

State Significant Development Application

for alterations & additions to The Mercantile Hotel  
25-27 George Street, The Rocks, NSW, 2000

Revision March 2019

FINISHES SCHEDULE



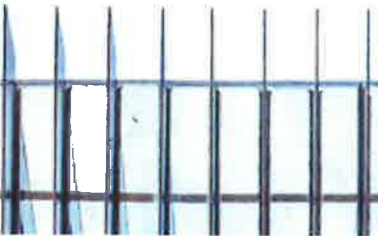
mr + mc  
Zinc Standing Seam Roofing + Cladding



st  
Mild Steel with Micaceous Oxide Paint




pv  
Pavers



fg  
Steel Framed Fixed Glass

AREA CALCULATIONS

Existing GFA:		Proposed GFA:	
Hotel:	394.7 m <sup>2</sup>	Hotel:	237.5 m <sup>2</sup>
Restaurant / Bar:	253.8 m <sup>2</sup>	Restaurant / Bar:	305.6 m <sup>2</sup>
BOH / Offices:	31.6 m <sup>2</sup>	BOH / Offices:	79.5 m <sup>2</sup>
Kitchen:	16.8 m <sup>2</sup>	Kitchen:	92.8 m <sup>2</sup>
Amenities:	37.7 m <sup>2</sup>	Amenities:	76.9 m <sup>2</sup>
Circulation:	98.3 m <sup>2</sup>	Circulation:	103.3 m <sup>2</sup>
Total:	832.9 m <sup>2</sup>	Total:	895.6 m <sup>2</sup>

 **Planning,  
Industry &  
Environment**

Issued under the *Environmental Planning and Assessment Act 1979*

Approved Application No. SSD 8665

Granted on 4/12/2019

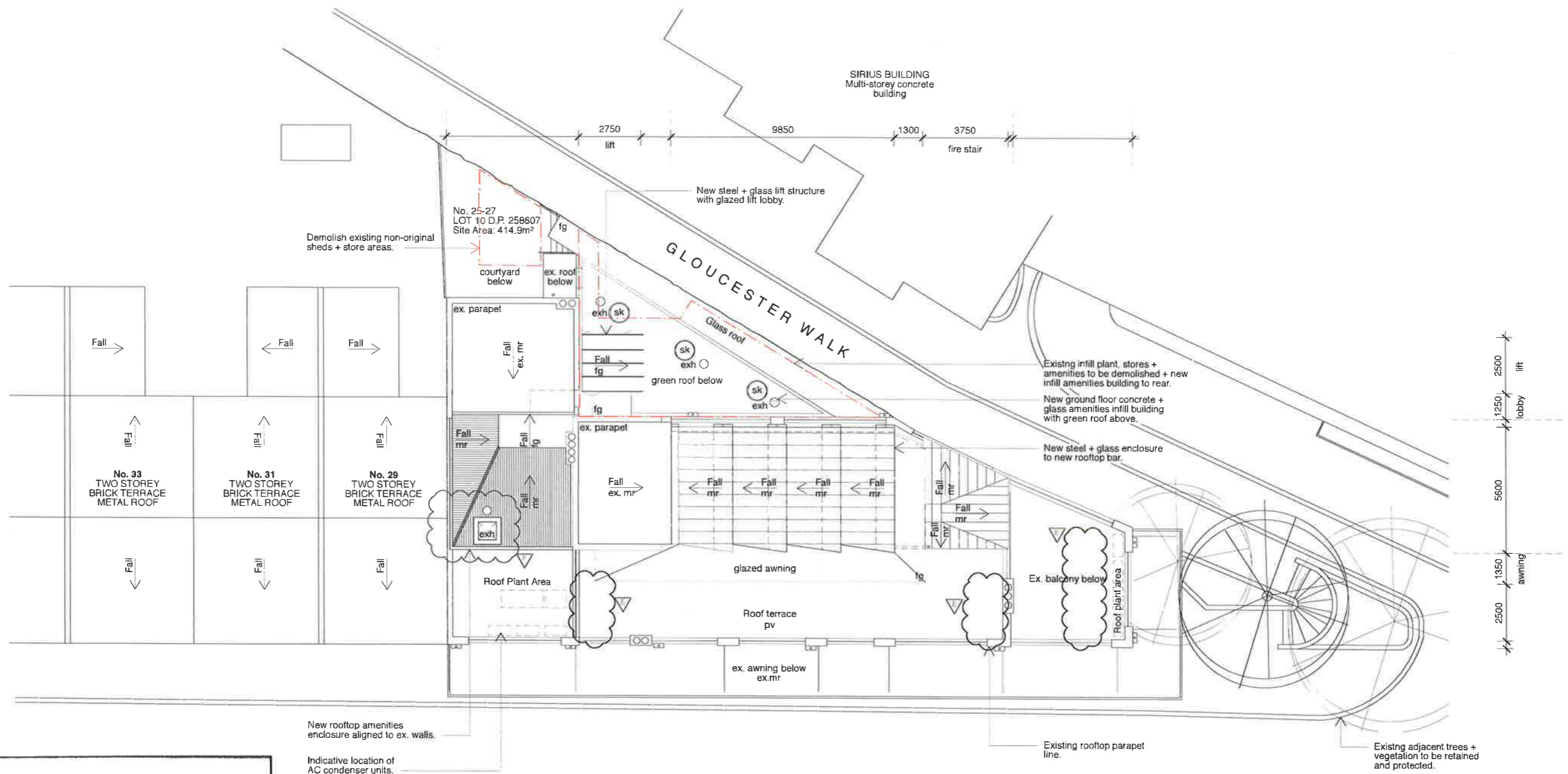
Signed [Signature]

Sheet No 1 of 30



1 Location Plan  
NTS





**NSW GOVERNMENT** | **Planning, Industry & Environment**

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Sheet No 2 of 30



Issue / Amendments:	Date:
- For SSDA	20.12.17
A Final for SSDA	07.02.18
B Final for SSDA - updated	11.04.18
C Final for SSDA - updated	23.04.18
D For SSDA Submission - removal of dining room gas insert	07.05.18
E For SSDA - Services coordination added, existing materials indicated planters removed	11.01.19
F For SSDA - Lift dimensions rev'd	29.03.19



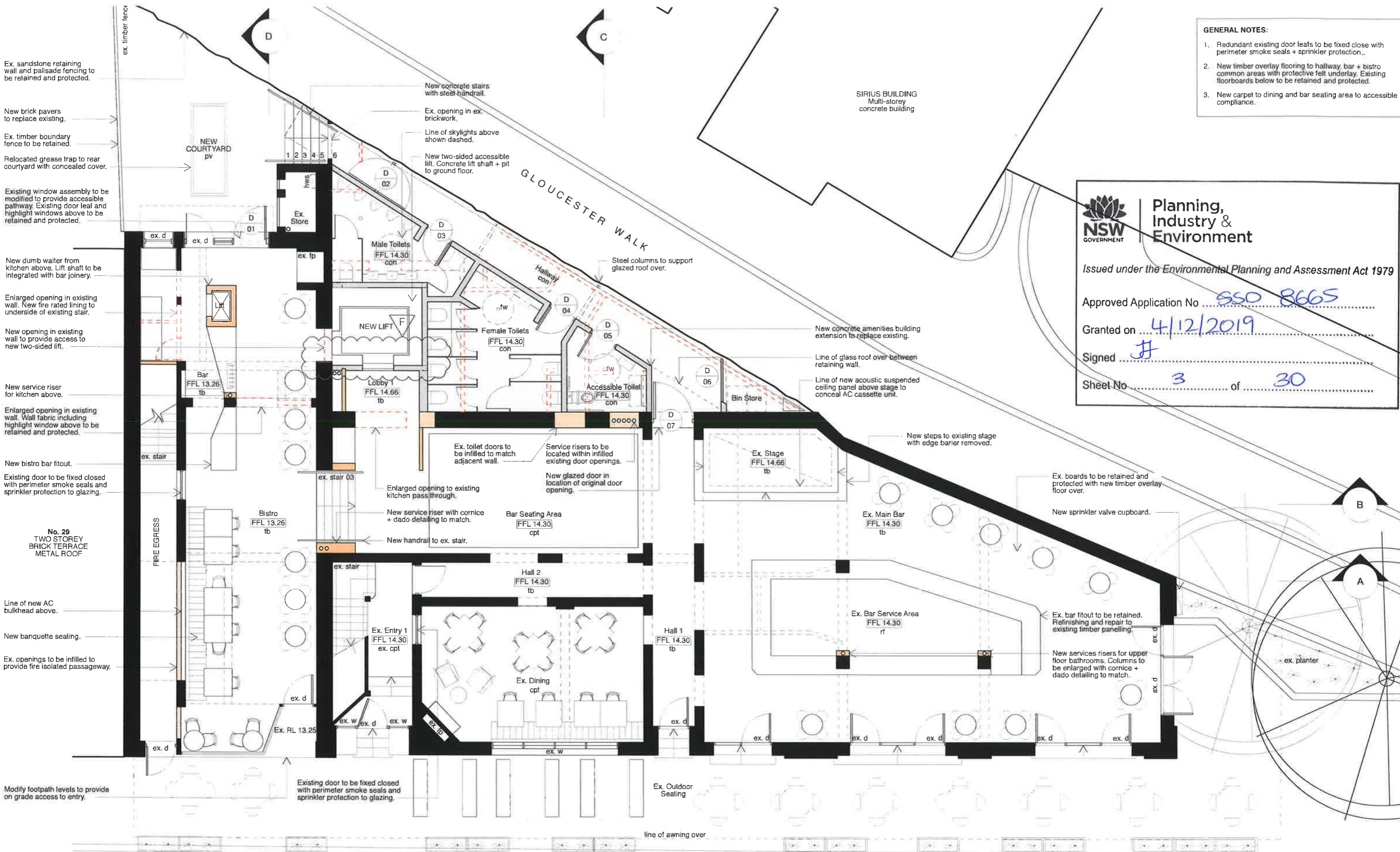
Legend:	
AC air-conditioning	ms mild steel
c column	mr metal roofing
cpl carpet	pb plasterboard
con concrete	pbr painted brick
ct ceramic tiles	pp pressed metal
d door	pr permeable paving
db distribution board	pf resilient flooring
dp downpipe	rm rendered masonry
ex existing	rwh rain water head
fb face brick	sk skylight
fc fibre cement	st steel
fg fixed glass	tb timber boards
fl flue	td timber deck
hws hot water system	tm timber
mc metal cladding	w window

Line of structure over / under	---
To be demolished	- - - - -
Existing timber floor	▬
Existing double brick structure	▬
Existing lightweight structure	▬
New masonry structure	▬
New concrete structure	▬
New lightweight structure	▬

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Tel: 02 9699 6066  
ABN: 67 612 977 303  
Nom. Archs: C. Major ARB No 9193  
D. Welsh ARB No. 6968

**Welsh+Major**

Project	Project Ref. No.			
The Mercantile Hotel	1505			
25-27 George Street, The Rocks, 2000				
Drawing Title	Drawing No.			
Proposed Site Plan	SSDA.101			
Scale:	Date:	Drawn:	Checked:	Issue:
1:200	December 2017	CD	CM	F



- GENERAL NOTES:**
1. Redundant existing door leaves to be fixed close with perimeter smoke seals + sprinkler protection.
  2. New timber overlay flooring to hallway, bar + bistro common areas with protective felt underlay. Existing floorboards below to be retained and protected.
  3. New carpet to dining and bar seating area to accessible compliance.

**NSW GOVERNMENT**

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Sheet No 3 of 30

**Note:**  
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**State Significant Development Application**

**Issue / Amendments:**

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	For SSDA - Lift dimensions rev'd	29.03.19

**Date:**

20.12.17  
07.02.18  
11.04.18  
23.04.18  
07.05.18  
11.01.19  
29.03.19

**Legend:**

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
cl	ceramic tiles	pp	pressed metal
d	door	pr	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	sl	steel
fg	fixed glass	tb	timber boards
fl	floor	td	timber deck
hws	hot water system	tm	timber window
mc	metal cladding	w	window

**Line of structure over / under**

To be demolished

Existing timber floor

Existing double brick structure

Existing lightweight structure

New masonry structure

New concrete structure

New lightweight structure

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**Welsh+Major**

**Project**

The Mercantile Hotel

25-27 George Street, The Rocks, 2000

**Project Ref. No.**

1505

**Drawing Title**

Proposed Ground Floor Plan

**Drawing No.**

SSDA.102

**Scale:**

1:100

**Date:**

December 2017

**Drawn:**

CD

**Checked:**

CM

**Issue:**

F

Not approved -  
refer to  
condition A6(a)

1. Redundant existing door leafs to be fixed close with perimeter smoke seals.
2. Existing door leafs to accommodation rooms to be fire upgraded, including perimeter smoke seals, self-closers and intumescent paint.
3. New timber overlay flooring to hallway and common areas with protective felt underlay. Existing floorboards below to be retained and protected.
4. Existing floorboards to be carefully raised and relaid to allow installation of new services + acoustic insulation in existing floor cavities.
5. 4mm acoustic impact layer to be laid under ex. floorboards with new carpet over to accommodation rooms. Height of skirting and architraves to be retained in situ.

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Environment**

Approved Application No. SSD 8665

Granted on 4/12/2019

Signed \_\_\_\_\_

Sheet No. 4 of 30

New -/60/30 fire door fitted  
within ex. arched opening.

Existing window to be removed  
+ stored to accommodate  
kitchen air intake. \_\_\_\_\_

New commercial kitchen fitout within ex. rooms. Services to run in new raised floor structure with resilient flooring over. Walls to be protected with new framed + lined partitions.

Refer to services drawings  
for mechanical exhaust  
and service details.

Indicative kitchen layout: —————

Indicative kitchen exhaust hood over. — — — — —

**No. 29**  
TWO STOREY  
BRICK TERRACE  
METAL ROOF

New -/60/30 fire door  
within new framed wall. \_\_\_\_\_

Hydraulic services to run  
in new framed walls. \_\_\_\_\_

New demountable cool room. —

New kitchen prep fitout within ex. room. Services to run in new raised floor structure with resilient flooring over.

Note:  
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### State Significant Development Application

- For SSDA
- A Final for SSDA
- B Final for SSDA - updated
- C Final for SSDA - updated
- D For SSDA Submission - removal of dining room gas insert
- E For SSDA - Services coordination added, existing materials indicated
- F For SSDA - Lift dimensions rev'd

20.12.17  
07.02.18  
11.04.18  
23.04.18  
07.05.18  
11.01.19  
29.03.19

AC	air-conditioning	ms	mild steel	over / under
cc	column	mr	metal roofing	To be demolished
cpt	carpet	pb	plasterboard	
con	concrete	pbr	painted brick	Existing timber floor
cl	ceramic tiles	pm	pressed metal	Existing double brick structure
cd	door	pr	permeable paving	
db	distribution board	rf	resilient flooring	Existing lightweight structure
dp	dowelpipe	rm	rendered masonry	New masonry structure
ex	existing	rwh	rain water head	
fc	face brick	sk	skylight	
fg	face cement	sl	steel	
tf	fixed glass	tb	timber boards	New concrete structure
if	insulation	td	timber deck	
hws	hot water system	tm	timber	New lightweight structure
mc	metal cladding	w	window	

	Line of structure over / under
	To be demolished
	Existing timber floor
	Existing double brick structure
	Existing lightweight structure
	New masonry structure
	New concrete structure
	New lightweight structure

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**Welsh+**  
**Major**

Project  
**The Mercantile Hotel**  
25-27 George Street, The Rocks, 2000

Drawing Title  
**Proposed First Floor Plan**

Scale:  
1:100

Date: December 2017

Drawn  
CD

Project Ref. No. \_\_\_\_\_

1505

Drawing No.  
**SSDA.103**

Checked:	Issue:
CM	F

GENERAL NOTES:

1. Redundant existing door leaves to be fixed close with perimeter smoke seals.
2. Existing door leaves to accommodation rooms to be fire upgraded, including perimeter smoke seals, self-closers and intumescent paint.
3. New timber overlay flooring to hallway and common areas with protective felt underlay. Existing floorboards below to be retained and protected.
4. Existing floorboards to be carefully raised and relaid to allow installation of new services + acoustic insulation in existing floor cavities.
5. 4mm acoustic impact layer to be laid under ex. floorboards with new carpet over to accommodation rooms. Height of skirting and architraves to be retained in situ.



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Sheet No 5 of 30

Ex. fire stair to be retained.  
New overlay flooring + carpet  
runner to protect ex. stair.

New steel framed glazed +  
metal clad lift shaft with  
two-sided accessible lift.

SIRIUS BUILDING  
Multi-storey  
concrete building

GLOUCESTER WALK

New ensuite pods to be installed  
within ex. non-original bathroom  
fitout. Services to be installed in new  
framed walls. Existing bathroom fitout  
and finishes to be removed.

New fire egress stair from rooftop  
above set off ex. walls + cornice.

Indicative location of AC condenser  
units located below ex. parapet walls.

New -60/30 fire doors fitted  
within ex. arched opening.

No. 29  
TWO STOREY  
BRICK TERRACE  
METAL ROOF

New exhaust riser from kitchen  
below.  
  
New freestanding ensuite  
'pod' within ex. room. Pod  
construction to be fully  
reversible with raised floor to  
conceal services.

Demolish existing ensuite  
fitout and make good  
ceiling and wall detail.

Note:  
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State Significant Development Application



Issue / Amendments:

- For SSDA
- A Final for SSDA
- B Final for SSDA - updated
- C Final for SSDA - updated
- D For SSDA Submission - removal of dining room gas insert
- E For SSDA - Services coordination added, existing materials indicated, planters removed
- F For SSDA - note revised
- G For SSDA - Lift dimensions rev'd

Date:

- 20.12.17
- 07.02.18
- 11.04.18
- 23.04.18
- 11.01.19
- 04.02.19
- 29.03.19

Legend:

- |     |                    |     |                    |
|-----|--------------------|-----|--------------------|
| AC  | air-conditioning   | ms  | mild steel         |
| c   | column             | mr  | metal roofing      |
| cpt | carpet             | pb  | plasterboard       |
| con | concrete           | pbr | painted brick      |
| ct  | ceramic tiles      | pp  | pressed metal      |
| db  | distribution board | pp  | permeable paving   |
| dp  | downpipe           | rm  | resilient flooring |
| ex  | existing           | rw  | rain water head    |
| fb  | face brick         | sk  | skylight           |
| fc  | fibre cement       | st  | steel              |
| fg  | fixed glass        | tb  | timber boards      |
| fl  | flue               | td  | timber deck        |
| hws | hot water system   | tm  | timber             |
| mc  | metal cladding     | w   | window             |
- Line of structure over / under
- To be demolished
- Existing timber floor
- Existing double brick structure
- Existing lightweight structure
- New masonry structure
- New concrete structure
- New lightweight structure

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**Welsh+  
Major**

Project

The Mercantile Hotel  
25-27 George Street, The Rocks, 2000

Drawing Title  
Proposed Second Floor Plan

Scale:

1:100

Date:

December 2017

Drawn:

CD

Checked:

CM

Issue:

G

Project Ref. No.

1505

Drawing No.

SSDA.104



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Approved Application No ... SSD 8665

Granted on ... 4/12/2019

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Sheet No ... 6 ... of ... 30

New kitchen servery fitout in  
ex. store room. Services to  
run in new raised floor below.

Ex. fire stair to be retained.  
New overlay flooring + carpet  
runner to protect ex. stair.

New openings in ex. wall +  
removal of old laundry copper  
to provide accessible pathway  
to new rooftop restaurant.

New timber framed  
rooftop amenities building.

High level fire rated glass  
for natural lighting.

No. 29  
TWO STOREY  
BRICK TERRACE  
METAL ROOF

New mechanical kitchen  
exhaust riser.

