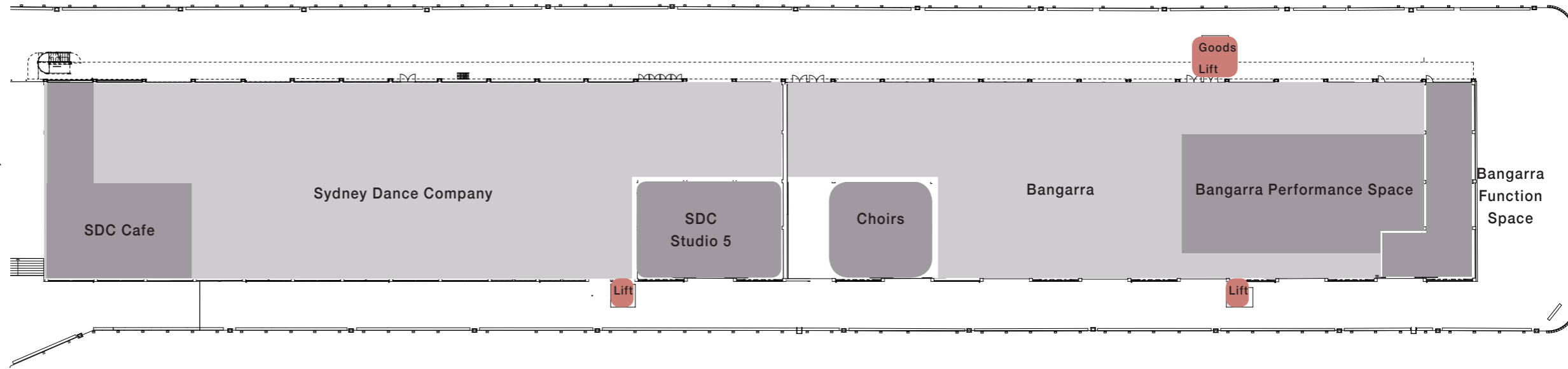


Figure 78: Ground Floor Wharf 4/5

GANTRY BALCONIES + LIFTS

Upper level gantry balconies and stairs have been located on the facades to relate to Sydney Theatre Company's new fitout. On the east facade, two gantries provide break-out spaces and reference the travelling gantries that once moved along the wharf apron. To the west new stairs connect to the existing balcony and provide egress from the theatres.

Three new glass lifts are proposed to ensure accessibility of the upper shed. A consistent contemporary architectural language is proposed for the new elements within the precinct.

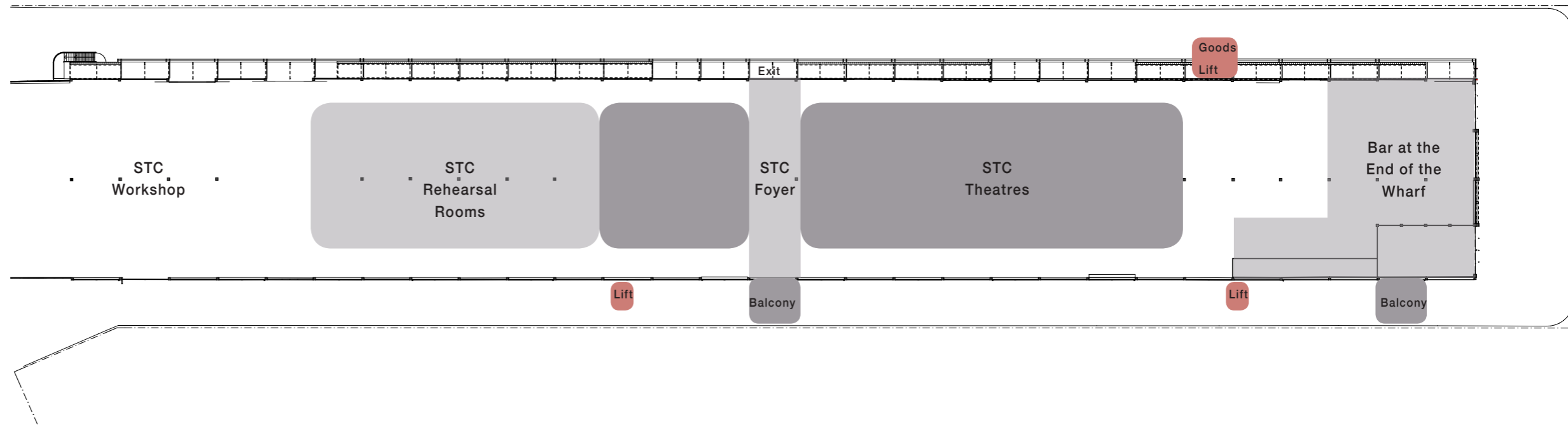


Figure 79: Level 1 Gantry Balconies Wharf 4/5

4.4 AMENITY

OVERVIEW

The development will have a number of minor impacts on the broader Walsh Bay precinct, most of which are assessed in detail in separate specialist consultants' reports, provided as appendices to the Environmental Impact Statement (EIS). This Design Report contains only an overview of these impacts.

VIEWS AND VISTAS

There will be only minor changes to most of the principal views and vistas, and these are assessed in the Heritage Impact Assessment Report prepared by Tropman & Tropman Architects.

