

PROJECT 16202 : DICKER DATA

ARCHITECTURAL DRAWING SET FOR DEVELOPMENT APPLICATION:

PROPOSED WAREHOUSE AND OFFICE
238-258 CAPTAIN COOK DRIVE, KURNELL, NSW 2231

CLIENT :

DICKER DATA

ISSUED FOR :

DEVELOPMENT APPLICATION
ARCHITECTURAL DRAWING LIST

DRAWING NUMBER	NAME	SCALE
DA000	COVER SHEET AND DRAWING LIST	N.T.S
DA001A	SITE PLAN STAGE 1	1:1000
DA001B	SITE PLAN STAGE 2	1:1000
DA002	SITE ANALYSIS	1:1000
DA003	NOTIFICATION PLAN	1:500
DA020	EXISTING CONDITIONS	1:1000
DA100	GROUND FLOOR PLAN	1:500
DA101	LEVEL 1AND LEVEL 2 FLOOR PLANS	1:500
DA102	ROOF PLAN	1:500
DA102A	SECONDARY ROOFS PLAN	1:500
DA103	CARPARK LAYOUT	1:300
DA104	OFFICE PLAN - GROUND	1:200
DA105	OFFICE PLAN - LEVEL 1	1:200
DA106	OFFICE PLAN - LEVEL 2	1:200
DA107	CANOPY ROOF PLAN	1:200
DA500	WAREHOUSE - OVERALL ELEVATIONS	1:500
DA501	WAREHOUSE - NORTH ELEVATION	1:200
DA502	WAREHOUSE - EAST AND WEST ELEVATION	1:200
DA503	WAREHOUSE - SOUTH ELEVATION	1:200
DA504	OFFICE - OVERALL ELEVATIONS	1:200
DA505	OFFICE - NORTH AND SOUTH ELEVATION	1:100
DA506	OFFICE - EAST ELEVATION	1:100
DA507	OFFICE - WEST ELEVATION	1:100
DA600	WAREHOUSE - SECTION	1:500
DA900	SHADOW DIAGRAMS - AUTUMN	1:2000
DA901	SHADOW DIAGRAMS - WINTER	1:2000
DA902	SHADOW DIAGRAMS - SPRING	1:2000
DA903	SHADOW DIAGRAMS - SUMMER	1:2000
DA920	SIGNAGE DETAILS	1:100 / 1:20
DA950	COMPUTER GENERATED PERSPECTIVE 1 MAIN LOBBY AND ENTRY	N.T.S
DA951	COMPUTER GENERATED PERSPECTIVE 2 STREET VIEW OF OFFICE BUILDING	N.T.S



SITE LOCATION PLAN - N.T.S

AREA ANALYSIS

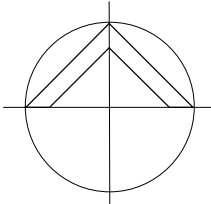
SITE ADDRESS	
238-258 CAPTAIN COOK DRIVE, KURNELL, NSW 2231	
SITE AREA	
169030 M²	
WAREHOUSE	
STAGE 1	22900 M²
STAGE 2	16585 M²
TOTAL WAREHOUSE GFA	39485 M²
OFFICE	
STAGE 1	3980 M²
STAGE 2	1970 M²
TOTAL OFFICE GFA	5950 M²
CAFE	300 M²
GYM	60 M²
LOBBY + CIRCULATION	360 M²
AMENITIES	205 M²
TOTAL GFA	
46360 M²	
FLOOR SPACE RATIO	0.28 : 1
NOTE: AREAS IN THIS TABLE AND ON PLANS ARE CALCULATED BASED ON THE SUTHERLAND SHIRE COUNCIL LEP 2015 DEFINITION. AREAS PROVIDED ARE APPROXIMATE ONLY AND SHOULD BE CHECKED AND VERIFIED ON SITE BY QUALIFIED APPOINTED CONTRACTOR.	
DISCALIMER	
SURVEY PROVIDED ON SHEET DA020 HAS BEEN PROVIDED BY MASTERS SURVEYING . PLEASE REFER TO THE SURVEYORS DOCUMENTATION THAT FORMS PART OF THIS DEVELOPMENT APPLICATION FOR THE EXISTING CONDITIONS OF 238-258 CAPTAIN COOK DRIVE KURNELL. SET BOUNDARY SETOUT PROVIDED BY RPS GROUP ON THE 25TH OCTOBER 2017 TO BE CHECKED ON SITE BY A QUALIFIED CONTRACTOR.	

EXTERNAL FINISHES

CODE	PROPOSED PRODUCT	IMAGE	PROPOSED COLOUR
ROOF			
RF01	METAL ROOF SHEETING (TYPICALLY ENCLOSED SPACES)		COLORBOND MONUMENT OR APPROVED SIMILAR
RF02	ALSYNITE OR SIMILAR APPROVED TRANSLUCENT ROOF SHEETING TO MINIMUM 10% OF WAREHOUSE ROOF AREA		TRANSLUCENT
RF03	METAL ROOF TYPE 3 (DOCK AWNING)		COLORBOND MONUMENT OR APPROVED SIMILAR
RF04	METAL ROOF TYPE 4 (CANOPY)		COLORBOND MONUMENT OR APPROVED SIMILAR
RF05	SUNSHADING ROOF WITH HORIZONTAL SOLAR BLADES		COLORBOND MONUMENT OR APPROVED SIMILAR
RF06	METAL ROOF TYPE 5 (PEDESTRIAN AWNING)		COLORBOND MONUMENT OR APPROVED SIMILAR
WALLS			
EF01	OFF-FORM CONCRETE FINISH		NATURAL GREY CONCRETE
EF02	CONCRETE WITH PATTERN		NATURAL GREY CONCRETE
EF03	LIGHT WEIGHT METAL CLADDING		DULUX DOMINO OR APPROVED SIMILAR
EF04	VERTICAL SCREEN TIMBER		WALNUT OR APPROVED SIMILAR
DOORS AND WINDOWS			
GL01	GLASS PANEL		CLEAR GLASS
GL02	SERAPHIC GLASS PANELS WITH METAL VERTICAL BLADES		WHITE TONE OPAQUE GLASS. TO BE APPROVED
GL03	INSULATED GLASS SPANDREL PANEL. FINISH TO MATCH GL01 AS CLOSE AS POSSIBLE		OPAQUE GLASS
	ROLLER DOORS (UNLESS NOTED OTHERWISE)		DULUX DOMINO OR APPROVED SIMILAR
	FIRE EGRESS EXIT DOORS (UNLESS NOTED OTHERWISE)		DULUX DOMINO OR APPROVED SIMILAR