Indicative location of AC  
condenser units located on  
ex. roof behind parapet walls.

New glazed and steel lift shaft  
with two-sided accessible lift.

Steel framed glazing to  
north side of lift shaft.  
New glazed lift lobby.

Enlarged opening to provide  
accessible pathway to lift lobby.

Partial removal of  
existing laundry wall.  
New bar fitout in ex. laundry.  
Services to run in new raised  
floor structure below.

New landscaped planter to  
provide visual privacy.

New steel framed + glazed rooftop  
enclosure. Fixed glazing panels along  
western edge to provide acoustic privacy.

New rooftop floor structure over  
existing roof framing. Ex. roof  
framing to be retained and protected.

New steel and timber framed fire  
stair structure. Stair to connect to  
ex. egress stair below.

Existing  
guest  
balcony  
below

New roof terrace floor to fall to ex.  
sump + rain water head locations.

Note:  
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State Significant Development Application

Issue / Amendments:

- For SSDA  
A Final for SSDA  
B Final for SSDA - updated  
C Final for SSDA - updated  
D For SSDA Submission - removal of dining  
room gas insert  
E For SSDA - Services coordination added,  
existing materials indicated/planters removed  
F For SSDA - Lift dimensions rev'd

Date:

20.12.17  
07.02.18  
11.04.18  
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11.01.19  
29.03.19

Legend:

AC air-conditioning  
c column  
cpt carpet  
con concrete  
cl ceramic tiles  
d door  
db distribution board  
dp downpipe  
ex existing  
fb face brick  
fc fibre cement  
fg fixed glass  
fl flue  
hws hot water system  
mc metal cladding  
ms mild steel  
mr metal roofing  
pb plasterboard  
pbr painted brick  
pp pressed metal  
pm permeable paving  
pp resilient flooring  
rm rendered masonry  
rw rain water head  
sk skylight  
st steel  
tb timber boards  
td timber deck  
tw timber window  
Line of structure  
over / under  
To be demolished  
Existing timber  
floor  
Existing double  
brick structure  
Existing lightweight  
structure  
New masonry  
structure  
New concrete  
structure  
New lightweight  
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**Welsh+  
Major**

Project

The Mercantile Hotel  
25-27 George Street, The Rocks, 2000

Drawing Title  
Proposed Roof Terrace Plan

Scale:  
1:100

Date:  
December 2017

Drawn:  
CD

Checked:  
CM

Issue:  
F

Project Ref. No.

1505

Drawing No.  
SSDA.105



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Industry &  
Environment

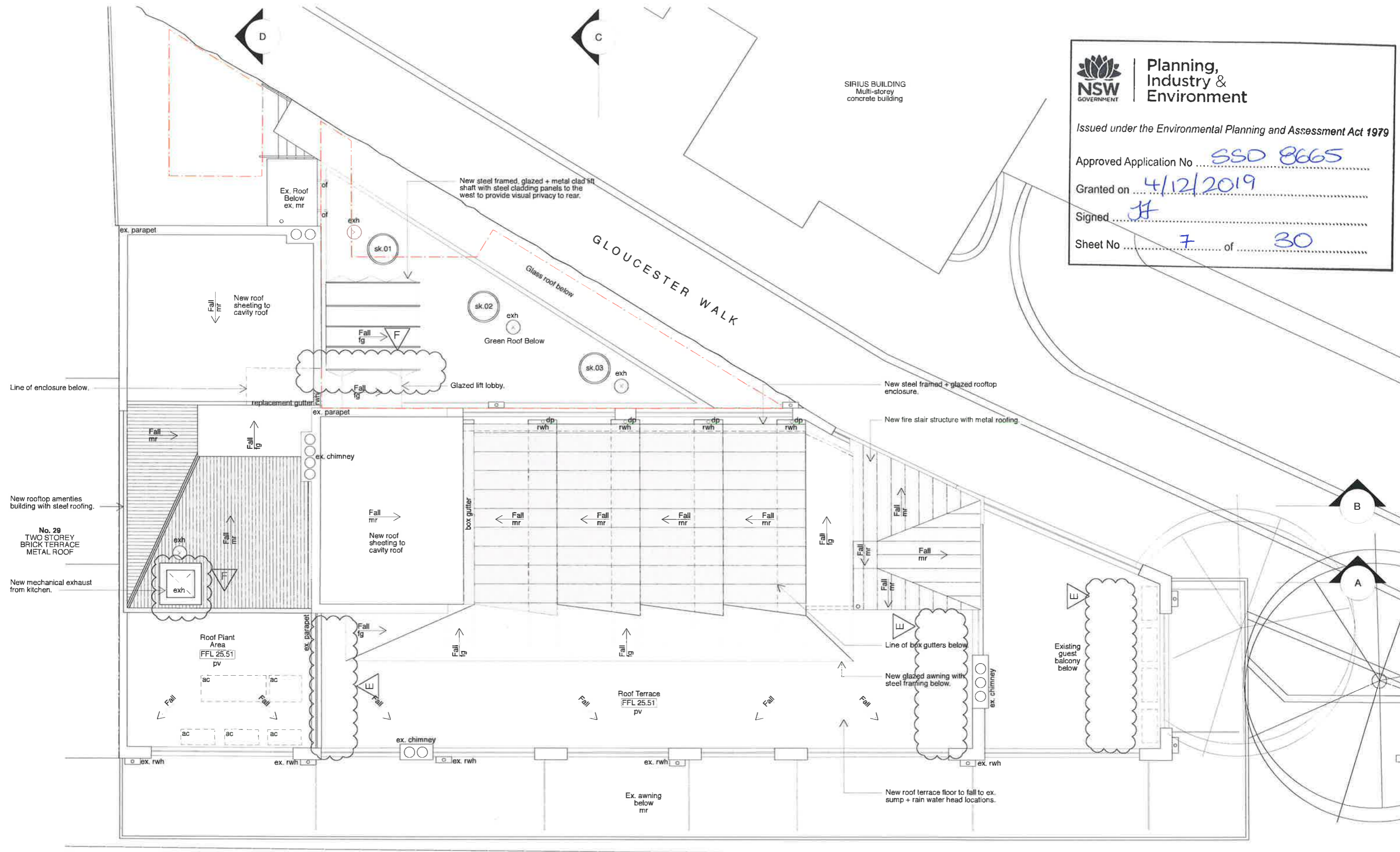
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Sheet No ... 7 of ... 30



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State Significant Development Application

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Legend:

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Line of structure over / under  
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**Welsh+Major**

Project

The Mercantile Hotel  
25-27 George Street, The Rocks, 2000

Drawing Title  
Proposed Roof Plan

Scale:  
1:100

Date:  
December 2017

Drawn:  
CD

Checked:  
CM

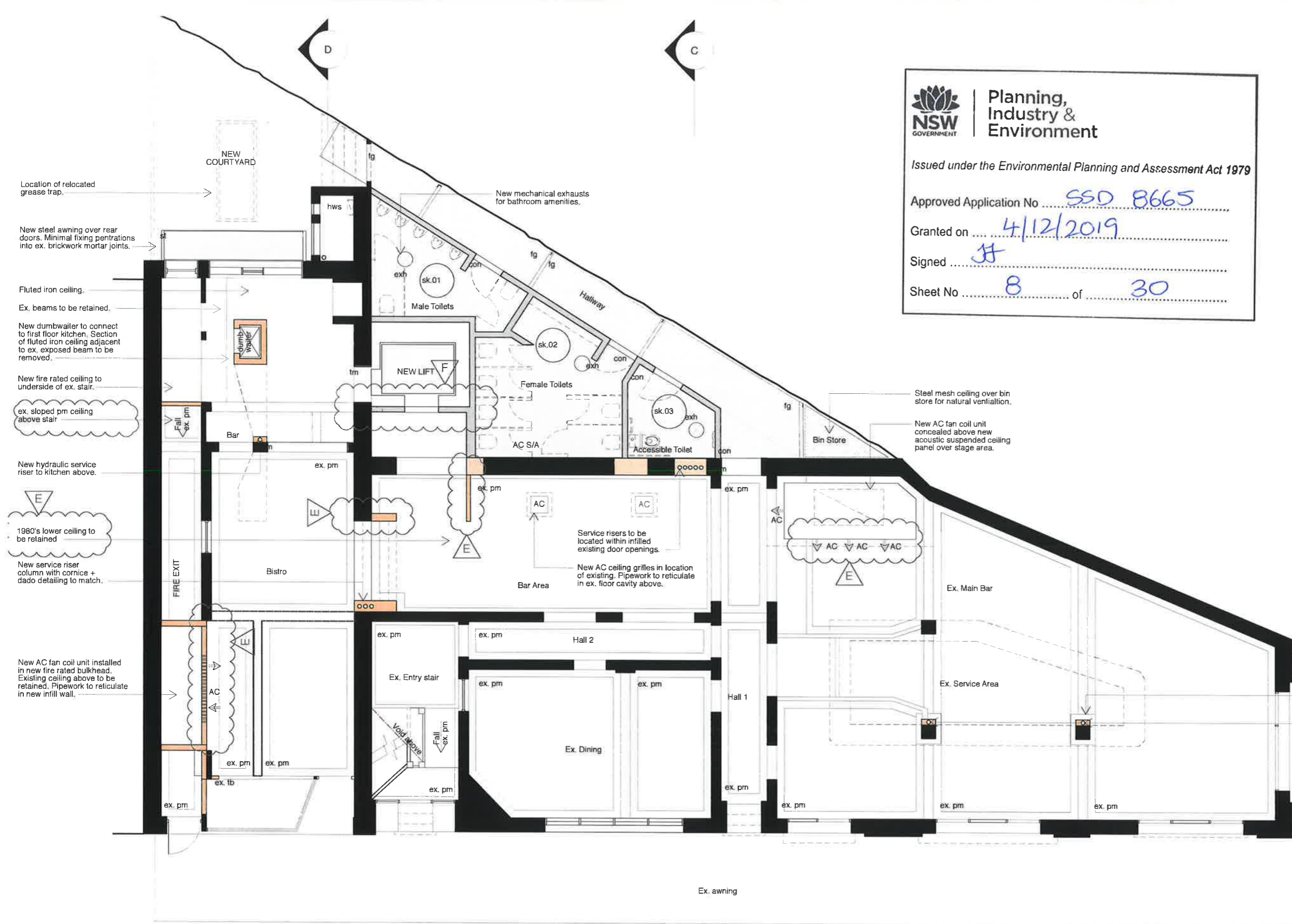
Issue:  
F


Project Ref. No.

1505

Drawing No.

SSDA.106





**Planning,  
Industry &  
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Sheet No 8 of 30

- GENERAL NOTES - SERVICES:**
1. All new electrical services to be installed in new framed walls or within new or existing floor cavity.
  2. Hydraulic services to run in new floor structure where possible.
  3. Existing penetrations/fixing locations to be re-used for new services.
  4. Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
  5. No services to be chased in existing masonry walls.
  6. New lighting fixtures + switches to generally use location of existing.
  7. Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
  8. Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
  9. Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.
  10. New framed walls, floors and ceilings for kitchen and bathroom pods to be set-off ex. walls by min. 35mm to retain ex. skirting boards, dado rails etc. New ceilings to be lower than ex. to retain decorative cornice and picture rails. Heritage Architect to review on site.
  11. Refer to services drawings for locations of electrical, hydraulic and mechanical services.

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Legend:

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c	column	mr	metal roofing
cpl	carpet	pb	plasterboard
con	concrete	pbr	painted brick
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fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber window
mc	metal cladding	w	window

Line of structure over / under

To be demolished

Existing timber floor

Existing double brick structure

Existing lightweight structure

New masonry structure

New concrete structure

New lightweight structure

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**Welsh+Major**

Project

**The Mercantile Hotel**

25-27 George Street, The Rocks, 2000

Drawing Title

**Proposed Ground Floor RCP**

Scale:

1:100

Date:

December 2017

Drawn:

CD

Checked:

CM

Issue:

F

Project Ref. No.

**1505**

Drawing No.

**SSDA.107**

New AC fan coil unit installed in cavity between new and existing ceilings. Pipework to reticulate in new ceiling and wall framing.

New dumb waiters to connect to rooftop and ground level located in ex. room noted with intrusive significance. Ex. plasterboard finish to be removed in location of localised ceiling penetrations.

Not approved - refer to Condition A6(a)

Existing window to be removed to accommodate kitchen air intake.

New exhaust hood and duct over new kitchen cooking area. Suspended from new fire rated ceiling. 800x800mm exhaust riser to run to rooftop.

Location of exhaust riser above new fire rated ceiling.

New demountable cool room with motor installed over new ceiling.

New AC fan coil unit installed in cavity between new and existing ceilings. Pipework to reticulate in new ceiling and wall framing.

New fire rated suspended ceiling fixed from new framed wall structure.

New service risers to be located in new framed walls set-off from ex. cornice.

New AC fan coil unit installed over new bathroom pod ceiling. Penetrations through ex. wall for AC supply and return air grilles.

New AC pipework to reticulate in new ceiling and wall framing.


New mechanical exhaust to service internal bathroom pod. Discharged through wall through localised penetration and grille on wall to match style of ex. grilles. To be confirmed on site with Heritage Architect.

Ensuite services to be installed in new framed walls.

New floor standing AC. Pipework to reticulate in floor cavity below.

New floor standing AC. Pipework to reticulate in ex. floor cavity below.

- GENERAL NOTES - SERVICES:**
1. All new electrical services to be installed in new framed walls or within new or existing floor cavity.
  2. Hydraulic services to run in new floor structure where possible.
  3. Existing penetrations/fixing locations to be re-used for new services.
  4. Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
  5. No services to be chased in existing masonry walls.
  6. New lighting fixtures + switches to generally use location of existing.
  7. Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
  8. Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
  9. Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.
  10. New framed walls, floors and ceilings for kitchen and bathroom pods to be set-off ex. walls by min. 35mm to retain ex. skirting boards, dado rails etc. New ceilings to be lower than ex. to retain decorative cornice and picture rails. Heritage Architect to review on site.
  11. Refer to Electrical Engineer's drawings for locations of electrical services.



**Planning, Industry & Environment**

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Approved Application No SSD 8665

Granted on 4/12/2019

Signed [Signature]

Sheet No 9 of 30

Note:  
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

State Significant Development Application

Issue / Amendments:		Date:
-	For SSDA	20.12.17
A	Final for SSDA	07.02.18
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D	For SSDA Submission - removal of dining room gas insert	07.05.18
E	For SSDA - Services coordination added, existing materials indicated	11.01.19
F	For SSDA - Lift dimensions rev'd	29.03.19



Legend:	
AC	air-conditioning
c	column
cpl	carpet
con	concrete
cl	ceramic tiles
d	door
db	distribution board
dp	downpipe
ex	existing
fb	face brick
fc	fine cement
fg	fixed glass
fl	flue
hws	hot water system
mc	metal cladding
ms	mild steel
mr	metal roofing
pb	plasterboard
pbr	painted brick
pp	pressed metal
pr	permeable paving
rd	resilient flooring
rm	rendered masonry
rwh	rain water head
sk	skylight
st	steel
tb	timber boards
td	timber deck
lm	timber window
w	window

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ABN: 67 612 977 303  
Nom. Archs: C. Major ARB No 9193  
D. Welsh ARB No. 6968

**Welsh+Major**

Project		Project Ref. No.	
The Mercantile Hotel		1505	
25-27 George Street, The Rocks, 2000			
Drawing Title		Drawing No.	
Proposed First Floor RCP		SSDA.108	
Scale:	Date:	Drawn:	Checked:
1:100	December 2017	CD	CM
			Issue:
			F

New AC split system unit installed on new dumbwaiter wall framing. Pipework to reticulate in new walls.

New dumb waiters to from kitchen located in ex. room noted with intrusive significance. Ex. plasterboard finish to be removed in location of localised ceiling penetrations.

New -/60/30 fire door fitted within ex. arched opening.

New exhaust riser from kitchen below.

New service risers to be located in new framed walls set-off from ex. cornice.

Modified cornice shown shaded in zone of demolished bathroom.

SIRIUS BUILDING  
Multi-storey  
concrete building



Planning,  
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Environment

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Approved Application No ... SSD 8665

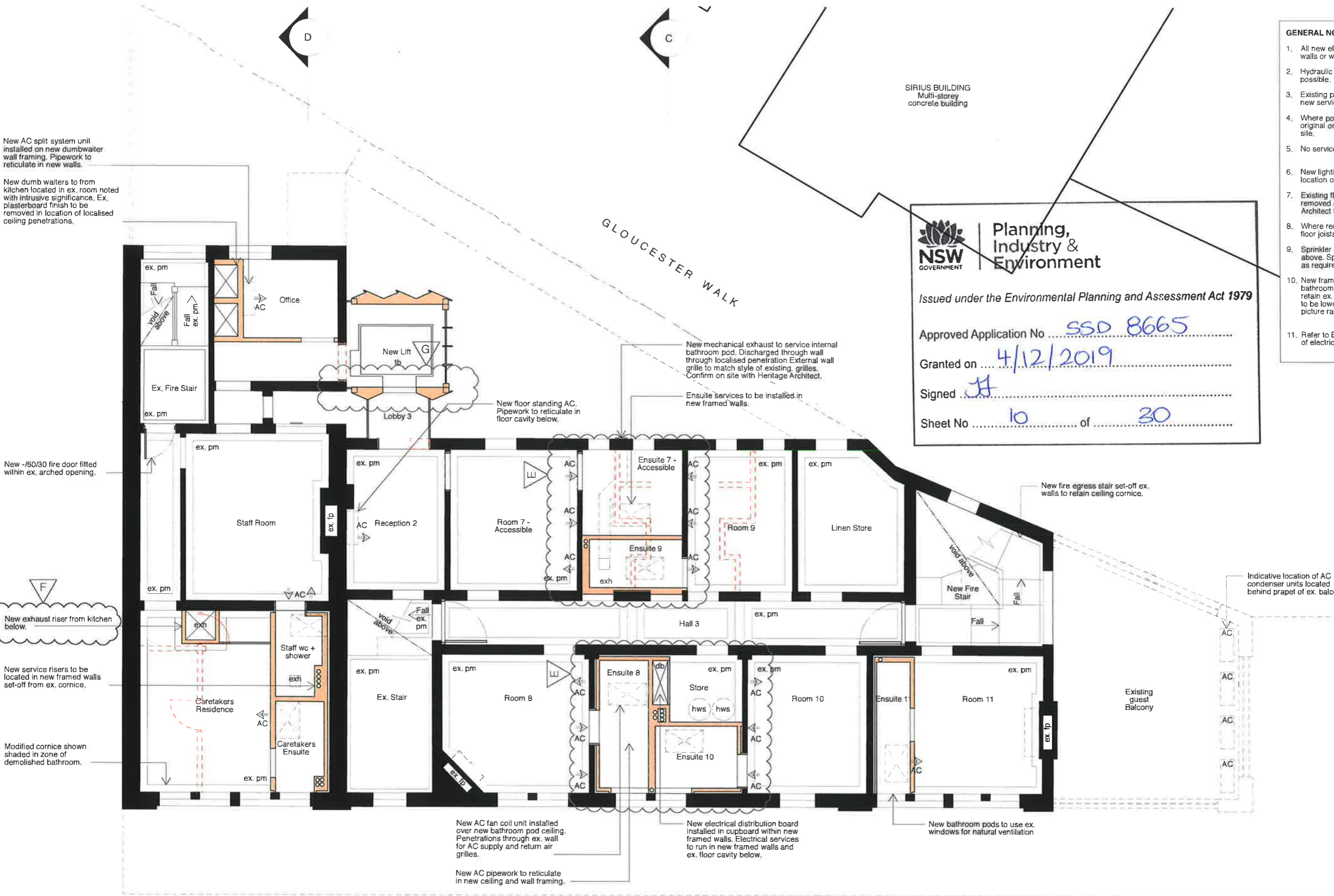
Granted on ... 4/12/2019

Signed ... [Signature]

Sheet No ... 10 ... of ... 30

#### GENERAL NOTES - SERVICES:

1. All new electrical services to be installed in new framed walls or within new or existing floor cavity.
2. Hydraulic services to run in new floor structure where possible.
3. Existing penetrations/fixing locations to be re-used for new services.
4. Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
5. No services to be chased in existing masonry walls.
6. New lighting fixtures + switches to generally use location of existing.
7. Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
8. Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
9. Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.
10. New framed walls, floors and ceilings for kitchen and bathroom pods to be set-off ex. walls by min. 35mm to retain ex. skirting boards, dado rails etc. New ceilings to be lower than ex. to retain decorative cornice and picture rails. Heritage Architect to review on site.
11. Refer to Electrical Engineer's drawings for locations of electrical services.



