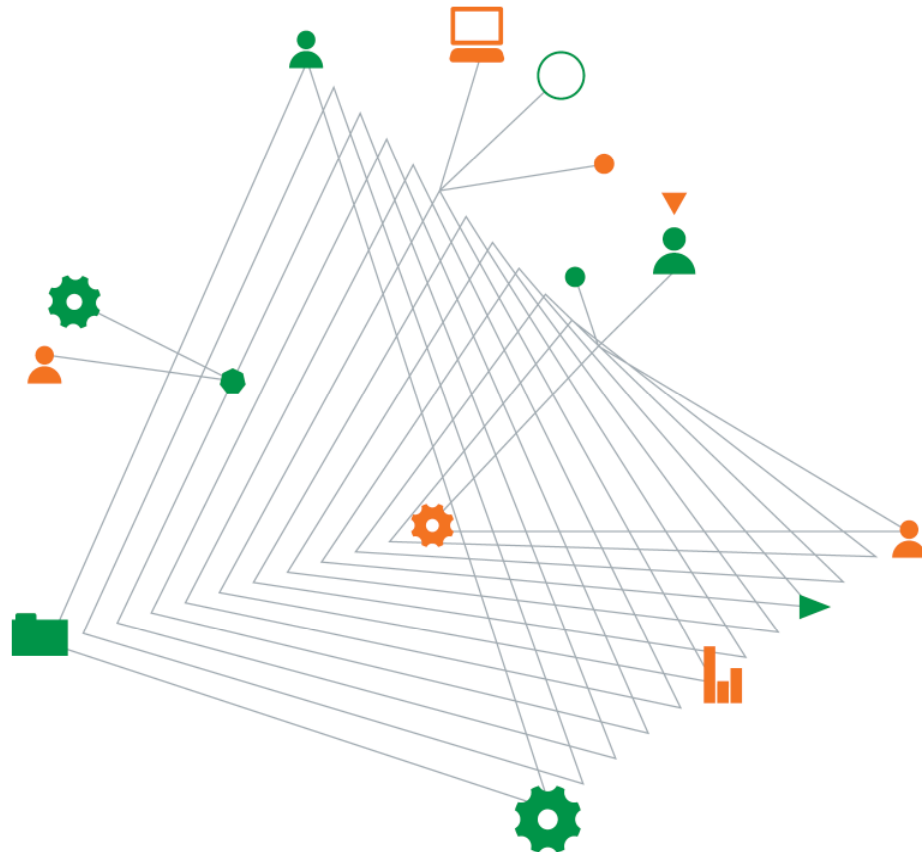


HBMS Pty Ltd

Preliminary Site Investigation

Mercantile Hotel, 25 George Street, The Rocks,
NSW

13 December 2017



Experience
comes to life
when it is
powered by
expertise

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Preliminary Site Investigation

Prepared for
HBMS Pty Ltd

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Executive summary

HGMS Pty Ltd (HBMS) engaged Coffey Services Pty Ltd (Coffey) to undertake a preliminary site investigation (PSI) of the Mercantile Hotel located at 25 George Street, The Rocks, NSW (the site). It is understood that HBMS intends on renovating and upgrading the Mercantile Hotel and has requested this PSI prior to commencing works in response to City of Sydney requirements.

It is understood that refurbishment works to the site are to include the following upgrades:

General building upgrades to fire safety and circulation including the installation of a new fire stair and external lift.

Refurbishment and internal reconfiguration of the ground, first and second floor.

Creation of a new courtyard dining area adjacent to Gloucester Walk.

Construction of a new enclosed roof terrace containing a bar, servery and accessible toilet facilities.

The objectives of the PSI were to:

- Identify potential current and historical sources of contamination and potential contaminants of concern that may present a constraint to the proposed development.
- Provide an opinion on the suitability for the site for the proposed works in accordance with NSW Environmental Protection Authority (EPA) State Environmental Planning Policy (SEPP) 55.

The site was occupied by a three-storey commercial building which was being used as a hotel which is understood to have originally been constructed in 1914, with additions including a rear kitchen and amenities outbuildings constructed in the 1980's. The ground floor of the building contained a bar, bistro and kitchen. The upper two floors (access not provided) were understood to be used as hotel accommodation. The building also contained a basement which appeared to be cut into the natural bedrock, was predominately used as beer keg storage. The building was observed to be constructed from brick, sandstone blocks and timber with a corrugated iron roof.

The covered western side of the building, where the proposed courtyard will be constructed, contained a number of small structures, which were previously used as cool rooms and storage areas. These areas are currently used as a storage area for materials and equipment associated with the industrial kitchen, including cooking oil, degreasers, hand soap, domestic waste bins, fridges and gas cylinders. All containers of cleaning products appeared to be in good condition, with no leaking or staining observed. The majority of the covered western side of the building was noted to be paved or covered with a concrete slab noted to be in average condition with some cracking observed in places.

The northern section of the site contained a small landscaped area, characterised by a garden bed and large tree, within a sandstone wall. Topsoil within the garden bed was noted to be comprised of fill material.

Given the age of the building, it is unlikely that asbestos was used as part the original building material. However, it is likely that refurbishment of the building may have been undertaken since the original construction in 1914. Hazardous building materials were suspected in the following areas:

- Asbestos-containing window mastic to the exterior windows;
- Lead paint to the exterior wall of the southern elevation; and
- Lead paint to the interior walls of the basement level;

Based on a review of publicly available information and walkover along the optional project extensions, Coffey concludes that:

- The site is currently occupied by a three-storey commercial building which has been operating as a public house and hotel since 1914 following the Mercantile Hotel's construction, prior to which the site was a combination of terrace housing and a coal and timber yard. The commercial building was observed to be constructed from brick with portions of the building having a corrugated iron roof.

- A review of historical aerial photographs identified that the Mercantile Hotel was present on the site in 1943. Aerial photographs suggest the site has remained relatively unchanged since, although there appears to have been a retrofitted addition to the western portion of the site.
- Evidence of minimal fill material was noted in a garden bed located in the northern portion of the site, however it is unlikely this material will be disturbed during the refurbishment works.
- There is a potential for fill to be present in the western portion of the site where the new lift pit is to be excavated where the concrete slab removed, however due to the topography of the area it is suspected if fill is present in this area that it is likely to be minimal.

Based on the findings of this assessment it is considered that the site is suitable for the continued land use as a restaurant/hotel, in accordance with SEPP55 – Remediation of Land, subject to the implementation of the following works:

Waste Classification Assessment – Soil requiring offsite disposal must be assessed and classified prior to being transported to an appropriately licenced landfill in accordance with the NSW EPA Waste Classification Guidelines 2014.

Unexpected Finds Protocol – An unexpected finds protocol should be included as part of the Construction Environment Management Plan or as a stand-alone document in the event that potentially contaminated fill material is encountered during the excavation of the lift pit or removal of the slab in the western portion of the site.

Furthermore, Coffey recommends that if a previous hazardous building materials survey has been undertaken it should be provided for review by a licenced asbestos assessor. If no such register exists for the site, a hazardous building materials survey should be undertaken, including a pre-demolition/destructive survey in those structures to be demolished as part of the redevelopment and used to develop appropriate controls during demolition in accordance with the NSW Work Health and Safety Regulation 2017.

This executive summary must be read in conjunction with the entire report and in the context of the attached “Important Information about your Coffey Environmental Report” and to the statement of limitations in Section 8 of this report.

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Appendix A – Development Concept Plans

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1. Introduction

HGMS Pty Ltd (HBMS) engaged Coffey Services Australia Pty Ltd (Coffey) to undertake a preliminary site investigation (PSI) of the Mercantile Hotel located at 25 George Street, The Rocks, NSW (the site). It is understood that HBMS intends on renovating and upgrading the Mercantile Hotel and has requested this PSI to support the development consent process prior to commencing works.

The site is legally described as Lot 10 in Deposited Plan 258607 with the location shown on Figure 1 and the site layout plan is shown on Figure 2.

A State Significant Development Application (Ref: SSD 17_8665) has been lodged for alterations & additions to a The Mercantile Hotel including:

- General building upgrades to fire safety and circulation including the installation of a new fire stair and external lift.
- Refurbishment and internal reconfiguration of the ground, first and second floor.
- Creation of a new courtyard dining area adjacent to Gloucester Walk.
- Construction of a new enclosed roof terrace containing a bar, servery and accessible toilet facilities.

Copies of the development concept plans were provided for review and are included in Appendix A. From the information provided, it is understood that HBMS propose is to undertake refurbishment works at the site which will include demolition of the existing outbuildings and slab in the western portion of the site with a new slab and amenities building to be constructed in its place. The works are also to include the installation of a new lift shaft including pit with approximate dimensions of 2,200 mm x 2,700 mm excavated to a depth of 1,300 mm.

The Secretary's Environmental Assessment Requirements (SEARs) have been issued in relation to the application. Conditions within the SEARs relevant to the PSI are as follows:

- *Condition 9 (Stormwater and Groundwater): Provide information on soil and water that includes details of any soil contamination.*
- *Condition 11 (Contamination): Demonstrate compliance with the requirements of SEPP 55. If remediation works are required, the application must include a Remedial Action Plan.*
- *Condition 12: (Acid Sulfate Soils): Identify the extent of any excavation required and provide confirmation as to whether the proposed works will lower the water table, given that the site is within less than 100m of adjoining Class 2 Acid Sulfate Soil land.*

1.1. Objectives

The objectives of the PSI were to:

- Identify potential current and historical sources of contamination and potential contaminants of concern that may present a constraint to the proposed development.
- Provide an opinion on the suitability for the site for the proposed works in accordance with NSW Environmental Protection Authority (EPA) State Environmental Planning Policy (SEPP) 55.

1.2. Legislative Framework

Works were undertaken in consideration of the following:

- NSW Work Health and Safety Act 2011 (WHS Act 2011);
- NSW Work Health and Safety Regulation 2011 (WHS Regulation 2017);
- Contaminated Land Management (CLM) Act, 1997 (CLM Act 1997);
- Protection of the Environment Operations (POEO) Act 1997 (POEO Act 1997);

- National Environment Protection Council, National Environment Protection (Assessment of Site Contamination) Measure, 1999 (April 2013) (ASC NEPM 2013);
- NSW Environment Protection Authority (EPA) State Environmental Planning Policy 55 – Remediation of Land (SEPP55), 1998;
- NSW Office of Environment and Heritage (OEH), Guidelines for Consultants Reporting on Contaminated Sites, 2011 (OEH 2011); and
- NSW Environment Protection Authority (EPA) Waste Classification Guidelines: Part 1 – Classifying Waste, 2014 (NSW EPA Waste Classification Guidelines 2014).

1.3. Scope of works

To fulfil the objectives Coffey undertook the following scope of works:

- Desktop review including a review of:
 - Maps and plans pertaining to the environmental setting of the site (local geology, hydrogeology, topography and acid sulfate soil risk maps).
 - A selection of historical aerial photographs.
 - Council Section 149 (2&5) Certificate.
 - Registered groundwater bore information in the public register held by NSW Office of Water.
- A search of public records and registers pertaining to potential contamination including:
 - List of NSW Contaminated Sites Notified to NSW Environment Protection Authority (EPA).
 - NSW EPA Protection of the Environment Operations (POEO) Public Registers.
 - NSW EPA List of Former Gasworks.
- A site walkover to observe current site activities and conditions, and adjacent properties.
- Preparation of this PSI report discussing the findings of the site walkover and desktop review.

2. Site information

2.1. Site identification

The site identification details are summarised in Table 2.1.

Table 2.1: Site Identification Details

Site Address	25 George Street, The Rocks NSW.
Total Site Area	The site is approximately 450 m ² .
Title Identification Details	Lot 10, DP258607
Current Zoning	Sydney Cove Redevelopment Authority Scheme pursuant to the Sydney Local Environmental Plan 2012.
Current Site Use	The site is located on the corner of George St and Gloucester Walk and is currently occupied by the Mercantile Hotel.
Adjoining Site Uses	North: George St, with the embankment for the Sydney Harbour Bridge and Sydney Harbour located further beyond. South: Commercial buildings (including restaurants and cafes), commercial high rise buildings.

	East: George St, commercial buildings and Sydney Harbour.
	West: Gloucester walk, residential public housing, commercial docks and Walsh Bay.

The site location and site layout are shown in Figures 1 and 2, respectively.

2.2. Site walkover

A site walkover was carried out by a Coffey Environmental Scientist on 15th November 2017. Observations made during the site walkover are summarised below, which are cross referenced to photographs presented in Appendix B:

- The site was occupied by a three-storey commercial building which was being used as a hotel which is understood to have originally been constructed in 1914, with additions including a rear kitchen and amenities outbuildings constructed in the 1980's. The ground floor of the building contained a bar, bistro and kitchen. The upper two floors are understood to be used as hotel accommodation. The building also contains a basement, which is predominately used as beer keg storage. The building was observed to be constructed from brick, sandstone blocks and timber with a corrugated iron roof (refer to Photos 1 and 2).
- The northern section of the site contains a small landscaped area, characterised by a garden bed and large tree, within a sandstone wall. Topsoil within the garden bed was noted to be comprised of fill material (Photo 3).
- The basement of the building was observed to be excavated and constructed directly into sandstone bedrock, suggesting that presence of fill material at the site is minimal.
- The covered western side of the building, where the proposed courtyard will be constructed, contained a number of small structures, which were previously used as cool rooms and storage areas. These areas are currently used as a storage area for materials and equipment associated with the industrial kitchen, including cooking oil, degreasers, hand soap, domestic waste bins, fridges and gas cylinders. All containers of cleaning products appeared to be in good condition, with no leaking or staining observed. The majority of the covered western side of the building was noted to be paved or covered with a concrete slab noted to be in average condition with some cracking observed in places.
- A grease trap was observed on the ground floor at the back of the building, adjacent to the kitchen.
- During the site walkover, the Coffey environmental scientist asked the site contact if a hazardous material register has been prepared for the site. The site contact stated that, to the best of their knowledge, no such hazardous materials register existed for the site.
- Given the age of the building, it is unlikely that asbestos was used as part the original building material. However, it is likely that refurbishment of the building, especially the hotel accommodation rooms on the first and second floor, may have been undertaken since the original construction in 1914. Hazardous building materials were suspected in the following areas:
 - Asbestos-containing window mastic to the exterior windows (Photo 4);
 - Lead paint to the exterior wall of the southern elevation (Photo 5); and
 - Lead paint to the interior walls of the basement level (Photo 6);
- During the site walkover, Coffey requested to inspect the two upstairs floors of the building (hotel accommodation), however access was not permitted. As such, this site walkover was limited to the ground floor, basement, and surrounding exterior accessible areas.

2.3. Regional geology

Published geological records indicated the site is underlain by the Hawkesbury Sandstone Formation which is described as medium to coarse-grained quartz sandstone with very minor shale and laminate lenses (Ref. Herbert C., 1983, Sydney 1:100 000 Geological Sheet 9130, 1st edition. Geological Survey of New South Wales, Sydney). These rock types typically weather to form sands, including the

Gynea soil landscape which are expected to occur on the site. (Ref. Soil Landscapes of the Sydney 1:100,000 Sheet map, Department of Environment, Climate Change and Water, Sydney).

2.4. Acid sulfate soils

Based on information provided Sydney Local Environmental Plan 2012 Acid sulfate soil maps, there are no known occurrences of acid sulfate soils at the site. The Atlas of Australian Acid Sulfate Soils (ASS) compiled by CSIRO indicates that there is an extremely low probability of ASS occurring at the site.

2.5. Site topography & drainage

The site sits at an elevation of approximately 20m AHD (Australian Height Datum) (Ref: NSW Sixmaps). The topography of the site slopes down in a south easterly along George Street. Land to the rear of the property (Gloucester Walk) raises up to approximately 3m above the site levels.

The elevation of the site is approximately 20m AHD (Australian Height Datum) (Ref: NSW Sixmaps). The site was noted to be generally flat however the surrounding topography sloped from the south and west to the north and east. It is expected that surface run-off would infiltrate through exposed soils with excess run-off collected via nearby drainage networks and the stormwater system.