DEVELOPMENT
APPLICATION



Issue	Description
A	ISSUED FOR DEVELOPMENT APPROVAL

Date
03.05.18

Client
DICKER DATA PTY LTD

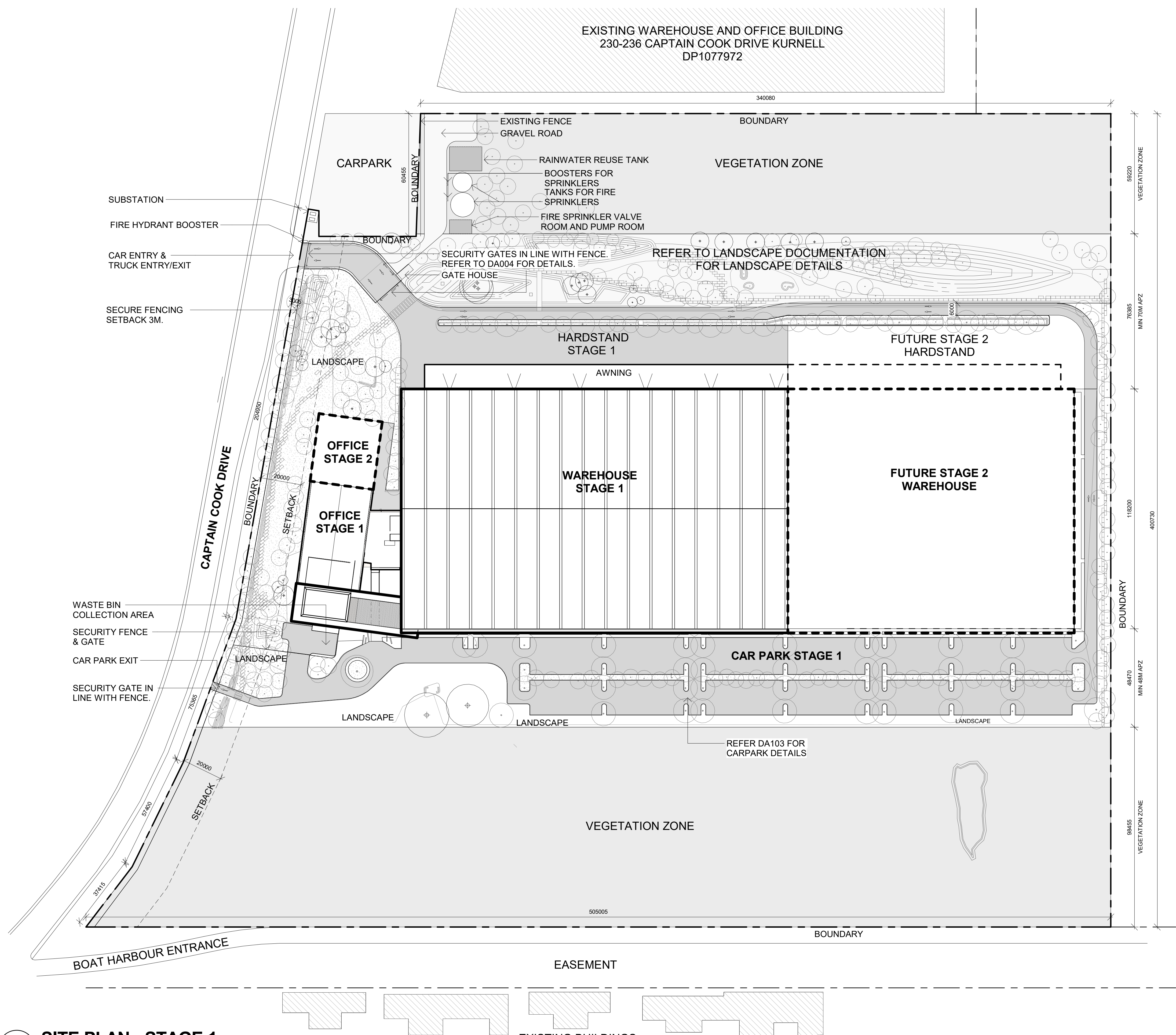


Project
DICKER DATA 238-258 CAPTAIN COOK DRIVE, KURNELL, NSW 2231

Title
COVER SHEET AND DRAWING LIST

Dimensioned Drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd ©

Drawing No.	Issue
DA000	A
Scale	Drawing Size
As indicated@A1	A1
Project No.	Drawn By
16202	AC
CAD Reference	
dwg000.rvt	

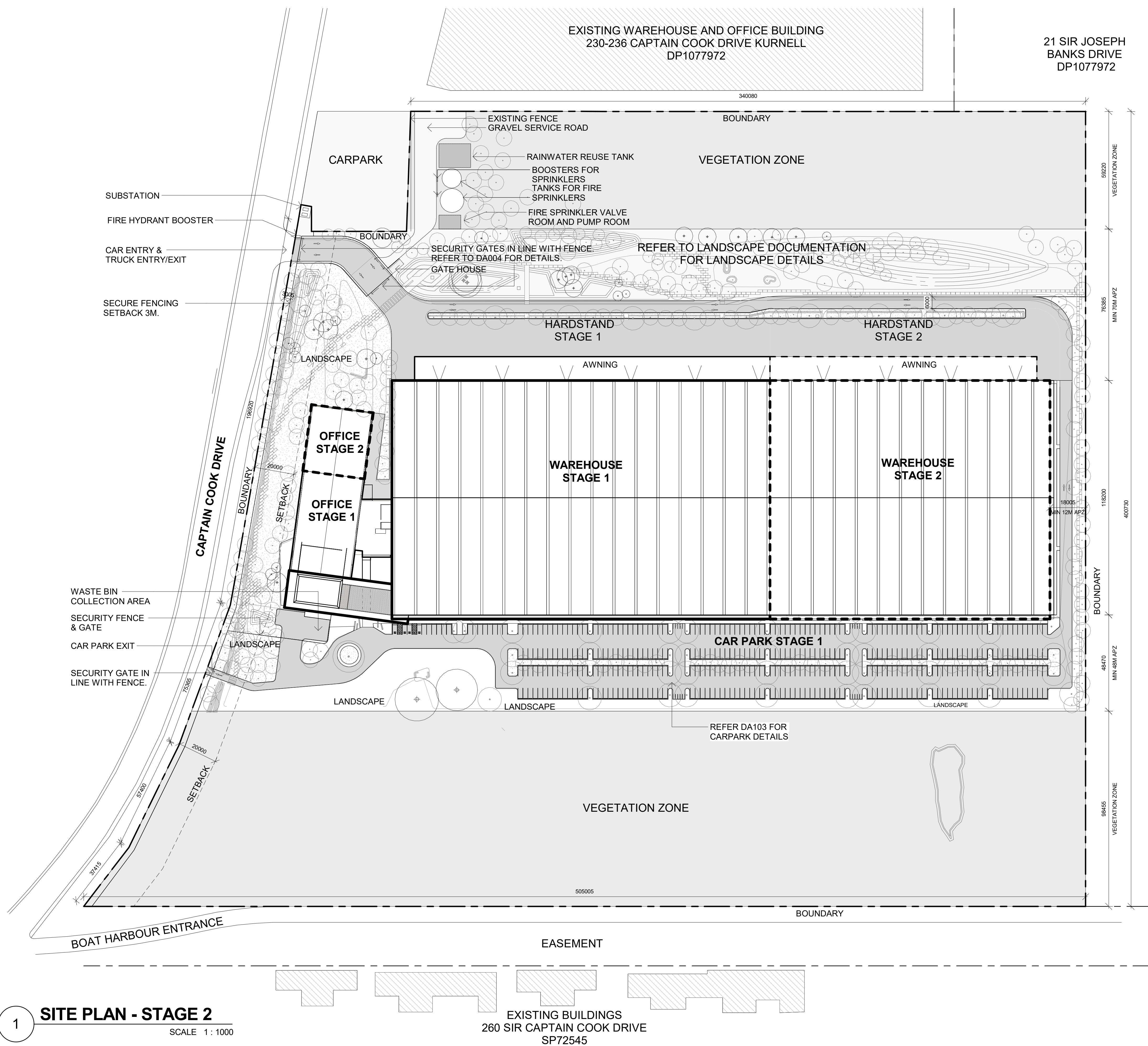


1 SITE PLAN - STAGE 1
SCALE 1 : 1000

KEY	
	PROPOSED TREES (DETAILED & DESIGNED BY LANDSCAPE ARCHITECT). REFER TO LANDSCAPE DOCUMENTATION FOR DETAILS
	EXISTING TREES TO REMAIN REFER TO LANDSCAPE AND ARBORIST DOCUMENTATION FOR DETAILS