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State Significant Development Application



#### Issue / Amendments:

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C	Final for SSDA - updated	11.04.18
D	Final for SSDA - updated	23.04.18
E	For SSDA Submission - removal of dining room gas insert	07.05.18
F	For SSDA - Services coordination added, existing materials indicated	11.01.19
G	For SSDA - Note revised	04.02.19
	For SSDA - Lift dimensions rev'd	29.03.19

#### Date:

20.12.17
07.02.18
11.04.18
23.04.18
07.05.18
11.01.19
04.02.19
29.03.19



#### Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpl	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rf	rendered masonry
dp	downpipe	rm	rain water head
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber window
mc	metal cladding	w	window

---	Line of structure over / under
---	To be demolished
---	Existing timber floor
---	Existing double brick structure
---	Existing lightweight structure
---	New masonry structure
---	New concrete structure
---	New lightweight structure

**Welsh+Major**

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Nom. Archs: C. Major ARB No 9193  
D. Welsh ARB No. 6968

#### Project

The Mercantile Hotel  
25-27 George Street, The Rocks, 2000

#### Drawing Title

Proposed Second Floor RCP

Scale:  
1:100

Date:  
December 2017

Drawn:  
CD

Checked:  
CM

Issue:  
G

#### Project Ref. No.

1505

#### Drawing No.

SSDA.109

New AC split system unit installed on new dumbwaiter wall framing. Pipework to reticulate in new walls.

New dumb waiters from kitchen located in ex. store room to sit below ex. ceiling.

New service risers to be located in new framed walls.

New mechanical exhaust for bathroom amenities. Ducting to run in new roof structure.

New exhaust riser from kitchen below located in new fire rated shaft.

New mechanical switchboard located in new framed wall.

Indicative location of AC condenser units located behind parapet of ex. balcony.

State Significant Development Application



Issue / Amendments:

- For SSDA  
A Final for SSDA  
B Final for SSDA - updated  
C Final for SSDA - updated  
D For SSDA Submission - removal of dining room gas insert  
E For SSDA - Services coordination added, existing materials indicated  
F For SSDA - Lift dimensions rev'd

Date:

20.12.17  
07.02.18  
11.04.18  
23.04.18  
07.05.18  
11.01.19  
29.03.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber
mc	metal cladding	w	window

Line of structure over / under  
To be demolished  
Existing timber floor  
Existing double brick structure  
Existing lightweight structure  
New masonry structure  
New concrete structure  
New lightweight structure



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Approved Application No. **SSD 8665**

Granted on **4/12/2019**

Signed **JH**

Sheet No. **11** of **30**

GENERAL NOTES - SERVICES:

- All new electrical services to be installed in new framed walls or within new or existing floor cavity.
- Hydraulic services to run in new floor structure where possible.
- Existing penetrations/fixing locations to be re-used for new services.
- Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
- No services to be chased in existing masonry walls.
- New lighting fixtures + switches to generally use location of existing.
- Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
- Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
- Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.
- New framed walls, floors and ceilings for kitchen and bathroom pods to be set-off ex. walls by min. 35mm to retain ex. skirting boards, dado rails etc. New ceilings to be lower than ex. to retain decorative cornice and picture rails. Heritage Architect to review on site.
- Refer to Electrical Engineer's drawings for locations of electrical services.

New floor mounted fan-coil units.  
Supply air vertically through  
bench mounted air grilles.

Roof Terrace

Rooftop AC return air located in  
grille at base of new bar joinery.

Steel beams to support  
glazed awning.

B

A

Project  
The Mercantile Hotel  
25-27 George Street, The Rocks, 2000

Project Ref. No.

1505

Drawing Title  
Proposed Roof Terrace RCP

Drawing No.

SSDA.110

Scale:

1:100

Date:

December 2017

Drawn:

CD

Checked:

CM

Issue:

F

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**Welsh+  
Major**

Sheet No. 12 of 30



# Welsh+ Major



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Signed JH

Sheet No 13 of 30

New timber + steel framed roof structure with glazed highlight windows.

Section of glazed roofing to rooftop bar.

New steel and timber framed fire stair structure. Stair to connect to ex. egress stair below.

Existing parapet and metalwork to be retained and protected.

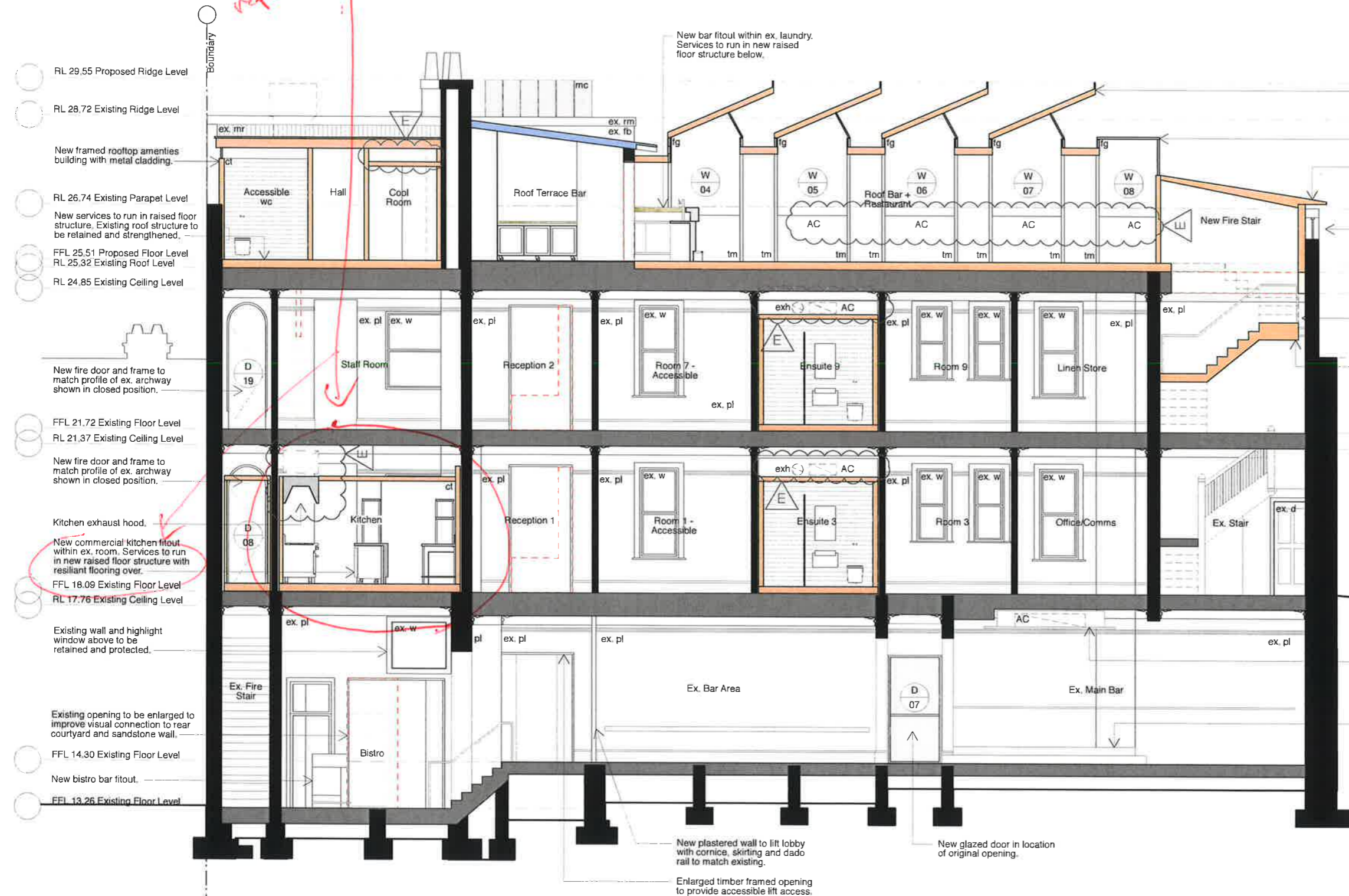
New steel handrail to egress stair.

New fire egress stair set-off ex. wall to retain ceiling cornice.

New suspended ceiling panel above stage to conceal AC cassette unit.

New timber stage and stair to replace existing.

Not approved -  
refer to Condition A6(a)



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State Significant Development Application

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E	For SSDA - Services coordination added, existing materials indicated, planters removed	11.01.19

Legend:	
AC	air-conditioning
c	column
con	concrete
cl	ceramic tiles
d	door
db	distribution board
dp	downpipe
ex	existing
fb	face brick
fc	fibre cement
fg	fixed glass
fl	flue
hws	hot water system
mc	metal cladding
ms	mild steel
mr	metal roofing
pb	plasterboard
pbr	painted brick
pm	permeable paving
pp	pressed metal
rr	rendered masonry
rw	rain water head
sk	skylight
sl	steel
tb	timber boards
td	timber deck
tm	timber
w	window
Line of structure over / under	
To be demolished	
Existing timber floor	
Existing double brick structure	
Existing lightweight structure	
New masonry structure	
New concrete structure	
New lightweight structure	

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**Welsh+Major**

Project	The Mercantile Hotel	Project Ref. No.	1505
	25-27 George Street, The Rocks, 2000		
Drawing Title	Proposed Section B	Drawing No.	SSDA.202
Scale:	1:100	Date:	December 2017
Drawn:	CD	Checked:	CM
Issue:	E		

Sheet No 14 of 30

**SIRIUS BUILDING**  
Multi-storey  
concrete building

GEORGE STREET

GLIOUCESTER WALK

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State Significant Development Application

- For SSDA
- A Final for SSDA
- B Final for SSDA - updated
- C Final for SSDA - updated
- D For SSDA Submission - removal of dining room gas insert
- E For SSDA - Services coordination added, existing materials indicated/planters removed
- F For SSDA - Lift dimensions rev'd

20.12.17  
07.02.18  
11.04.18  
23.04.18  
  
07.05.18  
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29.03.19

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpl	carpel	pb	plasterboard
con	concrete	pbr	painted brick
cl	ceramic tiles	pm	pressed metal
cl	door	pr	permanently paving
db	distribution board	rp	resilient flooring
dp	dowpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
lc	lime cement	st	steel
fg	flint glass	tb	timber boards
lf	floor	td	timber deck
hws	hot water system	tm	timber
mc	metal cladding	w	window

Line of structure  
over / under  
To be demolished

Existing timber  
floor

Existing double  
brick structure

Existing lightweig  
structure

New masonry  
structure

New concrete  
structure

New lightweight

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D. Welsh ARB No. 6968

**Welsh+**  
**Major**

Drawing Title  
**Proposed Section C**

1505

Drawing. No.  
**SSDA.203**

Scale:	Date:	Drawn:	Checked:	Issue
1:100	December 2017	CD	CM	F



Approved Application No ... SSD 8665 ...

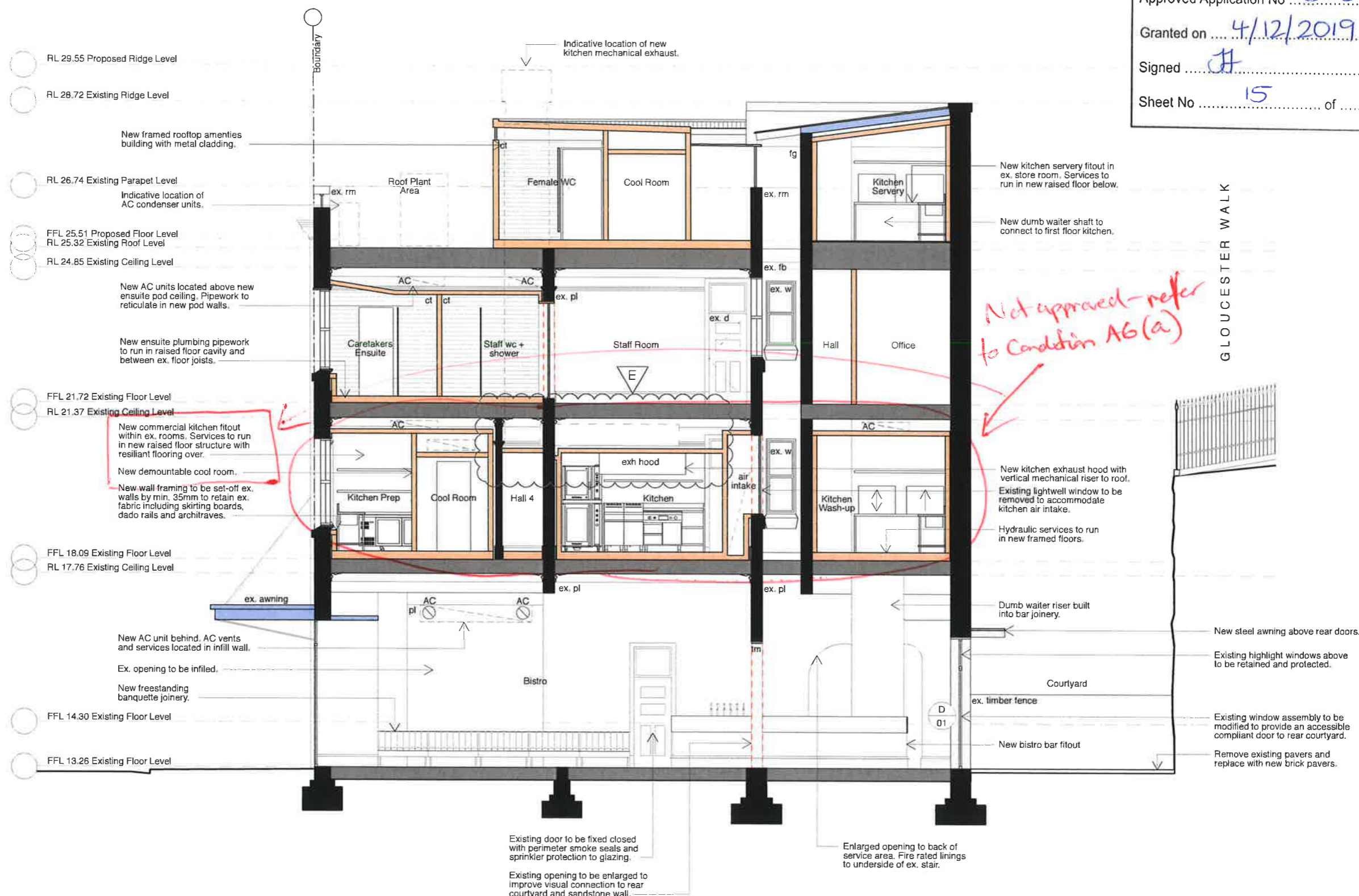
Granted on ... 4/12/2019 ...

Signed ... [Signature] ...

Sheet No ... 15 ... of ... 30 ...

GEORGE STREET

GLOUCESTER WALK



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State Significant Development Application

Issue / Amendments:

A For SSDA  
B Final for SSDA - updated  
C Final for SSDA - updated  
D For SSDA Submission - removal of dining room gas insert  
E For SSDA - Services coordination added, existing materials indicated planters removed

Date:

20.12.17  
07.02.18  
11.04.18  
23.04.18  
07.05.18  
11.01.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
cn	concrete	pbr	painted brick
cl	ceramic tiles	pp	pressed metal
d	door	pr	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	ld	timber deck
hws	hot water system	lm	timber window
mc	metal cladding	w	window

Line of structure over / under  
To be demolished  
Existing timber floor  
Existing double brick structure  
Existing lightweight structure  
New masonry structure  
New concrete structure  
New lightweight structure

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**Welsh+Major**

Project  
The Mercantile Hotel  
25-27 George Street, The Rocks, 2000

Project Ref. No.  
**1505**

Drawing Title  
Proposed Section D

Drawing No.  
**SSDA.204**

Scale:	Date:	Drawn:	Checked:	Issue:
1:100	December 2017	CD	CM	E

Line of Sirius building behind



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Sheet No. 16 of 30



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State Significant Development Application

Issue / Amendments:

- For SSDA  
A Final for SSDA  
B Final for SSDA - updated  
C Final for SSDA - updated  
D For SSDA Submission - removal of dining room gas insert  
E For SSDA - Services coordination added, existing materials indicated planiers removed

Date:

20.12.17  
07.02.18  
11.04.18  
23.04.18  
07.05.18  
11.01.19

Legend:

AC air-conditioning  
c column  
cpt carpet  
con concrete  
cl ceramic tiles  
d door  
db distribution board  
dp downpipe  
ex existing  
fb face brick  
fc fibre cement  
fg fixed glass  
fl flue  
hws hot water system  
mc metal cladding  
ms mild steel  
mr metal roofing  
pb plasterboard  
pb painted brick  
pbr pressed metal  
pp permeable paving  
pp resilient flooring  
rm rendered masonry  
r rain water head  
sk skylight  
sl steel  
tb timber boards  
td timber deck  
tm timber window  
w window

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D. Welsh ARB No. 6968

**Welsh+  
Major**

Project

The Mercantile Hotel  
25-27 George Street, The Rocks, 2000

Drawing Title  
Proposed East Elevation - George Street

Scale:  
1:100

Date:  
December 2017

Drawn:  
CD

Checked:  
CM

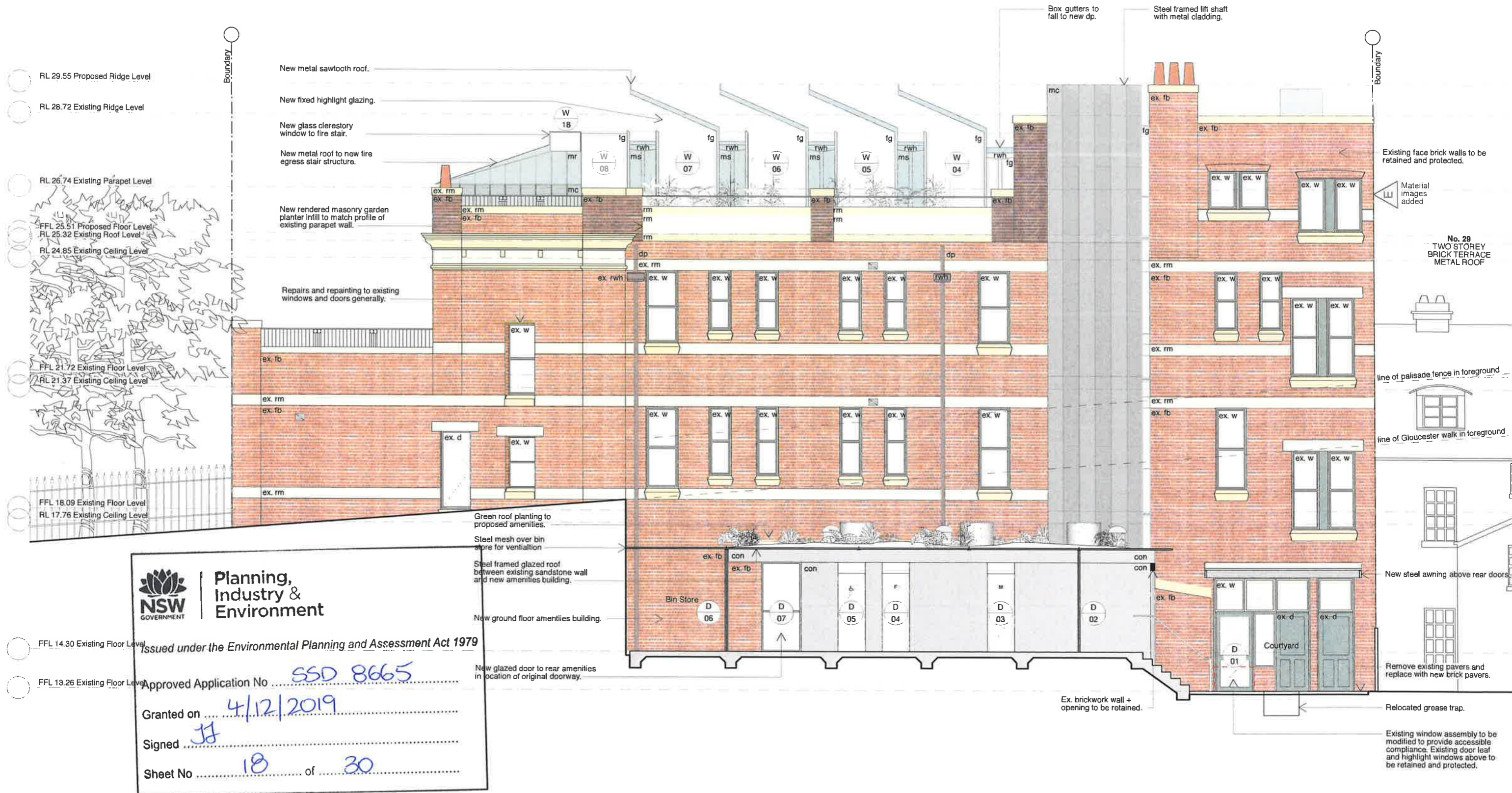
Issue:  
E

Project Ref. No.