Groundwater and excessive surface water that doesn't infiltrate the soil is expected to drain towards the Sydney Harbour.

2.6. Hydrogeology

Groundwater at the site is likely to occur as discontinuous lenses at the soil and bedrock interface below the building, and may also seep from exposed rock face west of the site. This groundwater is likely recharged by local rainfall events and possibly by runoff from the land situated to the west (up gradient) of the site.

Groundwater present within fractures defects within the bedrock at depth are unlikely to be encountered during the development.

2.7. Local sensitive receptors

There are no surface water features which pass through the site. The nearest surface water feature is Sydney Harbour, located approximately 100m east of the site.

2.8. Previous environmental assessments

No previous contamination reports or hazardous materials assessment surveys were provided to Coffey for review as part of this investigation.

3. Site history review

3.1. Aerial photography

Selected aerial photography dating back to 1943 are provided within Appendix C. A summary of the aerial photography is provided in Table 3.1.

Table 3.1: Summary of Aerial Photographs

Year of Photo	Site	Surrounding Area
1943	The site was occupied by a multi storey, 'T-shaped' building covering the majority of the site footprint with the exception of the south western portion which appeared undeveloped. The building appeared to be commercial or residential in nature.	The neighbouring properties to the east of the site were comprised of what appeared to be commercial/industrial buildings which included warehouses and shipyards. The neighbouring properties to the south and east appeared to be comprised of a mixture of commercial and residential buildings. West of the site was the southern on-ramp to the Sydney Harbour Bridge could be seen. George Street and Gloucester Walk were observed as paved roads. To the north west, additional shipyards and docks were observed at Dawes Point.
1978	In the 1978 aerial photograph the site appeared relatively unchanged.	The surrounding areas appeared relatively unchanged, however to the south of the site, the Cahill Expressway could be seen.
1994	In the 1994 aerial photograph the photographic resolution was relatively poor, however the site appeared relatively unchanged.	The surrounding area appeared relatively unchanged from the previous photograph.
2016	In the 2016 aerial photograph an addition or an additional structure could be seen on the western portion of the site, abutted to the western wall of the main building.	The surrounding area appeared relatively unchanged from the previous photograph.

3.2. Historical Parish Maps

Historical parish maps showing the site were obtained from the City of Sydney historical atlas of Sydney (<http://atlas.cityofsydney.nsw.gov.au/>). A review of the maps indicated the following:

- The site is located in Gipps Ward in the Parish of St Phillip
- The site was partially occupied by a timber and coal yard, and a small terraced house in 1880. The remainder of the site was vacant.
- The site appeared to be occupied by terraced housing in 1910.

3.3. Section 149 Certificate

Randwick City Council was contacted to undertake a Section 149 planning search of the Site.

The Section 149 certificate indicated the Site is not affected by a draft zone under City of Sydney Local Environmental Plan 2012.

Review of the Section 149 Certificate indicated that the site has been identified as a property that comprises, or on which there is, an item that is listed on the State Heritage Register. Additionally, the site was listed as not being affected by acid sulfate soils.

Review of Section 59 of the Section 149 Statement indicated the site was not listed as being significantly contaminated land, subject to a management order, the subject of an approved voluntary management proposal, subject to ongoing maintenance, or the subject of a site audit statement. A copy of the Section 149 certificate is provided in Appendix C.

3.4. Public register search

3.4.1. NSW EPA Contaminated land registers

Coffey undertook a search of the NSW EPA online Contaminated Land: Record of Notices on the 10th November 2017 for the suburb of the Rocks, NSW. The search did not identify any notices that have

been issued by the NSW EPA under the Contaminated Land Management Act (1997) for the site, or properties immediately surrounding the site.

There are a former AGL Gas Works located at Millers Point, approximately 500m west of the site.

Due to the location and distance of these properties from the site, the local topography and inferred hydraulic gradient, it is assessed that contamination associated with the former gasworks is unlikely to affect ground conditions at the site.

Coffey also undertook a search of the NSW EPA online List of NSW Contaminated Sites Notified to EPA on the 24th November 2017. The search did not identify any notices on the site, or properties immediately surrounding the site.

3.4.2. Protection of the Environment Operation Act 1997 register

A search of the NSW EPA Protection of the Environment Operation Act public register was conducted by Coffey. The POEO public register indicates that no licensed activities under the POEO Act 1997 are currently being carried out at the site.

The register however identified the following current licences within a 1000m radius of the site:

- EPL 13336: Barangaroo Delivery Authority (BDA), Barangaroo South/ Central and a portion of Hickson Rd (near to 30-38 Hickson Rd), approximately 500m west of the site.

The register also identified the following surrendered licences within a 1000m radius of the site:

- EPL 4091: Sydney Opera House Trust Bennelong Point, Sydney, NSW 2000, approximately 800m east from site.

3.4.3. Registered groundwater bore search

A search of groundwater bore licenses was undertaken on the 29th November 2017 using the NSW Department of Primary Industries, Office of Water website (<http://allwaterdata.water.nsw.gov.au/water.stm>). The search did not identify any registered groundwater bores within a 500m radius of the site.

3.4.4. NSW State Heritage Search

A search of the NSW Office of Environment and Heritage register for aboriginal places and state heritage listed sites (<http://www.environment.nsw.gov.au/heritageapp/heritagesearch.aspx>) was undertaken on 29th November 2017. A review of the results indicates that the site is listed on the register.

The hotel is described as an example of early 20th century work of the once leading Sydney architectural firm of Spain and Cosh and is considered to be an important component of the historical streetscape.

3.4.5. Former gasworks

A search of NSW EPA List of Former Gasworks was undertaken on the 29th November 2017. The search identified the Miller's Point gasworks located approximately 500m west of the site, as noted in Section 3.3.5.

4. Integrity of assessment of information reviewed

The following sources of data were relied upon for this assessment:

- Public registers maintained by the NSW EPA and Office of Environment & Heritage;

- Historical aerial photographs, topographic mapping and historical parish maps provided by NSW Land & Property Information and City of Sydney;
- Groundwater bore information maintained by NSW Department of Primary Industries – Office of Water;
- Geological and topographical mappings provided by various governmental departments; and
- Observations made during site walkover.

In summary, historical aerial photographs identified the Mercantile Hotel as having been present in the 1943 aerial photograph, supported by the Office of Environment & Heritage website which indicated the Mercantile Hotel opened in 1914 upon completion of the buildings construction. While there was a large temporal gap between the 1943 and 1978 aerial photographs, review of the photographs indicated that little to no change occurred at the site during that period. Aerial photographs prior to 1943 were not reviewed, however supplementary review of Parish maps was considered sufficient to determine the initial site development sequence and land uses.

Building management representatives were not aware of any underground storage tanks (UST) being present within the building, and the site walkover indicated the majority of the site had been excavated into the surrounding bedrock.

While no hazardous materials register was provided for review as part of this assessment, given the age of the building there is a potential for hazardous materials to be present in the building material.

Coffey considers the historical data assessed was generally adequate, reliable and suitable with regard to the assessment objectives.

5. Potential Areas of Environmental Concern and Chemicals of Potential Concern

Based on the site history information and site observations, potentially contaminating activities/sources were noted along with the associated potential Areas of Environmental Concern (AECs) and Chemicals of Potential Concern (COPCs). These are summarised in Table 5.1.

Table 5.1: Summary of Potentially Contaminating Activities, Potential Areas of Environmental Concern, Likelihood of Contamination and Potential Chemicals of Concern

Potentially Contaminating Activity/Source and Description	Potential Areas of Environmental Concern	Likelihood of Contamination*	Potential Chemicals of Concern
AEC1: Fill material of unknown origin or quality	Fill was noted in the tree/garden bed area located in the northern portion of the site, and there is a potential for fill to be present in the western portion of the site where redevelopment is to occur.	While there is a potential for contaminated fill to be present in the garden bed located in the northern portion of the site, this area is not included as part of the redevelopment and therefore is unlikely to be disturbed. If contaminated fill is present in the western area where redevelopment is to occur there is a potential for site workers to encounter it, however due to the local topography the fill material is likely to be shallow.	TRH, BTEX, heavy metals, PAH, OCP/OPP, PCB, asbestos

Notes:

Heavy Metals = arsenic, cadmium, chromium, copper, lead, nickel, mercury, OCP = Organochlorine Pesticides; OPP = Organophosphorus Pesticides, TRH = Total Recoverable Hydrocarbons, BTEX = Benzene, Toluene, Ethylbenzene, Xylenes, PAH = Polycyclic Aromatic Hydrocarbons, PCB = Polychlorinated Biphenyls

6. Conceptual site model (CSM)

A conceptual site model (CSM) is a representation of site related information regarding contamination sources, receptors and exposure pathways between those sources and receptors.

Contamination, if not managed appropriately could pose a potential risk to human health and/or the environment during construction or operation of the optional project extensions. For a risk from contamination to be present, there must be a plausible pollutant linkage between a contamination source and a receptor by means of a transport mechanism (pathway).

Potential receptors were considered to comprise:

- Civil contractors, site visitors, future site users and adjacent site users
- Aquatic marine ecosystems of Sydney Harbour

Table 6.1 discusses the plausible pollutant linkages identified between the AEC and these receptors

Table 6.1: Preliminary Conceptual Site Model

Potential Contaminating Activity/ Area of Environmental Concern	Contaminants of Potential Concern and Affected Media	Plausible Exposure Pathways	Receptors	Comments
AEC1: Fill material Fill materials of an unknown origin	TRH, BTEX, heavy metals, PAH, OCP/OPP, PCB and asbestos	Inhalation of soil and fibres Ingestion of soil Dermal contact	Construction workers Current and future site users	Fill materials noted in the large tree/garden bed area located in the northern portion of the site and may also be present in the area to be redeveloped located in the western portion of the site. There is potential for contaminants associated with the previous land uses to have been disposed of within this area.

Notes:

CoPC: Contaminants of Potential Concern

OCP: organochlorine pesticides

OPP: organophosphate pesticides

Heavy metals: arsenic, cadmium, chromium, copper, lead, mercury, nickel and zinc.

TRH: Total Recoverable Hydrocarbons.

BTEX: Benzene, Toulene, Ethylbenzene, Xylene.

PAH: Polycyclic Aromatic Hydrocarbons.

PCB = Polychlorinated Biphenyls.

UST = Underground Storage Tank

7. Conclusions and recommendations

Based on a review of publicly available information and walkover along the optional project extensions, Coffey concludes that:

- The site is currently occupied by a three-storey commercial building which has been operating as a public house and hotel since 1914 following the Mercantile Hotel's construction, prior to which it was a combination of terrace housing and a coal and timber yard. The commercial building was observed to be constructed from brick with portions of the building having a corrugated iron roof.
- A review of historical aerial photographs identified that the Mercantile Hotel was present on the site in 1943. Aerial photographs suggest the site has remained relatively unchanged since, although there appears to have been a retrofitted addition to the western portion of the site.
- Evidence of minimal fill material was noted in a garden bed located in the northern portion of the site, however it is unlikely this material will be disturbed during the refurbishment works.
- There is a potential for fill to be present in the western portion of the site where the new lift pit is to be excavated where the concrete slab removed, however due to the topography of the area it is suspected if fill is present in this area that it is likely to be minimal.

Based on the findings of this assessment it is considered that the site is suitable for the continued land use as a restaurant/hotel, in accordance with SEPP55 – Remediation of Land, subject to the implementation of the following works:

Waste Classification Assessment – Soil requiring offsite disposal must be assessed and classified prior to being transported to an appropriately licenced landfill in accordance with the NSW EPA Waste Classification Guidelines 2014.

Unexpected Finds Protocol – An unexpected finds protocol should be included as part of the Construction Environment Management Plan or as a stand-alone document in the event that potentially contaminated fill material is encountered during the excavation of the lift pit or removal of the slab in the western portion of the site.

Furthermore, Coffey recommends that if a previous hazardous building materials survey has been undertaken it should be provided for review by a licenced asbestos assessor. If no such register exists for the site, a hazardous building materials survey should be undertaken, including a pre-demolition/destructive survey in those structures to be demolished as part of the redevelopment and used to develop appropriate controls during demolition in accordance with the NSW Work Health and Safety Regulation 2017.

This report should be read in conjunction with the attached ***Important Information about your Coffey Environmental Report***.

8. Limitations

Preliminary information is not readily available on the history of the site before the 1880 and therefore, some site activities may not have been identified. We cannot preclude that potentially contaminating activities took place during initial clearing of the land. Allowances for uncertainties and potential unexpected finds should be made during planning and development phases.

It is the nature of contaminated site investigations that the degree of variability in site conditions cannot be known completely and no sampling and analysis program can eliminate all uncertainty concerning the condition of the site. Professional judgement must be exercised in the collection and interpretation of the data.

In preparing this report, current guidelines for assessment and management of contaminated land were followed. This work has been conducted in good faith in accordance with Coffey understanding of the client's brief and general accepted practice for environmental consulting.

This report was prepared for HBMS Pty Ltd to provide a preliminary assessment of land contamination at the subject site. No warranty, expressed or implied, is made as to the information and professional advice included in this report. Anyone relying this document with reference to a particular development concept does so at their own risk and should satisfy themselves concerning its applicability and, where necessary, should seek expert advice in relation to the particular situation. Any use of information in this report must consider the uncertainties outlined in *Important Information about your Coffey Environmental Report*, which follows this text.

Important information about your **Coffey** Environmental Report

Introduction

This report has been prepared by Coffey for you, as Coffey's client, in accordance with our agreed purpose, scope, schedule and budget.

The report has been prepared using accepted procedures and practices of the consulting profession at the time it was prepared, and the opinions, recommendations and conclusions set out in the report are made in accordance with generally accepted principles and practices of that profession.

The report is based on information gained from environmental conditions (including assessment of some or all of soil, groundwater, vapour and surface water) and supplemented by reported data of the local area and professional experience. Assessment has been scoped with consideration to industry standards, regulations, guidelines and your specific requirements, including budget and timing. The characterisation of site conditions is an interpretation of information collected during assessment, in accordance with industry practice,

This interpretation is not a complete description of all material on or in the vicinity of the site, due to the inherent variation in spatial and temporal patterns of contaminant presence and impact in the natural environment. Coffey may have also relied on data and other information provided by you and other qualified individuals in preparing this report. Coffey has not verified the accuracy or completeness of such data or information except as otherwise stated in the report. For these reasons the report must be regarded as interpretative, in accordance with industry standards and practice, rather than being a definitive record.

Your report has been written for a specific purpose

Your report has been developed for a specific purpose as agreed by us and applies only to the site or area investigated. Unless otherwise stated in the report, this report cannot be applied to an adjacent site or area, nor can it be used when the nature of the specific purpose changes from that which we agreed.

For each purpose, a tailored approach to the assessment of potential soil and groundwater contamination is required. In most cases, a key objective is to identify, and if possible quantify, risks that both recognised and potential contamination pose in the context of the agreed purpose. Such risks may be financial (for example, clean up costs or constraints on site use) and/or physical (for example, potential health risks to users of the site or the general public).

Limitations of the Report

The work was conducted, and the report has been prepared, in response to an agreed purpose and scope, within time and budgetary constraints, and in reliance on certain data and information made available to Coffey.

The analyses, evaluations, opinions and conclusions presented in this report are based on that purpose and scope, requirements, data or information, and they could change if such requirements or data are inaccurate or incomplete.

This report is valid as of the date of preparation. The condition of the site (including subsurface conditions) and extent or nature of contamination or other environmental hazards can change over time, as a result of either natural processes or human influence. Coffey should be kept apprised of any such events and should be consulted for further investigations if any changes are noted, particularly during construction activities where excavations often reveal subsurface conditions.

In addition, advancements in professional practice regarding contaminated land and changes in applicable statutes and/or guidelines may affect the validity of this report. Consequently, the currency of conclusions and recommendations in this report should be verified if you propose to use this report more than 6 months after its date of issue.

The report does not include the evaluation or assessment of potential geotechnical engineering constraints of the site.