DEVELOPMENT APPLICATION

Drawing No. DA001A	Issue A
Scale 1 : 1000@A1	Drawing Size A1
Project No. 16202	Drawn By AC
CAD Reference 16202REV1	



1 SITE PLAN - STAGE 2
SCALE 1 : 1000

KEY

PROPOSED TREES
(DETAILED & DESIGNED BY LANDSCAPE ARCHITECT). REFER TO LANDSCAPE DOCUMENTATION FOR DETAILS

EXISTING TREES TO REMAIN
REFER TO LANDSCAPE AND ARBORIST DOCUMENTATION FOR DETAILS

DEVELOPMENT APPLICATION

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wmkarchitecture.com
ABN 25 082 956 929



Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	03.05.18

Client
DICKER DATA PTY LTD

DICKER
DATA

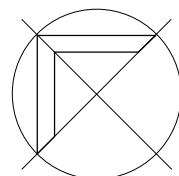
Project
DICKER DATA
238-258 CAPTAIN COOK DRIVE,
KURNELL, NSW 2231

Title
SITE PLAN STAGE 2

Drawing No. DA001B	Issue A
Scale 1 : 1000@A1	Drawing Size A1
Project No. 16202	Drawn By AC
CAD Reference UNW/REVIT	

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1 **SITE ANALYSIS PLAN**
SCALE 1 : 1000