1505

Drawing No.  
SSDA.301





**NSW GOVERNMENT** | **Planning, Industry & Environment**

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Sheet No. 18 of 30

RL 29.55 Proposed Ridge Level

RL 28.72 Existing Ridge Level

RL 26.74 Existing Parapet Level

FFL 25.51 Proposed Floor Level  
RL 25.32 Existing Roof Level

RL 24.85 Existing Ceiling Level

FFL 21.72 Existing Floor Level  
RL 21.37 Existing Ceiling Level

FFL 18.09 Existing Floor Level  
RL 17.76 Existing Ceiling Level

FFL 14.30 Existing Floor Level

FFL 13.26 Existing Floor Level

GLOUCESTER WALK

GEORGE STREET

Steel framed fixed glazing  
to north side of lift shaft.

Existing face brick  
walls to be protected.

Existing palisade fencing to  
be retained and protected.

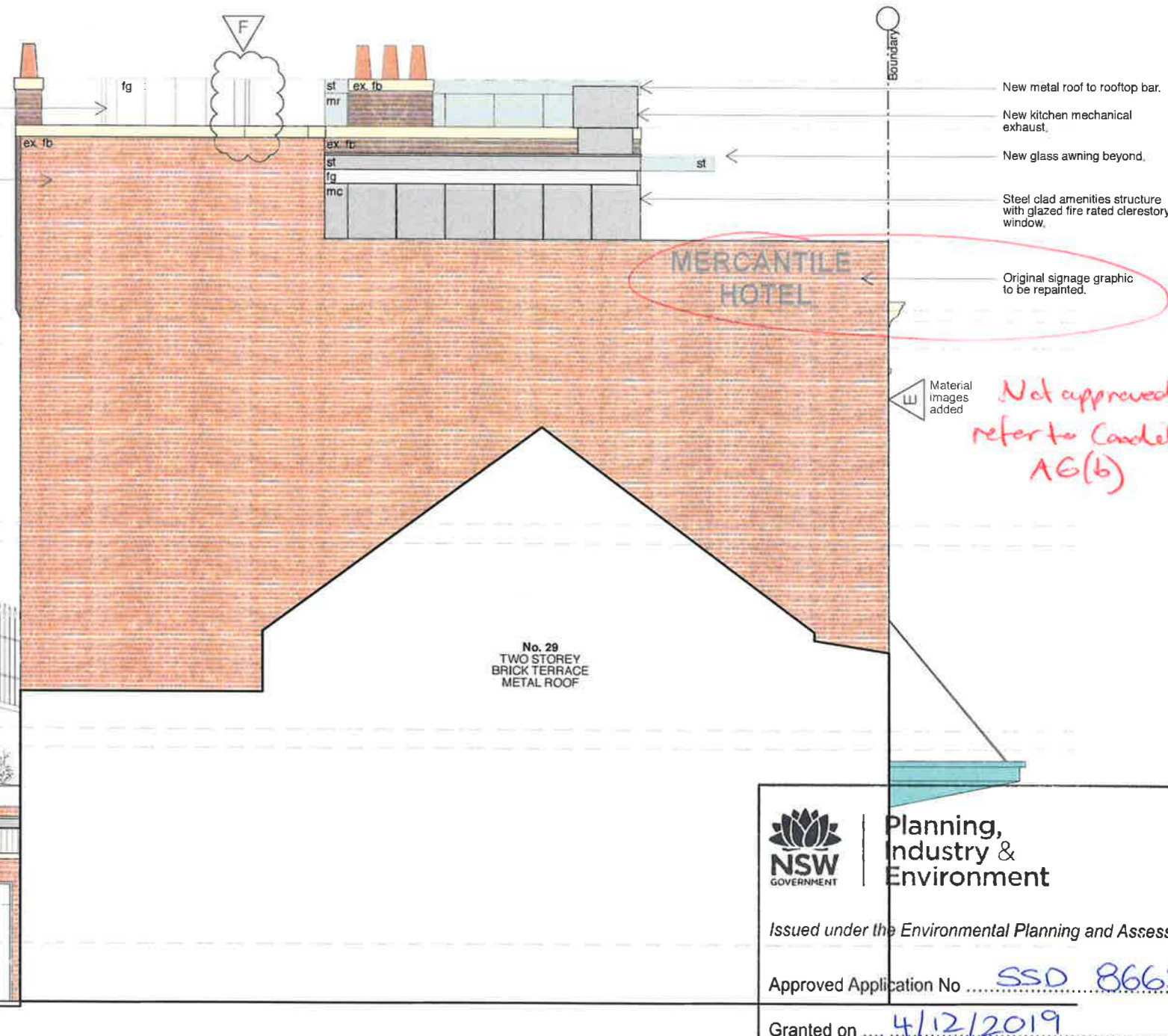
New green roof planting  
to proposed amenities.

Glazed roof awning over hallway.

New steel awning above rear doors.

Existing sandstone retaining wall  
to be retained and protected.

Remove existing pavers and  
replace with new brick pavers.



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Sheet No ... 19 ... of ... 30

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State Significant Development Application

Issue / Amendments:

- For SSDA  
A Final for SSDA  
B Final for SSDA - updated  
C Final for SSDA - updated  
D For SSDA Submission - removal of dining  
room gas insert  
E For SSDA - Services coordination added,  
existing materials indicated/planters removed  
F For SSDA - Lift dimensions rev'd

Date:

20.12.17  
07.02.18  
11.04.18  
23.04.18  
07.05.18  
11.01.19  
29.03.19

Legend:

AC air-conditioning  
c column  
cpt carpet  
con concrete  
cl ceramic tiles  
d door  
db distribution board  
dp downpipe  
ex existing  
fb face brick  
fc fibre cement  
fg fixed glass  
fl flue  
hws hot water system  
mc metal cladding  
ms mild steel  
mr metal roofing  
pb plasterboard  
pbr painted brick  
pm pressed metal  
pp permeable paving  
rf resilient flooring  
rm rendered masonry  
rwh rain water head  
sk skylight  
sl steel  
tb timber boards  
td timber deck  
tn timber  
w window  
Line of structure  
over / under  
To be demolished  
Existing timber  
floor  
Existing double  
brick structure  
Existing lightweight  
structure  
New masonry  
structure  
New concrete  
structure  
New lightweight  
structure

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**Welsh+  
Major**

Project  
The Mercantile Hotel  
25-27 George Street, The Rocks, 2000

Project Ref. No.

1505

Drawing Title  
South Elevation

Drawing No.  
SSDA 304

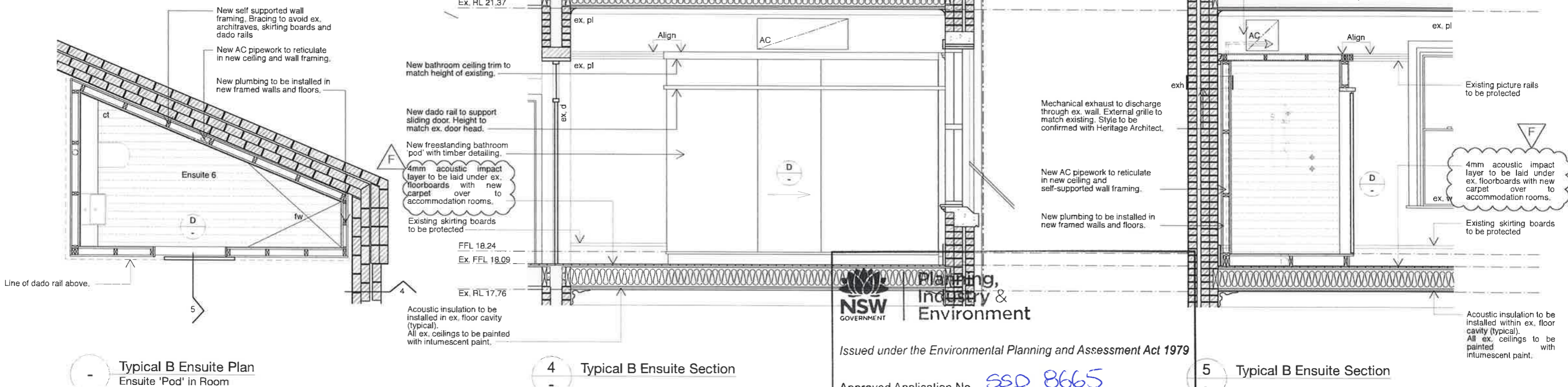
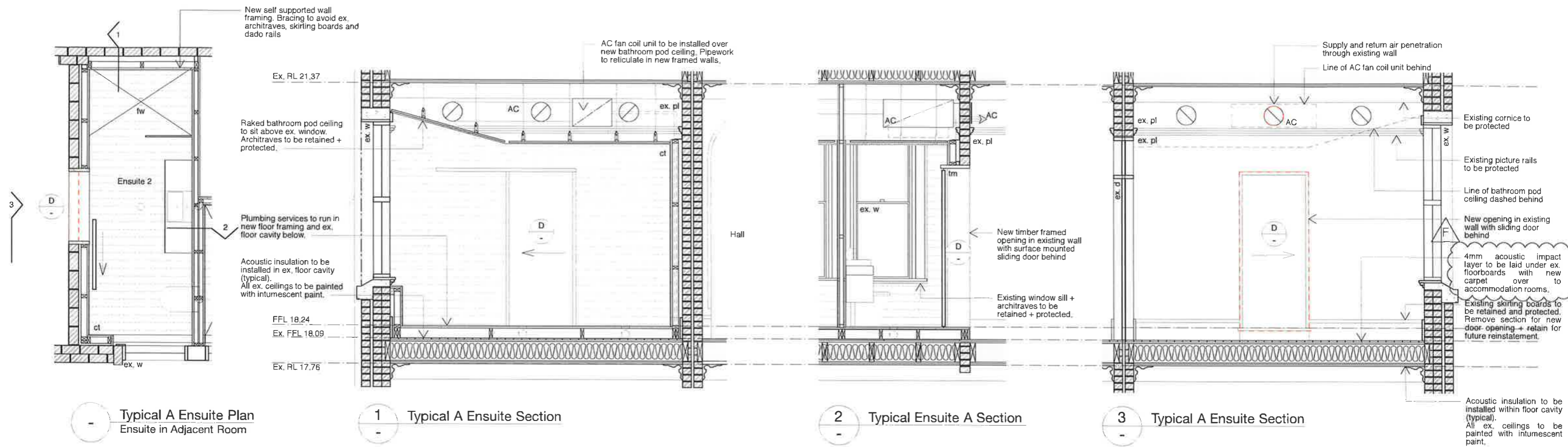
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Date:  
December 2017

Drawn:  
CD

Checked:  
CM

Issue:  
F



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State Significant Development Application

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F	For SSDA - Services coordination added, existing materials indicated	11.01.19
G	For SSDA - Acoustic insulation updated	04.02.19

Date:

20.12.17  
07.02.18  
11.04.18  
23.04.18  
07.05.18  
11.01.19  
04.02.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpl	carpet	pb	plasterboard
con	concrete	pbr	painted brick
cl	ceramic tiles	pp	pressed metal
d	door	pr	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
fls	hot water system	tm	timber window
mc	metal cladding	w	window

Line of structure over / under

Existing timber

Existing double brick structure

Existing lightweight structure

New masonry structure

New concrete structure

New lightweight structure

Level 4/69 Reservoir Street, Surry Hills

New South Wales Australia 2010

mail@welshmajor.com

Tel: 02 9559 5056

ABN: 67 612 977 303

Nom. Arch: C. Major ARB No 9193

D. Welsh ARB No. 6968

Welsh+Major

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Approved Application No ... SSD 8665

Granted on ... 4/12/2019

Signed ... JH

20 of 30

Project

The Mercantile Hotel

25-27 George Street, The Rocks, 2000

Drawing Title

Typical Ensuite Details

Scale:

1:50

Date:

December 2017

Drawn:

CD

Checked:

CM

Issue:

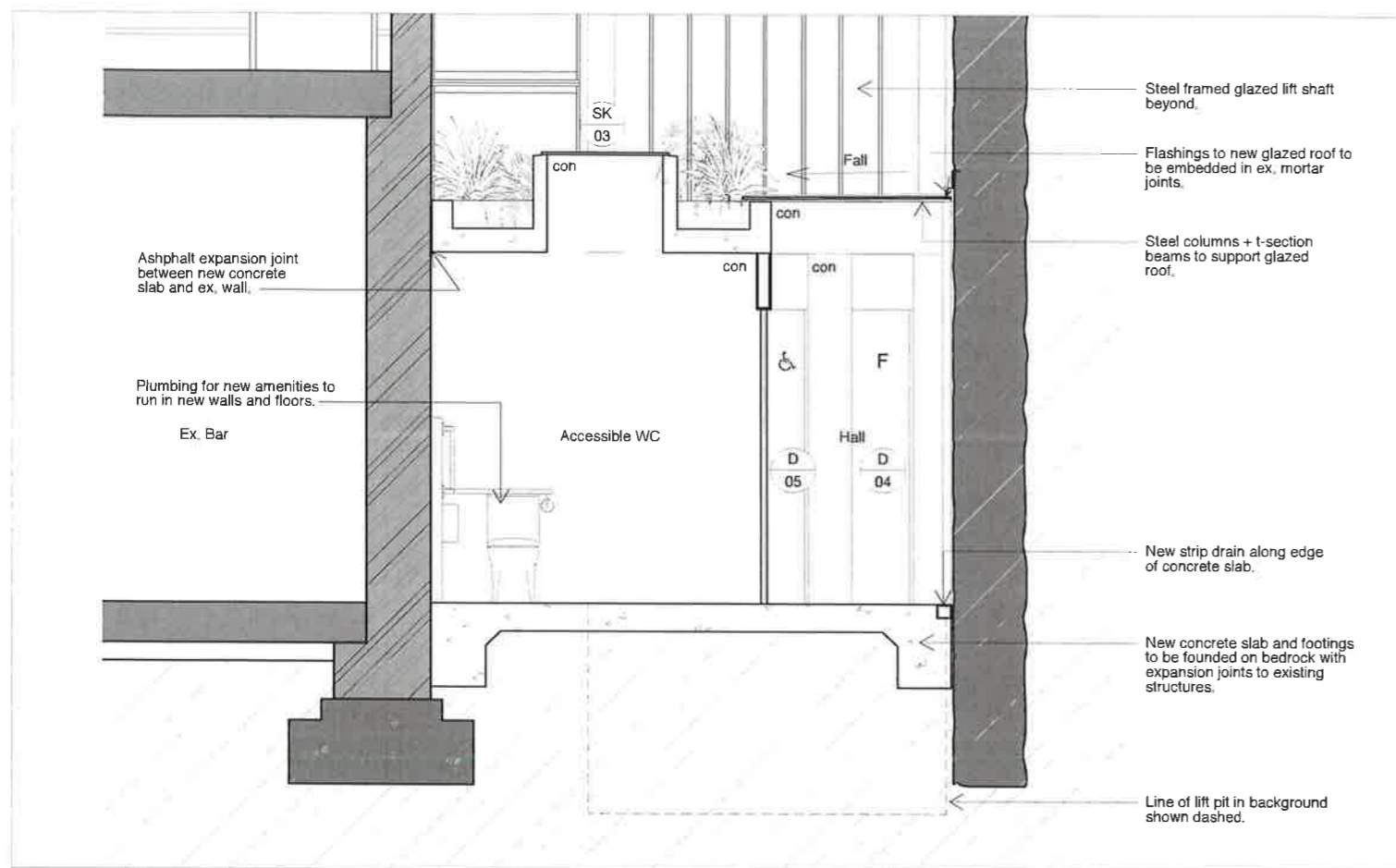
F

Project Ref. No.

1505

Drawing No.

SSDA.401



NSW GOVERNMENT

Planning, Industry & Environment

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Sheet No. 21 of 30

Note:  
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

State Significant Development Application

Issue / Amendments:

- For SSDA  
A Final for SSDA  
B Final for SSDA - updated  
C Final for SSDA - updated  
D For SSDA Submission - removal of dining room gas insert

Date:

20.12.17  
07.02.18  
11.04.18  
23.04.18  
07.05.18

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpl	carpet	pb	plasterboard
con	concrete	pbr	painted brick
cl	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber
mc	metal cladding	w	window

Line of structure over / under

To be demolished

Existing structure

New masonry structure

New concrete structure

New lightweight structure

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D. Welsh ARB No. 6968

**Welsh+Major**

Project

The Mercantile Hotel

25-27 George Street, The Rocks, 2000

Project Ref. No.