Interpretation of factual data

Environmental site assessments identify actual conditions only at those points where samples are taken and on the date collected. Data derived from indirect field measurements, and sometimes other reports on the site, are interpreted by geologists, engineers or scientists to provide an opinion about overall site conditions, their likely impact with respect to the report purpose and recommended actions.

Variations in soil and groundwater conditions may occur between test or sample locations and actual conditions may differ from those inferred to exist. No environmental assessment program, no matter how comprehensive, can reveal all subsurface details and anomalies. Similarly, no professional, no matter how well qualified, can reveal what is hidden by earth, rock or changed through time.

The actual interface between different materials may be far more gradual or abrupt than assumed based on the facts obtained. Nothing can be done to change the actual site conditions which exist, but

steps can be taken to reduce the impact of unexpected conditions.

For this reason, parties involved with land acquisition, management and/or redevelopment should retain the services of a suitably qualified and experienced environmental consultant through the development and use of the site to identify variances, conduct additional tests if required, and recommend solutions to unexpected conditions or other unrecognised features encountered on site. Coffey would be pleased to assist with any investigation or advice in such circumstances.

Recommendations in this report

This report assumes, in accordance with industry practice, that the site conditions recognised through discrete sampling are representative of actual conditions throughout the investigation area. Recommendations are based on the resulting interpretation.

Should further data be obtained that differs from the data on which the report recommendations are based (such as through excavation or other additional assessment), then the recommendations would need to be reviewed and may need to be revised.

Report for benefit of client

Unless otherwise agreed between us, the report has been prepared for your benefit and no other party. Other parties should not rely upon the report or the accuracy or completeness of any recommendation and should make their own enquiries and obtain independent advice in relation to such matters.

Coffey assumes no responsibility and will not be liable to any other person or organisation for, or in relation to, any matter dealt with or conclusions expressed in the report, or for any loss or damage suffered by any other person or organisation arising from matters dealt with or conclusions expressed in the report.

To avoid misuse of the information presented in your report, we recommend that Coffey be consulted before the report is provided to another party who may not be familiar with the background and the purpose of the report. In particular, an environmental disclosure report for a property vendor may not be suitable for satisfying the needs of that property's purchaser. This report should not be applied for any purpose other than that stated in the report.

Interpretation by other professionals

Costly problems can occur when other professionals develop their plans based on misinterpretations of a report. To help avoid misinterpretations, a suitably qualified and experienced environmental consultant should be retained to explain the implications of the report to other professionals referring to the report and then review plans and specifications produced to see how other professionals have incorporated the report findings.

Given Coffey prepared the report and has familiarity with the site, Coffey is well placed to provide such

assistance. If another party is engaged to interpret the recommendations of the report, there is a risk that the contents of the report may be misinterpreted and Coffey disowns any responsibility for such misinterpretation.

Data should not be separated from the report

The report as a whole presents the findings of the site assessment and the report should not be copied in part or altered in any way. Logs, figures, laboratory data, drawings, etc. are customarily included in our reports and are developed by scientists or engineers based on their interpretation of field logs, field testing and laboratory evaluation of samples. This information should not under any circumstances be redrawn for inclusion in other documents or separated from the report in any way.

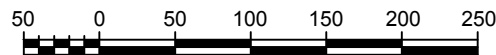
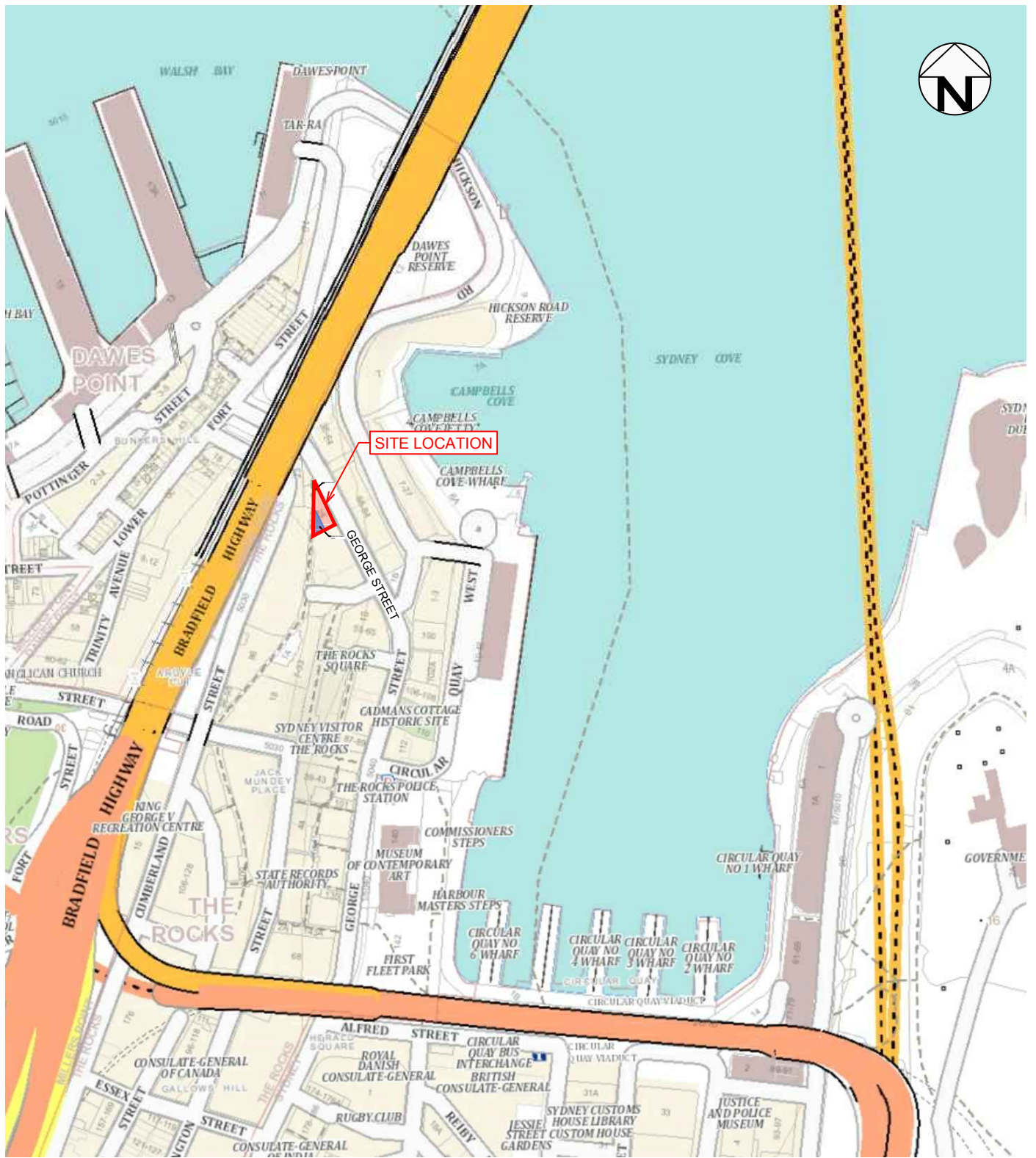
This report should be reproduced in full. No responsibility is accepted for use of any part of this report in any other context or for any other purpose or by third parties.

Responsibility

Environmental reporting relies on interpretation of factual information using professional judgement and opinion and has a level of uncertainty attached to it, which is much less exact than other design disciplines. This has often resulted in claims being lodged against consultants, which are unfounded. As noted earlier, the recommendations and findings set out in this report should only be regarded as interpretive and should not be taken as accurate and complete information about all environmental media at all depths and locations across the site.

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Figures



Scale (metres) 1:5000

AERIAL IMAGERY COPYRIGHT: ©Land and Property Information (2015)
 SOURCED FROM WEBSITE: http://www.lpi.nsw.gov.au/mapping_and_imagery/lpi_web_services
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drawn	SH / AW
approved	SH
date	13 / 12 / 17
scale	AS SHOWN
original size	A4

coffey
 A TETRA TECH COMPANY

client: HBMS PTY LTD C/- WELSH & MAJOR ARCHITECTS PTY LTD

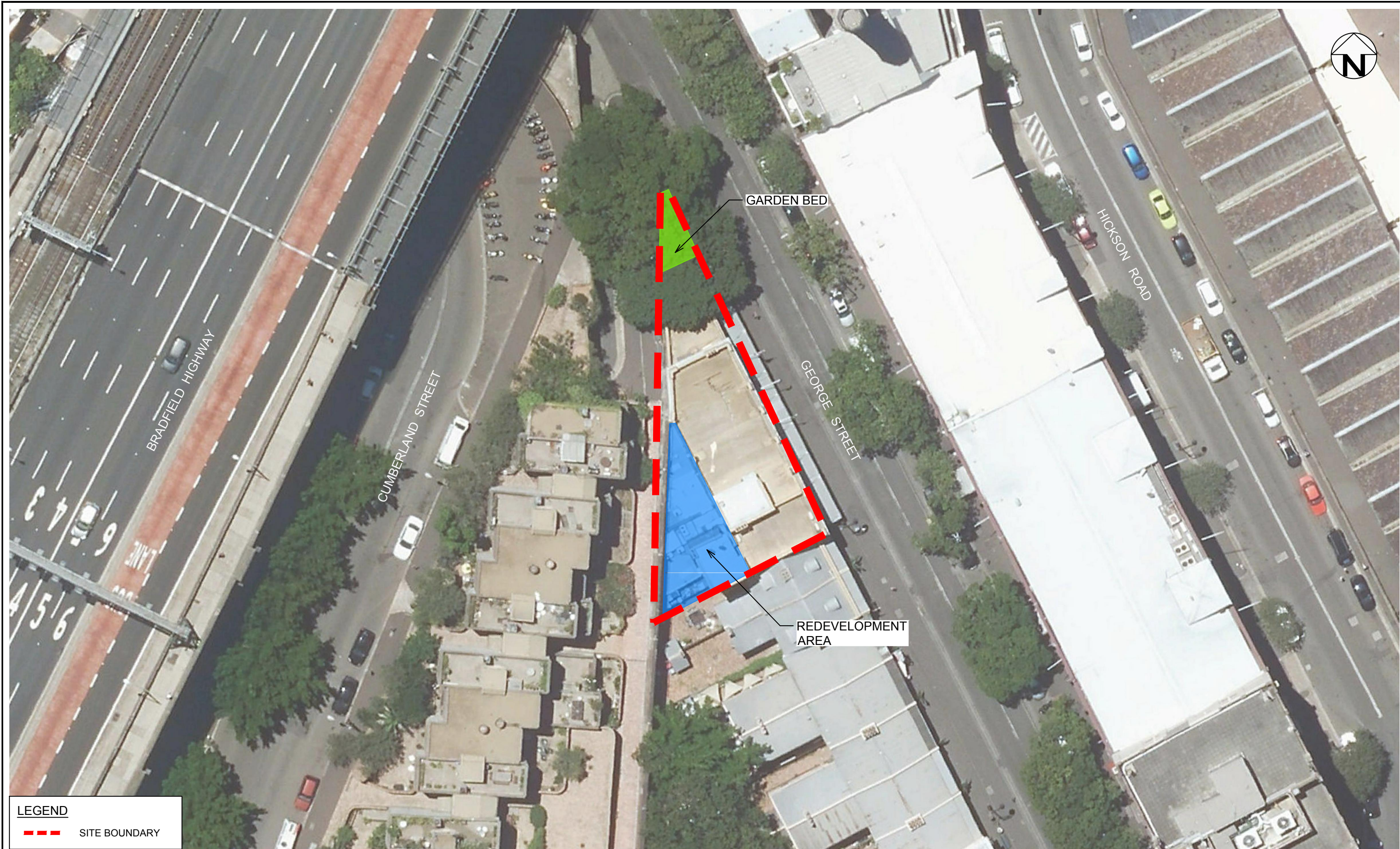
project: MERCANTILE HOTEL PSI
 25 GEORGE STREET, THE ROCKS, NSW

title: SITE LOCATION PLAN

project no: 754-SYDEN212343-R01

figure no: FIGURE 1

rev: A



LEGEND

--- SITE BOUNDARY

revision	no.	description		drawn	approved	date
	A	ORIGINAL ISSUE		SH	SH	13/12/17

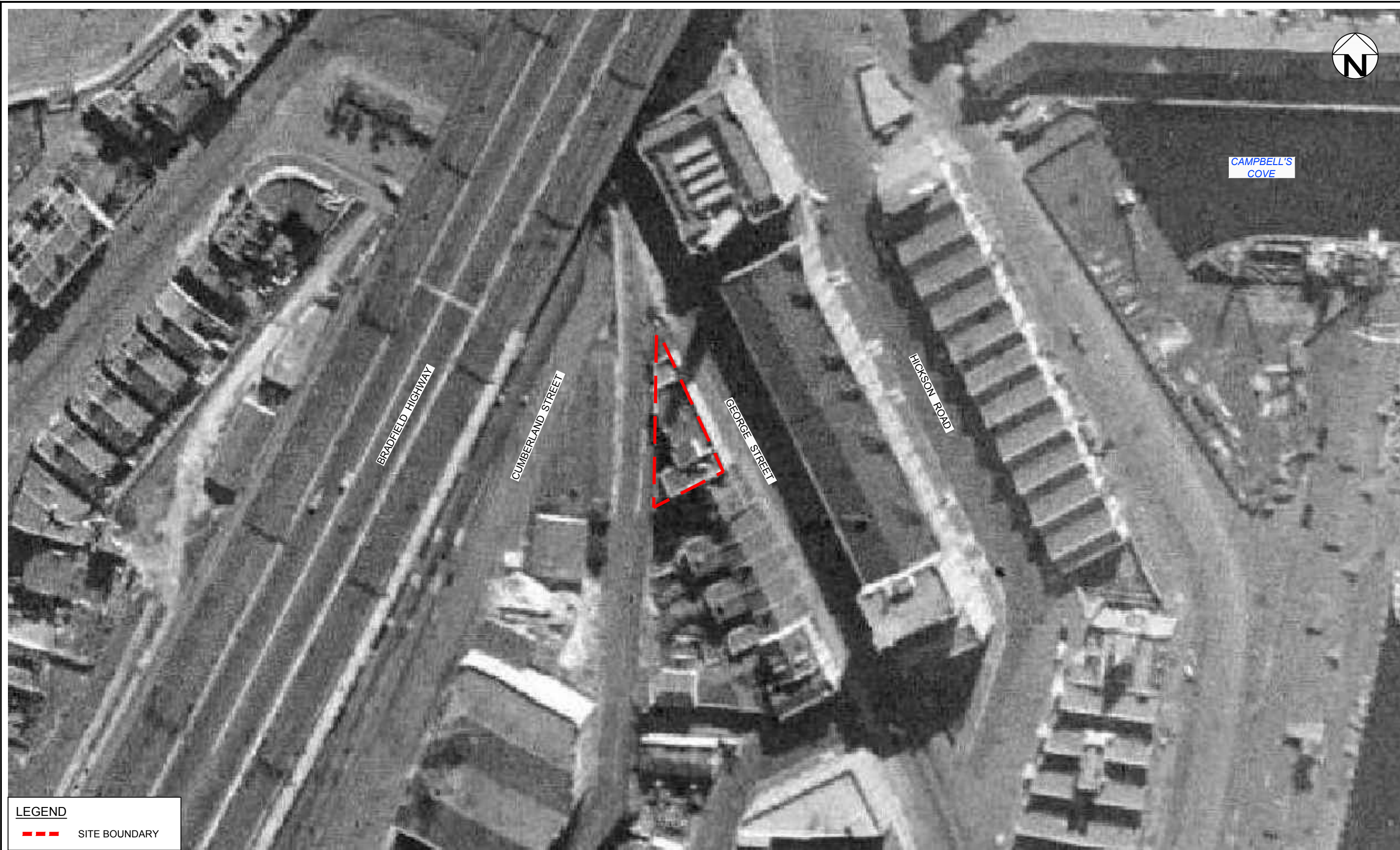
Scale (metres) 1:400

AERIAL IMAGE SOURCE: GOOGLE EARTH PRO 7.1.2
AERIAL IMAGE ©: 2017 SINCLAIR KNIGHT MERZ

drawn	SH / AW
approved	SH
date	13 / 12 / 17
scale	AS SHOWN
original size	A3

A TETRA TECH COMPANY

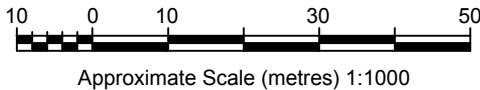
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project: MERCANTILE HOTEL PSI 25 GEORGE STREET, THE ROCKS, NSW		
title: SITE LAYOUT PLAN		
project no: 754-SYDEN212343-R01	figure no: FIGURE 2	rev: A



LEGEND

SITE BOUNDARY

revision	no.	description		drawn	approved	date
	A	ORIGINAL ISSUE		SH	SH	13/12/17



drawn	SH / AW
approved	SH
date	13 / 12 / 17
scale	AS SHOWN
original size	A3



client: HBMS PTY LTD C/- WELSH & MAJOR ARCHITECTS PTY LTD		
project: MERCANTILE HOTEL PSI 25 GEORGE STREET, THE ROCKS, NSW		
title: HISTORICAL PHOTO - 1943		
project no: 754-SYDEN212343-R01	figure no: FIGURE 3	rev: A



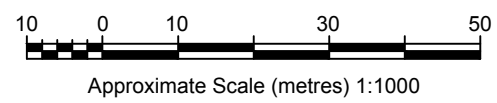
An aerial photograph of an urban area with a red dashed line indicating a site boundary. The boundary is a roughly triangular shape. Surrounding streets are labeled: BRADFELD HIGHWAY to the left, CUMBERLAND STREET to the left of the boundary, GEORGE STREET to the right of the boundary, and HICKSON ROAD to the right. A north arrow is in the top right corner, and a legend in the bottom left corner identifies the red dashed line as the 'SITE BOUNDARY'. The text 'CAMPBELL'S COVE' is in the top right corner.