0 10 20 30 40m
1:1000

Issue	Description
A	ISSUED FOR DEVELOPMENT APPROVAL

Date
03.05.18

Client
DICKER DATA PTY LTD

DICKER
DATA

Project
DICKER DATA 238-258 CAPTAIN COOK DRIVE, KURNELL, NSW 2231

Title
SITE ANALYSIS

Dimensioned Drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd ©

Drawing No.
DA002

Scale
1 : 1000@A1

Project No.
16202

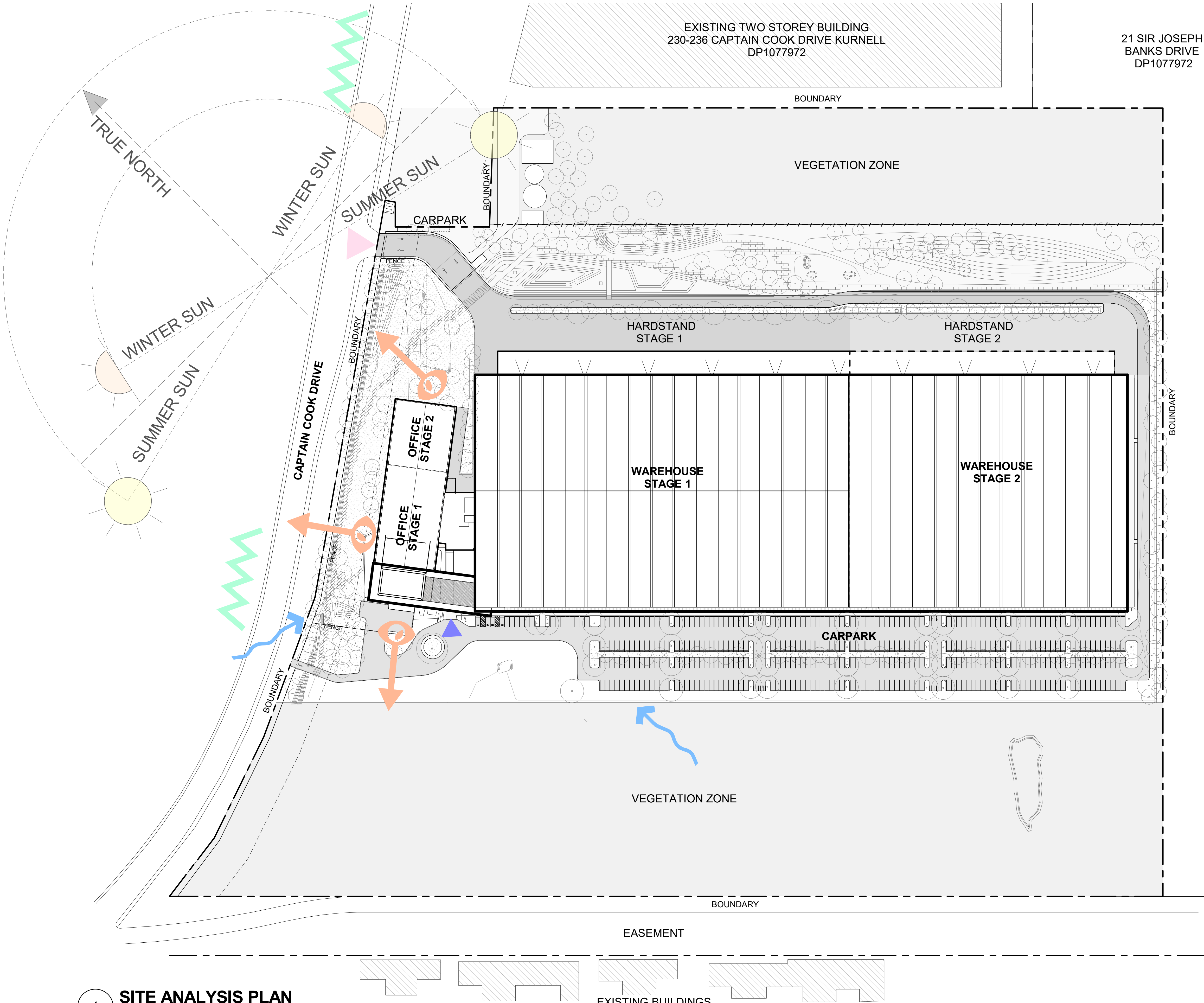
CAD Reference
1620201

Issue
A

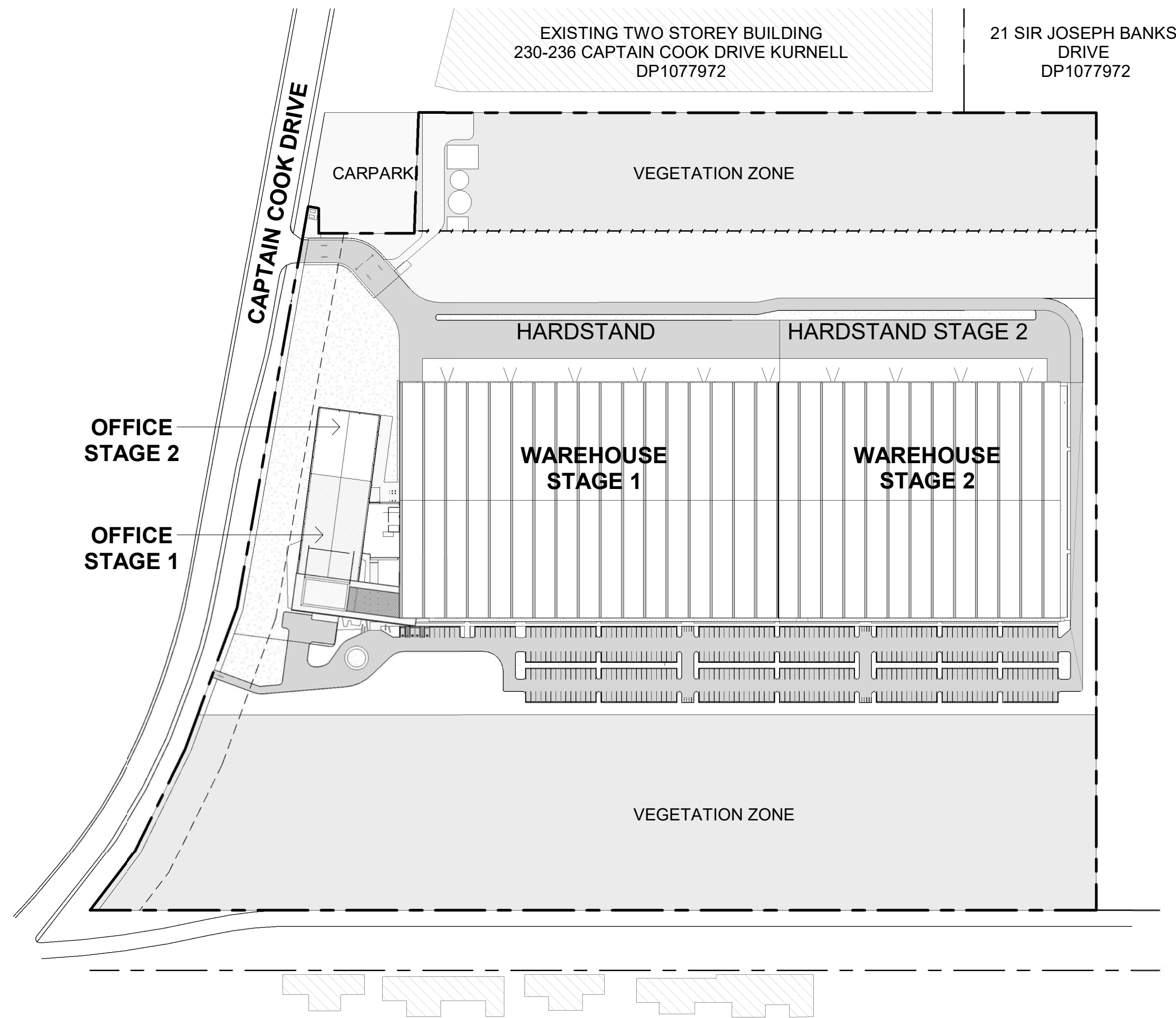
Drawing Size
A1

Drawn By
AC

- KEY**
- PEDESTRIAN ENTRY
 - VEHICULAR ACCESS
 - PREVAILING WINDS
 - VIEWS
 - NOISE SOURCE
 - SITE BOUNDARY

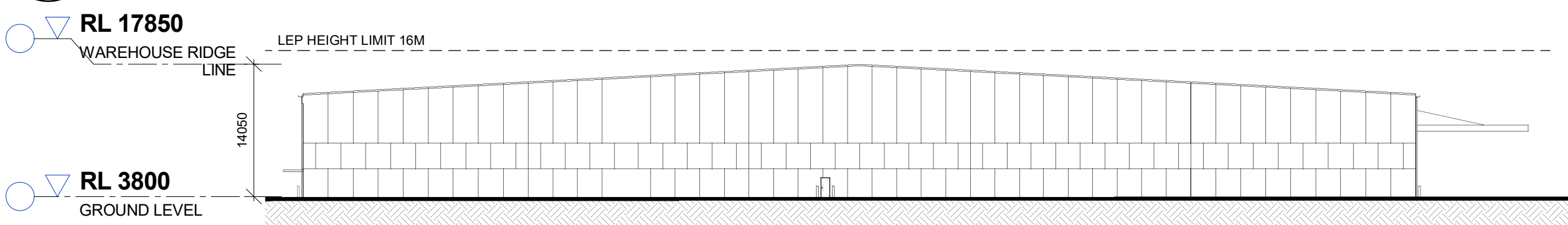


EXISTING BUILDINGS
260 SIR CAPTAIN COOK DRIVE
SP72545

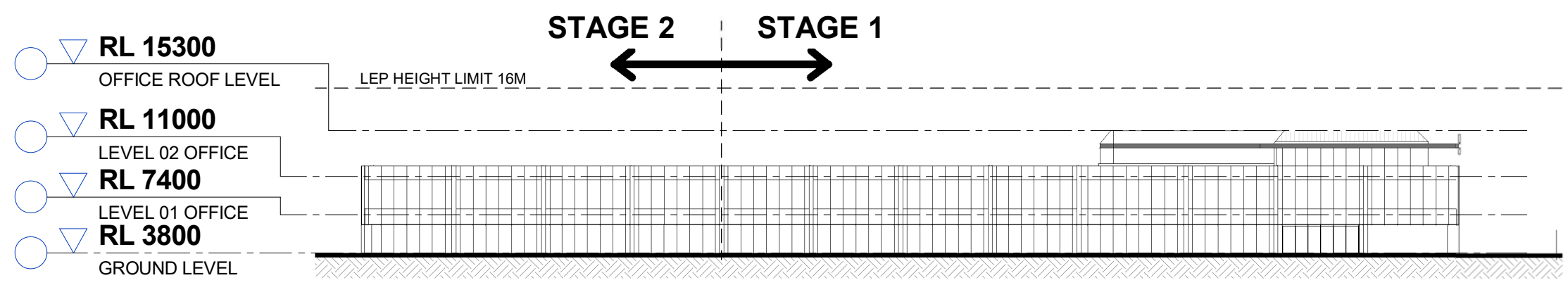
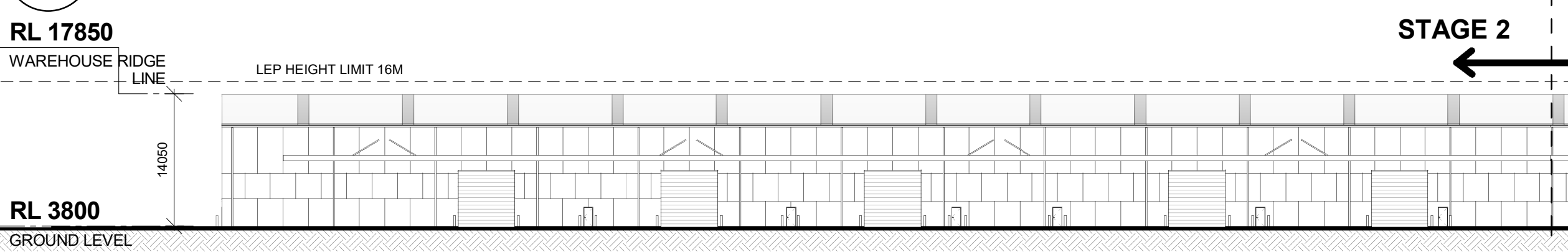