1505

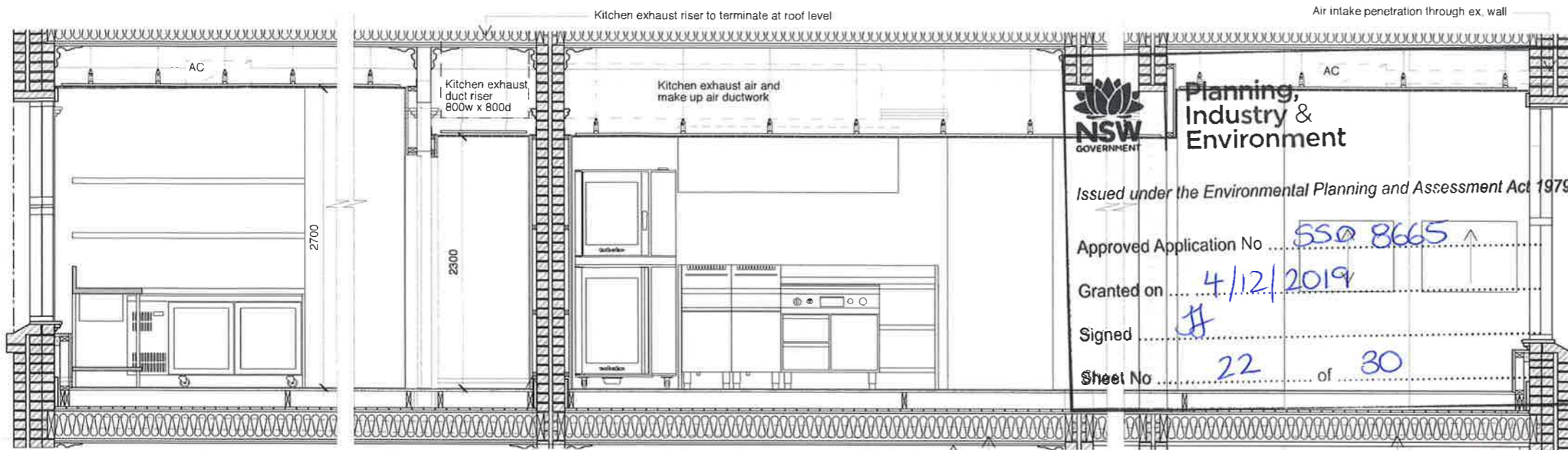
Drawing Title

Ground Floor Amenities Section Details

Drawing No.

SSDA.402

Scale:	Date:	Drawn:	Checked:	Issue:
1:50	December 2017	DRW	CM	D

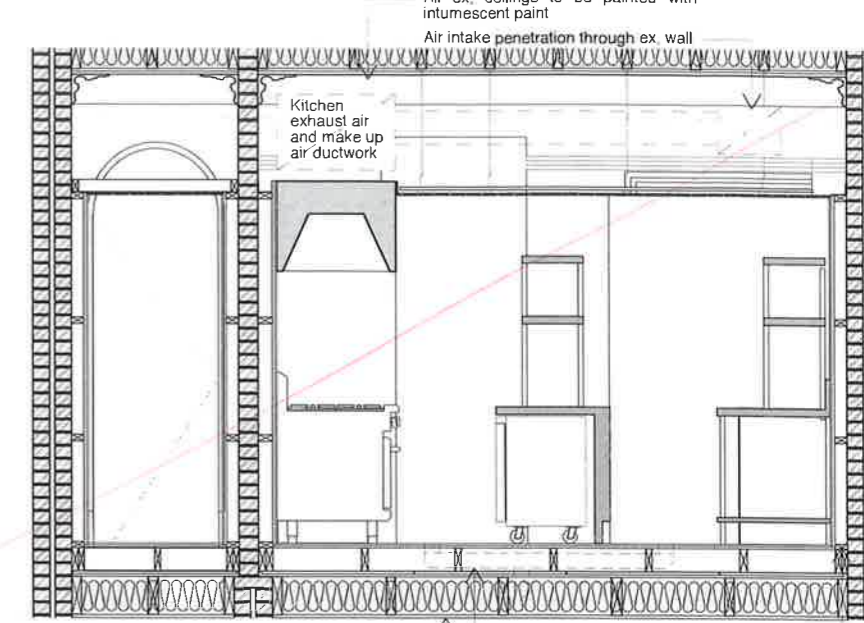


1 Kitchen Detailed Section  
Scale: 1:50

New kitchen lining on FC sheet.  
New wall framing to be offset by min. 35mm to retain ex. fabric including skirting boards, dado rails and architraves.  
Wall cavity to be filled by compliant insulation or expansion foam. Existing walls and moulding to be protected with polyethylene film. Finish to be in accordance with AS 4674 (typical to all new walls)

Trade waste drainage pipe in ex. floor structure running parallel to ex. joists

Acoustic insulation to be installed within ex. floor cavity (typical). All ex. ceilings to be painted with intumescent paint.

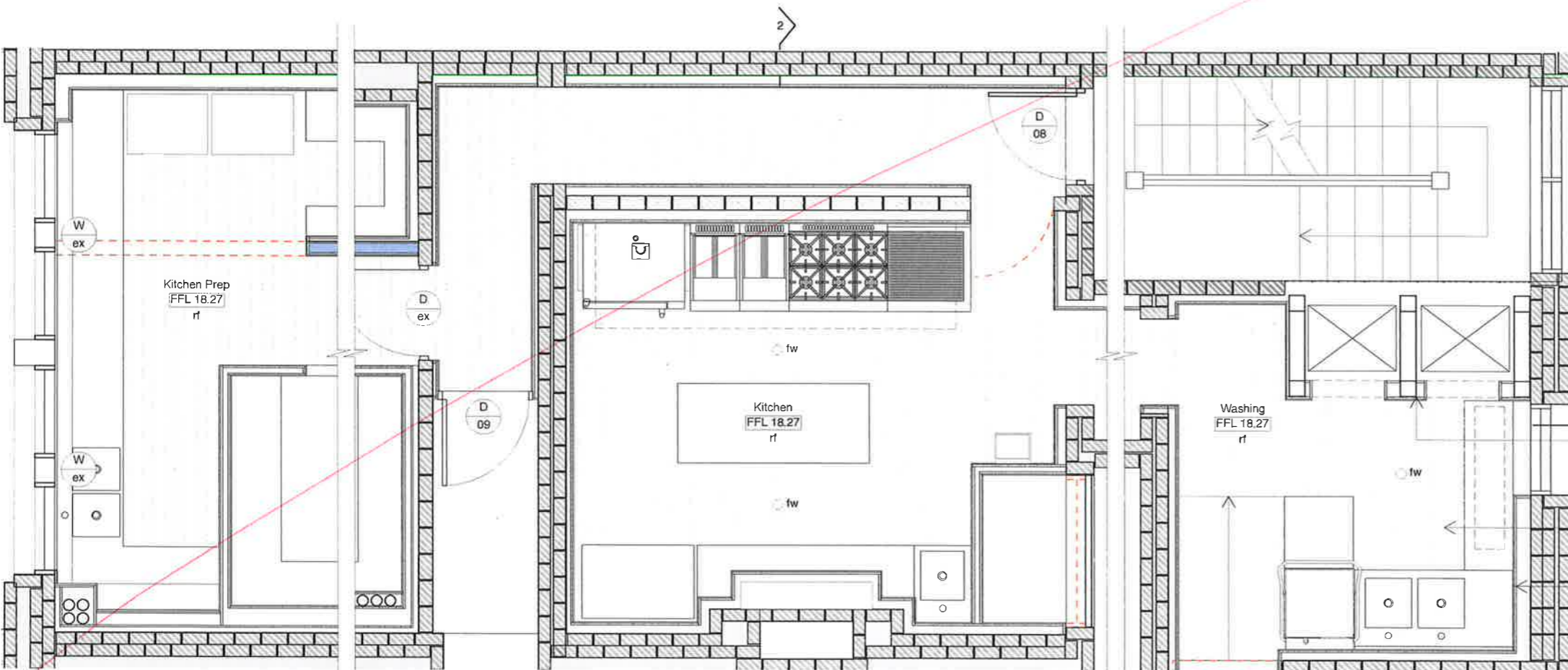


2 Kitchen Detailed Section  
Scale: 1:50

New kitchen lining on FC sheet.  
New wall framing to be offset by min. 35mm to retain ex. fabric including skirting boards, dado rails and architraves.  
Wall cavity to be filled by compliant insulation or expansion foam. Existing walls and moulding to be protected with polyethylene film. Finish to be in accordance with AS 4674 (typical to all new walls)

Trade waste drainage pipe running in new raised floor and along ex. floor

Acoustic insulation to be installed in ex. floor cavity (typical).



3 Kitchen Detailed Plan  
Scale: 1:50

Not approved - refer to Condition AC(b)

Existing double brick wall shown in black

Dumb waiter structure: 150 SHS as per structural engineer recommendations

Services to run in new raised floor structure and along ex. floor structure with resilient flooring over.

New kitchen lining on FC sheet.  
New wall framing to be offset by min. 35mm to retain ex. fabric including skirting boards, dado rails and architraves.  
Wall cavity to be filled by compliant insulation or expansion foam. Existing walls and moulding to be protected with polyethylene film. Finish to be in accordance with AS 4674 (typical to all new walls)

Note:  
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State Significant Development Application

Issue / Amendments:  
- For SSDA

Date:  
11.01.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpl	carpet	pb	plasterboard
con	concrete	pbr	painted brick
cl	ceramic tiles	pm	pressed metal
door	door	pp	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fg	fibre cement	sl	steel
fl	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber window
mc	metal cladding	w	window

Line of structure over / under

To be demolished

Existing timber floor

Existing double brick structure

Existing lightweight structure

New masonry structure

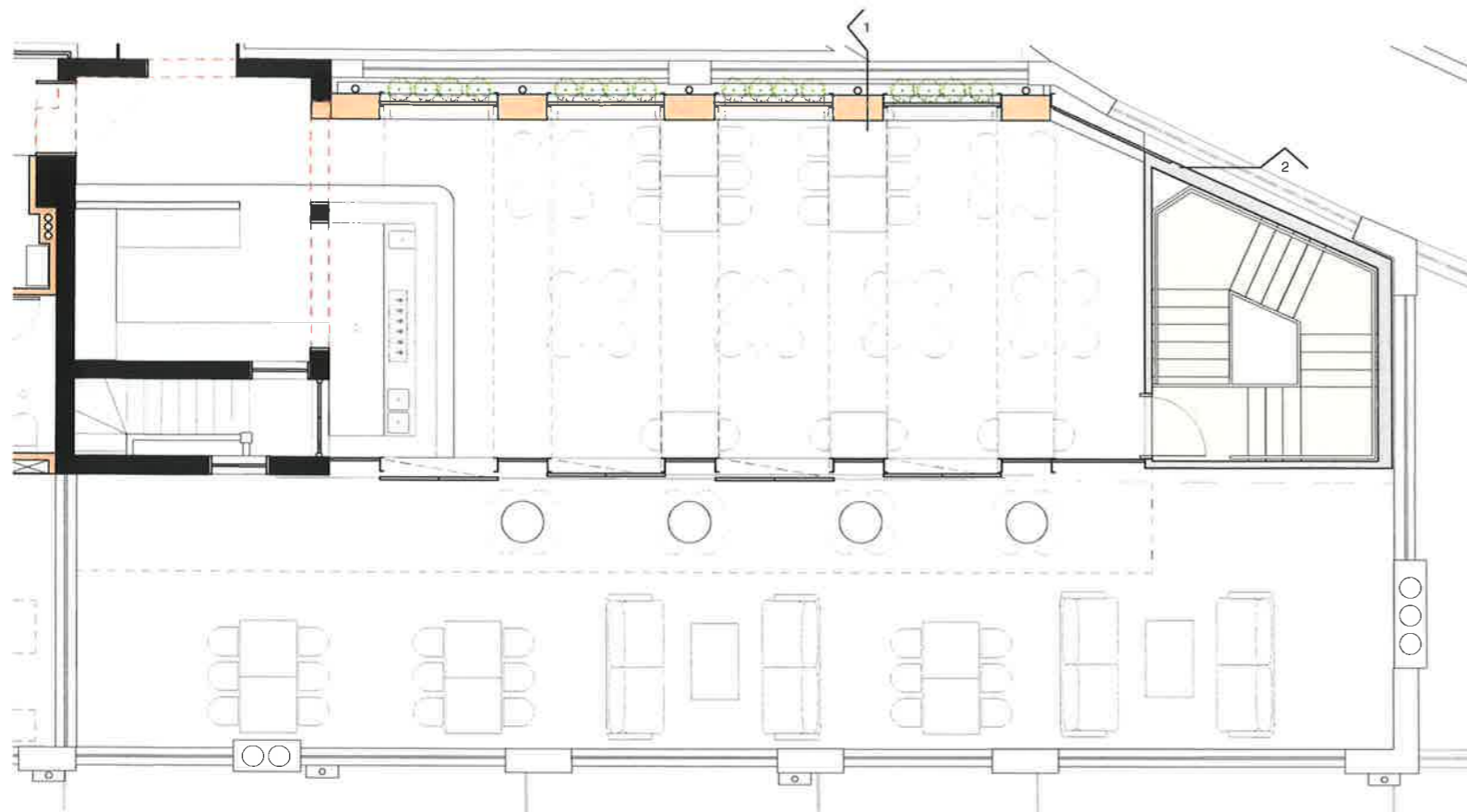
New concrete structure

New lightweight structure

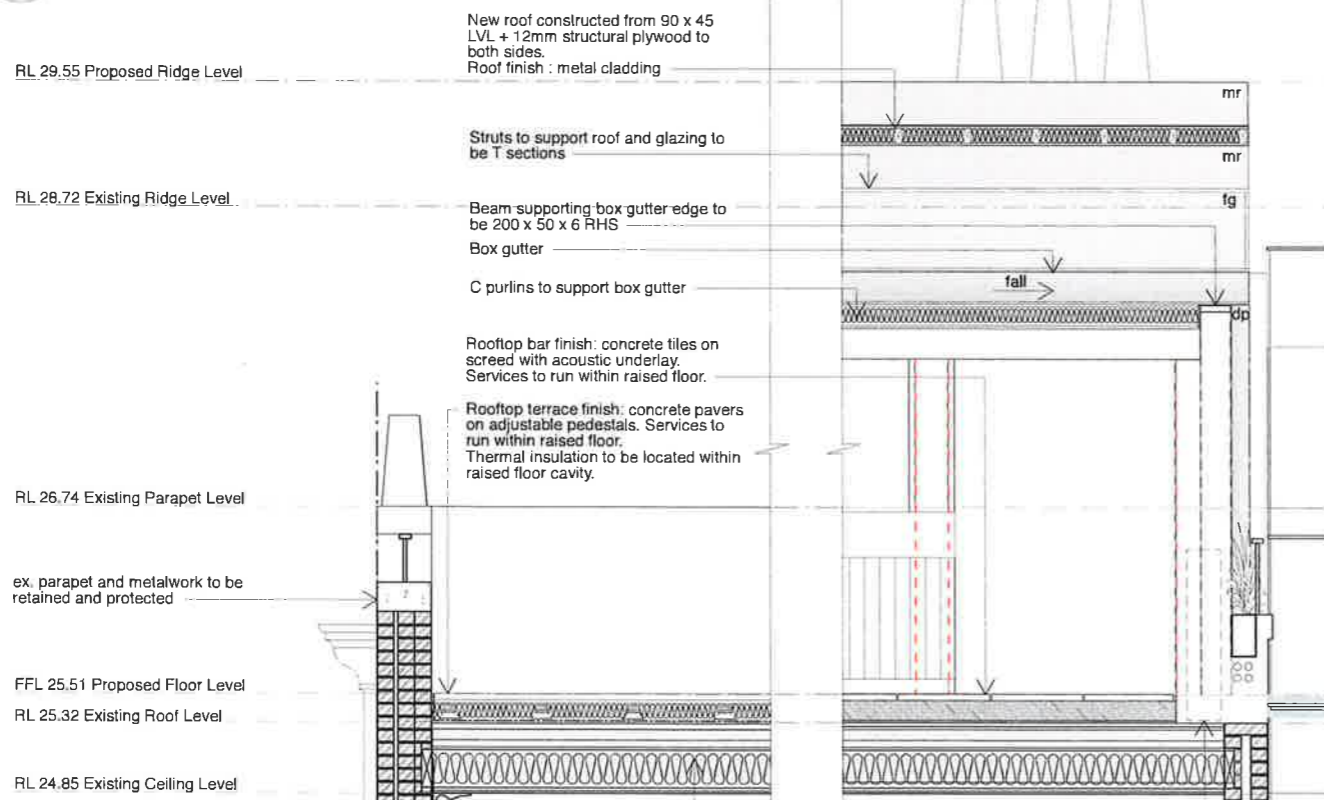
Level 4/69 Reservoir Street, Surry Hills  
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Tel: 02 9559 6066  
ABN: 67 612 977 303  
Norm, Arch: C. Major ARB No 9183  
D. Welsh ARB No. 6968

**Welsh+Major**

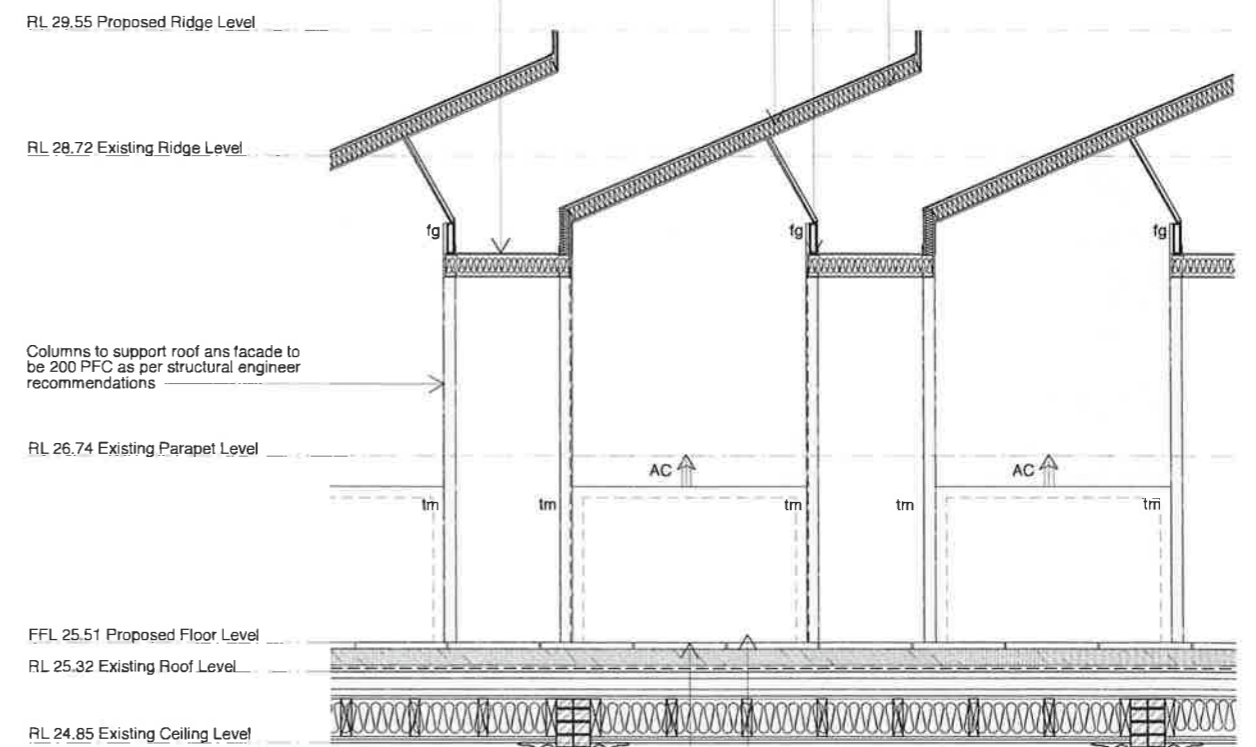
Project	Project Ref. No.			
The Mercantile Hotel	1505			
25-27 George Street, The Rocks, 2000				
Drawing Title	Drawing No.			
Typical Kitchen Details	SSDA 417			
Scale:	Date:	Drawn:	Checked:	Issue:
1:50	December 2018	CD	CM	



**Rooftop Bar Plan**  
Scale: 1:100



**1 Rooftop Bar Detailed Section**  
Scale: 1:50



**2 Rooftop Bar Detailed Section**  
Scale: 1:50



**Planning,  
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Sheet No. 23 of 30

Note:  
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State Significant Development Application

Issue / Amendments:  
- For SSDA

Date:  
11.01.19

Legend:

AC	air-conditioning	ms	mild steel	---	Line of structure over / under
cpl	column	mi	metal roofing	---	To be demolished
con	concrete	pb	plasterboard	---	Existing timber floor
cl	ceramic tiles	pbr	painted brick	---	Existing double brick structure
dl	door	pm	pressed metal	---	Existing lightweight structure
db	distribution board	pp	permeable paving	---	New masonry structure
dp	downpipe	rr	resilient flooring	---	New concrete structure
ex	existing	rwh	rain water head	---	New lightweight structure
fb	face brick	sk	skylight	---	
fc	fibre cement	sl	steel	---	
fg	fixed glass	td	timber boards	---	
fl	flue	tl	timber deck	---	
hws	hot water system	tm	timber window	---	
mc	metal cladding	w	window	---	

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D. Welsh ARB No. 6968

**Welsh+  
Major**

Project  
**The Mercantile Hotel**  
25-27 George Street, The Rocks, 2000

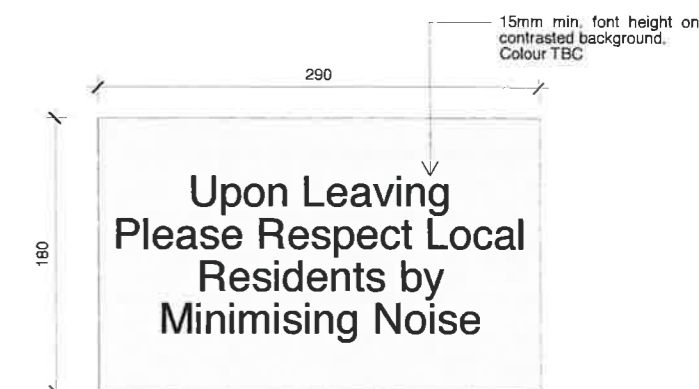
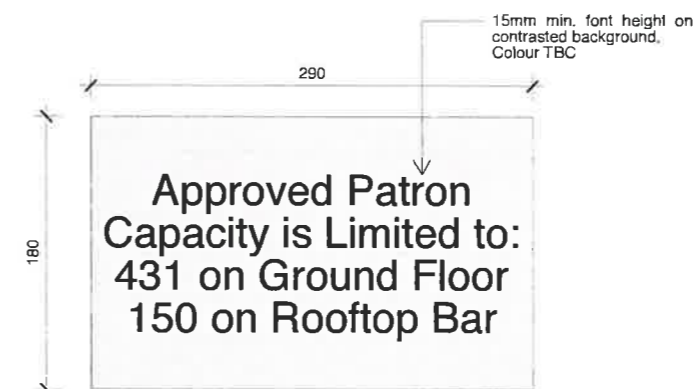
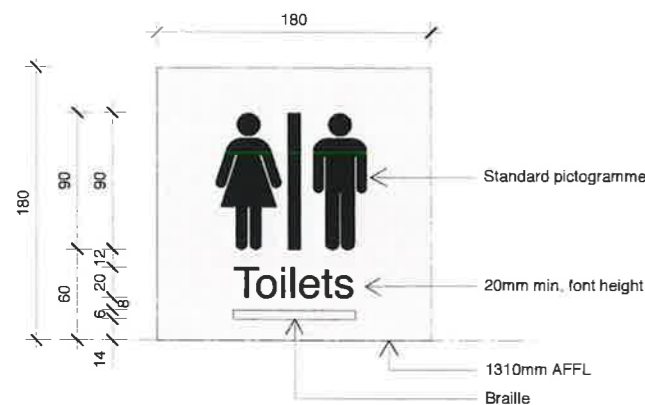
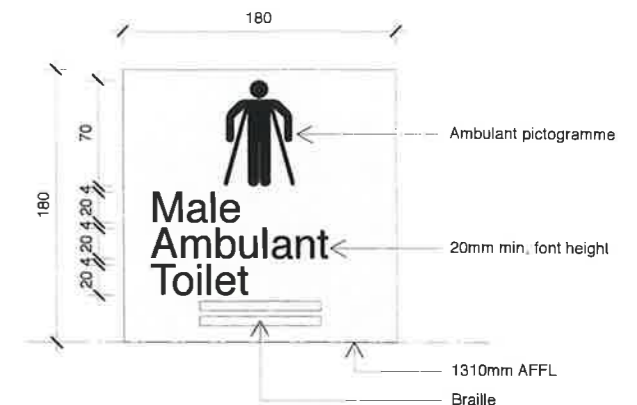
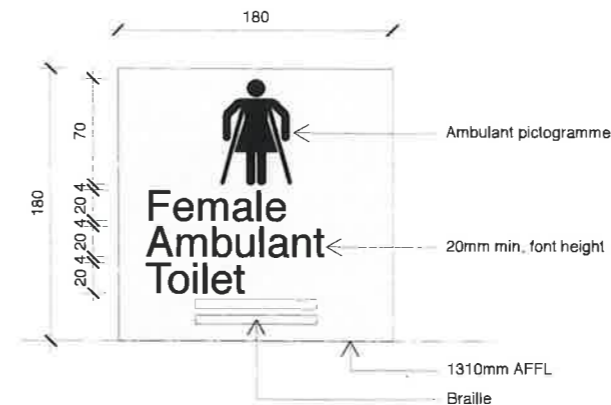
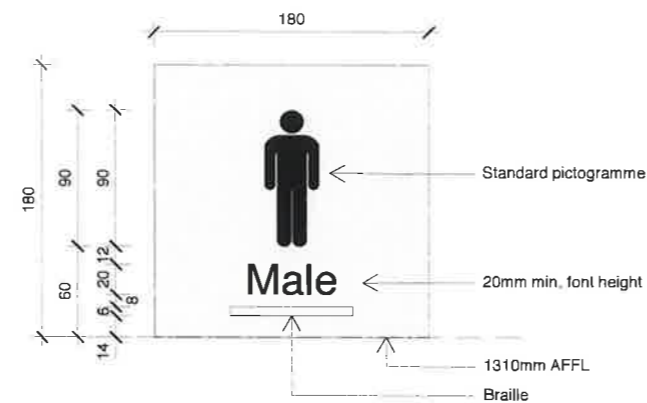
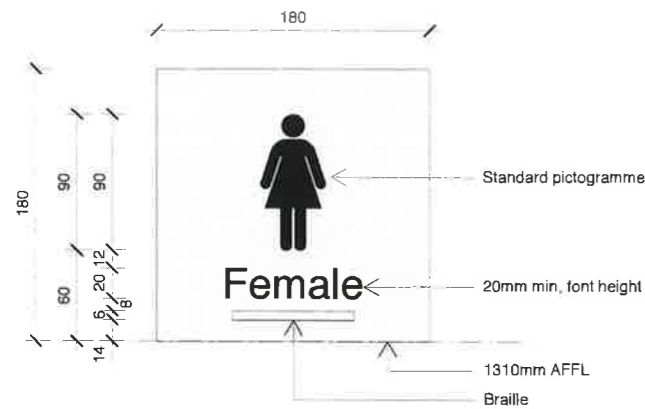
Project Ref. No.  
**1505**

Drawing Title  
**Typical Roof Details**

Drawing No.  
**SSDA 418**

Scale:	Date:	Drawn:	Checked:	Issue:
1:50	December 2018	CD	CM	-

Notes:  
Proposed signage is for information only



Note:  
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State Significant Development Application

NSW GOVERNMENT  
Refer to elevations for signage height  
Planning, Industry & Environment

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For SSDA 11.01.19

Approved Application No SSD 8665

Granted on 4/12/2019

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Sheet No 24 of 30

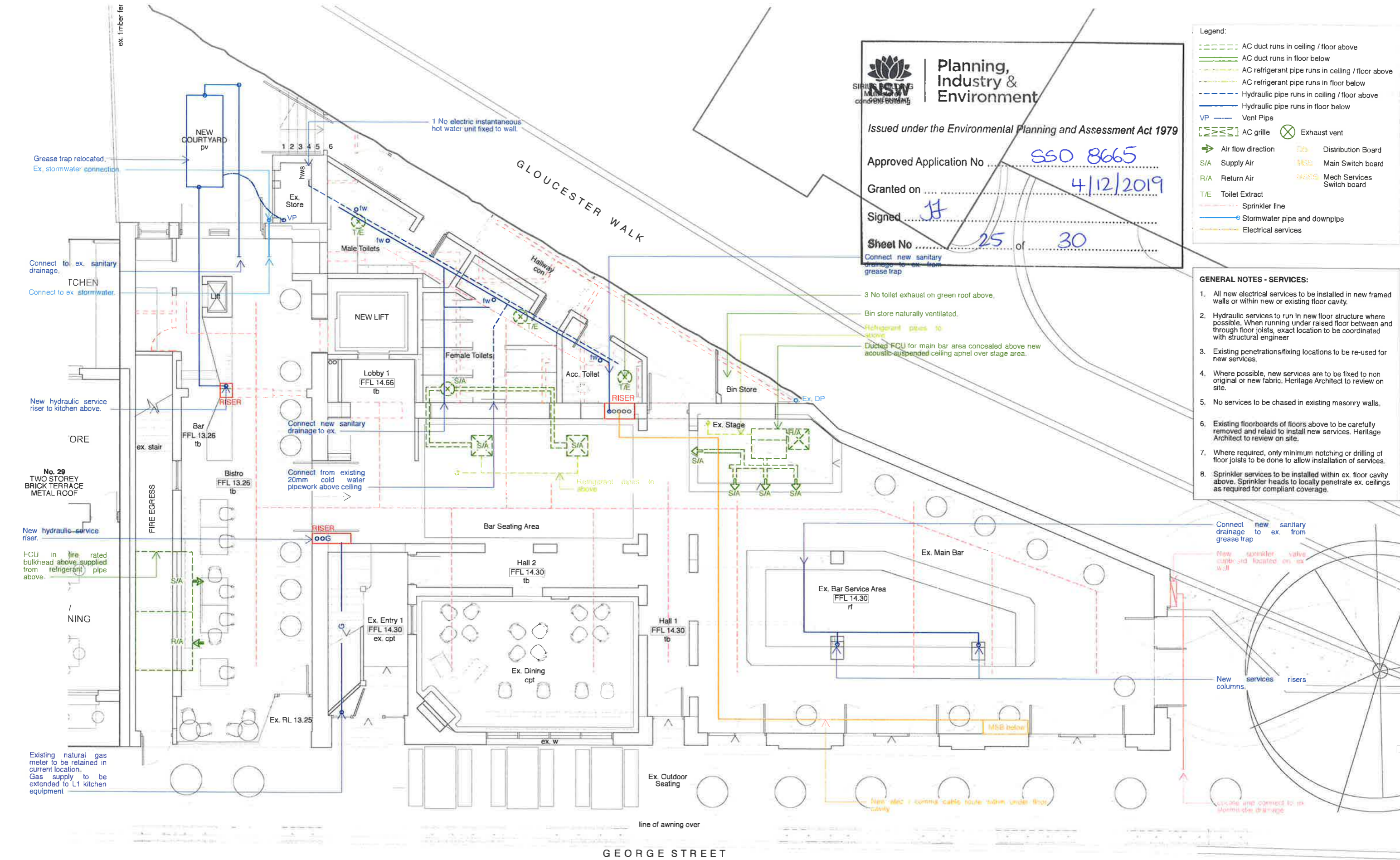
Legend:	
AC	air-conditioning
c	column
cpl	carpet
con	concrete
ct	ceramic tiles
d	door
db	distribution board
dp	downpipe
ex	existing
fb	face brick
fc	fibre cement
fg	fixed glass
fl	flue
hws	hot water system
mc	metal cladding
ms	mild steel
mr	metal roofing
pb	plasterboard
pbr	painted brick
pm	pressed metal
pp	permeable paving
rf	resilient flooring
rm	rendered masonry
rwh	rain water head
sk	skylight
st	steel
tb	timber boards
td	timber deck
lm	timber
w	window


---	Line of structure over / under
- - - -	To be demolished
=====	Existing timber floor
=====	Existing double brick structure
=====	Existing lightweight structure
=====	New masonry structure
=====	New concrete structure
=====	New lightweight structure

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D. Welsh ARB No. 6968

**Welsh+Major**

Project	The Mercantile Hotel	Project Ref. No.	1505
	25-27 George Street, The Rocks, 2000		
Drawing Title	Proposed Signage	Drawing No.	SSDA 419
Scale:	1:5	Date:	December 2017
Drawn:	CD	Checked:	CM
Issue:	-		





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Sheet No **25** of **30**

Connect new sanitary drainage to ex. from grease trap

- Legend:
- AC duct runs in ceiling / floor above
  - AC duct runs in floor below
  - AC refrigerant pipe runs in ceiling / floor above
  - AC refrigerant pipe runs in floor below
  - Hydraulic pipe runs in ceiling / floor above
  - Hydraulic pipe runs in floor below
  - Vent Pipe
  - AC grille
  - Exhaust vent
  - Air flow direction
  - Supply Air
  - Return Air
  - Toilet Extract
  - Sprinkler line
  - Stormwater pipe and downpipe
  - Electrical services
  - Distribution Board
  - Main Switch board
  - Mech Services Switch board

- GENERAL NOTES - SERVICES:**
- All new electrical services to be installed in new framed walls or within new or existing floor cavity.
  - Hydraulic services to run in new floor structure where possible. When running under raised floor between and through floor joists, exact location to be coordinated with structural engineer
  - Existing penetrations/fixing locations to be re-used for new services.
  - Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
  - No services to be chased in existing masonry walls.
  - Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
  - Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
  - Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.

Note:  
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**State Significant Development Application**




Issue / Amendments:  
- For SSDA

Date:  
11.01.19

- Legend:
- |      |                    |     |                    |                                 |
|------|--------------------|-----|--------------------|---------------------------------|
| AC   | air-conditioning   | ms  | metal cladding     | Line of structure over / under  |
| c    | column             | mr  | metal roofing      | To be demolished                |
| cpt  | carpet             | pb  | plasterboard       | Existing timber floor           |
| con  | concrete           | pbr | painted brick      | Existing double brick structure |
| d    | door               | pm  | permeable paving   | Existing lightweight structure  |
| db   | distribution board | pp  | resilient flooring | New masonry structure           |
| dp   | downpipe           | rf  | rain water head    | New concrete structure          |
| ex   | existing           | sk  | skylight           | New lightweight structure       |
| fb   | face brick         | st  | steel              |                                 |
| fg   | fibre cement       | tb  | timber boards      |                                 |
| fl   | fixed glass        | td  | timber deck        |                                 |
| flue | flue               | tm  | timber window      |                                 |
| hws  | hot water system   | w   | window             |                                 |
| mc   | metal cladding     |     |                    |                                 |

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D. Welsh ARB No. 6968



**Project**  
**The Mercantile Hotel**  
25-27 George Street, The Rocks, 2000

**Drawing Title**  
**Proposed Ground Floor Services Plan**

Scale:  
1:100

Date:  
December 2018

Drawn:  
CD

Checked:  
CM

Issue:  
-

**Project Ref. No.**  
**1505**

**Drawing No.**  
**SSDA 501**



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Approved Application No. SSD 8665

Granted on 4/12/2019

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Sheet No. 26 of 30

Legend:	
	AC duct runs in ceiling / floor above
	AC duct runs in floor below
	AC refrigerant pipe runs in ceiling / floor above
	AC refrigerant pipe runs in floor below
	Hydraulic pipe runs in ceiling / floor above
	Hydraulic pipe runs in floor below
	Vent Pipe
	AC grille
	Exhaust vent
	Air flow direction
	Distribution Board
	Supply Air
	Main Switch board
	Return Air
	Mech Services Switch board
	Toilet Extract
	Sprinkler line
	Stormwater pipe and downpipe
	Electrical services

Cassette unit to kitchen areas (typical)

Typical AC refrigerant pipes to rise in new lightweight walls and connect to FCU above new suspended ceiling

Proprietary kitchen exhaust hood, 600mm high typically

Typical AC refrigerant pipes to run in new raised floor and ex floor cavity below

Kitchen exhaust and make up air ductwork routed above kitchen hood

800mm wide x 800mm deep kitchen exhaust duct riser from kitchen ceiling to roof mounted exhaust fan above. Riser must be fire rated.

ex DB to be decommissioned

Cassette unit to kitchen areas (typical)

Cold room evaporator unit mounted on cold room wall

Typical AC refrigerant pipes to run in new raised floor and ex floor cavity below  
New AC FCU concealed over new bathroom pod ceiling. 3 penetrations through ex walls for AC supply and return air (typical)  
New hydraulic riser shared with mechanical services to be located in new framed walls set-off ex cornice.  
Proposed DB electrical riser cupboard

Outdoor air cowl / fan on green roof to supply 2 off cassette units below at Ground level

Ensuite exhaust for internal ensuites. Grille on walk to match existing ones. Heritage architect to review selection of grilles

3 No toilet exhaust intakes on green roof below

To rise below

To FCU below

From above

Hot and cold water reticulation located in ceiling

Under floor elec / comms cable

Relocated ex site main security panel and CCTV control and monitor equipment

#### GENERAL NOTES - SERVICES:

- All new electrical services to be installed in new framed walls or within new or existing floor cavity.
- Hydraulic services to run in new floor structure where possible. When running under raised floor between and through floor joists, exact location to be coordinated with structural engineer
- Existing penetrations/fixing locations to be re-used for new services.
- Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
- No services to be chased in existing masonry walls.
- Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
- Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
- Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.