VISUAL PRIVACY

The adjoining occupants beyond the Walsh Bay Arts and Cultural Precinct itself comprise a range of uses and occupation types, and the impact on their privacy will be minimal:

- Adjoining RMS tenancies in the Pier 2/3 Shore Sheds: there will be no change to the existing overlooking of these tenancies, possible only from the public domain.
- Occupants to the south of Hickson Road: there will be no change to the overlooking of these occupants as there are no changes proposed to the building facades facing them.
- Pier 1, east of Pier 2/3: this hotel is located some 70m from Pier 2/3 over a significant body of water. Whilst additional glazed openings proposed in cargo door openings will increase potential overlooking, the relative distance will mean any impact will be minimal.
- Pier 8/9, west of Pier 4/5: there will be no change to the overlooking of these occupants as there are no significant changes proposed to the building facades facing them.



Figure 80: Aerial photograph.



Figure 81: View showing proposed roof alterations including installation of photovoltaics.

4.5 ENVIRONMENTALLY SUSTAINABLE DESIGN

The development includes a number of provisions for ESD which are outlined in the Sustainability Framework and Section J Report that accompany the proposal. These include:

ENERGY AND CARBON

- Using passive systems where possible.
- Sealing the facade to conditioned spaces.
- Photovoltaic cells to roof.
- Efficient HVAC systems.
- Harbour heat rejection system.
- LED light fittings with dimmable controls.
- Tenant submetering.

WATER

- WELS rated fittings.
- Solar hot water.
- Rainwater reuse.

SUSTAINABLE MATERIALS

- Limit VOC levels of materials.
- Reuse/recycle materials.
- Use FSC certified timbers.

USER COMFORT & WELLBEING

- Introduction of additional glazing to openings and lanterns.
- Combination of passive and active mechanical systems.

SUSTAINABLE TRANSPORT

- Wayfinding to encourage use of public transport.
- Cyclist facilities.
- No onsite parking.

OPERATION

- Provision of recycling waste facilities.
- Minimise construction waste - EMP.

SOCIAL & COMMUNITY

- Facilities available for community use.

SOLAR ACCESS

As there is no additional building bulk proposed beyond the extent of the existing envelope, other than lifts, stairs and gantry balconies, there will be no increase in overshadowing of public or private space beyond the boundaries to the Walsh Bay Arts and Cultural Precinct itself.

ACOUSTIC PRIVACY

Acoustic impacts are discussed in detail in the separate Acoustic Report prepared by Arup, included as an Appendix to the EIS.

TRAFFIC AND PARKING

Traffic and parking are discussed in detail in the separate report by GTA, included as an Appendix to the EIS.

MANAGEMENT

An Operational Plan of Management for the Precinct has been prepared by MI Associates, and is included as an Appendix to the EIS.

5.0 FUNCTIONAL LAYOUT

5.1 SITE LAYOUT

The site is comprised of three parts, Pier 2/3, Pier 4/5 and the Shore Sheds, each of which contains a combination of arts tenants and commercial premises.

PIER 2/3

Currently in its original unaltered state, Pier 2/3 is to be internally adapted to house new facilities for three major Sydney arts companies: Bell Shakespeare, the Australian Theatre for Young People (ATYP) and the Australian Chamber Orchestra (ACO), as well as two new function spaces - the 'raw' Pier 2/3 Function Space on the Ground level and the smaller ACO Function Space on Level 1. This is achieved by the insertion of new mezzanine levels above the Ground Level in the Lower Shed (termed Mezzanine) and above Level 1 in the Upper Shed (termed Level 2).

WHARF 4/5

The Lower Shed (Ground and Mezzanine) of Wharf 4/5 are to be refurbished for the existing tenancies, Sydney Dance Company (SDC), Choirs and Bangarra Dance Theatre.

With each, the alterations are internal, with relatively modest changes proposed, and reflect the developing use of the tenancies since their original fit outs in the 1990s.

The Upper Shed of Wharf 4/5 is occupied by STC. This tenancy is the subject of a separate SSDA.

SHORE SHEDS

The Lower Shed of the Wharf 4/5 Shore Sheds are to be internally altered to accommodate a Visitor Portal and Office, rehearsal spaces for the Choirs, along with a range of commercial and service functions. STC retain use of the Upper Shed.



Figure 82: Walsh Bay Arts and Cultural Precinct ground floor plan

- ACO
- ATYP
- BANGARRA
- BELL
- CHOIRS
- COMMERCIAL
- SDC
- SERVICES
- SHARED SPACES
- PUBLIC AMENITIES

5.2 PIER 2/3 LOWER SHED GROUND AND MEZZANINE

The Lower Shed accommodates a central Foyer, a large 'raw' Function Space to the north, along with Bell Shakespeare's Offices and Workshops and ATYP's Offices and smaller Rehearsal space to the south. The Foyer, Pier 2/3 Function Space and ATYP Rehearsal room are double height spaces extending the full height of the Lower Shed, while the Offices are single height volumes.

- ATYP and Bell have a Shared Foyer that provides access to the ATYP and Bell tenancy areas for staff, visitors and small goods handling.
- Mezzanine floors have been inserted as contemporary elements, clearly independent of the original fabric to reveal the full height of the Lower Shed in many locations. As far as possible new elements are set back from the timber facades to maintain access for termite inspection.
- The Ground Floor Foyer is centrally located and provides access to the public venues in the Upper Shed. The Foyer can be accessed from both the Wharf 3 apron and the Wharf 2 eastern Colonnade.
- The Pier 2/3 Function Space to the north opens up to the Wharf 3 apron allowing it to engage with public domain.
- A new service hoist services Level 1 and has been sized to accommodate the ACO's requirements for piano transport and Bell and ATYP's scenery.