LEGEND

 SITE BOUNDARY

LEGEND

 SITE BOUNDARY

[illegible]

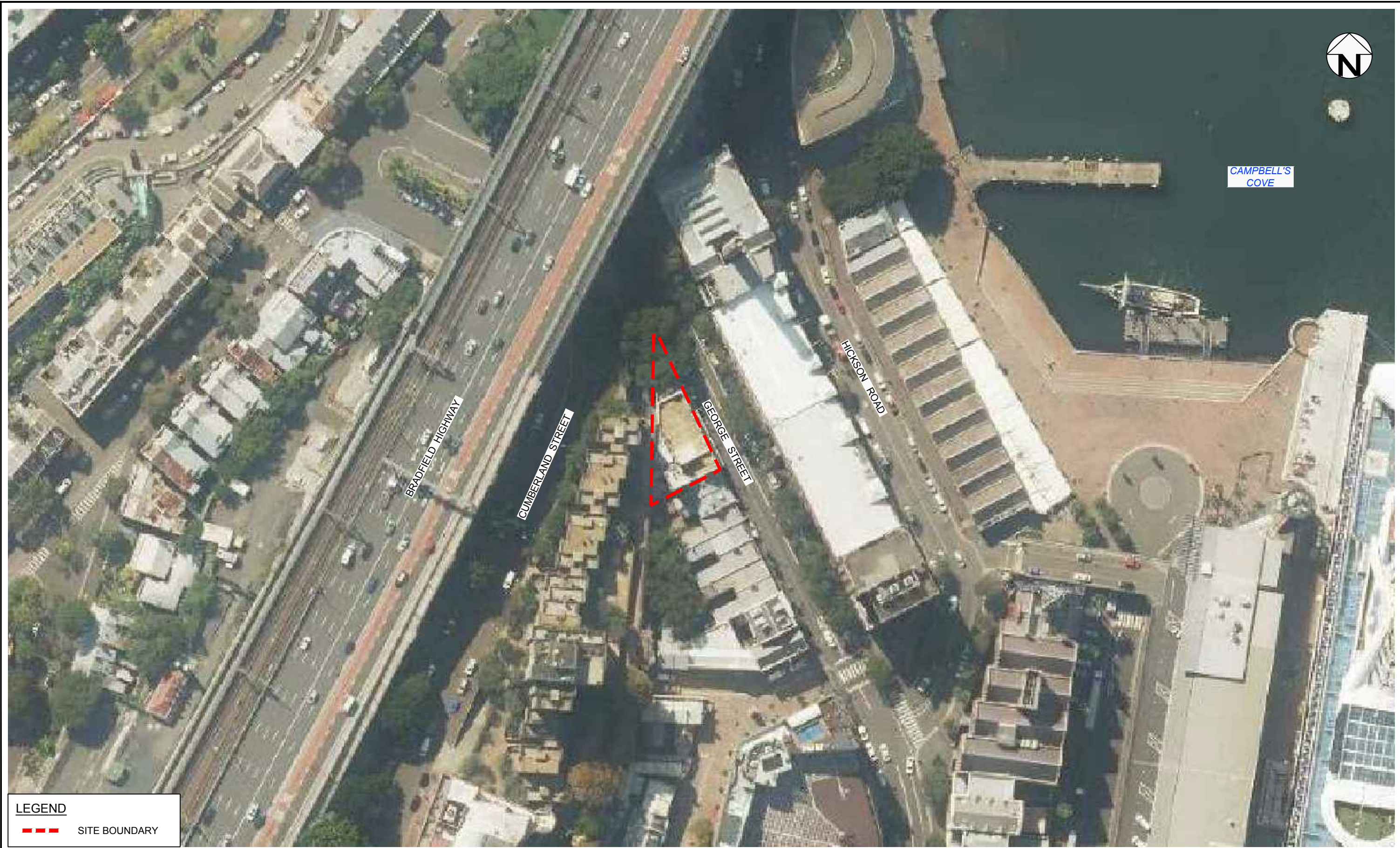
drawn	SH / AW
approved	SH
date	13 / 12 / 17
scale	AS SHOWN
original size	A3



client: HBMS PTY LTD C/- WELSH & MAJOR ARCHITECTS PTY LTD		
project: MERCANTILE HOTEL PSI 25 GEORGE STREET, THE ROCKS, NSW		
title: HISTORICAL PHOTO - 1978		
project no: 754-SYDEN212343-R01	figure no: FIGURE 4	rev: A



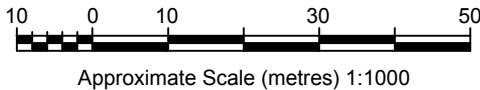
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	A	ORIGINAL ISSUE			SH	SH	13/12/17		approved	SH		project: MERCANTILE HOTEL PSI 25 GEORGE STREET, THE ROCKS, NSW		
									date	13 / 12 / 17		title: HISTORICAL PHOTO - 1994		
									scale	AS SHOWN		project no: 754-SYDEN212343-R01	figure no: FIGURE 5	rev: A
									original size	A3				



LEGEND

SITE BOUNDARY

revision	no.	description		drawn	approved	date
	A	ORIGINAL ISSUE		SH	SH	13/12/17



drawn	SH / AW
approved	SH
date	13 / 12 / 17
scale	AS SHOWN
original size	A3



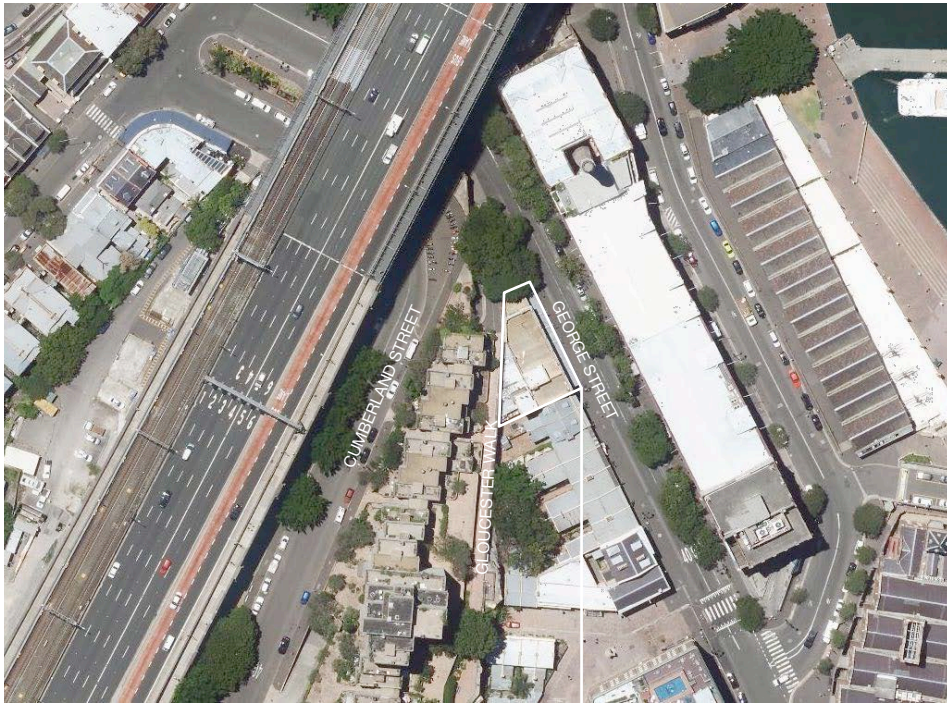
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project: MERCANTILE HOTEL PSI 25 GEORGE STREET, THE ROCKS, NSW		
title: HISTORICAL PHOTO - 2016		
project no: 754-SYDEN212343-R01	figure no: FIGURE 6	rev: A

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Appendix A – Development Concept Plans

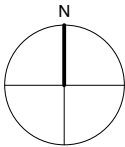
State Significant Development Application
for alterations & additions to a The Mercantile Hotel
25-27 George Street, The Rocks, NSW, 2000

November 2017



1

Location Plan
NTS

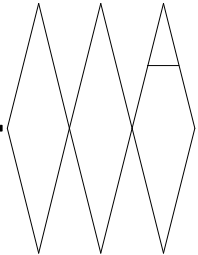


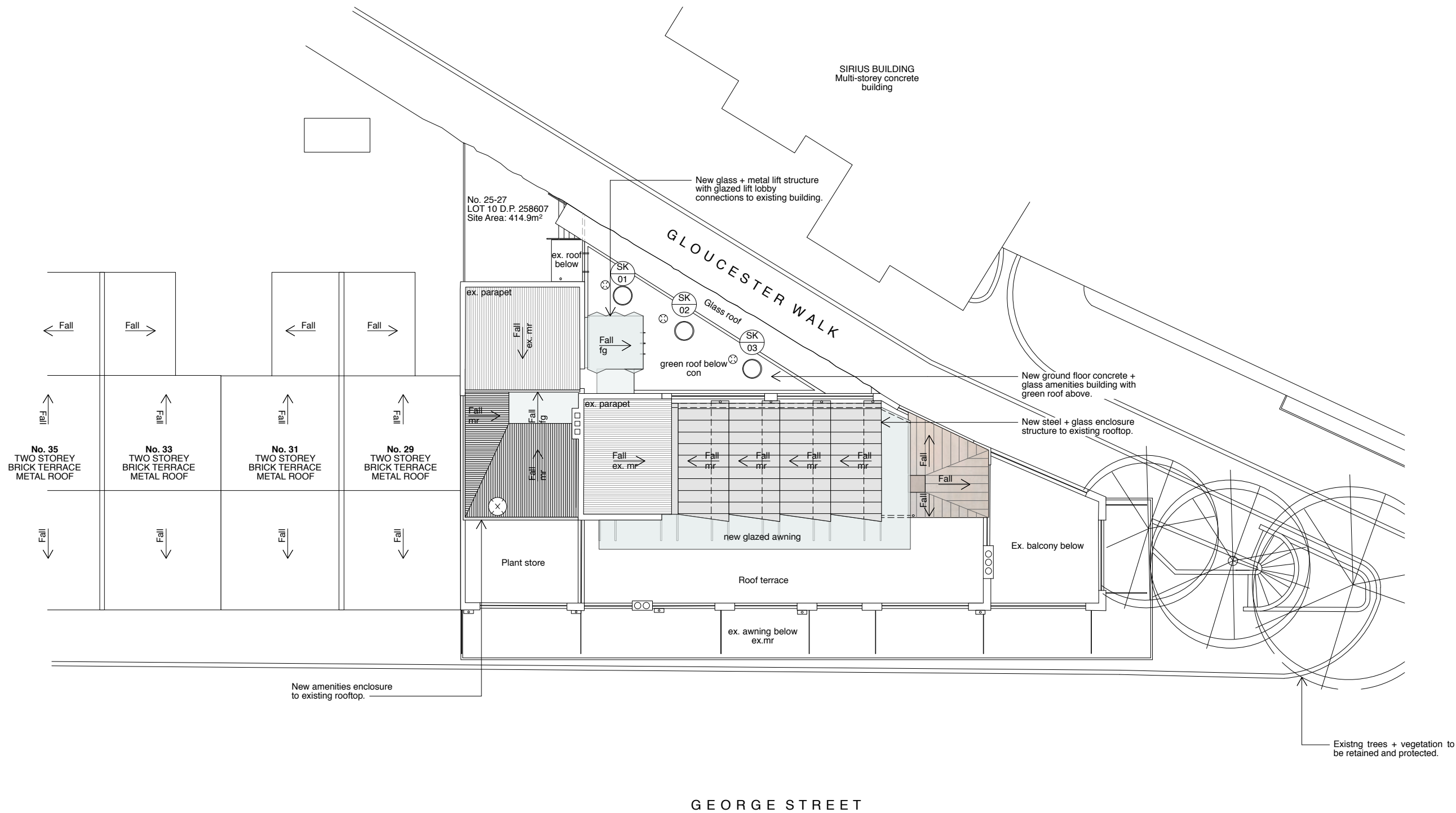
DRAFT

FOR CONSULTANT COORDINATION
DATE 20.11.17

Level 4, 69 Reservoir St, Surry Hills
New South Wales, Australia 2010
mail@welshmajor.com
Tel: 02 9699 6066
ABN: 67 612 377 303
Nom. Archs: C. Major ARB No 9193
D. Welsh ARB No. 6968

**Welsh+
Major**





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FOR CONSULTANT COORDINATION
DATE 20.11.17

Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

Preliminary

0	2	4	6	8	10	12m
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Issue / Amendments:
-

Date:
-

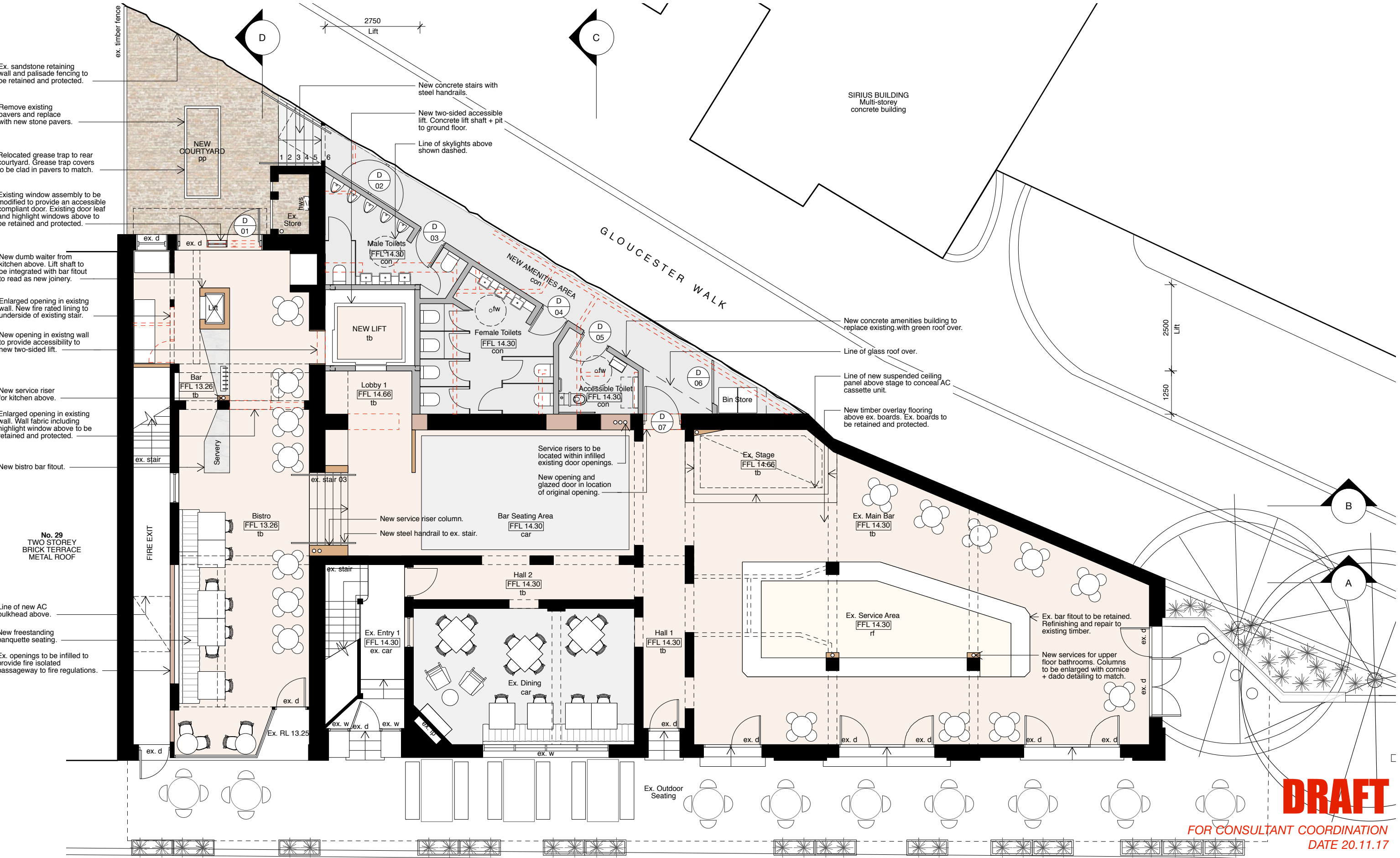
Legend:

c	column	mr	metal roofing	---	Line of structure over / under
car	carpet	pb	plasterboard	- - - -	To be demolished
con	concrete	pbr	plasterboard	---	Existing structure
cp	copper	pp	permeable paving	---	New masonry structure
ct	ceramic tiles	rf	resilient flooring	---	New concrete structure
d	door	rm	rendered masonry	---	New timber structure
dp	downpipe	sl	skylight	---	
ex	existing	tb	timber boards	---	
fc	fibre cement	td	timber deck	---	
fg	fixed glass	tf	timber floor	---	
gl	glass louvre	tm	timber	---	
mc	metal cladding	w	window	---	

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D. Welsh ARB No. 6968

Welsh+Major

Project		Project Ref. No.		
The Mercantile Hotel		1505		
25-27 George Street, The Rocks, 2000				
Drawing Title		Drawing. No.		
Site Plan		SSDA 101		
Scale:	Date:	Drawn:	Checked:	Issue:
1:200	November 2017	DRW	-	-



Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

Preliminary

0	1	2	3	4	5	6m
---	---	---	---	---	---	----

Issue / Amendments:
-

Date:
-

Legend:

c	column	mr	metal roofing	---	Line of structure over / under
car	carpet	pb	plasterboard	- - - -	To be demolished
con	concrete	pbr	plasterboard	---	Existing structure
cp	copper	pp	permeable paving	---	New masonry structure
ct	ceramic tiles	rf	resilient flooring	---	New concrete structure
d	door	rm	rendered masonry	---	New timber structure
dp	downpipe	sl	skylight	---	
ex	existing	tb	timber boards	---	
fc	fibre cement	td	timber deck	---	
fg	fixed glass	tf	timber floor	---	
gl	glass louvre	tm	timber window	---	
mc	metal cladding	w	window	---	

Level 4/69 Reservoir Street, Surry Hills
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mail@welshmajor.com
Tel: 02 9699 6066
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D. Welsh ARB No. 6968

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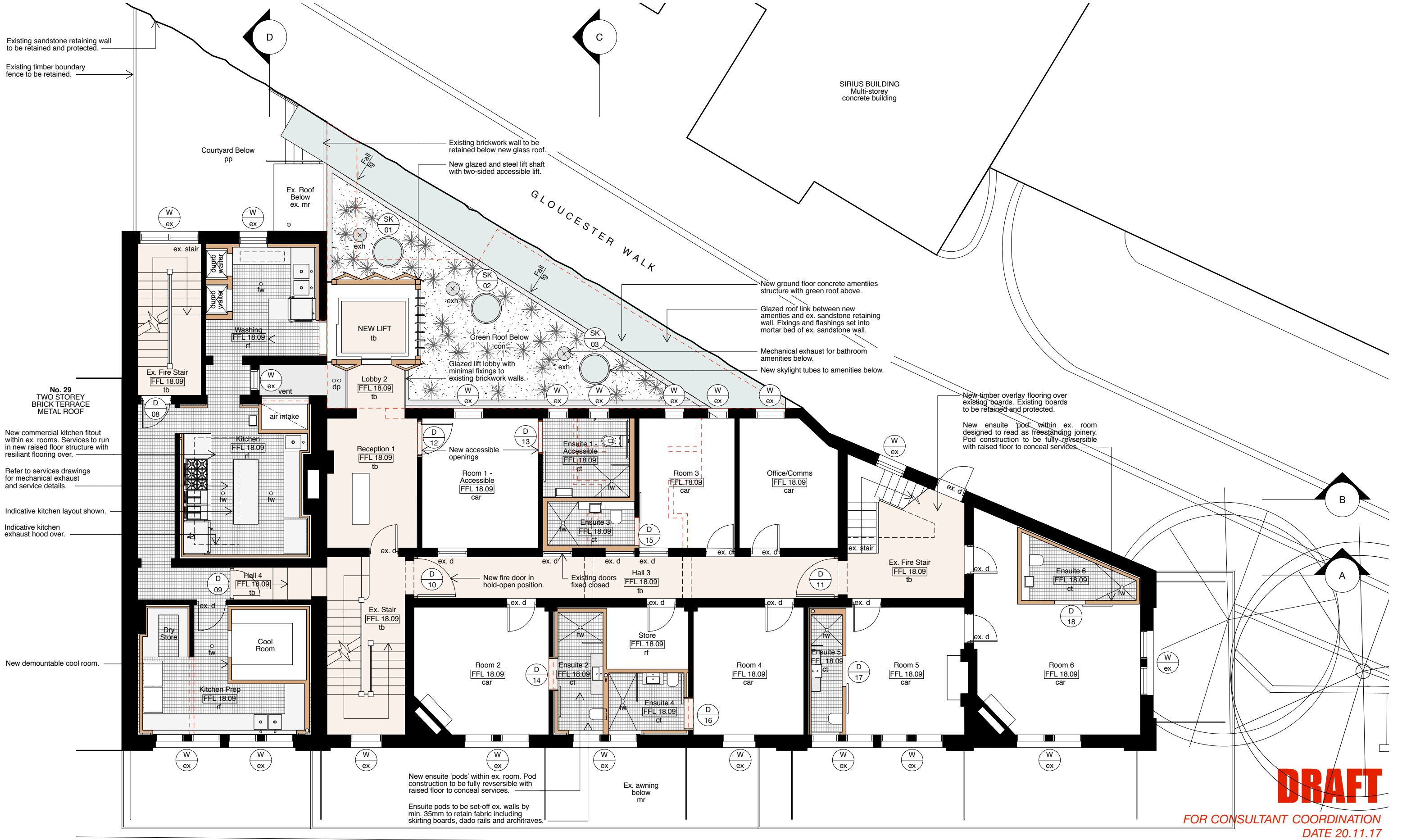
Project
The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Project Ref. No.
1505

Drawing Title
Ground Floor Plan

Drawing No.
SSDA 102

Scale: 1:100	Date: November 2017	Drawn: DRW	Checked: -	Issue: -
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Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

Preliminary

0 1 2 3 4 5 6m

Issue / Amendments:
-

Date:
-

Legend:

c	column	mr	metal roofing	---	Line of structure over / under
car	carpet	pb	plasterboard	- - - -	To be demolished
con	concrete	pbr	painted brick	---	Existing structure
cp	copper	pp	permeable paving	---	New masonry structure
ct	ceramic tiles	pr	resilient flooring	---	New concrete structure
d	door	rm	rendered masonry	---	New timber structure
dp	downpipe	sl	skylight	---	
ex	existing	tb	timber boards	---	
fc	fibre cement	td	timber deck	---	
fg	fixed glass	tf	timber floor	---	
gl	glass louvre	tm	timber	---	
mc	metal cladding	w	window	---	

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D. Welsh ARB No. 6968

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Project
The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Drawing Title
First Floor Plan

Scale:
1:100

Date:
November 2017

Drawn:
DRW

Checked:
-

Issue:
-

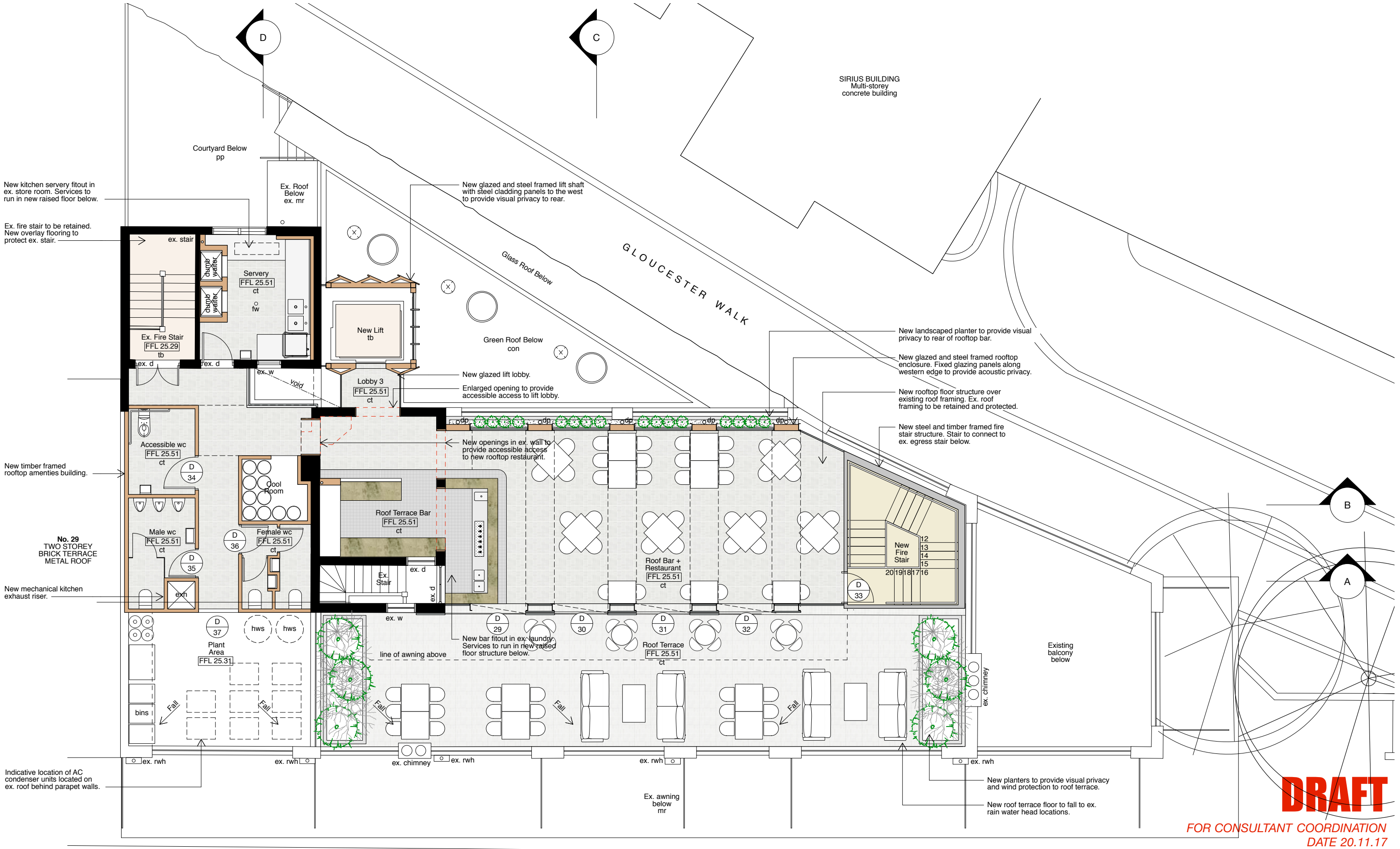
Project Ref. No.
1505

Drawing No.
SSDA 103



Drawing. No.
SSDA 104

DRAFT



No. 25-27
LOT 10 D.P. 258607
Site Area: 414.9m²

Courtyard Below
pp

Ex. Roof
Below
ex. mr

SIRIUS BUILDING
Multi-storey
concrete building

GLOUCESTER WALK

Green Roof Below
con

Glazed lift lobby.

New glazed and steel framed rooftop
enclosure. Fixed glazing panels along
western edge to provide acoustic privacy.

Line of box gutters below.

No. 29
TWO STOREY
BRICK TERRACE
METAL ROOF

Plant
Service Area
[FFL 25.51]

Roof Terrace
[FFL 25.51]
ct

Glazed awning with
steel framing below.

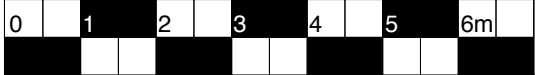
Existing
balcony
below

DRAFT

FOR CONSULTANT COORDINATION
DATE 20.11.17

Note:
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drawings. Verify dimensions on site before work commences. Any discrepancies
are to be reported to the architect immediately. The Building Code of Australia,
relevant Australian Standards and Authorities are to be complied with.

Preliminary



Issue / Amendments:

Date:

Legend:

c column
car carpet
con concrete
cp copper
ct ceramic tiles
d door
dp downpipe
ex existing
fc fibre cement
fg fixed glass
gl glass louvre
mc metal cladding

mr metal roofing
pb plasterboard
pbr painted brick
pp permeable paving
rf resilient flooring
rm rendered masonry
sl skylight
tb timber boards
td timber deck
tf timber floor
tm timber
w window

Line of structure
over / under
To be demolished
Existing structure
New masonry
structure
New concrete
structure
New timber
structure

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D. Welsh ARB No. 6968

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Major**

Project

The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Drawing Title
Roof Plan

Scale:
1:100

Date:
November 2017

Drawn:
DRW

Checked:
-

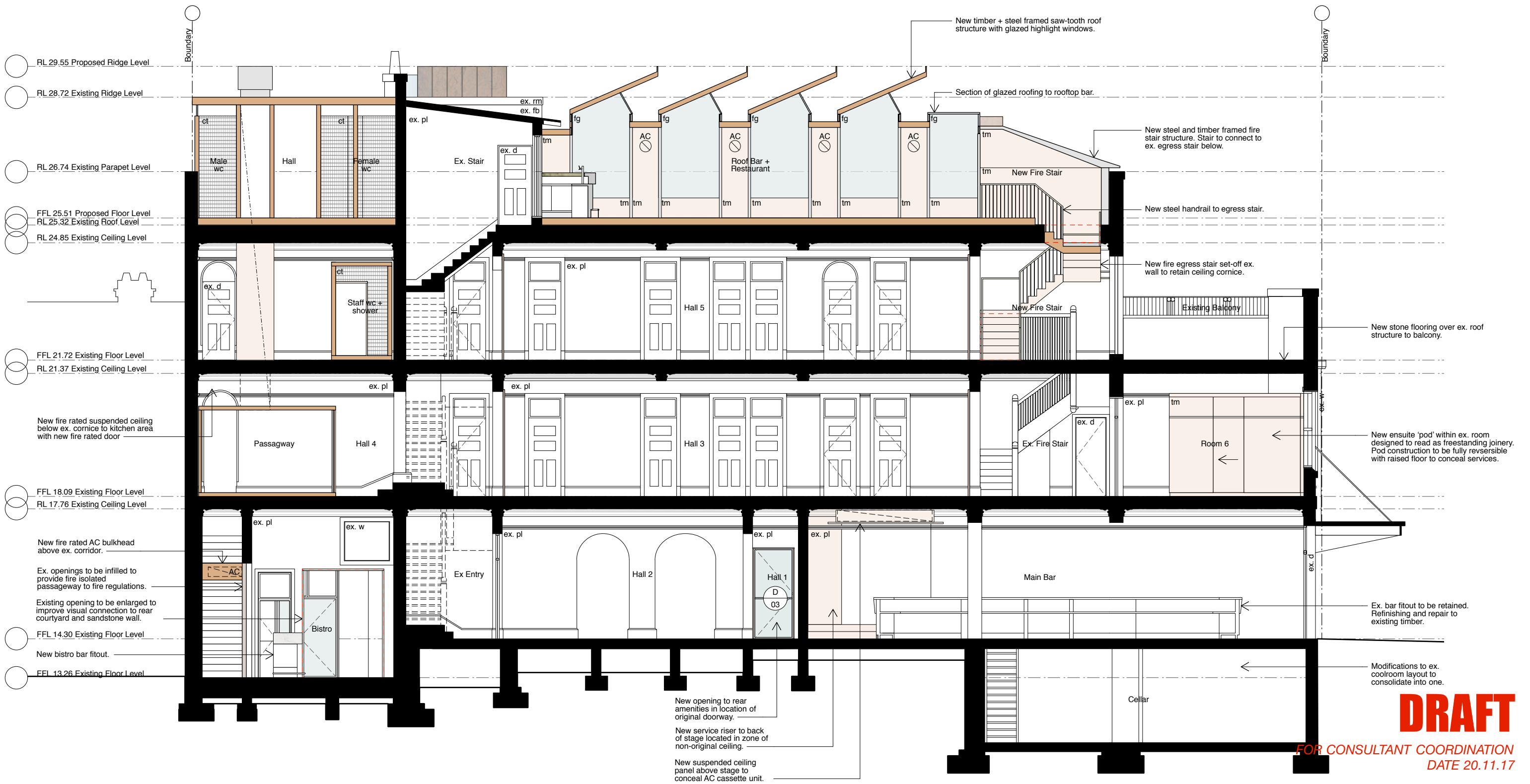
Issue:
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Project Ref. No.

1505

Drawing No.

SSDA 106



Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

Preliminary

0	1	2	3	4	5	6m
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Issue / Amendments:
-

Date:
-

Legend:

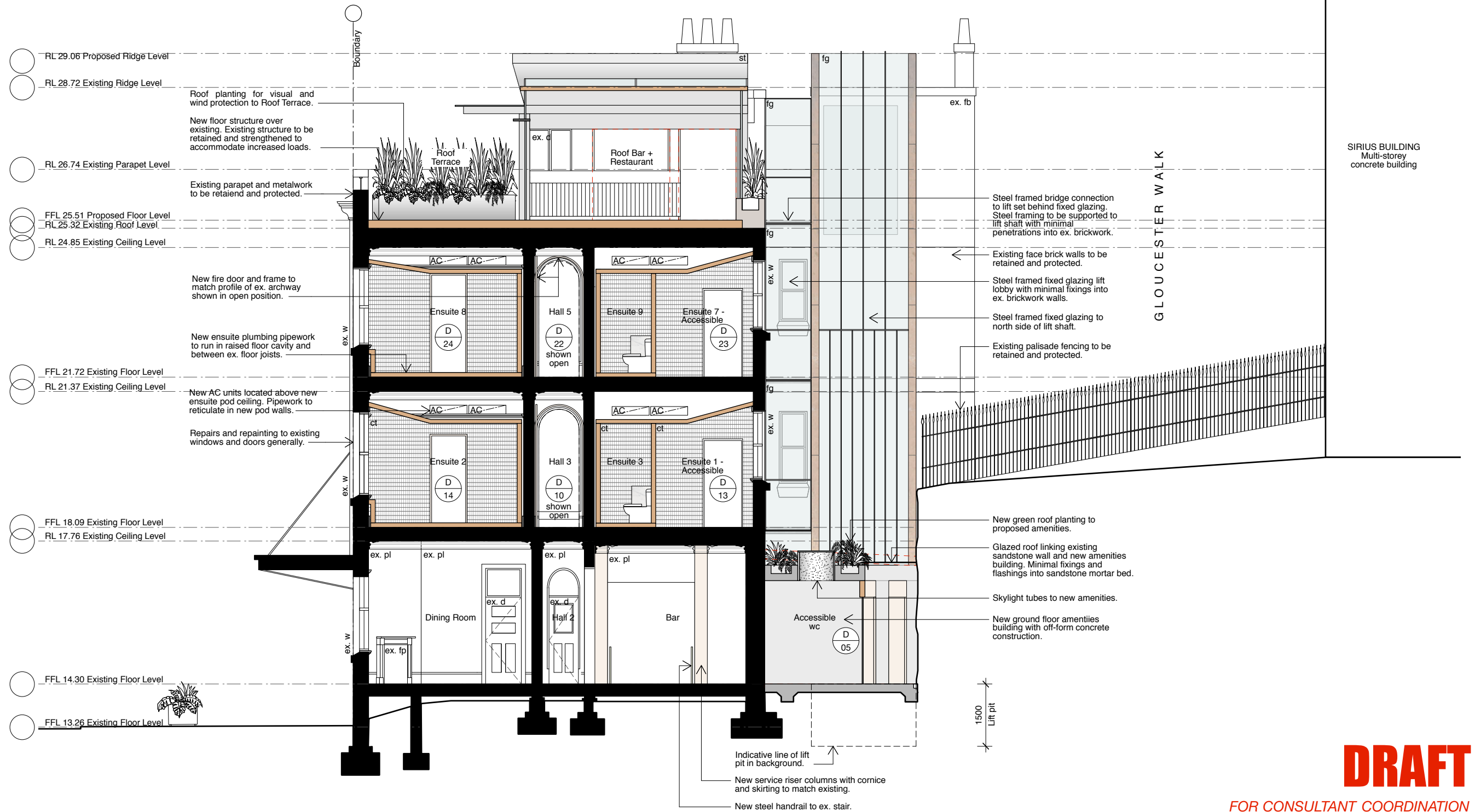
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car	carpet	pb	plasterboard	- - - -	To be demolished
con	concrete	pbr	plaster brick	---	Existing structure
cp	copper	pp	permeable paving	---	New masonry structure
ct	ceramic tiles	rf	resilient flooring	---	New concrete structure
d	door	rm	rendered masonry	---	New timber structure
dp	downpipe	sl	skylight	---	
ex	existing	tb	timber boards	---	
fc	fibre cement	td	timber deck	---	
fg	fixed glass	tf	timber floor	---	
gl	glass louvre	tm	timber	---	
mc	metal cladding	w	window	---	

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mail@welshmajor.com
Tel: 02 9699 6066
ABN: 67 612 977 303
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D. Welsh ARB No. 6968

Welsh+Major

Project The Mercantile Hotel 25-27 George Street, The Rocks, 2000		Project Ref. No. 1505	
Drawing Title Section A		Drawing No. SSDA 201	
Scale: 1:100	Date: November 2017	Drawn: DRW	Checked: -
		Issue: -	

GEORGE STREET

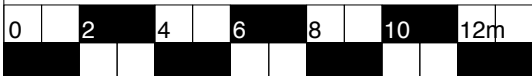


DRAFT

FOR CONSULTANT COORDINATION
DATE 20.11.17

Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

Preliminary



Issue / Amendments:

Date:

Legend:

c	column	mr	metal roofing	---	Line of structure over / under
car	carpet	pb	plasterboard	- - - -	To be demolished
con	concrete	pbr	painted brick	---	Existing structure
cp	copper	pp	permeable paving	---	New masonry structure
ct	ceramic tiles	rf	resilient flooring	---	New concrete structure
d	door	rm	rendered masonry	---	New timber structure
dp	downpipe	sl	skylight	---	
ex	existing	tb	timber boards	---	
fc	fibre cement	td	timber deck	---	
fg	fixed glass	tf	timber floor	---	
gl	glass louvre	tm	timber window	---	
mc	metal cladding	w	window	---	

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Tel: 02 9699 6068
ABN: 67 612 977 303
Nom. Archs: C. Major ARB No 9193
D. Welsh ARB No. 6968

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Project

The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Drawing Title
Section C

Scale:
1:100

Date:
November 2017

Drawn:
DRW

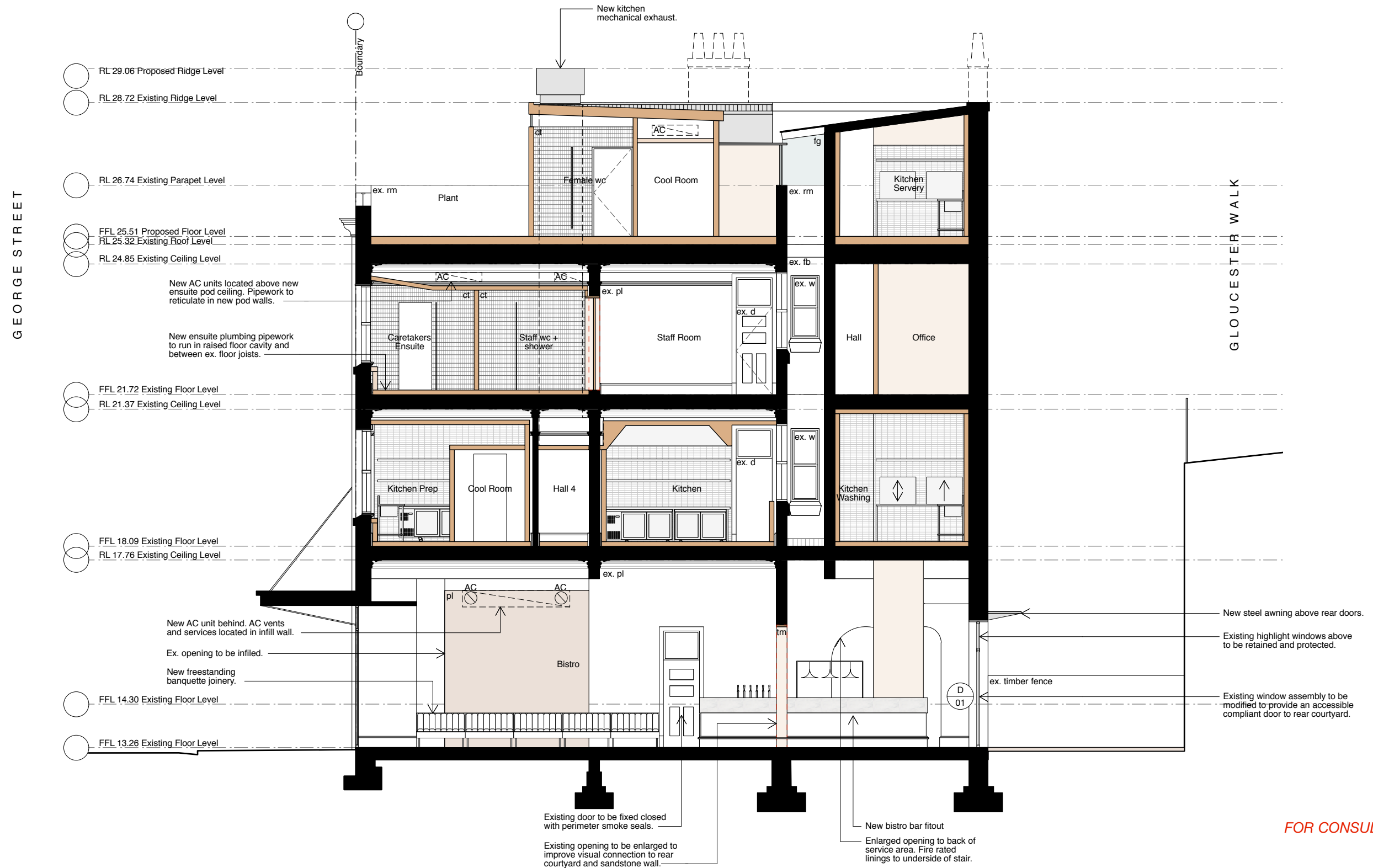
Checked:
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Issue:
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Project Ref. No.

1505

Drawing No.
SSDA 203



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FOR CONSULTANT COORDINATION
DATE 20.11.17

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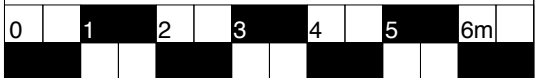


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Preliminary



Issue / Amendments:

Date:

Legend:

c	column	mr	metal roofing	---	Line of structure over / under
car	carpet	pb	plasterboard	---	To be demolished
con	concrete	pbr	plasterboard	---	Existing structure
cp	copper	pp	permeable paving	---	New masonry structure
ct	ceramic tiles	rf	resilient flooring	---	New concrete structure
d	door	rm	rendered masonry	---	New timber structure
dp	downpipe	sl	skylight	---	
ex	existing	tb	timber boards	---	
fc	fibre cement	td	timber deck	---	
fg	fixed glass	tf	timber floor	---	
gl	glass louvre	tm	timber window	---	
mc	metal cladding	w	window	---	

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D. Welsh ARB No. 6968

Welsh+Major

Project

The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Drawing Title
East Elevation - George Street

Scale:
1:100

Date:
November 2017

Drawn:
DRW

Checked:
-

Issue:
-

Project Ref. No.

1505

Drawing No.

SSDA 301

DRAFT

FOR CONSULTANT COORDINATION
DATE 20.11.17

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Preliminary

0

1

2

3

4

5

6m

Issue / Amendments:
-

Date:
-

c

column

car

carpet

con

concrete

cp

copper

ct

ceramic tiles

d

door

dp

downpipe

ex

existing

fc

fibre cement

fg

fixed glass

gl

glass louvre

mc

metal cladding

mr

metal roofing

pb

plasterboard

pbr

plastered brick

pp

permeable paving

rf

resilient flooring

rm

rendered masonry

sl

skylight

tb

timber boards

td

timber deck

tf

timber floor

tm

timber

w

window

Line of structure over / under

To be demolished

Existing structure

New masonry structure

New concrete structure

New timber structure

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D. Welsh ARB No. 6968

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Project

The Mercantile Hotel

25-27 George Street, The Rocks, 2000

Project Ref. No.

1505

Drawing Title

North Elevation

Drawing No.

SSDA 302

Scale:

1:100

Date:

November 2017

Drawn:

DRW

Checked:

-

Issue:

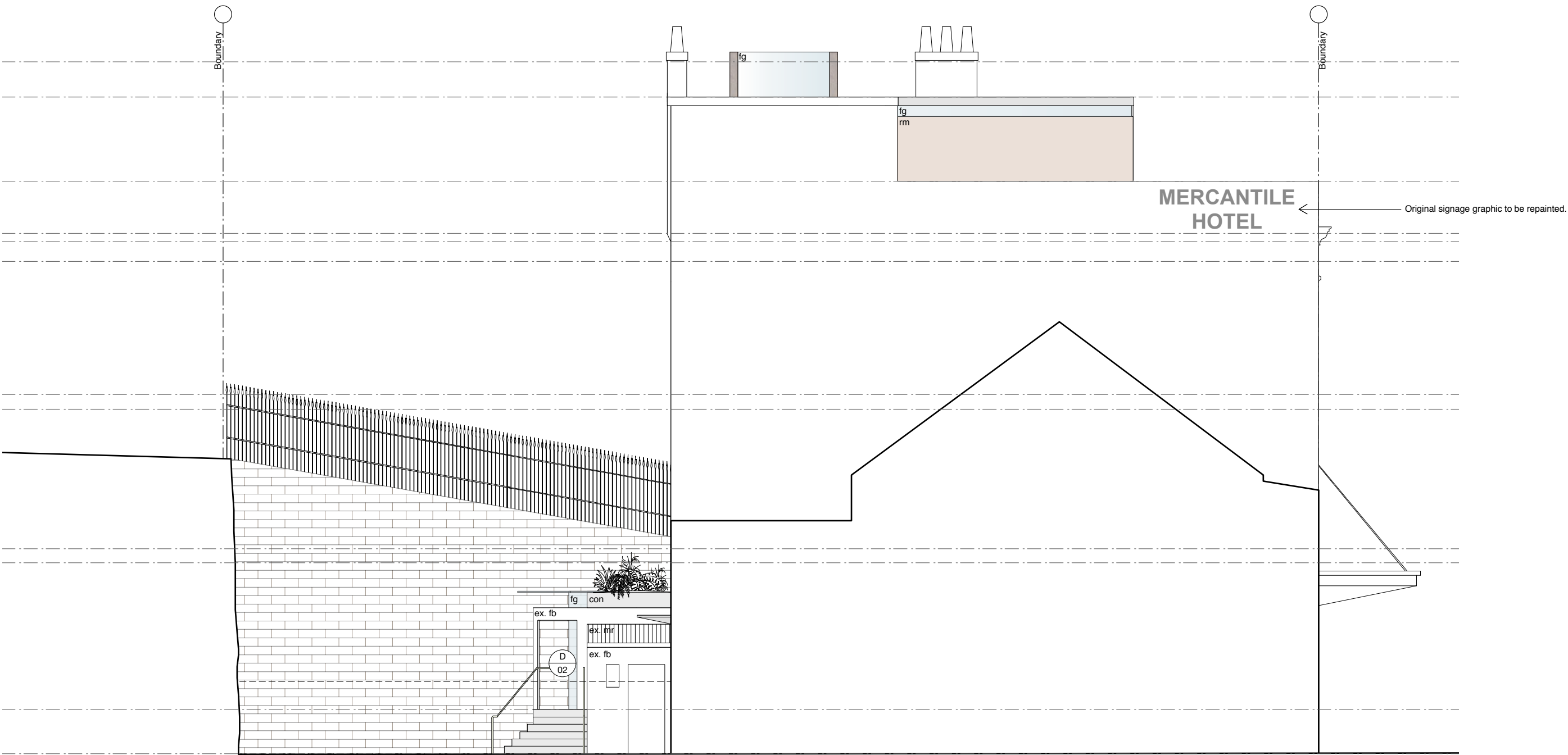
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DRAFT

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	<div><div>Drawing Title</div><div>West Elevation - Gloucester Walk</div></div> <div><div>Drawing No.</div><div>SSDA 303</div></div>			<div><div>Scale:</div><div>1:100</div></div> <div><div>Date:</div><div>November 2017</div></div> <div><div>Drawn:</div><div>DRW</div></div> <div><div>Checked:</div><div>-</div></div> <div><div>Issue:</div><div>-</div></div>



DRAFT
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Preliminary

0	1	2	3	4	5	6m
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Issue / Amendments: -	Date: -
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Legend:

c car con cp ct d dp ex fc fg gl mc	column carpet concrete copper ceramic tiles door downpipe existing fibre cement fixed glass glass louvre metal cladding	mr pb pbr pp rf rm sl tb td tm w	metal roofing plasterboard painted brick permeable paving resilient flooring rendered masonry skylight timber boards timber deck timber floor timber window	--- Line of structure over / under - - - To be demolished - Existing structure - New masonry structure - New concrete structure - New timber structure
--	--	--	--	---

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New South Wales Australia 2010
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Welsh+Major

Project The Mercantile Hotel 25-27 George Street, The Rocks, 2000		Project Ref. No. 1505
Drawing Title South Elevation		Drawing No. SSDA 304
Scale: 1:100	Date: November 2017	Drawn: DRW
Checked: -	Issue: -	

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Appendix B - Selected Site Photographs

Selected Site Photographs



Photograph 1:

North facing exterior of Mercantile Hotel located at 25 George Street, The Rocks NSW.



Photograph 2:

Rooftop of western portion of additional building.



Photograph 3:

Garden bed located in northern extent of the site.



Photograph 4:

Suspected asbestos containing window mastic to the exterior windows throughout.



Photograph 5:

Suspected lead containing paint (white colour system) to the exterior wall of the southern elevation.



Photograph 6:

Suspected lead containing paint (white colour system) to the exterior wall of the southern elevation.

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Appendix C – Section 149 Certificate

City of Sydney
Town Hall House
456 Kent Street
Sydney NSW 2000

Telephone +61 2 9265 9333
Fax +61 2 9265 9222
council@cityofsydney.nsw.gov.au
GPO Box 1591 Sydney NSW 2001
cityofsydney.nsw.gov.au



L STELLER
luke.steller@coffey.com

PLANNING CERTIFICATE

Under Section 149 of the Environmental Planning and Assessment Act, 1979

Applicant:	L STELLER
Applicant's reference:	SYDEN212343
Address of property:	25 George Street , THE ROCKS NSW 2000
Owner:	SYDNEY HARBOUR FORESHORE AUTHORITY
Description of land:	Lot 10 DP 258607
Certificate No.:	2017307577
Certificate Date:	15/11/17
Receipt No:	105464
Fee:	\$80.00
Paid:	14/11/17

Title information and description of land are provided from data supplied by the Valuer General and shown where available.

Issuing Officer
per **Monica Barone**
Chief Executive Officer

CERTIFICATE ENQUIRIES:

Ph: 9265 9333
Fax: 9265 9415

city of villages

**PLANNING CERTIFICATE UNDER SECTION 149 (2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT, 1979**

**MATTERS AFFECTING THE LAND AS PRESCRIBED BY SCHEDULE 4 -
ENVIRONMENTAL PLANNING & ASSESSMENT REGULATION, 2000, CLAUSES (1) - (2).**

DEVELOPMENT CONTROLS

The following information must be read in conjunction with and subject to all other provisions of the environmental planning instruments specified in this certificate.

ZONING

Zoned Residential – Sydney Cove Authority Redevelopment Scheme

Residential uses are deemed to include serviced apartments, hotel and motel suites, ancillary amenities and car parking facilities.

Zoned Commercial – Sydney Cove Redevelopment Scheme

Commercial uses are deemed to include such activities as offices and their associated facilities, caretakers accommodation, wholesale and retail outlets, premises licensed under the liquor act 1982, restaurants and other food outlets, the parking of vehicles for a fee, club rooms, portrait painting and photographs, printing services, and the like.

Zoned Special Uses – Sydney Cove Redevelopment Scheme

Special uses are deemed to include utility services, substations, public open space and other amenities, open space, health and child minding facilities, tourist and other information services, handicraft and other clean cottage industries, ceremonial places, exhibition areas, museums, theatres, school purposes, instruction in the arts and crafts, places of worship, religious institutions and associated residential, ambulance services, wharves, rail works, service stations, police stations, minor factory type operations (provided they are non-polluting and non-obnoxious in nature), areas set aside for entertainment and recreational facilities, and the like.

PROPOSED ZONING

This property is not affected by a draft zone.

LOCAL PLANNING CONTROLS

Sydney Harbour Foreshores and Waterways Area Development Control Plan 2005 (commenced 28.09.2005) – This DCP applies to all development proposals within the Foreshores and Waterways Area identified in SREP (Sydney Harbour Catchment) 2005 (refer to the Foreshores and Waterways Area map)

Sydney Development Control Plan 2012 (as amended) - (commenced 14.12.2012)

HERITAGE

State Heritage Register (Amendment to Heritage Act, 1977, gazetted 2/4/99)

This property is identified as being of state significance and has been entered on the State Heritage Register. Unless the proposed work is exempt under the Heritage Office Standard Exemptions or is covered by site specific exemptions, an applicant must seek an integrated development approval from Council and as such the proposal will be referred to the Heritage Council. If major changes are proposed the Heritage Council may require the applicant to prepare a conservation management plan in accordance with the NSW Heritage Manual Guidelines. For further information please contact the Heritage Office (02) 9873 8500 or alternatively online www.heritage.nsw.gov.au .

STATE PLANNING INSTRUMENTS

Full copies of State Environmental Planning Policies are available online at www.planning.nsw.gov.au.

State Environmental Planning Policy No. 1 – Development Standards

This policy makes development standards more flexible. It allows Council to approve a development proposal that does not comply with a set standard where this can be shown to be unreasonable or unnecessary.

State Environmental Planning Policy No. 19 – Bushland in Urban Areas

This is a policy to protect and preserve bushland within certain urban areas, as part of the natural heritage or for recreational, educational and scientific purposes. This policy is designed to protect bushland in public open space zones and reservations, and to ensure that bush preservation is given a high priority when local environmental plans for urban development are prepared.

State Environmental Planning Policy No. 32 – Urban Consolidation

This policy implements the principles of urban consolidation, including the orderly, economic use and development of land. The policy enables urban land which is no longer required for the purpose for which it is currently zoned or used to be redeveloped for multi-unit housing and related development.

State Environmental Planning Policy No. 33 – Hazardous and Offensive Development

This policy aims to amend the definitions of hazardous and offensive industries; to render ineffective any environmental planning instruments not defining hazardous or offensive as per this policy; to control development of hazardous and offensive industries.

State Environmental Planning Policy No. 55 – Remediation of Land

This policy provides planning controls for the remediation of contaminated land. The policy states that land must not be developed if it is unsuitable for a proposed use because it is contaminated. If the land is unsuitable, remediation must take place before the land is developed. The policy makes remediation permissible across the State, defines when consent is required, requires all remediation to comply with standards, ensures land is investigated if contamination is suspected, and requires councils to be notified of all remediation proposals. To assist councils and developers, the Department, in conjunction with the Environment Protection Authority, has prepared Managing Land Contamination: Planning Guidelines.

State Environmental Planning Policy No 60 – Exempt and Complying Development (Gazetted 3.03.00)

Specifies exempt and complying development in certain areas that have not provided for those types of development through a Local Environmental Plan. This is achieved by identifying the development of minimal environmental impact that is to be exempt and identifying development that is to be complying development. The policy also specifies standards for that development, identify complying development separately for metropolitan Sydney and regional areas of New South Wales, specifies conditions for complying development certificates and ensures that development consent is required for the subdivision of land, and the erection of a building or for demolition.

State Environmental Planning Policy No. 64 – Advertising and Signage

This policy aims to ensure that signage (including advertising):

Is compatible with the desired amenity and visual character of an area, and

- Provides effective communications in suitable locations, and
- Is of a high quality design and finish.

To this end the policy regulates signage (but not content) under Part 4 of the Act and provides limited time consents for the display of certain advertisements. The policy does not apply to signage that is exempt development under an environmental planning instrument. It does

apply to all signage that can be displayed with or without consent and is visible from any public place or reserve, except as provided by the policy.

This policy should be read in conjunction with the Sydney Local Environmental Plan 2005, the City of Sydney Signage and Advertising Structures Development Control Plan 2005 and State Environmental Planning Policy No. 60 where these apply.

State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Buildings

This policy aims to improve the design quality of flats of three or more storeys with four or more self contained dwellings. The policy sets out a series of design principles for local councils to consider when assessing development proposals for residential flat development. The policy also creates a role for an independent design review panel and requires the involvement of a qualified designer in the design and approval process.

State Environmental Planning Policy No.70 – Affordable Housing (Revised Schemes) (Gazetted 31.05.02)

The policy identifies that there is a need for affordable housing in the City of Sydney, describes the kinds of households for which affordable housing may be provided and makes a requirement with respect to the imposition of conditions relating to the provision of affordable housing (provided other requirements under the Act are met).

State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004

This Policy does not apply to land described in Schedule 1 (Environmentally sensitive land), or land that is zoned for industrial purposes, or land to which an interim heritage order made under the *Heritage Act 1997* by the Minister administering that Act applies, or land to which a listing on the State Heritage Register kept under the *Heritage Act 1997* applies.

The Policy aims to encourage the provision of housing (including residential care facilities) that will increase the supply and diversity of residences that meet the needs of seniors or people with a disability, and make efficient use of existing infrastructure and services, and be of good design.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

Aims to ensure consistency in the implementation of the BASIX scheme throughout the State. This Policy achieves its aim by overriding provisions of other environmental planning instruments and development control plans that would otherwise add to, subtract from or modify any obligations arising under the BASIX scheme.

State Environmental Planning Policy (State Significant Precincts) 2005

This Policy aims to identify development of economic, social or environmental significance to the State or regions of the State so as to provide a consistent and comprehensive assessment and decision making process for that development.

NB: This SEPP also contains exempt & complying provisions

State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries) 2007

This Policy aims to provide for the proper management and development of mineral, petroleum and extractive material resources for the social and economic welfare of the State.

State Environmental Planning Policy (Temporary Structures and Places of Public Entertainment) 2007

This Policy aims to ensure that suitable provision is made for ensuring the safety of persons using temporary structures or places of public entertainment.

State Environmental Planning Policy (Infrastructure) 2007

This Policy aims to facilitate the effective delivery of infrastructure across the state.

NB: This SEPP also contains exempt & complying provisions

State Environmental Planning Policy (Repeal of Concurrence and Referral Provisions) 2008

This Policy is an 'amending instrument' that removes or modifies referral and concurrence clauses within local environmental plans (LEPs), regional environmental plans (REPs) and State environmental planning policies (SEPPs).

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

This Policy Streamlines assessment processes for development that complies with specified development standards. The policy provides exempt and complying development codes that have State-wide application, identifying, in the General Exempt Development Code, types of development that are of minimal environmental impact that may be carried out without the need for development consent; and, in the General Housing Code, types of complying development that may be carried out in accordance with a complying development certificate as defined in the Environmental Planning and Assessment Act 1979.

State Environmental Planning Policy (Affordable Rental Housing) 2009

Establishes a consistent planning regime for the provision of affordable rental housing. The policy provides incentives for new affordable rental housing, facilitates the retention of existing affordable rentals, and expands the role of not-for-profit providers. It also aims to support local centres by providing housing for workers close to places of work, and facilitate development of housing for the homeless and other disadvantaged people. NOTE: Does not apply to land at Green Square or at Ultimo Pyrmont, or on southern employment land.

State Environmental Planning Policy (Urban Renewal) 2010

The aims of this Policy are as follows:

- (a) to establish the process for assessing and identifying sites as urban renewal precincts,
- (b) to facilitate the orderly and economic development and redevelopment of sites in and around urban renewal precincts,
- (c) to facilitate delivery of the objectives of any applicable government State, regional or metropolitan strategies connected with the renewal of urban areas that are accessible by public transport.

State Environmental Planning Policy (State and Regional Development) 2011

The aims of this Policy are as follows:

- (a) to identify development that is State significant development,
- (b) to identify development that is State significant infrastructure and critical State significant infrastructure,
- (c) to confer functions on joint regional planning panels to determine development applications.

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

The aims of this Policy are:

- (a) to protect the biodiversity values of trees and other vegetation in non-rural areas of the State, and
- (b) to preserve the amenity of non-rural areas of the State through the preservation of trees and other vegetation.

State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017

The aim of this Policy is to facilitate the effective delivery of educational establishments and early education and care facilities across the state.

Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

This plan applies to land within the Sydney Harbour Catchment, as shown edged heavy black on the Sydney Harbour Catchment Map, being part of the Sydney Region declared by order published in Gazette No 38 of 7 April 1989 at page 1841.

This plan has the following aims with respect to the Sydney Harbour Catchment: to ensure that the catchment, foreshores, waterways and islands of Sydney Harbour are recognised, protected and maintained: as outstanding natural asset, and as a public asset of national and heritage significance, for existing and future generations; to ensure a healthy, sustainable environment on land and water; to achieve a high quality urban environment; to ensure a prosperous working waterfront and an effective transport corridor, to encourage a culturally rich and vibrant place for people; to ensure accessibility to and along Sydney Harbour and its foreshores; to ensure the protection, maintenance and rehabilitation of watercourses, wetlands, riparian lands, remnant vegetation and ecological connectivity, to provide a consolidated, simplified and updated legislative framework for future planning.

Sydney Cove Authority Redevelopment Scheme

This land is affected by building site control drawing XXX dated 6 August 1984 which specifies the uses to which the land may be put and a building envelope which dictates the shape and form of any building constructed on the site. Planning & zoning function responsibilities affected by: Sydney Cove Redevelopment Authority vide S.C.A. Act, 1968, Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005 and the Sydney Harbour Foreshore Authority Act 1998.

**OTHER MATTERS AFFECTING THE LAND AS PRESCRIBED BY SCHEDULE 4 -
E. P. & A. REGULATION, 2000. CLAUSES (3) - (10)**

(3) Complying Development

- (1) The extent to which the land is land on which complying development may be carried out under each of the codes for complying development because of the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.
- (2) The extent to which complying development may not be carried out on that land because of the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of that Policy and the reasons why it may not be carried out under those clauses.
- (3) If the council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land, a statement that a restriction applies to the land, but it may not apply to all of the land, and that council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

Note: All Exempt and Complying Development Codes: Council does not have sufficient information to ascertain the extent of a land based exclusion on a property. Despite any statement preventing the carrying out of complying development in the Codes listed below, complying development may still be carried out providing the development is not on the land affected by the exclusion and meets the requirements and standards of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

General Housing Code & Commercial and Industrial (New Buildings and Additions) Code

Complying development **may not** be carried out on the land under the General Housing Code & the Commercial and Industrial (New Buildings and Additions) Code if because of the provisions of clause 1.17A, 1.18(1)(c3) & 1.19 (Land-based requirements for exempt and complying development) any of the following statements are **YES**

▪ Clause 1.19(5)d. Land that is significantly contaminated land within the meaning of the Contaminated Land Management Act 1997. (Applies only to the Commercial and Industrial (New Buildings and Additions) Code.	NO
▪ Clause 1.17A(d). Has been identified as a property that comprises, or on which there is, an item that is listed on the State Heritage Register under the <i>Heritage Act 1977</i> or that is subject to an interim heritage order under the <i>Heritage Act 1977</i> .	YES
▪ Clause 1.17A(d) & 1.18(1)(c3). Has been identified as a property that comprises, or on which there is, a heritage item or draft heritage item.	NO
▪ Clause 1.17A(c). Has been identified as being within a wilderness area (identified under the <i>Wilderness Act 1987</i> .	NO
▪ Clause 1.17A(e) & 1.19(1)e or 1.19(5)f. Has been identified as land that is within an environmentally sensitive area or by an environmental planning instrument as being within a buffer area, a river front area, an ecologically sensitive area, environmentally sensitive land or a protected area	NO
▪ Clause 1.19(1)a.or 1.19(5)a Has been identified as being within a heritage conservation area or a draft heritage conservation area.	NO
▪ Clause 1.19(1)b or 1.19(5)b. Has been identified as being land that is reserved for a public purpose in an environmental planning instrument.	NO
▪ Clause 1.19(1)c or 1.19(5)c. Has been identified as being on an Acid Sulfate Soils Map as being Class 1 or Class 2.	NO
▪ Clause 1.19(1)d or 1.19(5)e. Has been identified as land that is subject to a biobanking agreement under part 7A of the threatened Species Conservation Act 1995 or a property vegetation plan under the Native Vegetation Act 2003.	NO
▪ Clause 1.19(1)f or 1.19(5)g. Has been identified by an environmental planning instrument, a development control plan or a policy adopted by the Council as being or affected by a coastline hazard, a coastal hazard or a coastal erosion hazard.	NO
▪ Clause 1.19(1)g or 1.19(5)h. Has been identified as being land in a foreshore area.	YES
▪ Clause 1.19(1)h. Has been identified as land that is in the 25 ANEF contour or a higher ANEF contour. (Applies only to the General Housing Code)	NO
▪ Clause 1.19(1)j or 1.19(5)i. Has been identified as unsewered land within a drinking water catchment.	NO
▪ Clause 1.19(1)i. Has been identified as land that is declared to be a special area under the Sydney Water Catchment Management Act 1998.	NO

Housing Alterations Code

Complying development under the Housing Alterations Code **may not** be carried out on the land.

Reason why:

Refer to 1.17A & 1.18 (1) (c3) State Environmental Planning Policy (Except and Complying Development Codes) 2008:

clause 1.17A(d) or 1.18 (1) (c3) applies

Commercial and Industrial Alterations Code

Complying development under the Commercial and Industrial Alterations Code **may not** be carried out on the land.

Reason why:

Refer to 1.17A & 1.18 (1) (c3) State Environmental Planning Policy (Except and Complying Development Codes) 2008:

clause 1.17A(d) or 1.18 (1) (c3) applies

Subdivisions Code

Complying development under the Subdivisions Code **may not** be carried out on the land.

Reason why:

Refer to 1.17A & 1.18 (1) (c3) State Environmental Planning Policy (Except and Complying Development Codes) 2008:

clause 1.17A(d) or 1.18 (1) (c3) applies

Rural Housing Code

The Rural Housing Code does not apply to this Local Government Area.

General Development Code

Complying development under the General Development Code **may not** be carried out on the land.

Reason why:

Refer to 1.17A & 1.18 (1) (c3) State Environmental Planning Policy (Except and Complying Development Codes) 2008:

clause 1.17A(d) or 1.18 (1) (c3) applies

Demolition Code

Complying development under the Demolition Code **may not** be carried out on the land.

Reason why:

Refer to 1.17A & 1.18 (1) (c3) State Environmental Planning Policy (Except and Complying Development Codes) 2008:

clause 1.17A(d) or 1.18 (1) (c3) applies

(4) Coastal Protection Act, 1979

The council has not been notified by the department of public works that the land is affected by the operation of section 38 or 39 of the coastal protection act, 1979.

(4A) Certain information relating to beaches and coasts

(1) In relation to a coastal council an order has **not** been made under Part 4D of the coastal Protection Act 1979 in relation to temporary coastal protection works (within the meaning of that Act) on the land (or on public land adjacent to that land).

(2) In relation to a coastal council : Council has **not** been notified under section 55X of the Coastal Protection Act 1979 that temporary coastal protection works (within the meaning of that Act) have been placed on the land (or on public land adjacent to that land)

(4B) Annual charges under Local Government Act 1993 for coastal protection services that relate to existing coastal protection works

In relation to a coastal council : The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the Local Government Act 1993 for coastal protection services that relate to existing coastal protection works (within the meaning of section 553B of that Act).

Note. "Existing coastal protection works" are works to reduce the impact of coastal hazards on land (such as seawalls, revetments, groynes and beach nourishment) that existed before the commencement of section 553B of the Local Government Act 1993.

(5) Mine Subsidence District

This land has not been proclaimed to be a mine subsidence district within the meaning of section 15 of the mine subsidence compensation act, 1961.

(6) Road Widening and/or Road Realignment affected by (a) Division 2 of Part 3 of the Roads act 1993 or (c) any resolution of council or other authority.

This land **is not** affected by road widening and/or road realignment under section 25 of the Roads Act, 1993 and/or resolution of Council or any other authority.

(6) Road Widening and/or Road Realignment Affected by (b) any environmental planning instrument.

This land **is not** affected by any road widening or road realignment under any planning instrument.

(7) Council and other public authorities policies on hazard risk restrictions:

- (a) The land **is not** affected by a policy adopted by the Council that that restricts the development of the land because of the likelihood of land slip, bushfire, flooding, tidal inundation, subsidence, acid sulphate soils or any other risk; and
- (b) The land **is not** affected by a policy adopted by any other public authority and notified to the council for the express purpose of its adoption by that authority being referred to on planning certificate issued by Council, that restricts the development of the land because of the likelihood of land slip, bushfire, flooding, tidal inundation, subsidence, acid sulphate soils or any other risk.

(7A) Flood related development controls information.

The development on this land or part of this land is not subject to flood related development controls.

(8) Land reserved for acquisition

No environmental planning instrument, or proposed environmental planning instrument applying to the land, provides for the acquisition of the land by a public authority, as referred to in section 27 of the Act.

(9) Contribution plans

The following Contributions Plans apply to properties within the City of Sydney local government area. Contributions plans marked **YES** may apply to this property:

<ul style="list-style-type: none"> Central Sydney Development Contributions Plan 2013 – in operation 9th July 2013 	NO
<ul style="list-style-type: none"> City of Sydney Development Contributions Plan 2015 – in operation 1st July 2016 	NO
<ul style="list-style-type: none"> Redfern Waterloo Authority Contributions Plan 2006 – in operation 16th May 2007 Redfern Waterloo Authority Affordable Housing Contributions Plan – in operation 16th May 2007 	NO

(9A) Biodiversity certified land

The land has not been certified as biodiversity certified land.

(10) Biobanking Agreement

Council has not been notified of a biobanking agreement under Part 7A of the Threatened Species Conservation Act 1995.

(11) Bush fire prone land

The land has not been identified as Bush fire prone land.

(12) Property vegetation plans

Not Applicable.

(13) Orders under Trees (Disputes Between Neighbours) Act 2006

Council has not been notified of an order which has been made under the *Trees (Disputes Between Neighbours) Act 2006* to carry out work in relation to a tree on the land.

(14) Directions under Part 3A

Not Applicable.

(15) Site compatibility certificates and conditions for seniors housing

(a) The land to which the certificate relates is not subject to a current site compatibility certificate (seniors housing), of which Council is aware, in respect of proposed development on the land.

(b) The land to which the certificate relates is not subject to any condition of consent to a development application granted after 11 October 2007 required by State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.

(16) Site compatibility certificates for infrastructure

The land to which the certificate relates is not subject to a valid site compatibility certificate (infrastructure), of which Council is aware, in respect of proposed development on the land.

(17) Site compatibility certificates and conditions for affordable rental housing

(a) The land to which the certificate relates is not subject to a current site compatibility certificate (affordable rental housing), of which Council is aware, in respect of proposed development on the land.

(b) The land to which the certificate relates is not subject to any terms of a kind referred to in clause 17(1) or 37(1) of State Environmental Planning Policy (Affordable Rental Housing) 2009 that have been imposed as a condition of consent to a development application in respect of the land.

(18) Paper subdivision information

Not Applicable.

(19) Site verification certificates

The land to which the certificate relates is not subject to a valid site verification certificate of which Council is aware.

(20) Loose-fill asbestos insulation

Not Applicable

Note. The following matters are prescribed by section 59 (2) of the Contaminated Land Management Act 1997 as additional matters to be specified in a planning certificate:

(a) The land to which the certificate relates **is not** declared to be **significantly contaminated land** within the meaning of that act as at the date when the certificate is issued.

(b) The land to which the certificate relates **is not** subject to a **management order** within the meaning of that act as at the date when the certificate is issued.

(c) The land to which the certificate relates **is not** the subject of an **approved voluntary management proposal** within the meaning of that act at the date the certificate is issued.

(d) The land to which the certificate relates **is not** the subject of an **ongoing maintenance order** within the meaning of that act as at the date when the certificate is issued.

(e) As at the date when the certificate is issued, Council **has not** identified that a **site audit statement** within the meaning of that act has been received in respect of the land the subject of the certificate.

PLANNING CERTIFICATE SECTION 149(2) INFORMATION:

Information provided in accordance with planning certificate section 149 (2) has been taken from council's records and advice from other authorities but council disclaims all liability for any omission or inaccuracy in the information. Specific inquiry should be made where doubt exists.

**PLANNING CERTIFICATE UNDER SECTION 149 (5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT, 1979**

PLANNING CERTIFICATE SECTION 149 (5) ADVICE is current as at 12:00 noon two working days prior to the date of issue of this certificate. The following matters have been considered & details provided where information exists: easements in favour of council; parking permit scheme; heritage floor space restrictions; low-rental residential building; foreshore building line; tree preservation order.

Contaminated Land Potential:

Council records do not have sufficient information about the uses (including previous uses) of the land which is the subject of this section 149 certificate to confirm that the land has not been used for a purpose which would be likely to have contaminated the land. Parties should make their own enquiries as to whether the land may be contaminated.

Hazard Risk Restriction:

The City of Sydney Local Environmental Plan 2012 incorporates Acid Sulfate soil maps. Development on the land identified in those maps should have regard to Division 4 clause 7.16 of the LEP.

Construction Noise and View Loss Advice:

Intending purchasers are advised that the subject property may be affected by construction noise and loss or diminution of views as a result of surrounding development.

City of Sydney Tree Preservation Order 2004 (TPO)

This order applies to all land where South Sydney Local Environmental Plan 1998 applies and the City of Sydney Council or the Central Sydney Planning Committee is the relevant consent authority under the *Environmental Planning & Assessment Act 1979*. Contact Council's Contract and Asset Management section for more information.

Outstanding Notice & Order information

In relation to this property, there **is not** an outstanding Order or Notice of Intention to issue an Order relating to Fire Safety (being an Order or Notice of Intention to issue an Order of type 6, 10, 11 under Section 121B of the Environmental Planning and Assessment Act, 1979). Further information about the Order or Notice of Intention to issue an Order may be obtained by applying for a certificate under Section 121ZP of the Environmental Planning and Assessment Act and Section 735A of the Local Government Act.

In relation to this property, there **is not** an outstanding Order or Notice of Intention to issue an Order (being an Order or Notice of Intention to issue an Order of a type other than relating to fire safety). Further information about the Order or Notice of Intention to issue an Order may be obtained by applying for a certificate under Section 121ZP of the Environmental Planning and Assessment Act and Section 735A of the Local Government Act.

Sydney Harbour Foreshore Authority Act 1998

The provisions of the Sydney Harbour Foreshore Authority Act 1998 apply to the subject land. For more information, contact the Property Officer at Sydney Harbour Foreshore Authority on telephone (02) 9240 8500.

The Minister is the Consent Authority

The Minister is the consent authority where development has a capital investment value of more than \$10 million. (State Environmental Planning Policy (Major Projects))

ADVICE FROM OTHER BODIES

Sydney Ports Corporation Advice

Some land in the City of Sydney located in the vicinity of the White Bay, Glebe Island and Darling Harbour ports may be affected by noise from port operations.

Advice provided in accordance with planning certificate section 149 (5) is supplied in good faith. Council accepts no liability for the validity of the advice given. (see section 149 (6) of the Environmental Planning and Assessment Act, 1979).

For information regarding outstanding notices and orders a CERTIFICATE FOR OUTSTANDING NOTICES OF INTENTION AND/OR AN ORDER UNDER SECTION 735A OF THE LOCAL GOVERNMENT ACT, 1993 AND SECTION 121ZP OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979 may be applied for at Sydney City Council.

Planning certificate section 149 (2), local planning controls are available for inspection at the following locations:

General Enquiries :

Telephone: 02 9265 9333

Facsimile: 02 9265 9415

Town Hall House

Level 2,
Town Hall House,
456 Kent Street,
Sydney.
8am – 6pm, Monday - Friday

Glebe Customer Service Centre

Glebe Library,
186 Glebe Point Road,
Glebe
9am – 5pm, Monday – Friday

Neighbourhood Service Centre Kings Cross

50 Darlinghurst Road,
Potts Point
9am – 5pm, Monday – Friday
9am – 12pm, Saturday

Neighbourhood Service Centre Redfern

158 Redfern Street
Redfern
9am-5pm Monday – Friday
9am – 12 Noon Saturday

Green Square Customer Service Centre

The Tote,
100 Joynton Avenue,
Zetland
10am-6pm Monday – Friday

State planning controls are available for inspection at the following locations:

Sydney Harbour Foreshore Authority (former Sydney Cove Authority and Darling Harbour Authority),
Level 6,

66 Harrington Street,
The Rocks.

Department of Planning & Infrastructure Information Centre

23-33 Bridge Street,
Sydney NSW 2000

*Where planning certificate section 149 (5) matters are supplied, complete details are available
by writing to:*

*Chief Executive Officer,
City of Sydney,
G.P.O. Box 1591,
Sydney, NSW 2000*

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