Note:  
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State Significant Development Application

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Issue / Amendments:  
- For SSDA

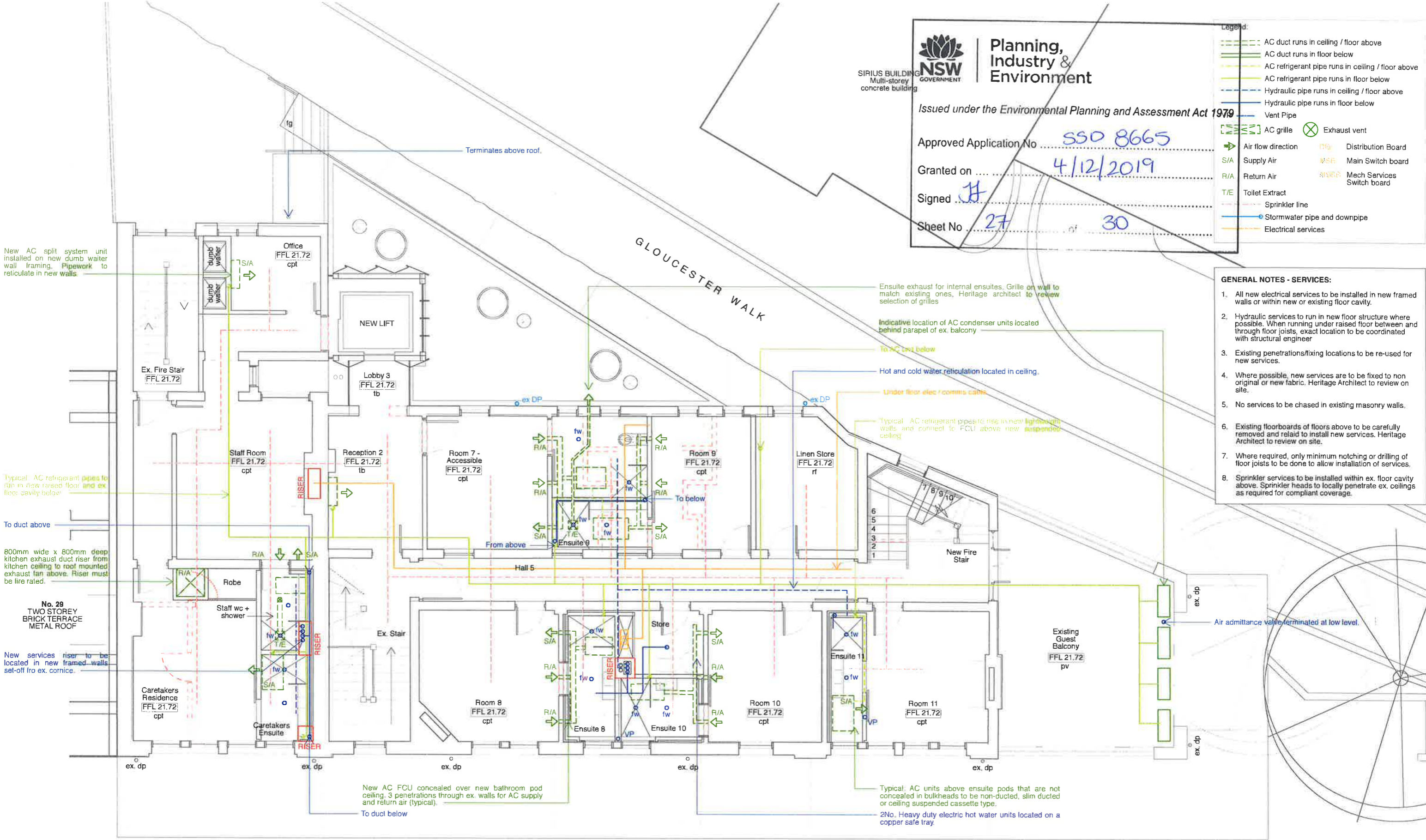
Date:  
11.01.19

Legend:	
AC	air-conditioning
c	column
cpl	carpet
con	concrete
cl	ceramic tiles
d	door
db	distribution board
dp	downpipe
ex	existing
fb	face brick
fc	fibre cement
fg	fixed glass
fl	flue
hws	hot water system
mc	metal cladding
ms	mild steel
mr	metal roofing
pb	plasterboard
pb	plastered brick
pm	pressed metal
pp	permeable paving
r	resilient flooring
rm	rendered masonry
rwh	rain water head
sk	skylight
st	steel
tb	timber boards
ld	timber deck
lm	timber window
w	window
Line of structure over / under	
To be demolished	
Existing timber floor	
Existing double brick structure	
Existing lightweight structure	
New masonry structure	
New concrete structure	
New lightweight structure	

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D. Welsh ARB No. 6968

**Welsh+Major**

Project	The Mercantile Hotel	Project Ref. No.	1505
Drawing Title	Proposed First Floor Services Plan	Drawing No.	SSDA 502
Scale:	1:100	Date:	December 2018
Drawn:	CD	Checked:	CM
Issue:	-		



**Planning, Industry & Environment**

**SIRIUS BUILDING**  
Multi-storey concrete building

**Issued under the Environmental Planning and Assessment Act 1979**

Approved Application No **SSD 8665**

Granted on **4/12/2019**

Signed **[Signature]**

Sheet No **27** of **30**

**Legend:**

- AC duct runs in ceiling / floor above
- AC duct runs in floor below
- AC refrigerant pipe runs in ceiling / floor above
- AC refrigerant pipe runs in floor below
- Hydraulic pipe runs in ceiling / floor above
- Hydraulic pipe runs in floor below
- Vent Pipe
- AC grille
- Exhaust vent
- Air flow direction
- Distribution Board
- Supply Air
- Main Switch board
- Return Air
- Mech Services Switch board
- Toilet Extract
- Sprinkler line
- Stormwater pipe and downpipe
- Electrical services

- GENERAL NOTES - SERVICES:**
- All new electrical services to be installed in new framed walls or within new or existing floor cavity.
  - Hydraulic services to run in new floor structure where possible. When running under raised floor between and through floor joists, exact location to be coordinated with structural engineer.
  - Existing penetrations/fixing locations to be re-used for new services.
  - Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
  - No services to be chased in existing masonry walls.
  - Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
  - Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
  - Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.

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State Significant Development Application



Issue / Amendments:  
- For SSDA

Date:  
11.01.19

Legend:	
AC	air-conditioning
c	column
cpl	carpet
con	concrete
ct	ceramic tiles
d	door
db	distribution board
dp	downpipe
ex	existing
fb	face brick
fc	fibre cement
fg	fixed glass
fl	flue
hws	hot water system
mc	metal cladding
ms	mild steel
mr	metal roofing
pb	plasterboard
pbr	painted brick
pm	pressed metal
pp	permeable paving
rf	resilient flooring
rm	rendered masonry
rwh	rain water head
sk	skylight
st	steel
tb	timber boards
td	timber deck
tm	timber window
w	window

**Welsh+Major**

















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ABN: 67 612 977 303  
Nrm. Arch: C. Major ARB No 9193  
D. Welsh ARB No. 6968

Project	Project Ref. No.			
The Mercantile Hotel		1505		
25-27 George Street, The Rocks, 2000				
Drawing Title		Drawing No.		
Proposed Second Floor Services Plan		SSDA 503		
Scale:	Date:	Drawn:	Checked:	Issue:
1:100	December 2018	CD	CM	-



Approved Application No. SSD 8665  
 Granted on 4/12/19  
 Signed JH  
 Sheet No. 28 of 30 Gloucester

**Legend:**

	AC duct runs in ceiling / floor above
	AC duct runs in floor below
	AC refrigerant pipe runs in ceiling / floor above
	AC refrigerant pipe runs in floor below
	Hydraulic pipe runs in ceiling / floor above
	Hydraulic pipe runs in floor below
VP 	Vent Pipe
	AC grille
	Exhaust vent
	Air flow direction
S/A	Supply Air
R/A	Return Air
T/E	Toilet Extract
	Sprinkler line
	Stormwater pipe and downpipe
	Electrical services
	Distribution Board
	Main Switch board
	Mech Services Switch board

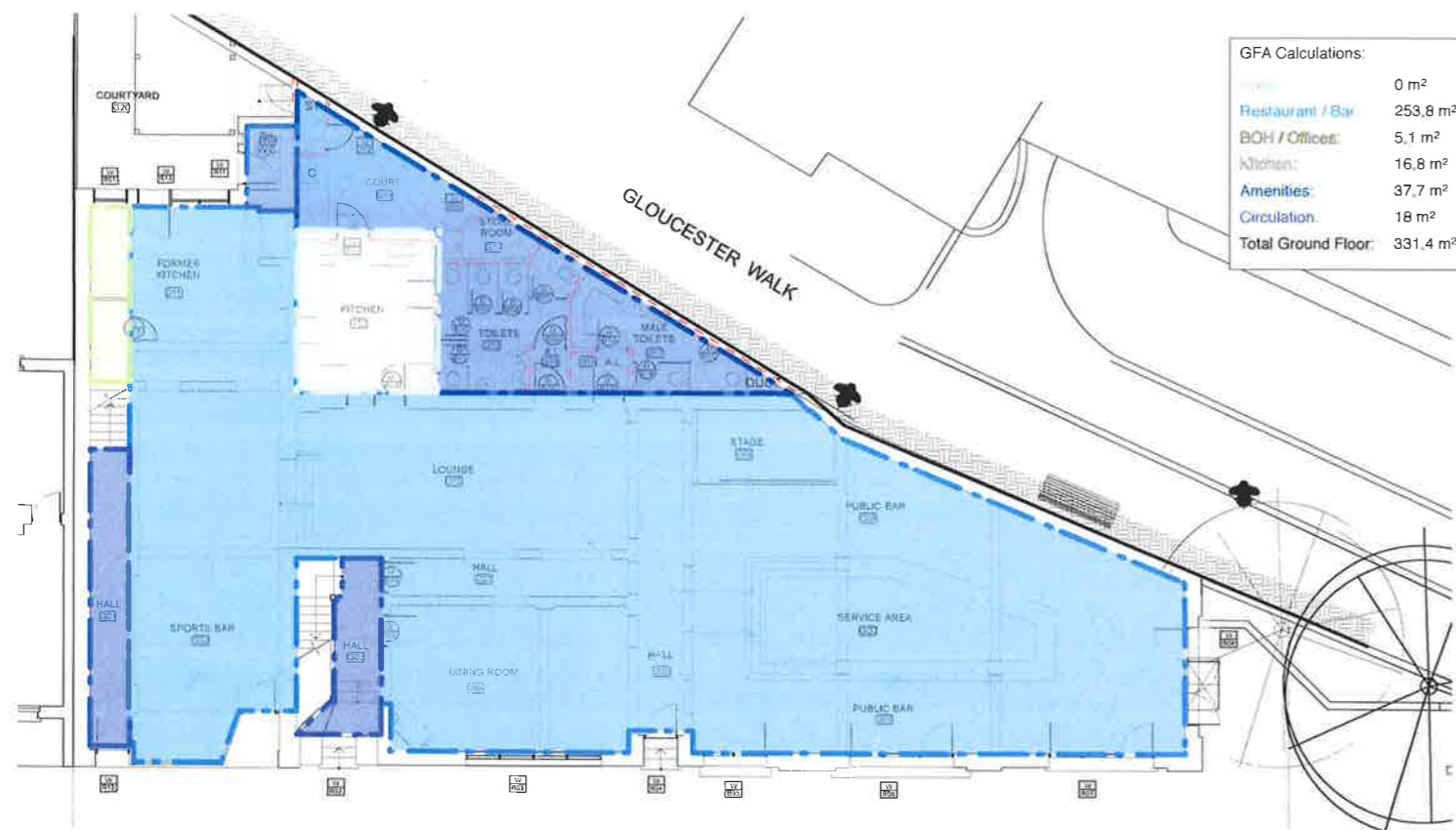
1. All new electrical services to be installed in new framed walls or within new or existing floor cavity.
2. Hydraulic services to run in new floor structure where possible. When running under raised floor between and through floor joists, exact location to be coordinated with structural engineer
3. Existing penetrations/fixing locations to be re-used for new services.
4. Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
5. No services to be chased in existing masonry walls.
6. Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
7. Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
8. Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.

Existing  
guest  
balcony  
below

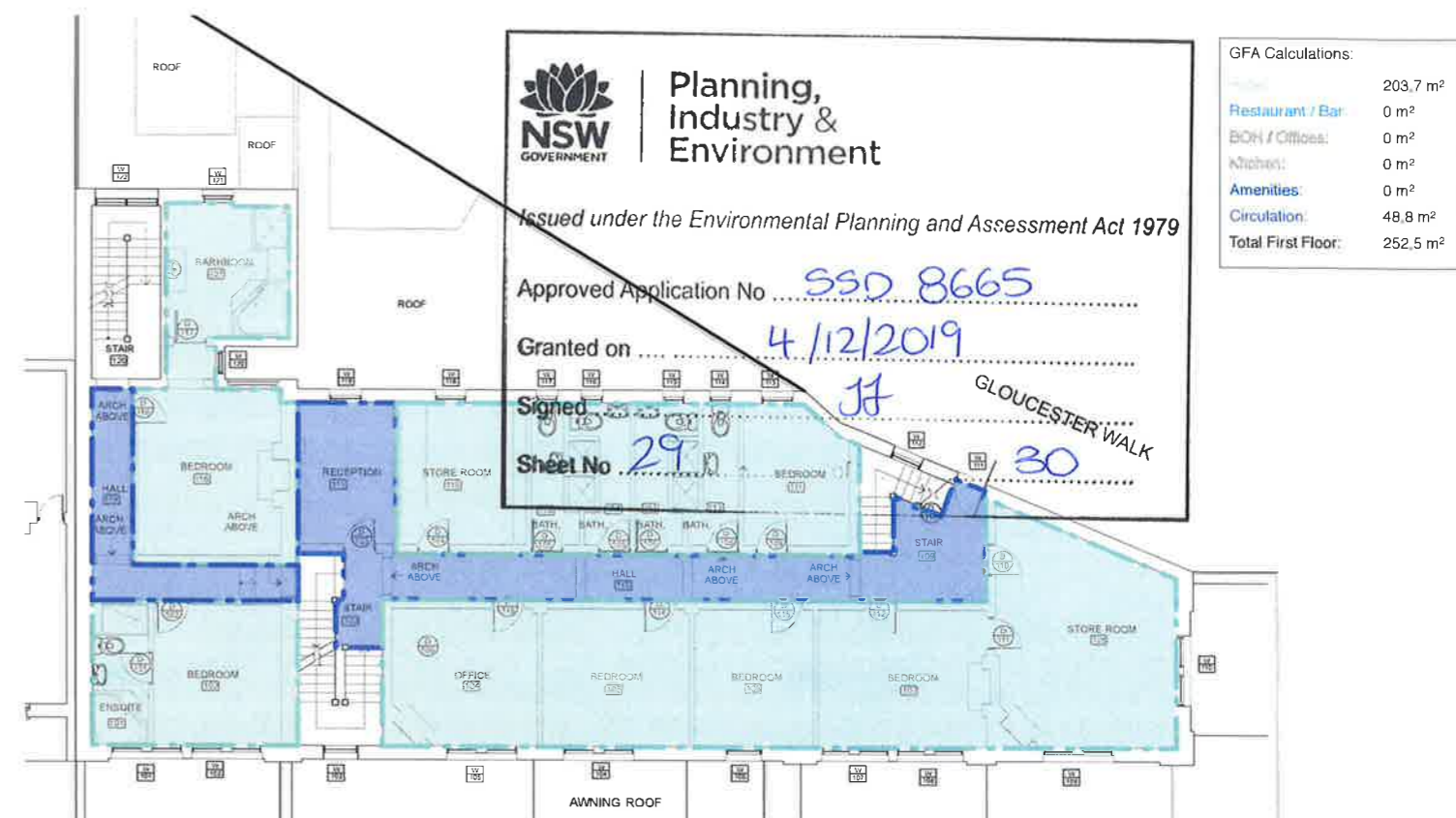
**Welsh+**  
**Major**

Scale:	Date:	Drawn:	Checked:	Issue:
1:100	December 2018	CD	CM	*

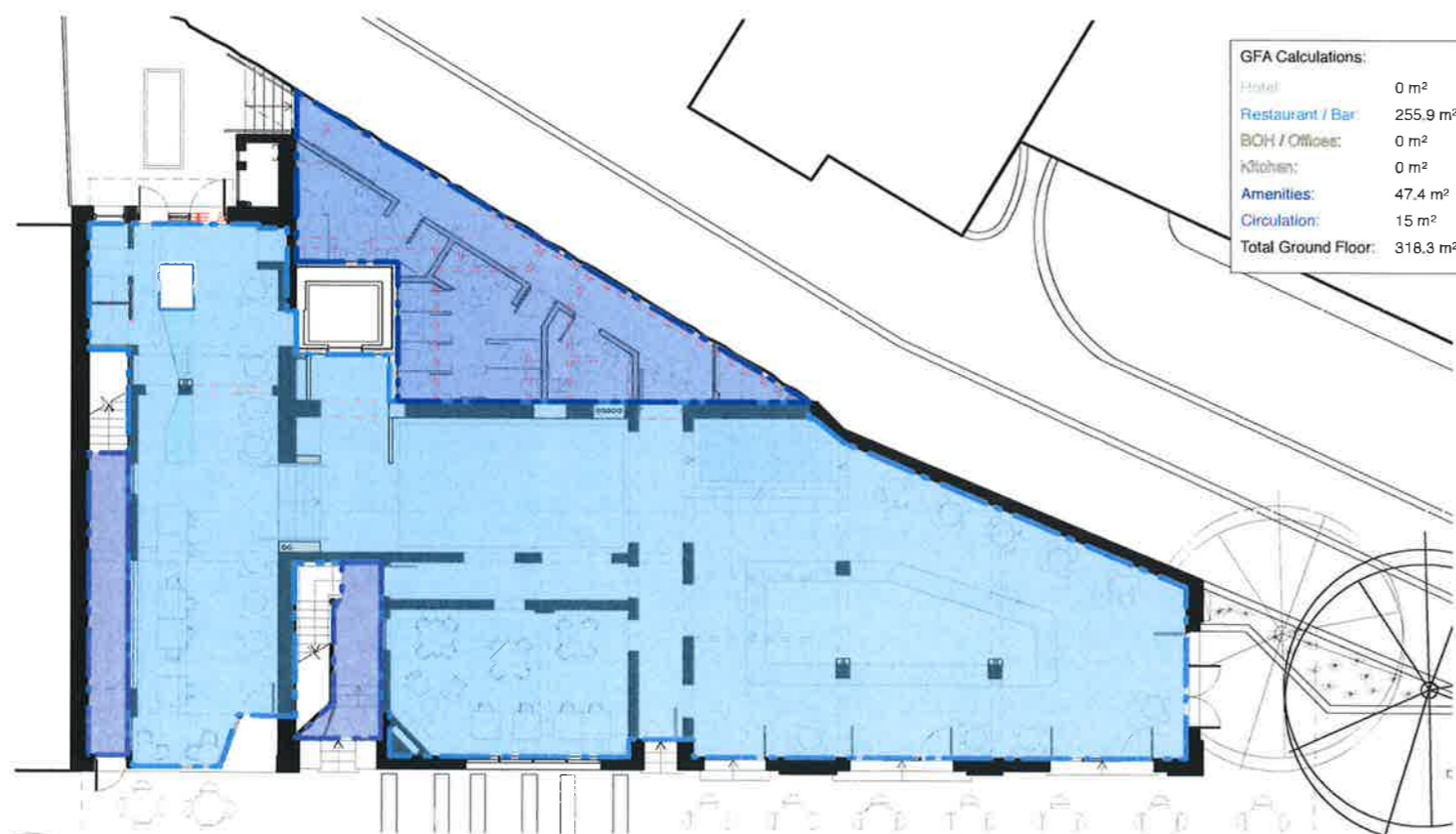




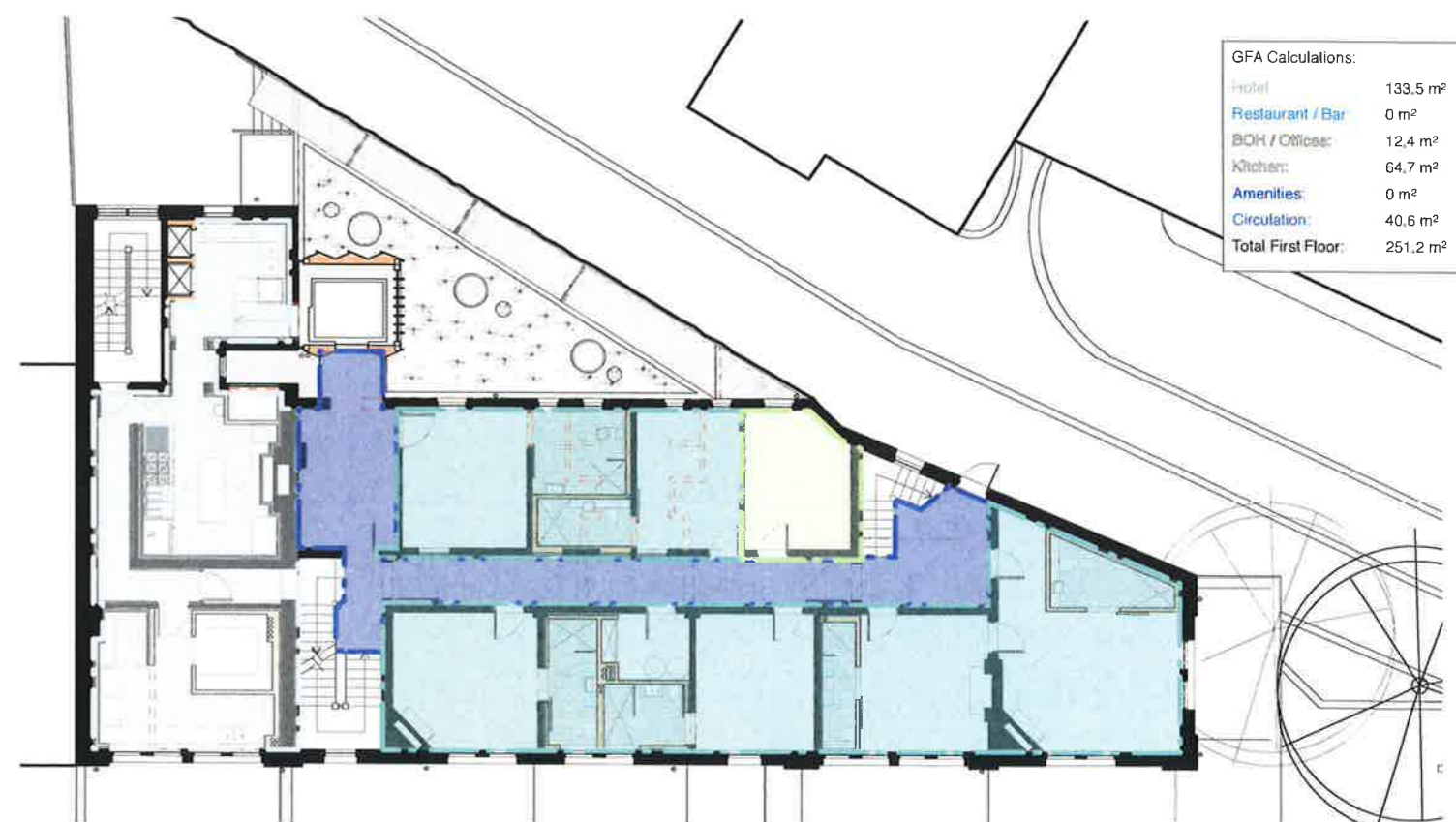
1 Existing Ground Floor Plan



3 Existing First Floor Plan



2 Proposed Ground Floor Plan



4 Proposed First Floor Plan

Note:  
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

State Significant Development Application

Issue / Amendments:  
- For SSDA

Date:  
11.01.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
cl	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber window
mc	metal cladding	w	window