2 COMPUTER GENERATED PERSPECTIVE OF MAIN LOBBY ENTRY

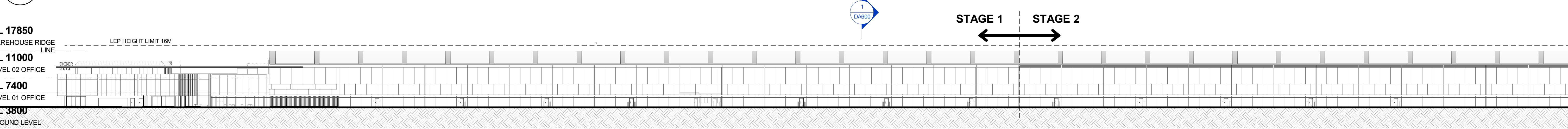
1 SITE NOTIFICATION PLAN
SCALE 1:2000



3 EAST ELEVATION 01
SCALE 1:500



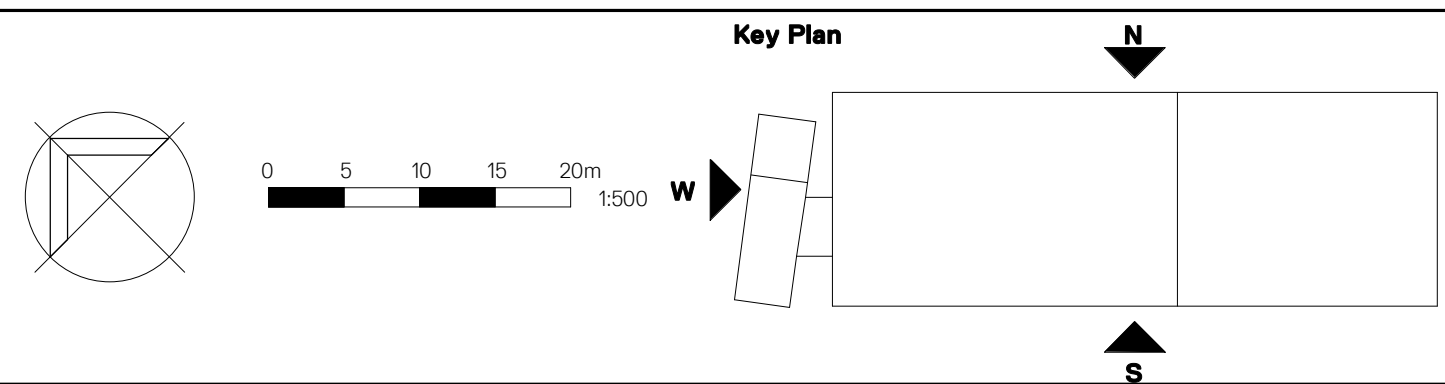
5 NORTH ELEVATION 03
SCALE 1:500



6 SOUTH ELEVATION 04
SCALE 1:500



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Client
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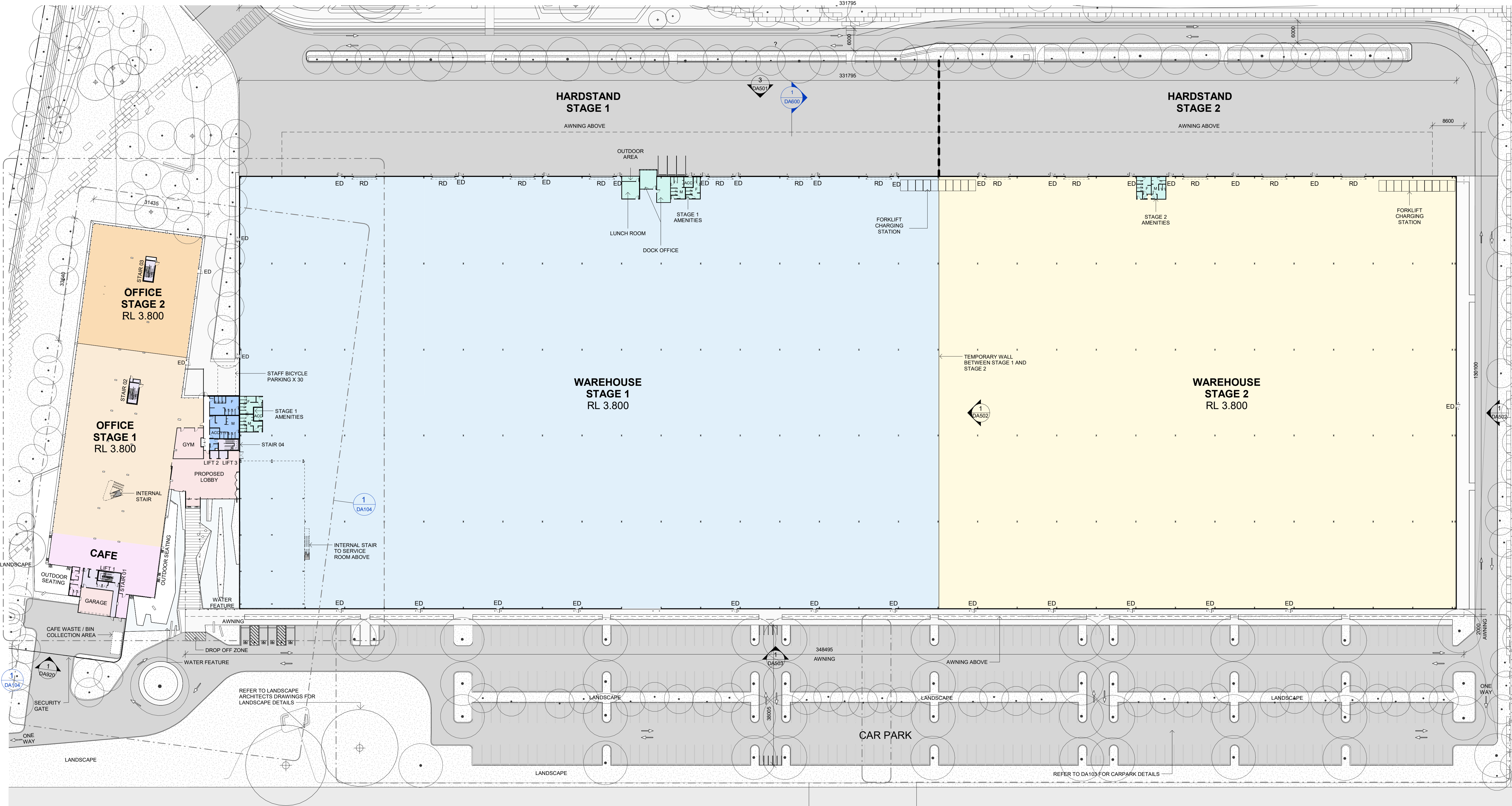
Project
DICKER DATA
238-258 CAPTAIN COOK DRIVE,
KURNELL, NSW 2231

Title
NOTIFICATION PLAN

DEVELOPMENT APPLICATION

Drawing No. DA003	Issue A
Scale As indicated@A1	Drawing Size A1
Project No. 16202	Drawn By AC
CAD Reference wmk-rev1	

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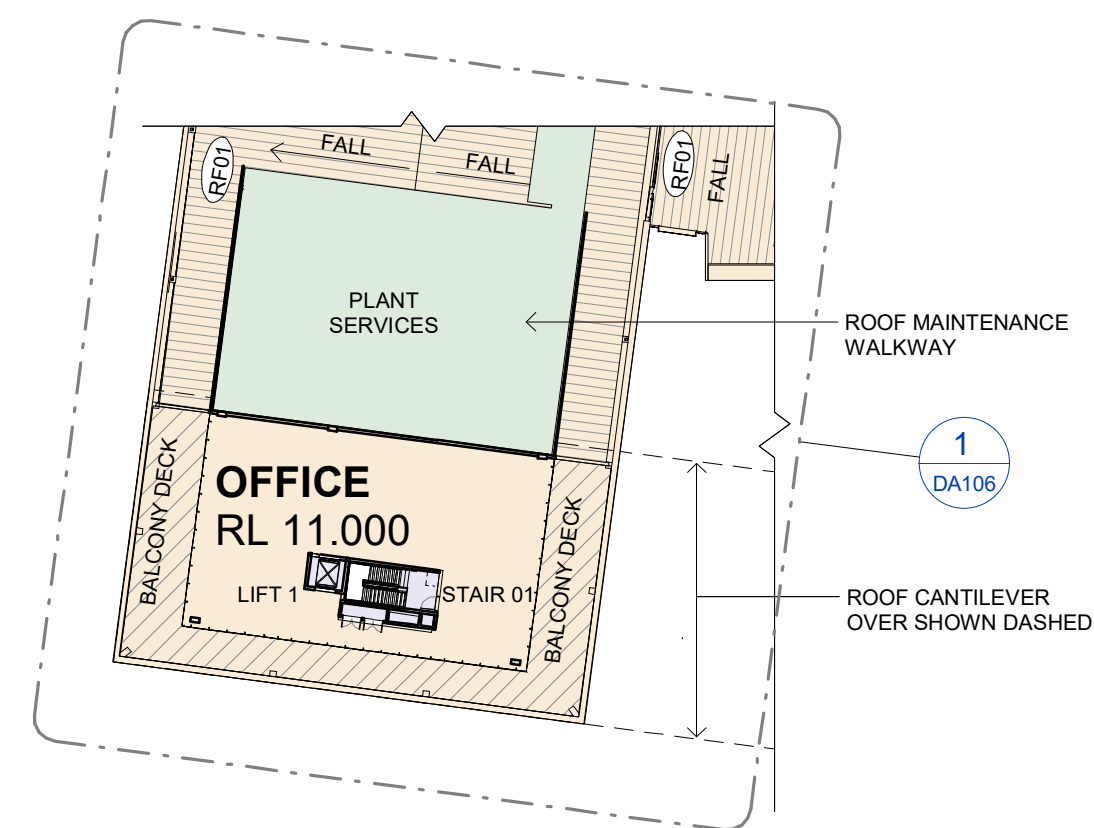
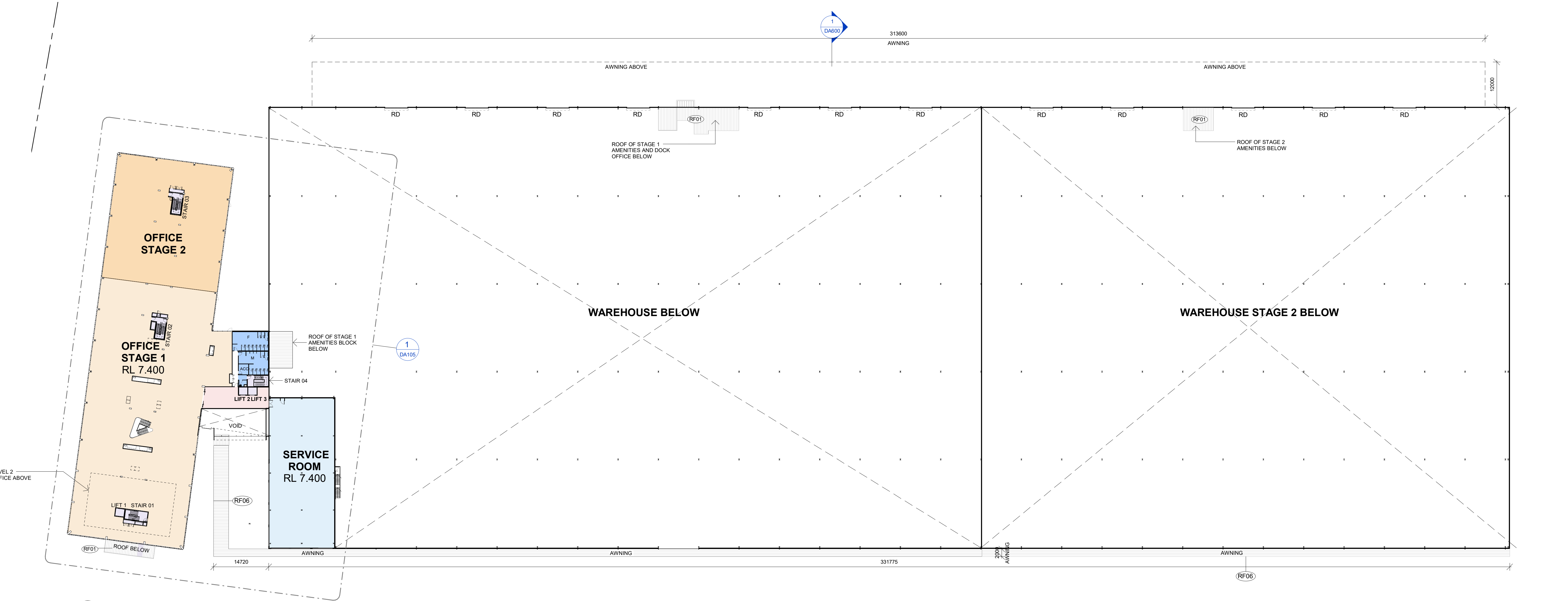


1 **GROUND FLOOR PLAN**
SCALE 1 : 500

LEGEND

- | | | |
|--------------------------------------|----------------|--|
| WAREHOUSE STAGE 1 | OFFICE STAGE 1 | ROOFTOP SERVICES PLANTS |
| WAREHOUSE STAGE 2 | OFFICE STAGE 2 | WAREHOUSE OFFICE, LUNCH ROOM AND AMENITIES |
| CAFE INCLUDING KITCHEN AND AMENITIES | CORE | OFFICE WC AMENITIES INCLUDING END OF TRIP FACILITY AT GROUND LEVEL |
| GARAGE, GYM, LOBBY | | |

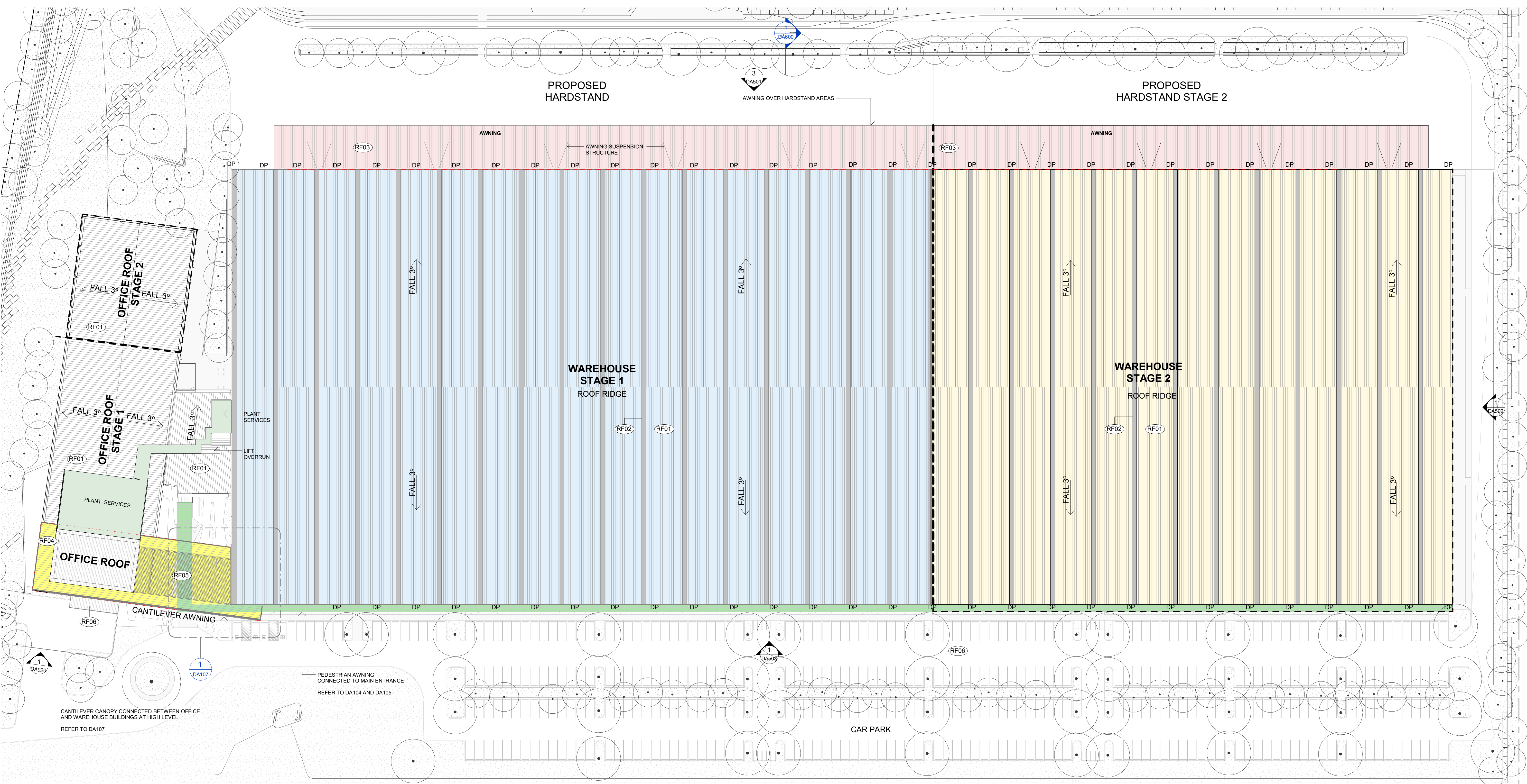
DEVELOPMENT APPLICATION



LEGEND

WAREHOUSE STAGE 1	OFFICE STAGE 1	ROOFTOP SERVICES PLANTS
WAREHOUSE STAGE 2	OFFICE STAGE 2	WAREHOUSE OFFICE, LUNCH ROOM AND AMENITIES
CAFE INCLUDING KITCHEN AND AMENITIES	CORE	OFFICE WC AMENITIES INCLUDING END OF TRIP FACILITY AT GROUND LEVEL
GARAGE, GYM, LOBBY		

DEVELOPMENT APPLICATION

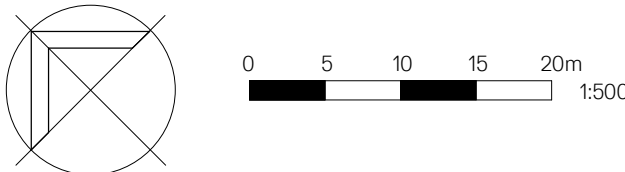


1 ROOF PLAN

SCALE 1 : 500

- ROOF LEGEND
- | | | | | | |
|--|-------------------|--|---------------------|--|-------------------------|
| | WAREHOUSE STAGE 1 | | CANTILEVERED CANOPY | | ROOFTOP SERVICES PLANTS |
| | WAREHOUSE STAGE 2 | | HARDSTAND AWNING | | PEDESTRIAN AWNING |

DEVELOPMENT APPLICATION



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Date
03.05.18

Client
DICKER DATA PTY LTD

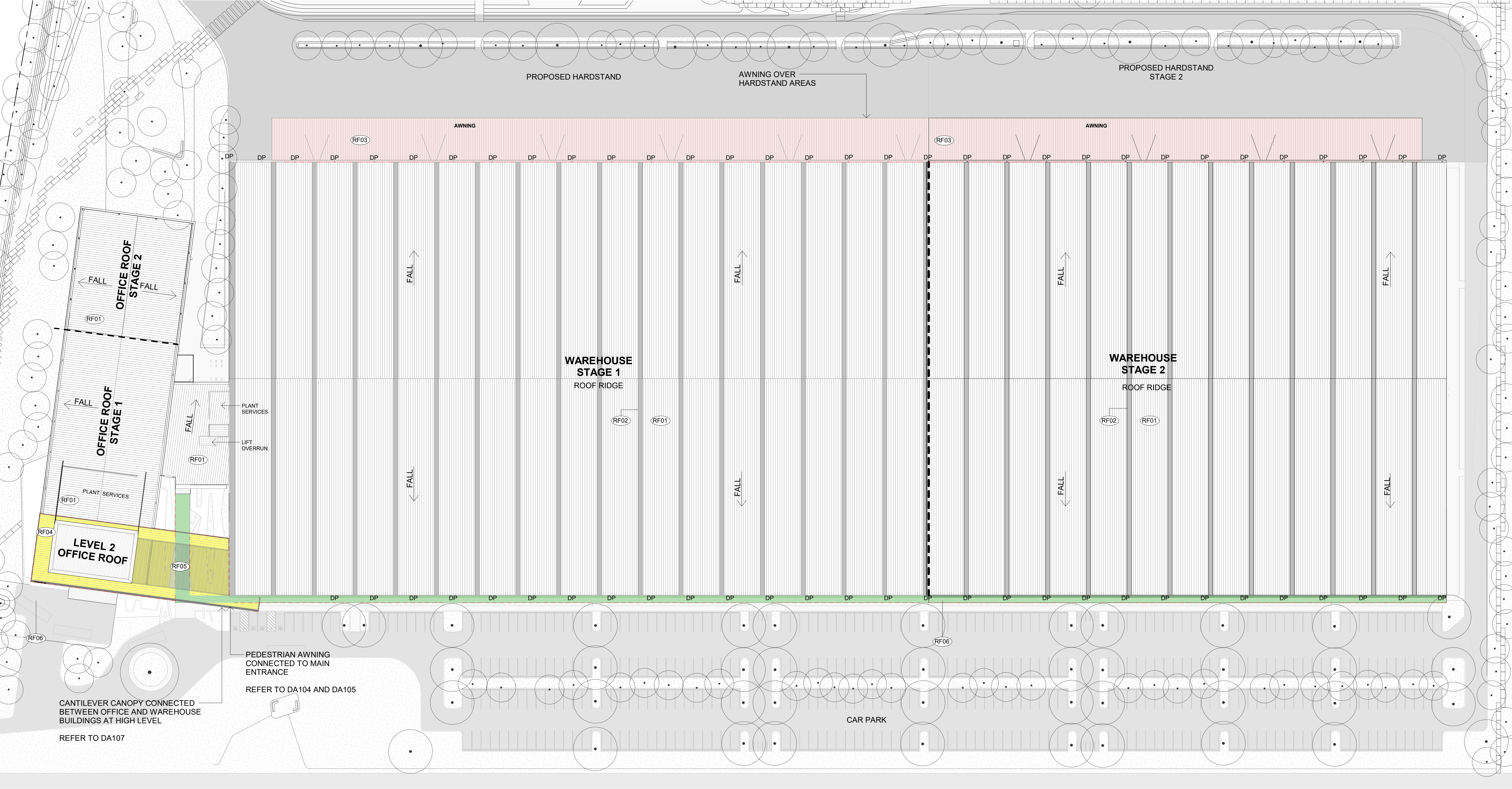
DICKER
DATA

Project
DICKER DATA
238-258 CAPTAIN COOK DRIVE,
KURNELL, NSW 2231

Title
ROOF PLAN

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Drawing No. DA102	Issue A
Scale 1 : 500@A1	Drawing Size A1
Project No. 16202	Drawn By AC
CAD Reference dwg06.rvt	



ROOF LEGEND		
	CANTILEVERED CANOPY	 HARDSTAND AWNING
		 PEDESTRIAN AWNING

DEVELOPMENT APPLICATION

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DICKER
DATA

Project
DICKER DATA
238-258 CAPTAIN COOK DRIVE,
KURNELL, NSW 2231

Title
SECONDARY ROOFS PLAN

Drawing No.
DA102A

Scale
1: 500@A1

Project No.
16202

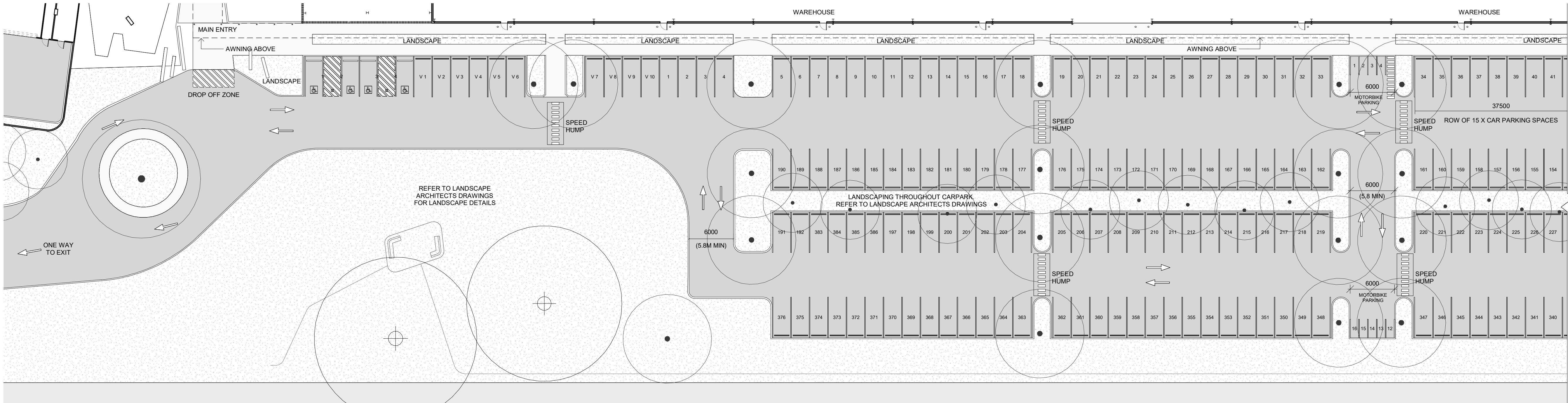
CAD Reference
wmsv01rev1

Issue
A

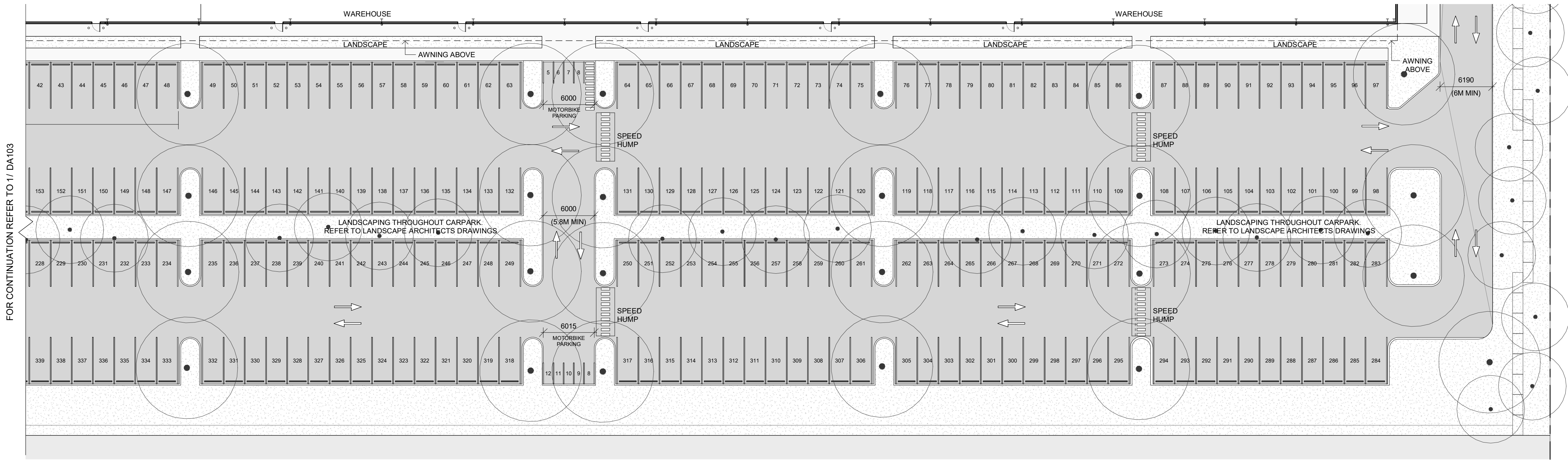
Drawing Size
A1

Drawn By
VP

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1 **CARPARK LAYOUT - WEST**
SCALE 1 : 300



2 **CARPARK LAYOUT - EAST**
SCALE 1 : 300

CAR PARKING SCHEDULE	
STAFF	376 BAYS
VISITOR	10 BAYS
ACCESSIBLE	4 BAYS
MOTORCYCLE	18 BAYS
TOTAL	408 BAYS
REFER TO DA104 FOR BICYCLE LAYOUT	