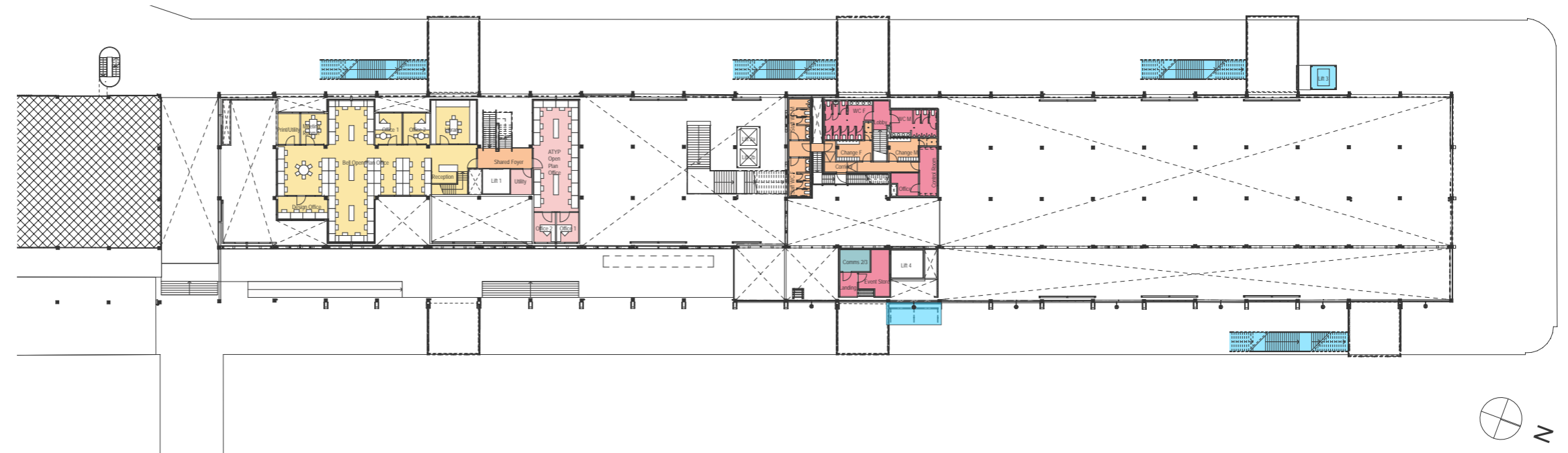


Figure 83: Mezzanine floor plan

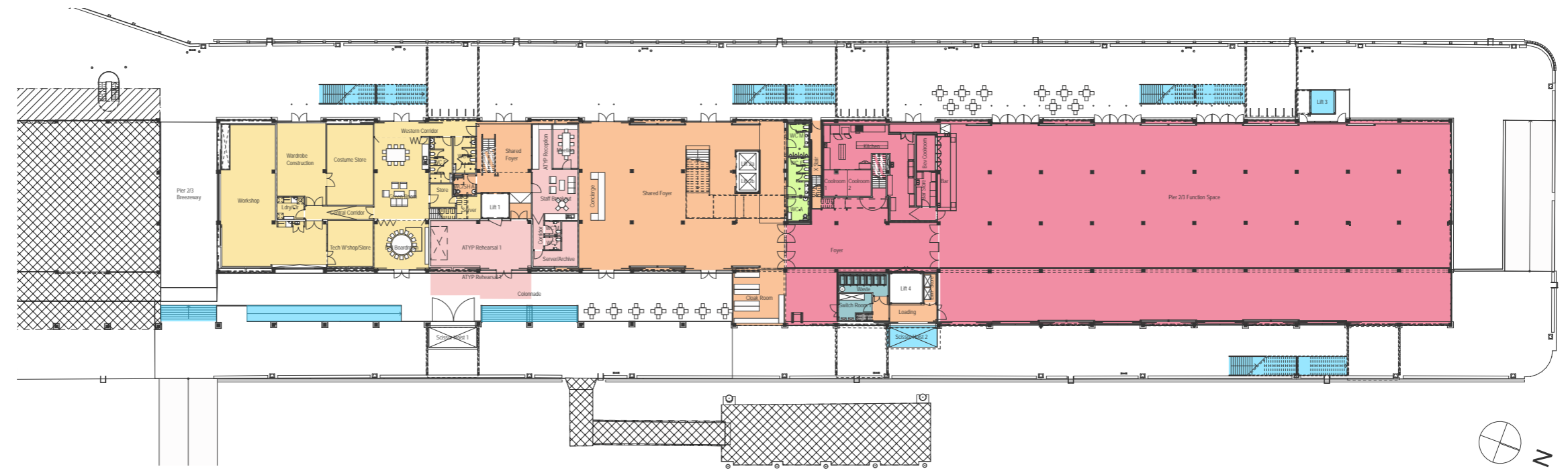


Figure 84: Ground floor plan

FOYER

At the centre of the Pier, a new two level main Foyer occupies linked space on the Ground Floor and Level 1. The central Foyer will be developed minimally to retain the original timber structure and finishes, with the addition of new small voids in the original floor at Level 1, a new grand stair and a glass lift shaft with two passenger lifts.

At the Ground Level, the central Foyer will be accessed from the eastern Colonnade and the western wharf apron. The Foyer has generous views towards both the Harbour Bridge and into the Walsh Bay Arts and Cultural Precinct. To the north, the Foyer links directly to the Pier 2/3 Function Space and includes a Bar area which will be serviced from the dedicated Kitchen.

Featuring original timber screens and the heritage listed 'deadhouse' and bag chute, the Foyer will also host a display of moveable heritage items on the southern wall.

Public Amenities are located to the north of the main Foyer, accessible to the general public and serviced by the Precinct.



Figure 85: Ground floor Foyer, David Duloy 2017

PIER 2/3 FUNCTION SPACE

The northern half of the Lower Shed contains a 1700m² function suitable for art exhibitions, festivals and events. The space is proposed to be left as 'raw' as possible, to preserve the historic character of the early 20th century industrial maritime interior.

The structure, floor and external walls remain largely untouched. The cargo doors will have glazing infill installed and space heating will be provided to ensure thermal comfort in winter.

The Pier 2/3 Function Space spans the full width of the building, offering views both east and west. A new opening is proposed in the eastern bay of the north wall, which was previously part of the open Colonnade, providing harbour views.

Contemporary elements within the space are located to the south. A double height pod accommodating service rooms, the goods lift, loading and store facilities is located on the eastern side. This sits behind the high level timber screen which was part of the original façade alignment before the Colonnade was filled in. Backing onto the heritage stair is a pod containing the Kitchen and Bar. The top of this pod provides a mezzanine for public and crew amenities and performance support, housing lighting and sound control.

The former 'Dead House' will be conserved as a Cloak Room.



Figure 86: Ground floor 'raw' Pier 2/3 Function Space, David Duloy 2017.

BELL SHAKESPEARE - OFFICES & WORKSHOPS

Bell Shakespeare's production areas, Workshops, Green Room and Boardroom are located at the southern end of Pier 2/3 in the Lower Shed.

Bell's Workshop and Costume facilities are located at the southern end of the tenancy with glazing facing the breezeway and doors that open to the eastern colonnade and western apron giving them a public presence within the Precinct. The Workshop provides space for Bell to make sets and props, as well as costumes.

Bell's Green Room and Boardroom are located on the Ground Floor adjacent the Workshops to encourage overlap between all members of the Company. The spaces can be combined for functions.

Bell's Reception and administrative Offices are located on the Mezzanine Level in the Lower Shed. The Offices accommodate up to 40 staff, along with Meeting Rooms and a Library.



Figure 87: Lower Shed



Figure 88: Bell Shakespeare Board Room.

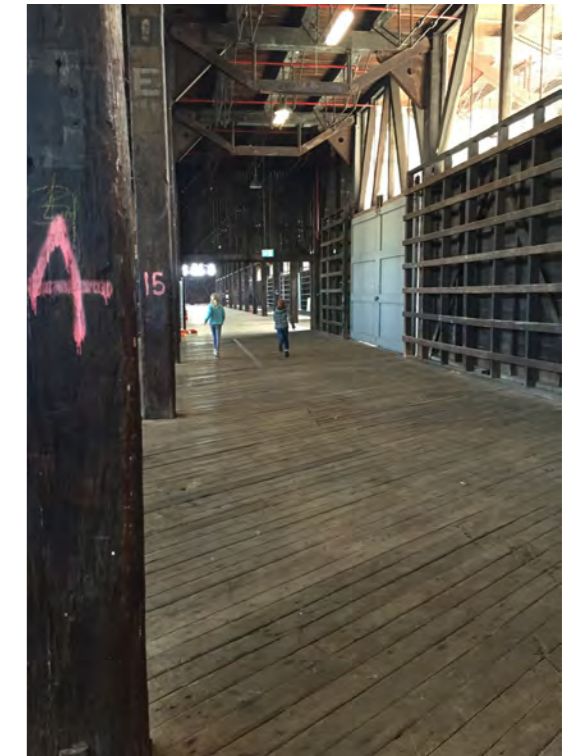


Figure 89: Lower Shed

AUSTRALIAN THEATRE FOR YOUNG PEOPLE - OFFICES & REHEARSAL

ATYP's Reception, Offices and smaller Rehearsal Room are located at the southern end of Pier 2/3 in the Lower Shed.

ATYP have their Reception at Ground Floor, while Bell's Reception is on the Mezzanine Level. This will allow ATYP to gather children in the foyer prior to rehearsals, while minimising the impact on Bell's day to day activities.

ATYP's Offices are located on the Mezzanine Level in the Lower Shed. The Offices accommodate up to 20 staff, along with a meeting room and staff breakout facilities.

ATYP's Rehearsal Room is a double height space, which can be accessed from both the Shared Foyer and the eastern Colonnade.

- ACO
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5.3 PIER 2/3 UPPER SHED LEVEL 1 AND LEVEL 2

The Upper Shed accommodates all of the performance spaces and associated back stage areas for ACO, Bell Shakespeare and ATYP.

Public access to the performance spaces is via the central Foyer, which is connected from Ground Floor to Level 1 by lifts and a grand stair. Bell and ATYP's spaces are located to the south of the Foyer, while ACO's Auditorium and Rehearsal room are to the north. The ACO's Function Space, also to the north, has expansive views towards Luna Park and the Harbour Bridge.

Along with the performance spaces, the Upper Shed also contains all of the associated back stage areas for crew and performers, along with the primary rehearsal spaces for the arts tenants. The ACO Offices are located on Level 2 at the northern end of the Pier.

Back of house access to the Upper Shed is via a shared lift at the southern end of the pier for ATYP and Bell and a lift at the northern end of the pier for ACO. A goods hoist at the centre of the pier serves all tenancies in the Upper Shed.

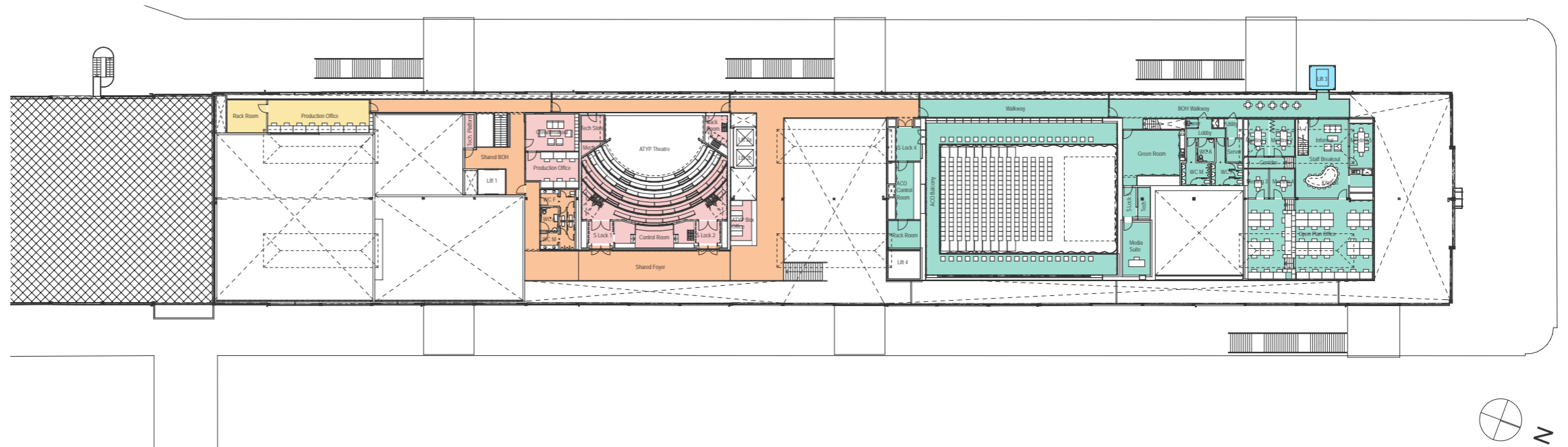


Figure 90: Level 2 floor plan

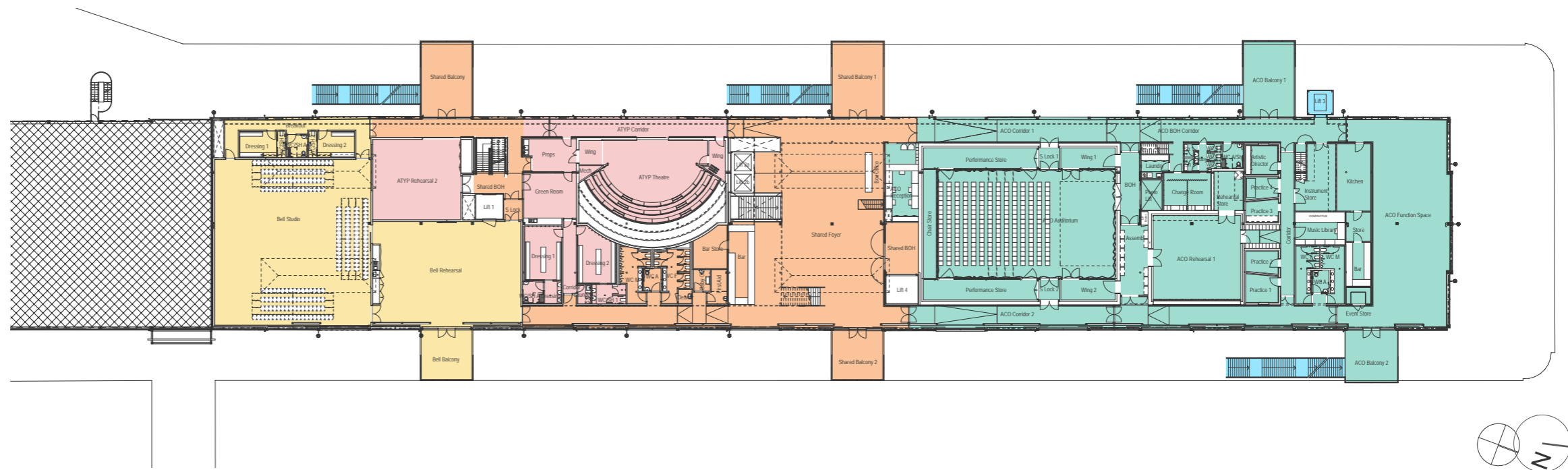


Figure 91: Level 1 floor plan

CENTRAL FOYER

At the centre of Level 1 is a double-height Foyer with a partial mezzanine. The Foyer is set over two bays, underneath the existing lanterns with generous balconies to both the east and west of the space. The central Foyer provides audience access to the ACO, ATYP and Bell performance venues, and visitor and management access to the ACO tenancy via their reception, located on Level 1. A small area of glass floor displays the retained heritage stair below.

At Level 2, a Mezzanine Foyer is reached by both lifts and a separate stair, and provides audience access to the ATYP Theatre and the ACO's Auditorium.

On both Level 1 and 2 of the foyer, there are patron toilets and bar/box office spaces to serve audiences.

The central foyer connects all of the circulation routes in the Upper Shed. A front of house corridor along the east of the shed provides access to Bell's Rehearsal and Studio spaces, the ACO Auditorium and the ACO Function Space. A back of house corridor along the west of the shed provides access for performers and crew into their respective back stage areas.

Access to the ATYP Theatre and supplementary access to the ACO Auditorium also occurs at the Mezzanine Level. The mezzanine of the foyer wraps around the eastern side of the ATYP Theatre providing a separate pre-show function area for ATYP complete with its own bar and views of the Harbour Bridge.



Figure 92: Central Foyer, David Duloy 2017.

ACO FUNCTION SPACE

At the northern end of the building is a 300m² full height function space with panoramic views of the Precinct to the west, the harbour to the north and the Sydney Harbour Bridge to the east.

Access to the ACO Function Space is via the central Foyer or the lift on the western apron. This space also has a balcony to the east with stairs accessing the apron of Pier 2/3.

The ACO Function Space has its own Bar, plating Kitchen and access to toilets for guests.

ACO OFFICE

ACO's Office is located at the northern end of Level 2 accessed via a new external lift and stair on the western facade or internally via the public lift and stairs.

The Office space is acoustically separated from the Function Space below to limit disturbance during events. It has a split level arrangement to accommodate the ceiling height required for the practice rooms below, requiring a new section of raised roof between the conserved lanterns above.



Figure 93: ACO Event Space



Figure 94: View from ACO Event Space balcony

ACO AUDITORIUM AND REHEARSAL

The 300 seat ACO Auditorium is located in the northern half of the Upper Shed. A retractable seating bank is built into the space and combined with loose seats can be arranged to achieve a variety of seating configurations.

To achieve the required volume, the central valley is proposed to be replaced with a flat roof. Four storey posts are to be removed and the existing trusses are to be reinforced with steel members to achieve the required span.

The upper level of the Auditorium is proposed to have full height glazing on both the eastern and western side. The audience will have generous views out to Sydney Harbour and the Precinct ensuring that a sense of place is integral to the experience of the performance. The proposal to reinstate high level glazing along the upper level of the east facade will enhance these views from within the auditorium.

To the north of the Auditorium there is a consolidated back of house area for performers, including Dressing Rooms, a Green Room and several Practice Rooms. The large Rehearsal room has expansive views towards Sydney Harbour and doubles up as an intimate function space.

A Plant Room servicing the ACO is located between the outer ridges underneath the central flat roof section. Replacement of the centre part of two timber trusses with steel portals is required to accommodate the required plant and equipment.

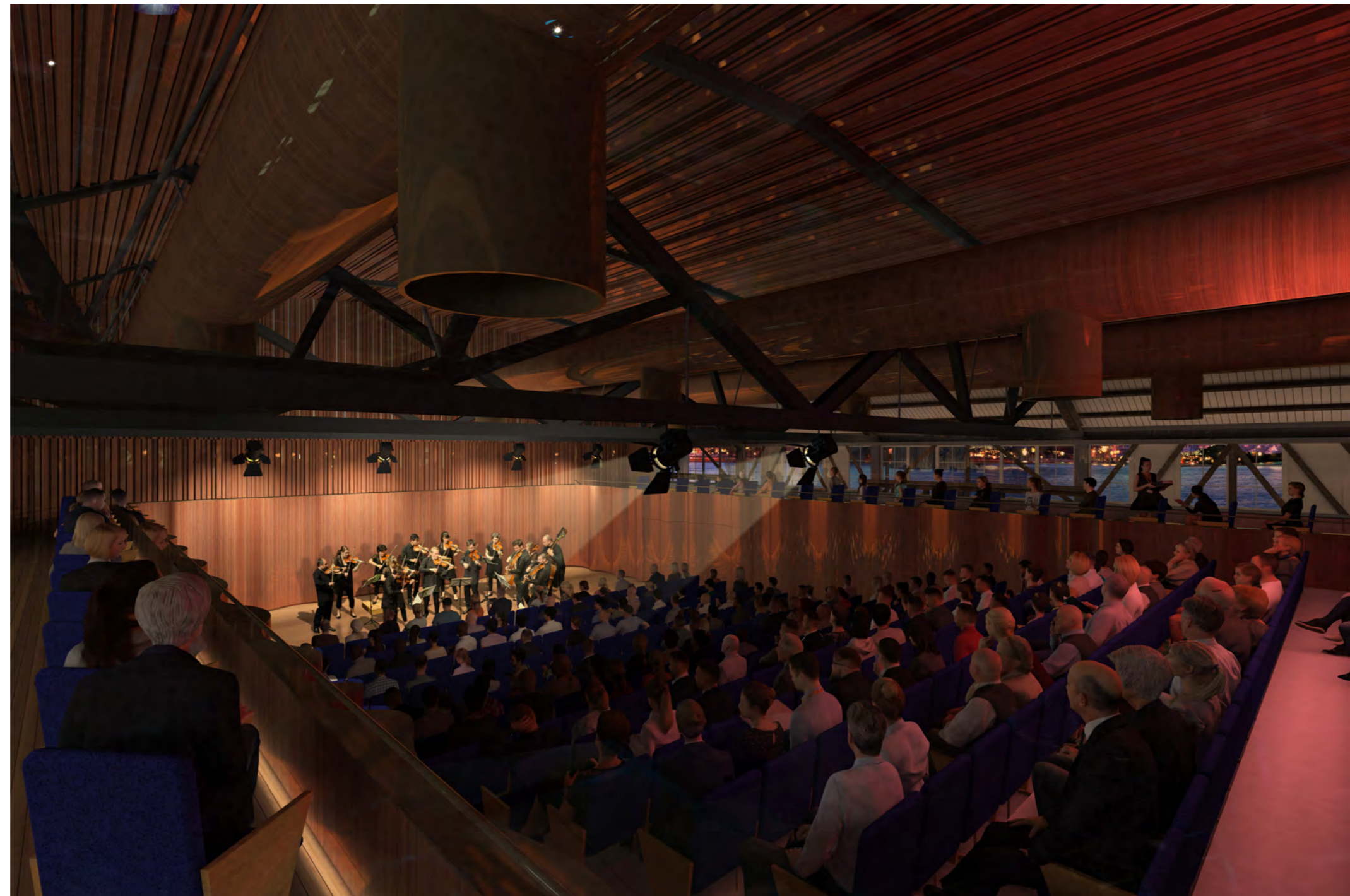


Figure 95: ACO Auditorium, David Duloy 2017.

ATYP

ATYP will have a new purpose-designed Theatre for an audience of 200 people. The ATYP Theatre is acoustically separated and fully air-conditioned. It will have excellent sight lines and an intimate 'feel', with a fully equipped stage. The theatre is arranged in a semi-circular, thrust arrangement with a steep rake. This limits the distance required for children performers to project their voices and maximises a sense of intimacy and audience engagement.

Two columns are proposed to be removed to accommodate the theatre. The roof valley in this area will also be raised in order to house associated plant and allow for high-level technical theatre access.

Audience access to the ATYP Theatre is via the upper level Foyer space at Level 2. The Theatre is supported by Dressing Rooms, a Green Room and Production Office.

ATYP also have their primary Rehearsal space in the Upper Shed. This space will be used for full scale reproductions of the shows that will be performed in the theatre adjacent.



Figure 96: ATYP Theatre, David Duloy 2017.

BELL SHAKESPEARE

The southern end of the Upper Shed accommodates Bell Shakespeare's Studio and Rehearsal room. The spaces are sized such that Bell can undertake full-scale rehearsals for shows to be performed in the Drama Theatre and Playhouse at the Sydney Opera House.

While primarily for rehearsal purposes, Bell Shakespeare will also use their Studio to host performances for an audience of up to 300 people using a combination of retractable seating banks and loose seating. When used in this configuration, Bell may utilise their smaller Rehearsal Room as a foyer for pre-show functions.

Two columns are proposed to be removed in the southern Bell Studio, with new steel structure required under the existing valley.

A Plant Room servicing the Bell and ATYP tenancies is located between the outer ridges underneath the central flat roof section. Replacement of three timber trusses with steel portals is required to accommodate the required plant and equipment.

The Bell Studio and Rehearsal spaces are supported by Dressing Rooms, a Production Office and a technical Control Room.



Figure 97: Bell Shakespeare large Rehearsal Room, David Duloy 2017.

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5.4 WHARF 4/5 LOWER SHED

Wharf 4/5 currently accommodates Sydney Dance Company and Bangarra Dance Theatre in the Lower Shed, along with Sydney Theatre Company in the Upper Shed. Internal works to STC are the subject of a separate SSSA.

New Offices for the Philharmonia, Gondwana and Song Company Choirs are proposed at the centre of the Lower Shed over two levels.

Services upgrades are proposed throughout the Wharf in order to meet current standards. Public amenities and service rooms are located adjacent the Choirs tenancy.

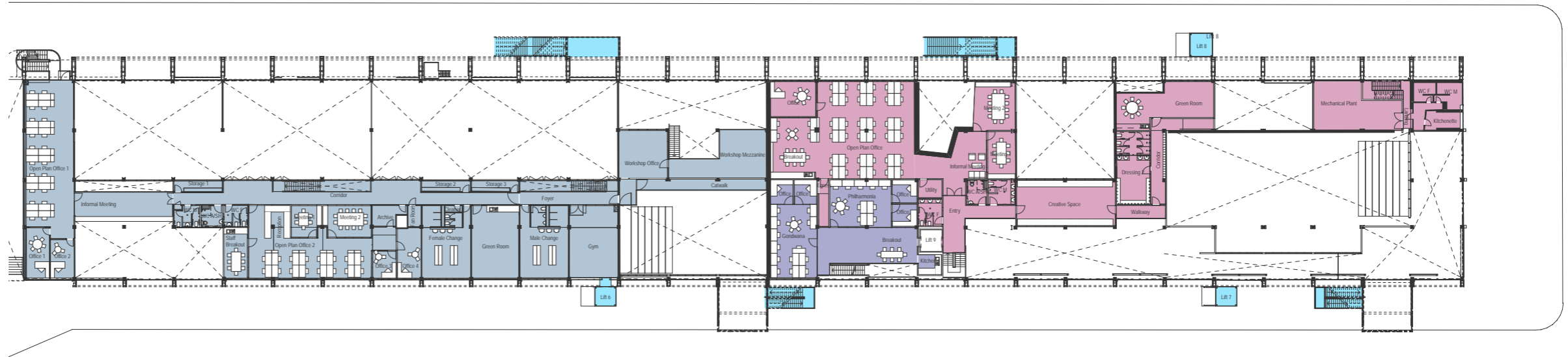


Figure 98: Wharf 4/5 Mezzanine plan

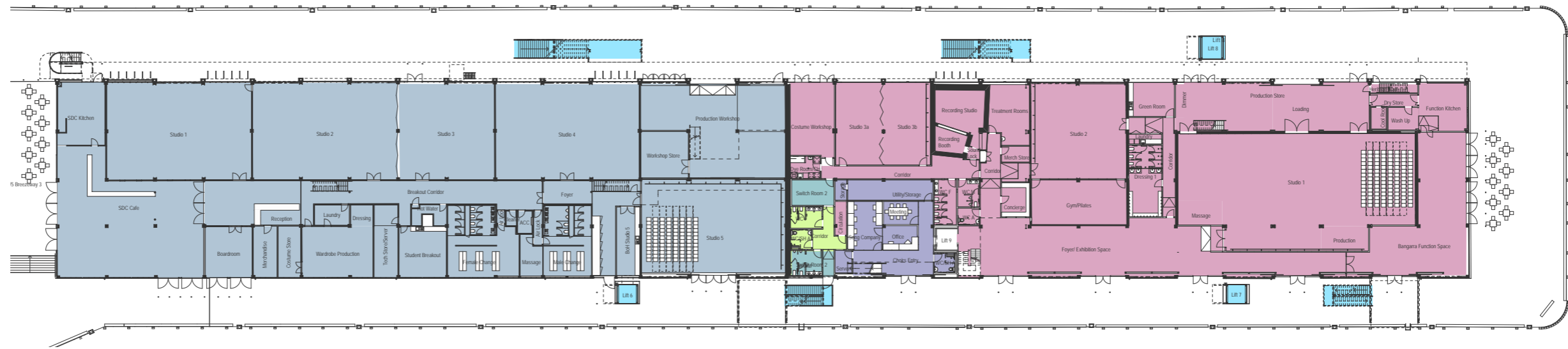


Figure 99: Wharf 4/5 Ground floor plan

BANGARRA

The design proposes an internal reconfiguration of Bangarra's tenancy to incorporate:

- A new Foyer and Exhibition Space along the eastern wharf frontage.
- A new Function Space at the north end of the pier.
- Upgrade of Studio 1, the main rehearsal and performance space, to provide improved daylight and natural ventilation.
- Removal of a column in Studio 2 to improve usability.
- Two multi-purpose Studios for visiting artists with an operable wall to allow for use as a third rehearsal studio.
- Consolidated office space at Mezzanine Level.
- New services throughout the tenancy as required.



Figure 100: Bangarra Function Space, David Duloy 2017.

SYDNEY DANCE COMPANY

Upgrades to Sydney Dance Company's tenancy include:

- Upgraded reception area and retail space.
- Subdivision of existing workshop and removal of two existing columns to create an additional studio, Studio 5. The studio will be a multi-purpose space for dance classes and rehearsal, small performances and functions with a retractable seating bank to the south provided by the tenant.
- New glazing alongside the existing cafe, allowing the eastern facade to open up to the Waterfront Square and Breezeway.
- Reconfigured open plan office space at the mezzanine level.
- The public and patrons of the Sydney Dance Company Cafe will be provided with additional public toilet facilities such that access to SDC amenities can be restricted for security.
- Structural strengthening and fire proofing of existing steel beams.
- New services throughout the tenancy as required.



Figure 101: Sydney Dance Company, Studio 5, David Duloy 2017.

5.5 WHARF 4/5 UPPER SHED

SYDNEY THEATRE COMPANY

The internal refurbishment and fitout of the STC leasehold is the subject of a separate, concurrent SSDA. Works proposed as part of this SSDA are generally limited to those associated with external modifications and/or major structural interventions to the original fabric of the wharf. Externally these works include the following:

- External refurbishment of the building.
- Removal of the existing external lift to improve the entry to the Precinct.
- New lifts and stairs for access and egress.
- New gantry balconies associated with the new stairs.
- Modifications to the existing roof and roof plant platforms.
- Modifications to the existing external stairs and balconies to comply with current codes.
- Modifications to the existing openings that were introduced during the previous renovation of the building.
- New openings and glazing to the west of the building for egress and natural light.

Internal works included in this SSDA are as follows:

- Removal of nine timber columns.
- Reinstatement of three timber columns that were removed during the previous renovation of the building.
- Reinforcement of several existing timber trusses to account for the removal of columns and increased loading for high-level, technical theatre access.
- Supplementary steel beams and columns to support modifications to existing roof.
- Partial removal of two timber trusses in the Workshop and replacement with steel portals.
- New entry stairs and internal lift.



Figure 102: Sydney Theatre Company, STC50 interior perspective by Doug and Wolf.

- ACO
- ATYP
- BANGARRA
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5.6 SHORE SHEDS

The existing tenancies within the Wharf 2/3 Shore Sheds contain a cafe, restaurant and a function centre. While they fall outside the scope of works, they will contribute to the activation of the precinct as a whole. The remaining Wharf 4/5 Shore Sheds will be refurbished to contain:

SHORE SHEDS EAST

- Visitor Portal and Precinct Manager's Office
- Two Commercial tenancies
- Services rooms
- STC Workshops to Upper Shed.

SHORE SHEDS CENTRAL

- Reconfigured entry to Wharf 4/5, including a new STC Box Office/Welcome Centre to improve the entry sequence.
- New Choirs Rehearsal spaces facing the SDC cafe
- Precinct Amenities
- Service rooms
- STC Workshops to Upper Shed.

SHORE SHEDS WEST

- Commercial tenancy
- Precinct Store
- Precinct Waste Room
- Secure Bicycle Store for tenants
- STC Workshops to Upper Shed.



Figure 103: Wharf 4/5 Shore Shed Ground floor plan



Figure 104: Wharf 4/5 Shore Shed Mezzanine plan

6.0 EXTERIOR DESIGN

6.1 PIER 2/3 EAST ELEVATION

The eastern elevation of Pier 2 provides a principal entrance to the precinct via the axial bridge and existing colonnade. The existing building facade has a chequerboard pattern of sliding cargo doors which open up to provide panoramic views of the Sydney Harbour Bridge.

The following facade interventions are proposed:

- Cargo doors on the upper and lower floors are to remain operable, except at gantries where egress is required to be maintained.

Glazing is to be installed to the full extent of the opening. This will enable flexibility to provide panoramic views of Sydney Harbour Bridge from the internal spaces and also shut them off for possible performance and event scenarios.

- At three key locations, generous steel framed balconies provide breakout space from the internal public areas. The design of these balconies echoes the form and detailing of the original gantries
- The northernmost balcony includes steel framed stairs which provide access to the ACO Function Space.

- An elevated walkway is proposed within the colonnade, at the level of the interior, providing safe pedestrian access separated from service vehicles at the lower apron level.
- A new canopy is proposed on the east facade above the loading area in order to provide shelter for the safe movement of goods. The canopy will be a contemporary steel element that interprets historical loading platforms that were present.
- Replacement of the existing metal infill panels on Level 2 to every second highlight over the cargo doors with timber framed windows to match the original.



Figure 105: Existing east elevation Pier 2/3.



Figure 106: Proposed east elevation Pier 2/3, (alterations shown in blue).