Line of structure over / under  
To be demolished  
Existing timber floor  
Existing double brick structure  
Existing lightweight structure  
New masonry structure  
New concrete structure  
New lightweight structure

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D. Welsh ARB No. 6968

**Welsh+Major**

Project  
**The Mercantile Hotel**  
25-27 George Street, The Rocks, 2000

Drawing Title  
**GFA Plans**

Scale:  
1:200

Date:  
December 2018

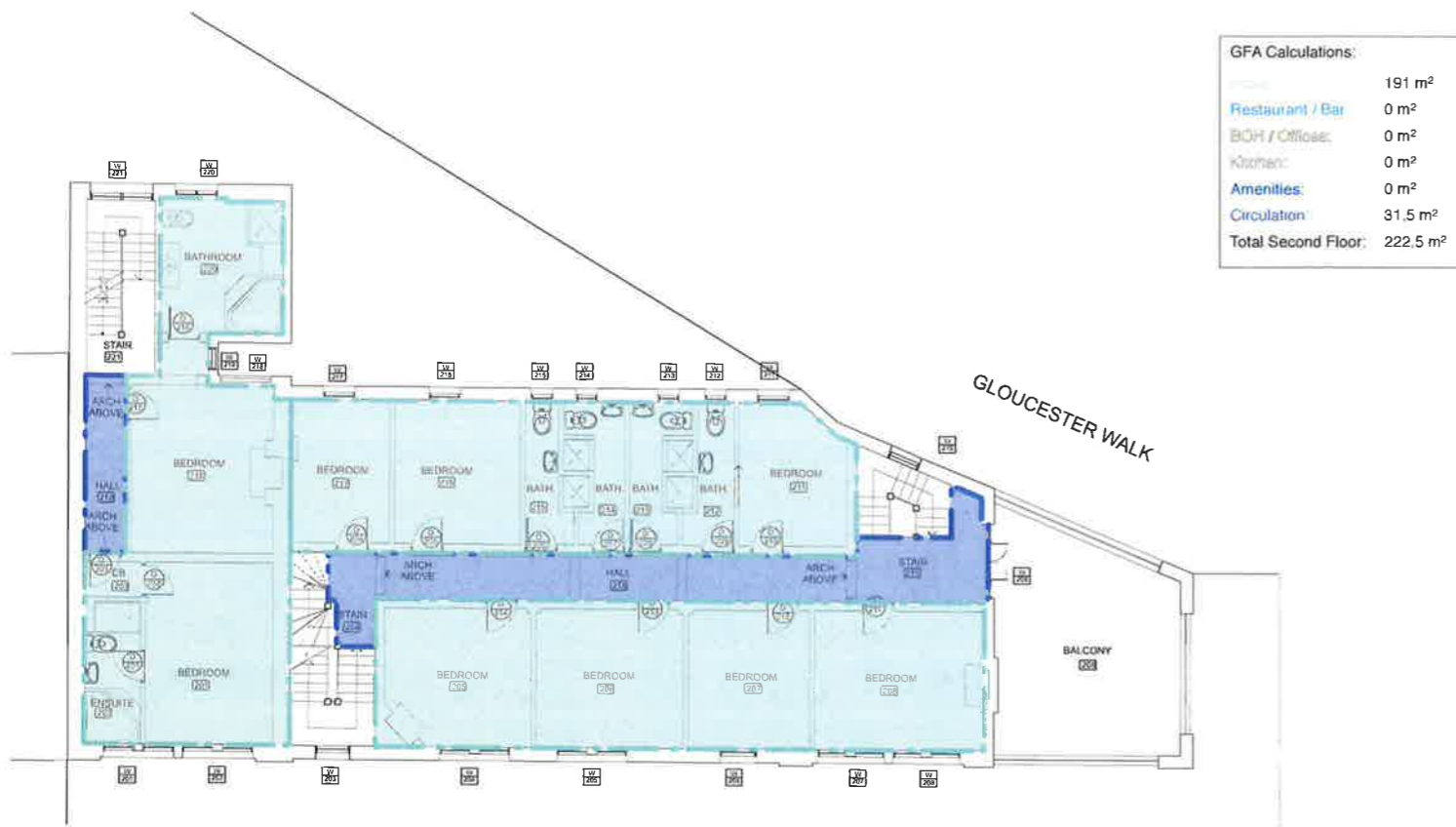
Drawn:  
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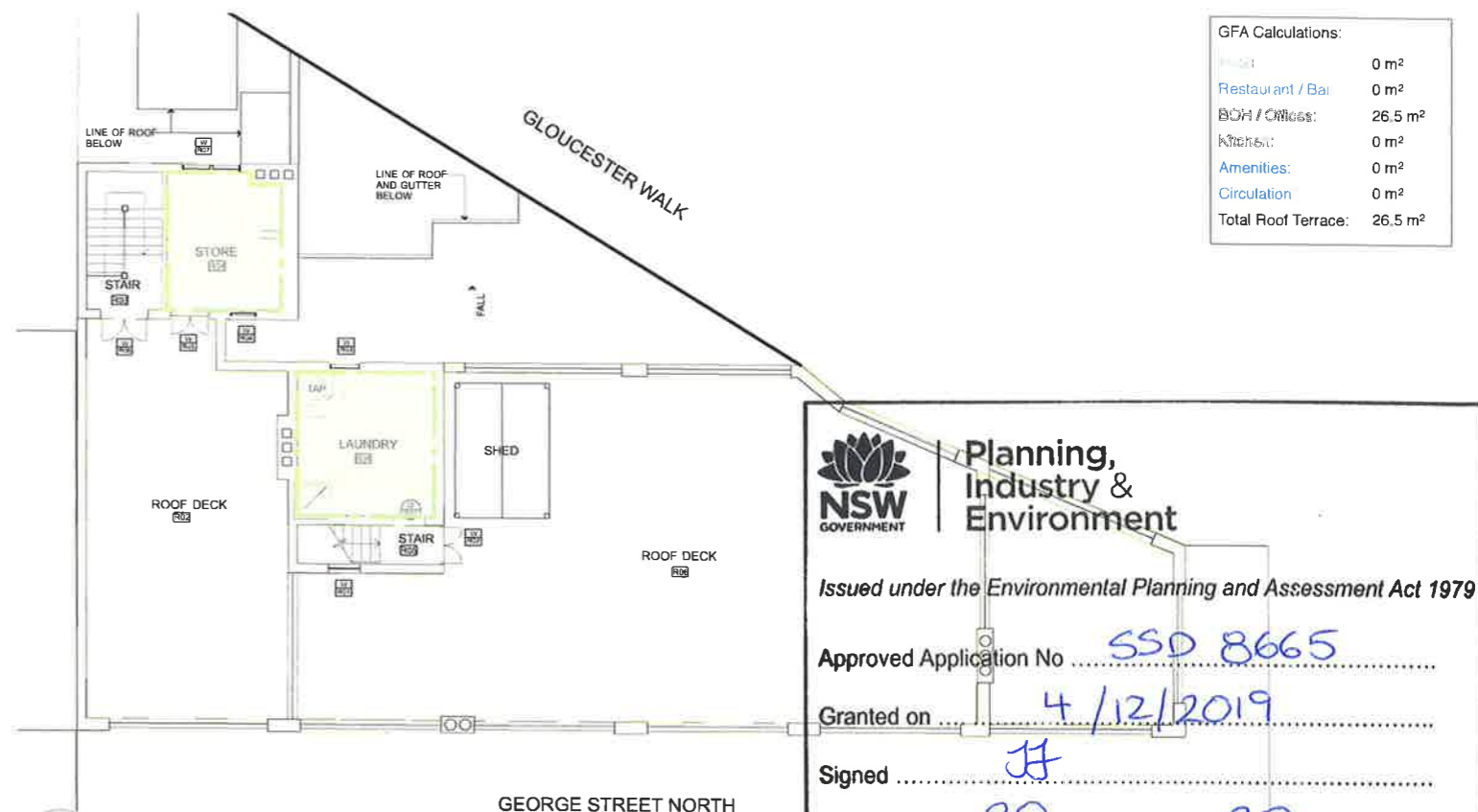
Issue:  
-

Project Ref. No.  
**1505**

Drawing No.  
**SSDA 601**



1 Existing Second Floor Plan



3 Existing Roof terrace Plan

**Planning, Industry & Environment**  
NSW GOVERNMENT

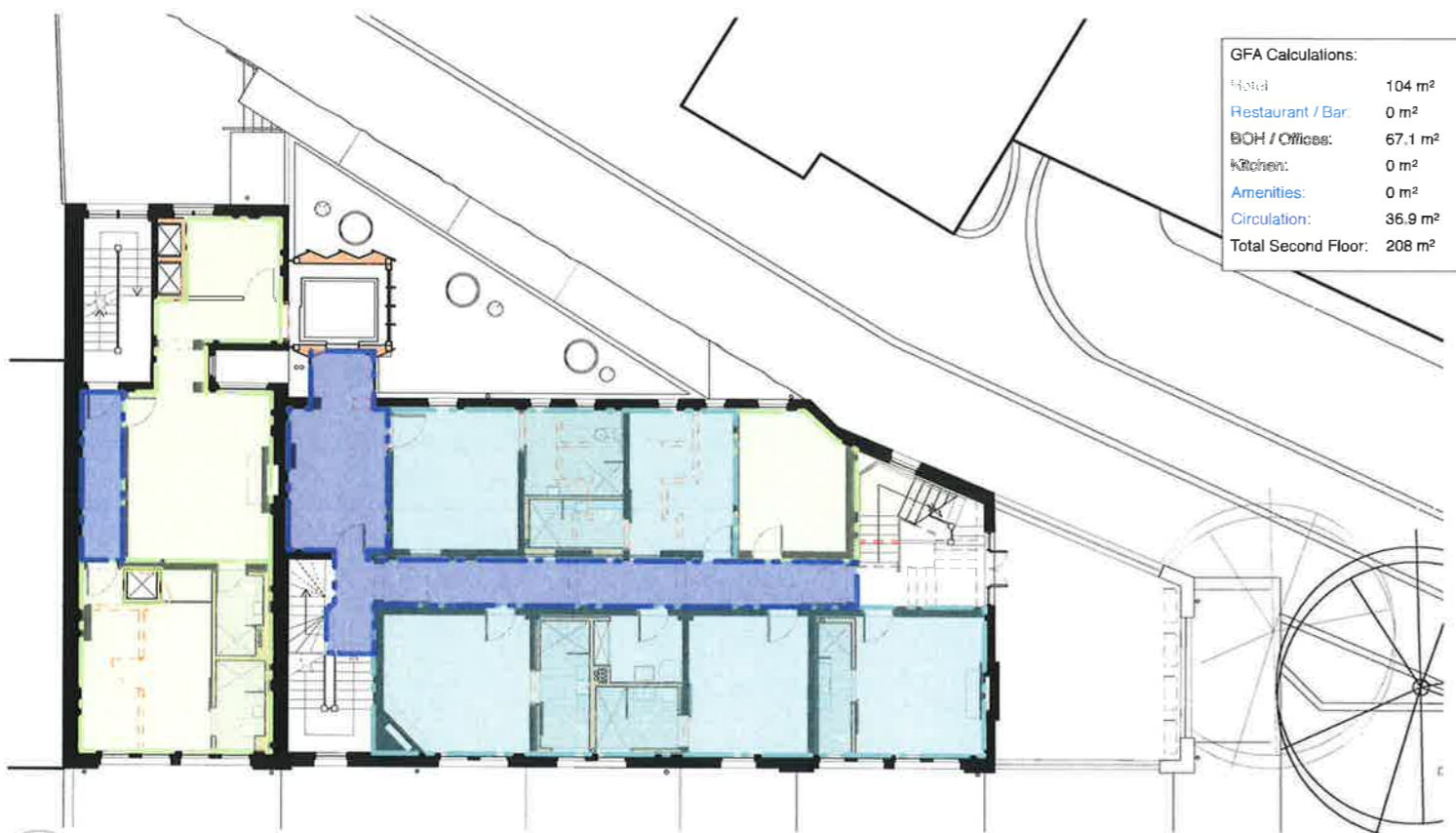
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No SSD 8665

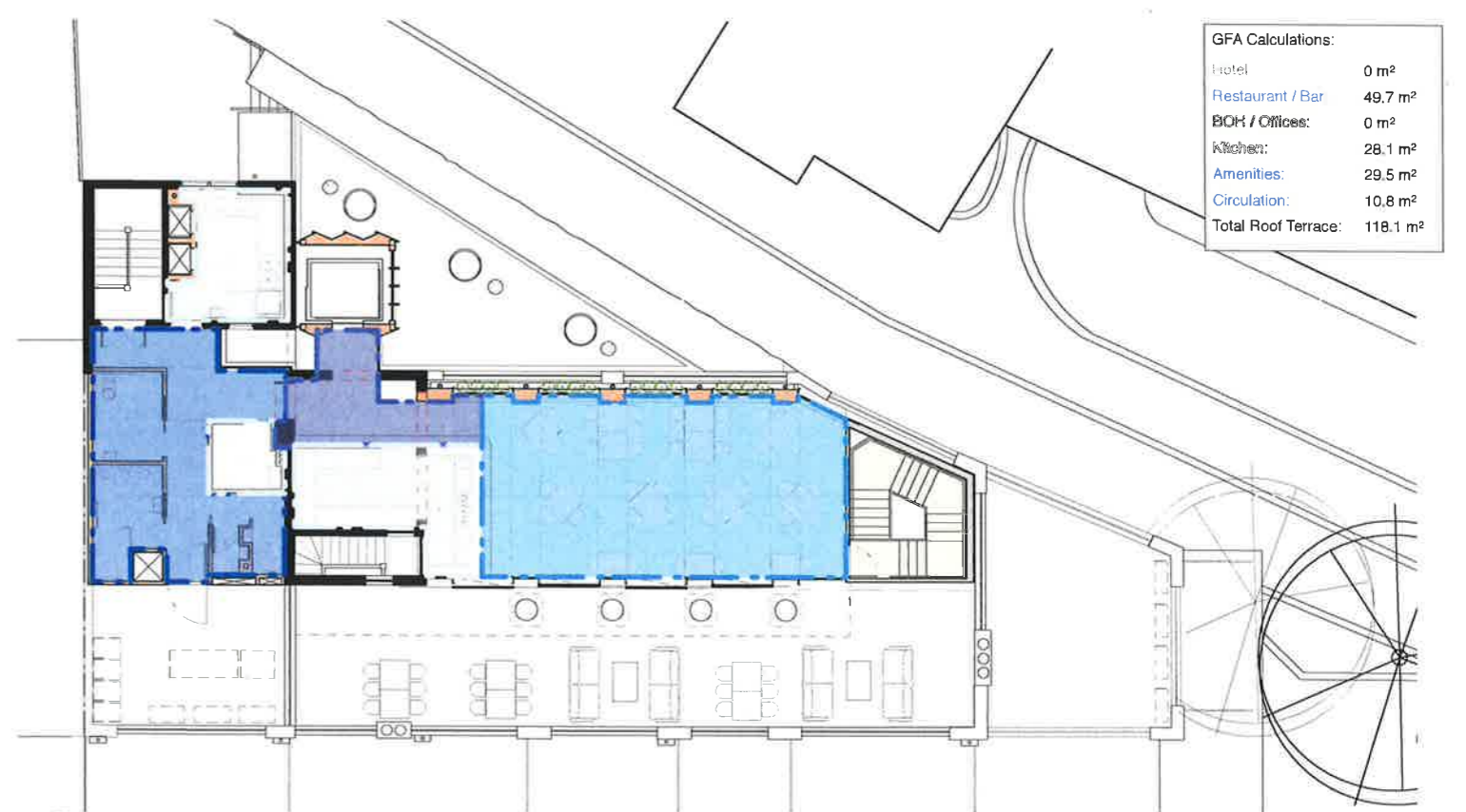
Granted on 4/12/2019

Signed [Signature]

Sheet No 30 of 30



2 Proposed Second Floor Plan



4 Proposed Roof terrace Plan

Note:  
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

State Significant Development Application

Issue / Amendments:  
- For SSDA

Date:  
11.01.19

- Legend:**
- |     |                    |     |                    |       |                                 |
|-----|--------------------|-----|--------------------|-------|---------------------------------|
| AC  | air-conditioning   | ms  | mild steel         | ---   | Line of structure over / under  |
| c   | column             | mr  | metal roofing      | - - - | To be demolished                |
| cpt | carpet             | pb  | plasterboard       | ===== | Existing timber floor           |
| con | concrete           | pbr | painted brick      | ===== | Existing double brick structure |
| ct  | ceramic tiles      | pm  | pressed metal      | ===== | Existing lightweight structure  |
| d   | door               | pp  | permeable paving   | ===== | New masonry structure           |
| db  | distribution board | rr  | resilient flooring | ===== | New concrete structure          |
| dp  | downpipe           | rm  | rendered masonry   | ===== | New lightweight structure       |
| ex  | existing           | rwh | rain water head    | ===== |                                 |
| fb  | face brick         | sk  | skylight           | ===== |                                 |
| fc  | fibre cement       | st  | steel              | ===== |                                 |
| fg  | fixed glass        | tb  | timber boards      | ===== |                                 |
| fl  | flue               | td  | timber deck        | ===== |                                 |
| hws | hot water system   | tm  | timber window      | ===== |                                 |
| mc  | metal cladding     | w   | window             | ===== |                                 |

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**Welsh+Major**

Project  
**The Mercantile Hotel**  
25-27 George Street, The Rocks, 2000

Project Ref. No.  
**1505**

Drawing Title  
**GFA Plans**

Drawing No.  
**SSDA 602**

Scale:  
1:200

Date:  
December 2018

Drawn:  
CD

Checked:  
CM

Issue: