MULLER partnership
QUANTITY SURVEYORS

5 February 2020

Jackson Environment and Planning Pty Ltd
Suite 102, Level 1, 25 Berry Street
NORTH SYDNEY NSW 2060

ATTENTION: MARK JACKSON

RE: SAND, SOIL & BUILDING MATERIALS RECYCLING FACILITY
90 GINDURRA ROAD, SOMERSBY
CAPITAL INVESTMENT VALUE ESTIMATE

As per your request dated 23 January 2020, Muller Partnership has prepared a Capital Investment Value (CIV) Estimate as required by the planning authority for the above development totalling $ 14,866,000 (excl. GST) and enclose our report.

The purpose of this assessment is to determine the current construction cost value of the development for council purposes only and is not to be used for project budgeting, finance, insurance, sale, mortgage or any other purposes.

Should you wish to discuss any of the above please do not hesitate to contact the undersigned.

Yours faithfully
MULLER PARTNERSHIP

PETER DALLY
DIRECTOR

PD: NW 18230 90 Gindurra Rd, Somersby - CIV Estimate

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SAND, SOIL & BUILDING MATERIALS RECYCLING FACILITY
90 GINDURRA ROAD, SOMERSBY
CAPITAL INVESTMENT VALUE ESTIMATE

05 FEBRUARY 2020

18230

Disclaimer

Muller Partnership have prepared this report in part on the basis of information supplied to it in the ordinary course of business by Jackson Environment and Planning Pty Ltd.

Whilst all reasonable professional care and skill have been exercised to validate its accuracy and authenticity, Muller Partnership is unable to provide any Guarantee in that regard, and will not be liable to any party for any loss arising as a result of any such information subsequently being found to be inaccurate, lacking authenticity or having been withheld.

This report is only intended for use by the Jackson Environment and Planning Pty Ltd and Muller Partnership accepts no responsibility to other parties who use opinions or information contained herein. They do so at their own risk.

In acting as Quantity Surveyor for Jackson Environment and Planning Pty Ltd, Muller Partnership's liability is limited to the scope of services and value limit, as defined in their Professional indemnity insurance cover. A copy is available on request.

This report covers only the items as contained in this report. Should Jackson Environment and Planning Pty Ltd require additional items or areas of assessment, these should be specifically requested and will be actioned as agreed between the parties.

The construction costs are current as at the date of this assessment only. The values assessed herein may change significantly and unexpectedly over a relatively short period (including as a result of general market movements or factors specific to the particular property). We do not accept liability for losses arising from such subsequent changes in values.

Document history & status

Revision	Date	Description	By	Review	Approved
0	05/02/2020	Capital Investment Value Estimate	YF	NW	PD

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Capital Investment Value	Capital Investment Value of a development or project includes all costs necessary to establish and operate the project, including the design and construction of buildings, structures, associated infrastructure and fixed or mobile plant and equipment, other than the following costs: (a) amounts payable, or the cost of land dedicated or any other benefit provided, under a condition imposed under Division 6 or 6A of Part 4 of the Environmental Planning and Assessment Act or a planning agreement under that Division (b) costs relating to any part of the development or project that is the subject of a separate development consent or project approval (c) land costs (including any costs of marketing and selling land) (d) GST (as defined by A New Tax System (Goods and Services Tax) Act 1999
Construction Contingency	The Construction Contingency is a contingency allowance made for unknowns that may occur during construction due to latent conditions or issues with the documentation.
Design Development Allowance	The Design Development Allowance is a contingency included within our estimate to allow for unknown costs associated with progressing the development from the initial concept through until the 'For Construction'. At the time of For Construction documentation this contingency should be 0% as the entire project will have been designed and costed accordingly.
Preliminaries & Margin	The Preliminaries and Margin Allowance is an allowance for the builders' margin and their establishment and management of the site. This item will therefore include for items such as site fencing & amenities, site foreman, head office overheads, insurances, cranage, site cleaning, OH&S management, QA, etc.

1.0 EXECUTIVE SUMMARY

Project Description

The project involves the construction of the proposed Sand, Soil and Building Materials Recycling Facility and associated infrastructure located at 90 Gindurra Road, Somersby, NSW.

The update of the CIV estimate for Sand, Soil & Building Recycling Facility involves:

- Smaller noise wall along the NE corner of the site then transitioning to the eastern boundary.
- Construction of a larger water quality pond including floating wetland, level rock spreader, gross pollutant traps and a package recycled water plant.
- Construction of a Crusher Building.
- Construction of a Mulcher Building and concrete storage bays.
- Construction of Tip and Spread Building, rainwater harvesting tanks and misting system.
- Installation of dust and fire suppression systems across the site including the Secondary Sorting Warehouse.
- Installation of sprinkler system for dust suppression above landscape storage bays.
- Installation of a second weighbridge, weighbridge office, traffic control lights and boom gates on site.

Cost Overview

We confirm the estimated CIV for Sand, Soil & Building Recycling Facility, Somersby is $ 14,866,000 (excl. GST).

Key Notes & Actions:

- Please note that this estimate has been prepared for the purpose of authority review and is preliminary in nature. Muller Partnership can provide development budgeting, scenario estimating, cost planning, or similar services on request.
- We have assumed Stage 1 works (Demolition and Secondary processing building) are complete and excluded from the estimate.
- We have used the Engineers quantities for bulk exaction etc.
- Import fill is assumed to be sourced free of charge.
- Review assumptions and exclusions.

2.0 CAPITIAL INVESTMENT VALUE SUMMARY

CAPITAL INVESTMENT VALUE SUMMARY	
Item	**Total Cost ($)**
Demolition & Site Preparation	1,861,000
Construction Works	
Crusher Operation Building	184,000
Mulcher Operation Building	134,000
Tip and Spread Building	830,000
Secondary Processing Building	EXCL
Admin Office and Amenities	EXCL
External Works and Service	7,203,000
Works Outside Boundary	59,000
Mobile Plant and Equipment	3,622,000
Design Development Allowance	EXCL
Preliminaries, Overheads and Profit (7%)	973,000
Total Construction Cost (Excl GST)	**14,866,000**
Construction Contingency	EXCL
Professional Fees	EXCL
Consultant Fees	EXCL
Authority Fees and Contributions	EXCL
Escalation	EXCL
Total Project Cost (Excl GST)	**14,866,000**

NB. Above costs are rounded to nearest thousand.

3.0 AREA SUMMARY

Summary of areas is as follows:

Sand, Soil & Building Materials Recycling Facility	Area (m²)
Site	60,568
Tip and Spread Building	1,277
Mulcher Operation Building	96
Crusher Operation Building	147
Waste Storage Area	4,962
Admin Office and Amenities	104
Secondary Processing Building	2,378

**Areas (m²) are measured as per the definitions stated in the AIQS Book of Areas.*

4.0 METHODOLOGY

Muller Partnership has used the following information in compiling our CIV Estimate:

All rates used within our Capital Investment Estimate have been gathered from our in-house databases as well as being constructed from first principles namely labour, materials and waste to reflect current market and project specific value.

Muller Partnership has used the following plans prepared by Sustainability Workshop, dated 16 December 2019, and received on 31 January 2020:

- Sheet 106 [Rev 2] – General Arrangement Plan
- Sheet 107 [Rev 2] – Civil Works Plan
- Sheet 108 [Rev 2] – Retaining Wall Long Sections – Sheet 1 of 2
- Sheet 109 [Rev 2] – Retaining Wall Long Sections – Sheet 2 of 2
- Sheet 110 [Rev 2] – Bulk Earthwork Plan
- Sheet 111 [Rev 2] – Turning Movement Plan
- Sheet 113 [Rev 2] – Detailed Secondary Processing Building Plan
- Sheet 115 [Rev 2] – Stormwater Plan
- Sheet 116 [Rev 2] – Stormwater Sections & Details

Crusher and Mulcher Operation Building Plan by Raybal Constructions, received 31 January 2020 and named as follows:

- SSD-A-01-011 [Rev 3] – Building Plans and Elevations
- SSD-A-01-012 [Rev 6] – Tip and Spread Bay – Plan and Section
- SSD-A-01-012 [Rev 6] - Tip and Spread Bay – Elevations

5.0 ASSUMPTIONS

We have made the following assumptions in the preparation of our CIV Estimate:

1. The works will be competitively tendered to a number of suitable qualified contractors on a lump sum basis.
2. Works will be completed during normal working hours.
3. Works are included for Stage 2 only (Stage 1 to include all demolition works and construction of warehouse).
4. Assumed builder will have clear access to the work area.
5. Assumed existing service connections are sufficient (NB: Unless noted otherwise in our foregoing estimate).
6. Assumed no hazardous material to be removed from site.
7. All hazardous materials and excess spoil is to be stockpiled and remain on site.
8. All volumes have been taken from Sustainability Workshop's provided bulk quantities as per the provided Civil Drawings (Refer to Schedule of Information for Details).
9. Sustainability Workshop Bulk Earthwork Quantities are assumed to be for Stage 2 only and exclude earthworks to the Stage 1 Structures.
10. Quantity of trees (25 No.) to be removed is a provisional quantity.
11. Heavy vehicle pavement and asphalt pavement profiles has been assumed.
12. Waste receive area concrete slab profile has been assumed.
13. An allowance for site signage has been assumed to be required.
14. All electrical services have been assumed include extent of lighting and connection requirements.
15. Retaining wall details have been assumed based on previous project data and should be updated once further information becomes available.
16. Fencing has been assumed to be included in Stage 1 works as per the Waste Management Report prepared by Jackson Environment and Planning Pty Ltd.
17. Supply of equipment has been adopted as per Jackson Environment & Planning advice.

18. Project duration for road work has been assumed to be 1 week and include afterhours work.

19. Preliminaries, Overheads and Profit allowance of 7% has been included.

20. We have made allowances for the following Provisional Sums:

    - Weighbridge - $200,000
    - Signage - $10,000
    - Floating wetlands -$33,795
    - Traffic Light (2 Sets) - $25,000
    - Dust suppression system $228,765.

6.0 EXCLUSIONS

Within the following CIV the acronym 'EXCL' means work that has ***not*** been included in our estimate. We specifically note the following exclusions from the estimated cost:

1. Contamination & remediation.
2. Services diversions.
3. Excavation in rock.
4. Ground water.
5. Dewatering.
6. Disposal of excavated material as VENM at local waste facility.
7. Demolition of existing sheds/buildings on site.
8. Site security fencing including sliding entry gate and 6m wide double gate.
9. Secondary Processing Building and Admin Office and Amenities.
10. Outbound weighbridge once facility reaches 100KTPA.
11. Waste skip bins / receptables.
12. Retroreflective markers.
13. Greywater reuse system.
14. OSD tank approved under Stage 1.
15. Sewer pump station.
16. External gas supply.

17. Maintenance to landscaping.
18. CCTV.
19. Substation.
20. Amplification of existing services.
21. Escalation & changes in market conditions.
22. Client Side Project Management.
23. Finance costs.
24. Works outside normal hours.
25. Aboriginal and Heritage impacts.
26. Delays resulting from approvals such as Environmental/ Authorities.
27. Construction contingency.
28. Design contingency.
29. Professional Fees.
30. Authority Fees.
31. GST.

APPENDIX A – ESTIMATE BREAKDOWN

MULLER partnership

		Quantity	Unit	Rate	Total
1	DEMOLITION & SITE PREPARATION				$1,860,676.00
2	CRUSHER OPERATION BUILDING				$183,750.00
3	MULCHER OPERATION BUILDING				$134,400.00
4	TIP AND SPREAD BUILDING				$830,050.00
5	SECONDARY PROCESSING BUILDING				
6	ADMIN OFFICE AND AMENITIES				
7	EXTERNAL WORKS AND SERVICES				$7,203,453.11
8	WORKS OUTSIDE BOUNDARY				$59,005.00
9	MOBILE PLANT/ EQUIPMENT				$3,622,000.00
10	DESIGN DEVEOPMENT ALLOWANCE				
11	PRELIMINARIES & MARGIN				$972,533.39
12	CONSTRUCTION CONTINGENCY				
13	IDENTIFIED RISK ITEMS				
14	PROFESSIONAL FEES				
15	CONSULTANT FEES				
16	AUTHORITY FEES AND CONTRIBUTIONS				
17	ESCALATION				

Subtotal	**$14,865,867.50**
Adjustment	$0.00
Total	**$14,865,867.50**

		Quantity	Unit	Rate	Total
1	**DEMOLITION & SITE PREPARATION**				**$1,860,676.00**
1.1	**DEMOLITION & ALTERATIONS**				
1.1.1	Allowance for demolition to recycling facility [NB: Assumed all required demolition has been completed in Stage 1]	1	item		EXCL
1.2	**SITE PREPARATION**				**$1,860,676.00**
1.2.1	**Site Clearing**				**$49,176.00**
1.2.1.1	Allowance to strip vegetative material and stockpile the material on site	60,568	m2	$0.75	$45,426.00
1.2.1.2	Allowance for removal of trees to site area [NB: Provisional Quantity and assumed 500/1000mm girth]	25	No	$150.00	$3,750.00
1.2.2	**Earthworks**				**$1,811,500.00**
1.2.2.1	Allowance for bulk cut to fill [NB: Quantities & methodology adopted as per Drawing BEP110]	35,900	m3	$10.00	$359,000.00
1.2.2.2	Allowance for fill using site material from existing stockpiles [NB: Ditto]	20,000	m3	$8.50	$170,000.00
1.2.2.3	Allowance for imported fill (assumed sourced FOC off site within 20kms)	51,300	m3	$25.00	$1,282,500.00
2	**CRUSHER OPERATION BUILDING**				**$183,750.00**
2.1	Crusher operation building (excl. equipment)	147	m2	$1,250.00	$183,750.00
3	**MULCHER OPERATION BUILDING**				**$134,400.00**
3.1	Mulcher operation building (excl. equipment)	96	m2	$1,400.00	$134,400.00
4	**TIP AND SPREAD BUILDING**				**$830,050.00**
4.1	Tip and spread building	1,277	m2	$650.00	$830,050.00
5	**SECONDARY PROCESSING BUILDING**				
5.1	Secondary processing building - Assumed part of Stage 1	2,378	m2		EXCL
6	**ADMIN OFFICE AND AMENITIES**				
6.1	Admin office and amenities - Assumed part of Stage 1	104	m2		EXCL
7	**EXTERNAL WORKS AND SERVICES**				**$7,203,453.11**
7.1	**EXTERNAL WORKS**				**$6,062,059.11**
7.1.1	**Roads, footpaths and paving**				**$3,673,639.11**
7.1.1.1	200mm thick reinforced concrete [40Mpa] slab on ground comprising SL82 T&B mesh, laid on 50mm sand blinding complete [Assumed no details provided]	6,535	m2	$110.00	$718,850.00
7.1.1.2	450mm NOM. recycled crushed concrete pavement and primer seal	30,726	m2	$50.00	$1,536,300.00

	1	Quantity	Unit	Rate	Total
7.1.1.3	Extra over for 150mm drainage layer assumed blue metal with geotextile	30,725.638	m2	$19.00	$583,787.11
7.1.1.4	Asphalt pavement comprising 200mm thick DGB20 subbase, 200mm thick DGS20 base course, 7mm primer seal and 40mm thick AC layer [Assumed no details provided]	11,457	m2	$71.00	$813,447.00
7.1.1.5	**Kerbs, gutters and edge strips**				**$21,255.00**
7.1.1.5.1	Concrete kerb and gutter	327	m	$65.00	$21,255.00
7.1.2	**Retaining Walls**				**$948,877.00**
7.1.2.1	Foundations for retaining wall 01 & 02	1,031	m	$282.00	$290,742.00
7.1.2.2	190 thick core filled concrete block retaining wall [Type 01 - Avg. height 4.5m]	2,199	m2	$180.00	$395,820.00
7.1.2.3	190 thick core filled concrete block retaining wall [Type 02 - Avg. height 2.0m]	1,085	m2	$180.00	$195,300.00
7.1.2.4	Allow for ag line drain to back of retaining walls	1,031	m	$65.00	$67,015.00
7.1.3	**Noise Walls**				**$934,904.00**
7.1.3.1	Foundations for concrete block wall	372	m	$282.00	$104,904.00
7.1.3.2	3000mm high concrete block wall for noise attenuation inside site	1,115	m2	$180.00	$200,700.00
7.1.3.3	Allowance for 5000mm high 150 thick precast concrete panel wall fixed to top of blockwork retaining wall	2,170	m2	$290.00	$629,300.00
7.1.4	**Fencing and Gates**				**$30,758.99**
7.1.4.1	2000mm high security fence along boundary, open type picket fence [Assumed to be included in Stage 1]	1,078	m		EXCL
7.1.4.2	Allowance for swimming pool compliant fencing around OSD pong	94.727	m	$150.00	$14,208.99
7.1.4.3	Sliding entry gate [Assumed to be included in Stage 1]	1	No		EXCL
7.1.4.4	Extra over for 6000mm wide double gate for maintenance access [Assumed to be included in Stage 1]	1	Pr		EXCL
7.1.4.5	10000mm wide double gate for maintenance access	1	Pr	$2,550.00	$2,550.00
7.1.4.6	Boom gate	4	No	$3,500.00	$14,000.00
7.1.5	**External Structures**				**$264,800.00**
7.1.5.1	Demountable building weighbridge office	36	m2	$1,800.00	$64,800.00
7.1.5.2	**Weighbridge**				**$200,000.00**
7.1.5.2.1	Proposed weighbridge	1	Item	$200,000.00	$200,000.00
7.1.5.2.2	Outbound weighbridge to be installed once facility reaches 100KTPA	1	Item		EXCL
7.1.6	**Signage and Linemarking**				**$15,040.00**

		Quantity	Unit	Rate	Total
7.1.6.1	Allowance for miscellaneous metalwork	1	item		EXCL
7.1.6.2	Waste skip bins / receptables	1	item		EXCL
7.1.6.3	1200mm wide pedestrian path	96	m2	$50.00	$4,800.00
7.1.6.4	Allowance for linemarking	48	m	$5.00	$240.00
7.1.6.5	Allowance for signage to the site [Provisional Sum]	1	item	$10,000.00	$10,000.00
7.1.6.6	Allowance for directional arrow linemarking to storage area	1	item		EXCL
7.1.6.7	Line marking to waiting area	1	item		EXCL
7.1.7	**Soft Landscaping**				**$194,040.00**
7.1.7.1	Irrigated landscaped buffer (5m wide)	4,185	m2	$15.00	$62,775.00
7.1.7.2	Melaleuca Biconvexa buffer area	1,057	m2	$25.00	$26,425.00
7.1.7.3	Irrigation	5,242	m2	$20.00	$104,840.00
7.1.7.4	Maintenance	1	item		EXCL
7.2	**EXTERNAL SERVICES**				**$1,141,394.00**
7.2.1	**External Stormwater Services**				**$884,129.00**
7.2.1.1	**Trench Excavation**				**$78,055.00**
7.2.1.1.1	Assumed no change from previous report				
7.2.1.1.2	Allowance for trench excavation to drainage lines	703	m3	$55.00	$38,665.00
7.2.1.1.3	Ditto backfilling to drainage lines	606	m3	$65.00	$39,390.00
7.2.1.1.4	Disposal of excess material	1	item		EXCL
7.2.1.2	**Pipework**				**$207,365.00**
7.2.1.2.1	Assumed no change from previous report				
7.2.1.2.2	Supply and install 300mm dia RCP	263	m	$259.00	$68,117.00
7.2.1.2.3	Ditto 375mm dia RCP	113	m	$261.00	$29,493.00
7.2.1.2.4	Ditto 450mm dia RCP	67	m	$345.00	$23,115.00
7.2.1.2.5	Ditto 525mm dia RCP	70	m	$438.00	$30,660.00
7.2.1.2.6	Ditto 750mm dia RCP	90	m	$622.00	$55,980.00
7.2.1.3	**Pits**				**$23,100.00**
7.2.1.3.1	Assumed no change from previous report				
7.2.1.3.2	Allowance for 900x900 reinforced concrete pits	14	No	$1,650.00	$23,100.00
7.2.1.4	**OSD Pond**				**$499,179.00**
7.2.1.4.1	Excavation - Assumed part of cut to fill	1	item		EXCL
7.2.1.4.2	Stacked sandstone wall	916	m2	$270.00	$247,320.00
7.2.1.4.3	Foundation for headwall	15	m	$250.00	$3,750.00

	1	Quantity	Unit	Rate	Total
7.2.1.4.4	Cast in-situ or precast reinforced concrete wall [Headwall] with scour protection	89	m2	$471.00	$41,919.00
7.2.1.4.5	Floating wetlands [Provisional Cost]	1,502	m2	$22.50	$33,795.00
7.2.1.4.6	Outlets with watertight penstocks [Included within Headwall cost]	3	No	$150.00	$450.00
7.2.1.4.7	Barramy gross pollutant trap	4	No	$25,000.00	$100,000.00
7.2.1.4.8	Dish drain with minimum 1% fall	219	m	$75.00	$16,425.00
7.2.1.4.9	Rock apron	192	m2	$50.00	$9,600.00
7.2.1.4.10	Level spreader [Assumed part of cut to fill]	50	m		INCL
7.2.1.4.11	Bioswale including waterproof liner 1.5mm HDPE or GCL, 100mm Vinidex slotted subsoil (SN6) no sock, 5mm gravel drainage layer, 100mm transition layer and 400mm sand media layer	328	m	$140.00	$45,920.00
7.2.1.5	**Pipework**				**$11,430.00**
7.2.1.5.1	Assumed no change from previous report				
7.2.1.5.2	Supply and install 300mm dia RCP	18	m	$259.00	$4,662.00
7.2.1.5.3	Ditto 675mm dia RCP	12	m	$564.00	$6,768.00
7.2.1.6	18kL rainwater tanks (for dust suppression inside tip and spread building)	10	No	$5,000.00	$50,000.00
7.2.1.7	Min. 20kL rainwater tank for wash bay	1	No	$5,000.00	$5,000.00
7.2.1.8	Pumps, etc	1	item	$10,000.00	$10,000.00
7.2.1.9	OSD tank (approved under Stage 1)	1	item		EXCL
7.2.2	**External Sewer Services**				**$2,500.00**
7.2.2.1	Connection into existing supply	1	item	$2,500.00	$2,500.00
7.2.3	**External Water Supply**				**$1,000.00**
7.2.3.1	Connection into existing supply	1	item	$1,000.00	$1,000.00
7.2.4	**External Gas Supply**				
7.2.4.1	External Gas Supply	1	item		EXCL
7.2.5	**External Fire Protection**				**$228,765.00**
7.2.5.1	Proposed dust suppression [45No oulets] - Provisional allowance	15,251	m2	$15.00	$228,765.00
7.2.6	**External Electrical**				**$25,000.00**
7.2.6.1	Amplification of services	1	item		EXCL
7.2.6.2	Substation	1	item		EXCL
7.2.6.3	Traffic Lights (2 sets) Access control & communications system to weigh bridge (Provisional Sum)	1	item	$25,000.00	$25,000.00
7.2.6.4	Allowance for CCTV security system [Provisional]	1	item		EXCL

		Quantity	Unit	Rate	Total
8	**WORKS OUTSIDE BOUNDARY**				**$59,005.00**
8.1	**General**				**$34,800.00**
8.1.1	Site establishment and demobilisation	1	item	$2,500.00	$2,500.00
8.1.2	Contractors supervision	1	wks	$10,000.00	$10,000.00
8.1.3	Survey and set out of works by registered surveyor	3	days	$1,800.00	$5,400.00
8.1.4	Location of services	1	item	$2,000.00	$2,000.00
8.1.5	Protection of services [Provisional]	1	item	$5,000.00	$5,000.00
8.1.6	Traffic control	1	wks	$1,900.00	$1,900.00
8.1.7	Extra over for out of hours work	1	item	$3,000.00	$3,000.00
8.1.8	Work as executed drawings	1	item	$5,000.00	$5,000.00
8.2	**Concrete Works**				**$17,005.00**
8.2.1	New asphalt pavement comprising 200mm thick DGB20 subbase, 200mm thick DGS20 base course, 7mm primer seal and 40mm thick AC layer	179	m2	$95.00	$17,005.00
8.3	**Linemarking**				**$7,200.00**
8.3.1	New centre line markings	180	m2	$40.00	$7,200.00
9	**MOBILE PLANT/ EQUIPMENT**				**$3,622,000.00**
9.1	Rubber tyred loader - Volvo L150 [NB: Adopted value as per Jackson Environment & Planning advice]	1	item	$400,000.00	$400,000.00
9.2	Picking Station / Trommel / Blower / Magnetic [Kiverco]	1	item	$1,100,000.00	$1,100,000.00
9.3	Bagging Plant - Rotto Chopper [Ditto]	1	item	$100,000.00	$100,000.00
9.4	Crushing Plant - Metso 1213S [Ditto]	1	item	$1,022,000.00	$1,022,000.00
9.5	Waste Handler - Liebherr LH24 [Ditto]	1	item	$440,000.00	$440,000.00
9.6	Screening Plant - Metso ST3.5 [Ditto]	1	item	$260,000.00	$260,000.00
9.7	Excavator 30 Tonne - Cat 330 [Ditto]	1	item	$300,000.00	$300,000.00
10	**DESIGN DEVEOPMENT ALLOWANCE**				
10.1	Design development allowance (%)	1	item		EXCL
11	**PRELIMINARIES & MARGIN**				**$972,533.39**
11.1	Allowance for Builders preliminaries, overhead & margin (7%)	1	item	$972,533.39	$972,533.39
12	**CONSTRUCTION CONTINGENCY**				
12.1	Construction contingency allowance	1	item		EXCL
13	**IDENTIFIED RISK ITEMS**				
13.1	Identified Risks	1	Item		EXCL
14	**PROFESSIONAL FEES**				

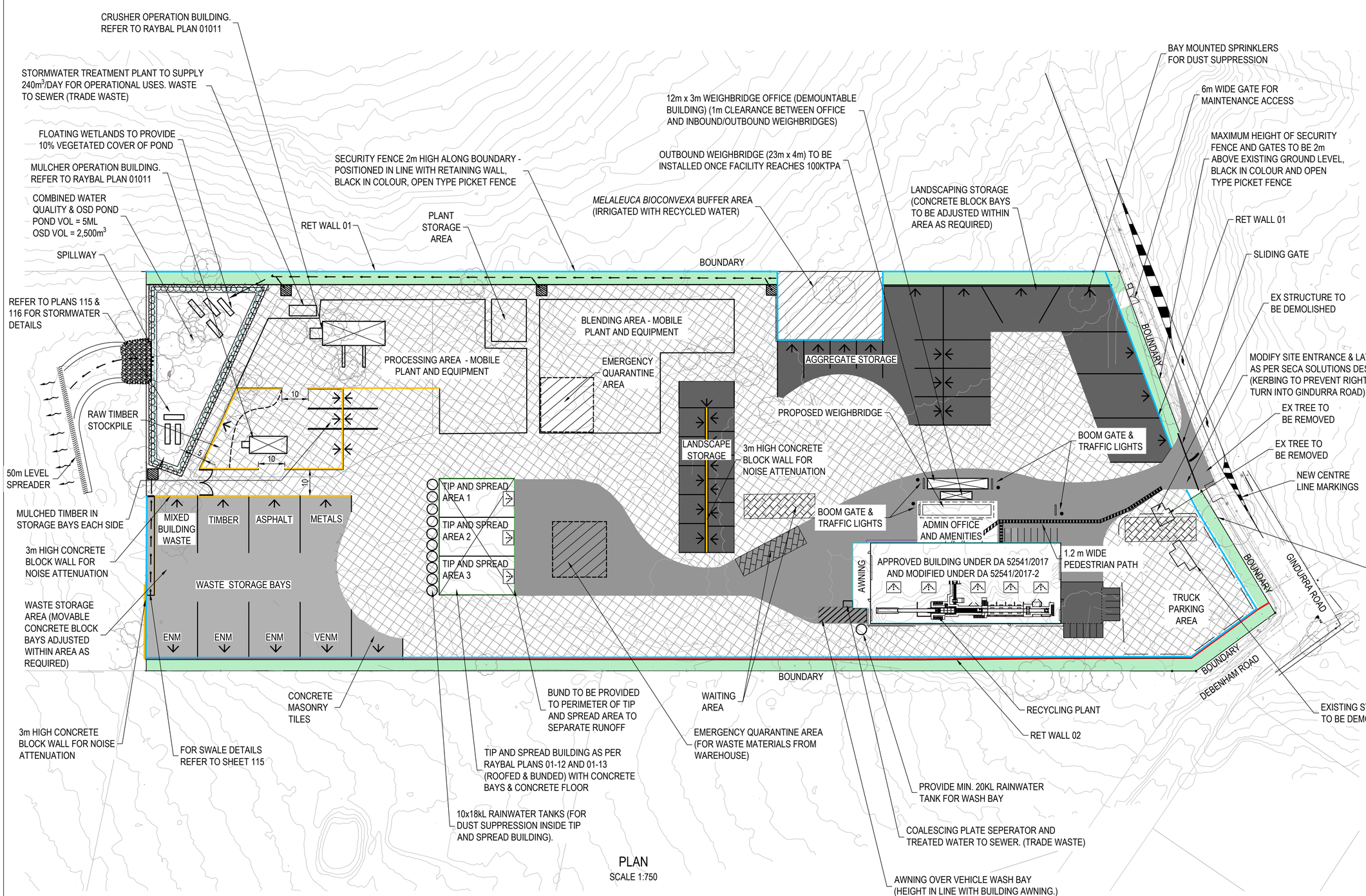
		Quantity	Unit	Rate	Total
14.1	Professional Fees	1	item		EXCL
15	**CONSULTANT FEES**				
15.1	Consultant Fees	1	item		EXCL
16	**AUTHORITY FEES AND CONTRIBUTIONS**				
16.1	Authority Fees and Contributions	1	item		EXCL
17	**ESCALATION**				
17.1	Escalation	1	item		EXCL

Subtotal	**$14,865,867.50**
Adjustment	$0.00
Total	**$14,865,867.50**

APPENDIX B – SUPPORTING DOCUMENTS

NOTES:

1. ALL DIMENSIONS IN METRES UNO.
2. HP GAS MAIN PRESENT ON GINDURRA ROAD.
3. EXISTING CONTOURS ARE AT 0.5m INTERVALS



PLAN
SCALE 1:750

LEGEND

- 5m HIGH CONCRETE PANEL NOISE WALL
- IRRIGATED LANDSCAPED BUFFER (5m) - SEE LANDSCAPE ARCHITECTUAL PLANS
- MELALEUCA BICONVEXA PROTECTION AREA - APZ
- PAVEMENT AREA (CONCRETE)
- SEALED SURFACE (ASPHALT)
- RECYCLED CRUSHED CONCRETE ROADBASE WITH GEOTEXTILE MEMBRANE
- CONCRETE KERB AND GUTTER
- PROPOSED RETAINING WALL
- 3m HIGH CONCRETE BLOCK WALL FOR NOISE ATTENUTATION
- DISH DRAIN
- TRUCK PARKING AREA
- WAITING AREA
- PROPOSED SPRINKLER OUTLET FOR DUST SUPPRESSION.
- PROPOSED MISTING OUTLET FOR DUST SUPPRESSION.
- BARRAMY GROSS POLUTANT TRAP (4 OFF)
- PROPOSED BUILDINGS
- BIOSWALE. REFER TO SHEET 115 FOR DETAILS

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0 7.5 15 22.5 30 37.5 45 52.5 60
SCALE 1:750 (A1) SCALE 1:1500 (A3)

REV	DATE	DESCRIPTION	BY	CKD
2	20/01/2020	REVISED FOR DA	GA	ML
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PROJECT: PROPOSED KARIONG SAND & SOIL SUPPLIES FACILITY - SSD8660
GENERAL ARANGEMENT PLAN

CLIENT: KARIONG SAND & SOIL SUPPLIES
JOB REF No: 197

DESIGNED: G. ABDULAHED
DRAWN: G. ABDULAHED
CHECKED: M. LIEBMAN

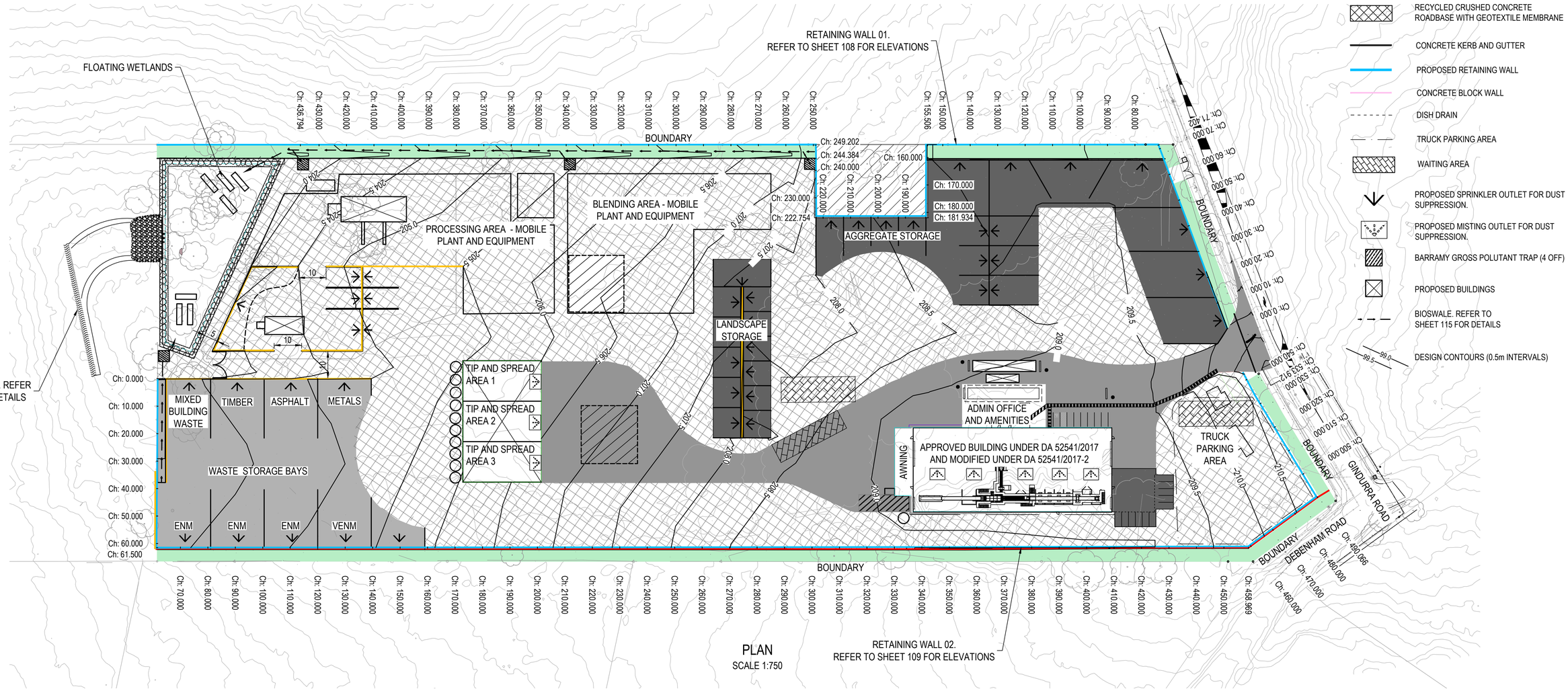
SHEET: 106
SHEET No: 1 OF 9
SCALE: 1:750
DATUM: AHD
DATE: 16/12/2019
SIZE: A1
COORD. ORIGIN:

NOTES:

1. ALL DIMENSIONS IN METRES UNO.
2. HP GAS MAIN PRESENT ON GINDURRA ROAD.

LEGEND

- 5m HIGH CONCRETE PANEL NOISE WALL
- IRRIGATED LANDSCAPED BUFFER (5m) - SEE LANDSCAPE ARCHITECTUAL PLANS
- MELALEUCA BICONVEXA PROTECTION AREA - APZ
- PAVEMENT AREA (CONCRETE)
- SEALED SURFACE (ASPHALT)
- RECYCLED CRUSHED CONCRETE ROADBASE WITH GEOTEXTILE MEMBRANE
- CONCRETE KERB AND GUTTER
- PROPOSED RETAINING WALL
- CONCRETE BLOCK WALL
- DISH DRAIN
- TRUCK PARKING AREA
- WAITING AREA
- PROPOSED SPRINKLER OUTLET FOR DUST SUPPRESSION.
- PROPOSED MISTING OUTLET FOR DUST SUPPRESSION.
- BARRAMY GROSS POLUTANT TRAP (4 OFF)
- PROPOSED BUILDINGS
- BIOSWALE. REFER TO SHEET 115 FOR DETAILS
- DESIGN CONTOURS (0.5m INTERVALS)



PLAN
SCALE 1:750

DIAL BEFORE YOU DIG
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SCALE 1:750 (A1) 0 7.5 15 22.5 30 37.5 45 52.5 60 SCALE 1:1500 (A3)

REV	DATE	DESCRIPTION	BY	CKD
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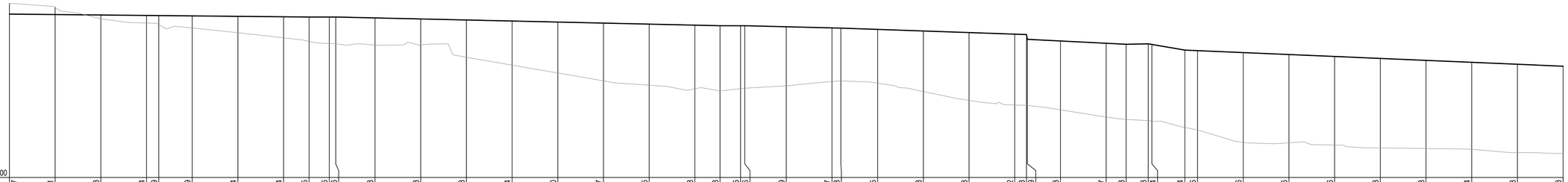
www.sustainabilityworkshop.com

PROJECT: PROPOSED KARIONG SAND & SOIL SUPPLIES FACILITY - SSD8660
CIVIL WORKS PLAN

CLIENT: KARIONG SAND & SOIL SUPPLIES
JOB REF No: 197

DESIGNED: G. ABDULAHED
DRAWN: G. ABDULAHED
CHECKED: M. LIEBMAN

SHEET: 107
SHEET No: 2 OF 9
SCALE: 1:750
DATE: 16/12/2019
SIZE: A1
DATUM: AHD
COORD. ORIGIN:



R.L. 195.700

Chainage	Wall Height	Design Levels	Existing Levels
0.000	-0.937	210.000	210.937
10.000	-0.641	209.961	210.602
20.000	+0.318	209.922	209.604
30.000	+0.664	209.883	209.219
32.682	+0.789	209.872	209.083
40.000	+1.059	209.844	208.785
50.000	+1.434	209.805	208.371
60.000	+1.844	209.766	207.922
65.570	+2.145	209.744	207.599
70.000	+2.316	209.744	207.428
71.402	+2.336	209.744	207.408
80.000	+2.368	209.666	207.298
90.000	+2.273	209.576	207.303
100.000	+3.263	209.485	206.222
110.000	+3.864	209.395	205.531
120.000	+4.460	209.304	204.844
130.000	+5.057	209.214	204.157
140.000	+5.345	209.123	203.778
150.000	+5.568	209.033	203.465
155.506	+5.708	208.983	203.275
160.000	+5.515	208.983	203.468
160.921	+5.476	208.983	203.507
170.000	+5.169	208.892	203.723
180.000	+4.697	208.792	204.095
181.934	+4.623	208.773	204.150
190.000	+4.705	208.661	203.956
200.000	+5.298	208.523	203.225
210.000	+5.933	208.384	202.451
220.000	+6.202	208.245	202.043
222.553	+6.203	208.210	202.007
222.754	+5.769	207.793	202.004
230.000	+6.023	207.647	201.624
240.000	+6.467	207.447	200.980
244.384	+6.578	207.360	200.782
249.202	+6.728	207.400	200.872
250.000	+6.704	207.345	200.841
257.234	+6.774	206.850	200.076
260.000	+6.946	206.803	199.857
270.000	+7.856	206.632	198.776
280.000	+7.726	206.462	198.736
290.000	+7.746	206.292	198.546
300.000	+7.838	206.121	198.283
310.000	+7.713	205.951	198.238
320.000	+7.624	205.780	198.156
330.000	+7.733	205.610	197.877
340.000	+7.643	205.439	197.796

WALL01 ELEVATION (CH0.000 - CH340.000)

SCALES H 1:500
V 1:200

R.L. 195.100

Chainage	Wall Height	Design Levels	Existing Levels
340.000	+7.643	205.439	197.796
350.000	+7.461	205.289	197.808
360.000	+7.337	205.099	197.762
370.000	+7.391	204.928	197.537
380.000	+7.336	204.758	197.422
390.000	+7.280	204.587	197.307
400.000	+7.225	204.417	197.192
410.000	+6.262	204.247	197.985
420.000	+6.751	204.076	197.325
430.000	+6.356	203.906	197.550
436.794	+5.983	203.790	197.807

WALL01 ELEVATION (CH340.000 - CH436.794)

SCALES H 1:500
V 1:200

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www.sustainabilityworkshop.com

PROJECT: PROPOSED KARIONG SAND & SOIL SUPPLIES FACILITY - SSD8660
RETAINING WALL LONG SECTIONS - SHEET 1 OF 2

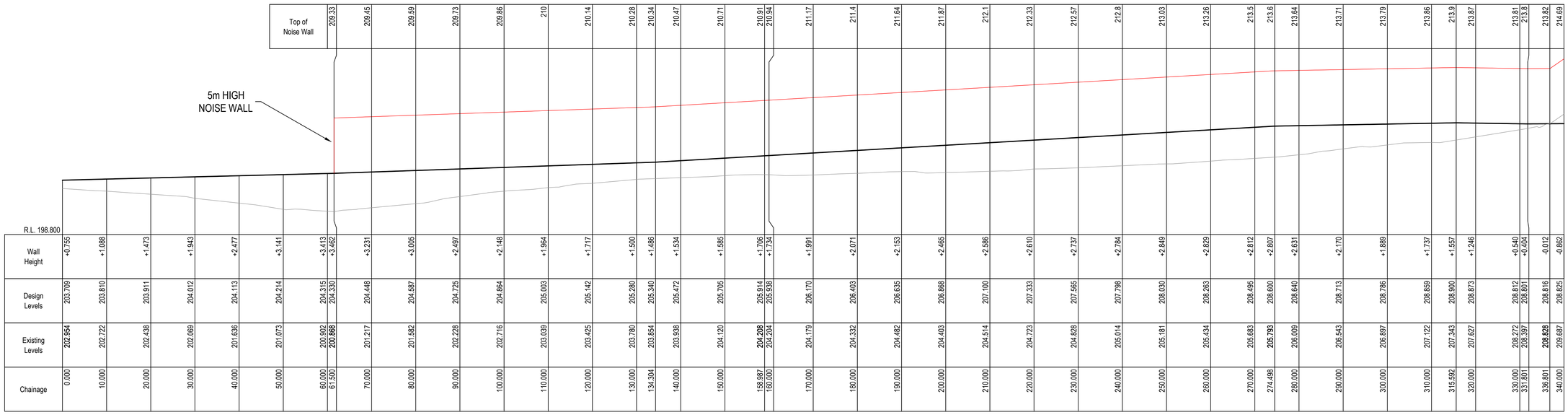
CLIENT: KARIONG SAND & SOIL SUPPLIES

JOB REF No: 197

DESIGNED: G. ABDULAHED
DRAWN: G. ABDULAHED
CHECKED: M. LIEBMAN

SHEET: 108
SHEET No: 3 OF 9
SCALE:
COORD. ORIGIN:

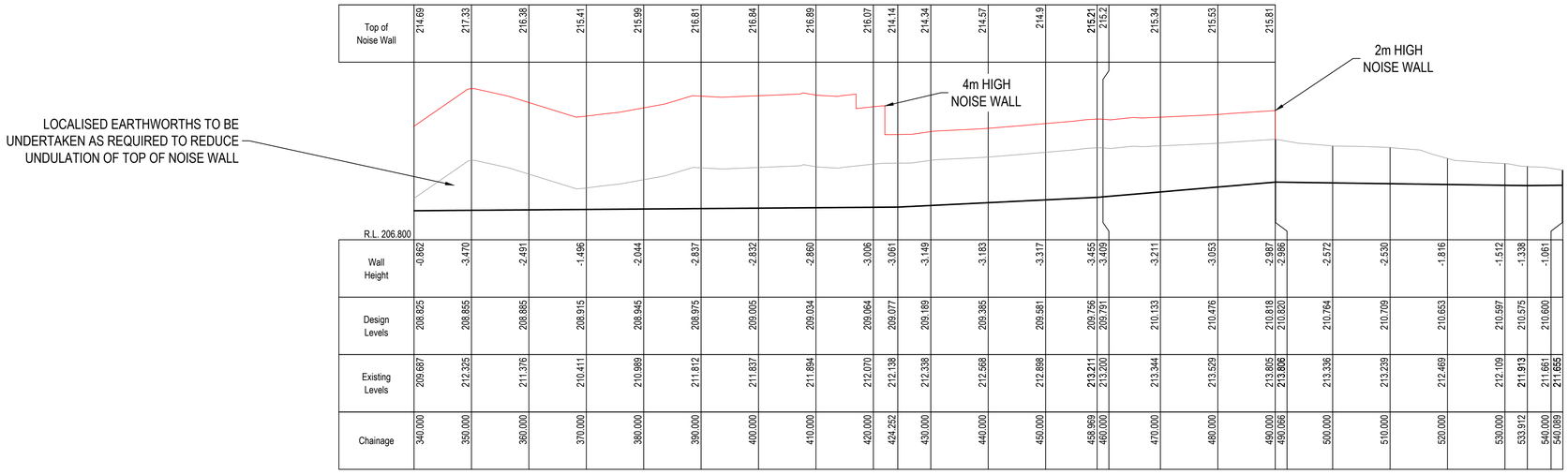
DATE: 16/12/2019
SIZE: A1
DATUM: AHD



Chainage	Wall Height	Design Levels	Existing Levels	Top of Noise Wall
0.000	+0.755	203.709	202.954	209.33
10.000	+1.088	203.810	202.722	209.45
20.000	+1.473	203.911	202.438	209.59
30.000	+1.943	204.012	202.069	209.73
40.000	+2.477	204.113	201.636	209.86
50.000	+3.141	204.214	201.073	210
60.000	+3.413	204.315	200.902	210.14
61.500	+3.462	204.330	200.868	210.28
70.000	+3.231	204.448	201.217	210.34
80.000	+3.005	204.587	201.582	210.47
90.000	+2.497	204.725	202.228	210.71
100.000	+2.148	204.864	202.716	210.91
110.000	+1.964	205.003	203.039	210.94
120.000	+1.717	205.142	203.425	211.17
130.000	+1.500	205.280	203.780	211.4
134.304	+1.486	205.340	203.854	211.64
140.000	+1.534	205.472	203.938	211.87
150.000	+1.585	205.705	204.120	212.1
158.987	+1.706	205.914	204.208	212.33
160.000	+1.734	205.938	204.204	212.57
170.000	+1.991	206.170	204.179	212.8
180.000	+2.071	206.403	204.332	213.03
190.000	+2.153	206.635	204.482	213.26
200.000	+2.465	206.868	204.403	213.5
210.000	+2.586	207.100	204.514	213.6
220.000	+2.610	207.333	204.723	213.64
230.000	+2.737	207.565	204.828	213.71
240.000	+2.784	207.798	205.014	213.79
250.000	+2.849	208.030	205.181	213.86
260.000	+2.829	208.263	205.434	213.9
270.000	+2.812	208.495	205.683	213.87
274.498	+2.807	208.600	205.793	213.81
280.000	+2.631	208.640	206.009	213.8
290.000	+2.170	208.713	206.543	213.82
300.000	+1.889	208.786	206.897	214.69
310.000	+1.737	208.859	207.122	
315.592	+1.557	208.900	207.343	
320.000	+1.246	208.873	207.627	
330.000	+0.540	208.812	208.272	
331.801	+0.404	208.801	208.397	
336.801	-0.012	208.816	208.828	
340.000	-0.862	208.825	209.687	

WALL02 ELEVATION (CH0.000 - CH340.000)

SCALES H 1:500
V 1:200



Chainage	Wall Height	Design Levels	Existing Levels	Top of Noise Wall
340.000	-0.862	208.825	209.687	214.69
350.000	-3.470	208.855	212.325	217.33
360.000	-2.491	208.885	211.376	216.38
370.000	-1.496	208.915	210.411	215.41
380.000	-2.044	208.945	210.989	215.99
390.000	-2.837	208.975	211.812	216.81
400.000	-2.832	209.005	211.837	216.84
410.000	-2.860	209.034	211.894	216.89
420.000	-3.006	209.064	212.070	216.07
424.252	-3.061	209.077	212.138	214.14
430.000	-3.149	209.189	212.338	214.34
440.000	-3.183	209.385	212.568	214.57
450.000	-3.317	209.581	212.898	214.9
458.969	-3.455	209.756	213.211	215.21
460.000	-3.409	209.791	213.200	215.2
470.000	-3.211	210.133	213.344	215.34
480.000	-3.053	210.476	213.529	215.53
490.000	-2.987	210.818	213.805	215.81
490.066	-2.986	210.820	213.806	
500.000	-2.572	210.764	213.336	
510.000	-2.530	210.709	213.239	
520.000	-1.816	210.653	212.469	
530.000	-1.512	210.597	212.109	
533.912	-1.338	210.575	211.913	
540.000	-1.061	210.600	211.661	
540.089			211.655	

WALL02 ELEVATION (CH340.000 - CH540.089)

SCALES H 1:500
V 1:200

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PROJECT: PROPOSED KARIONG SAND & SOIL SUPPLIES FACILITY - SSD8660
RETAINING WALL LONG SECTIONS - SHEET 2 OF 2

CLIENT: KARIONG SAND & SOIL SUPPLIES
JOB REF No: 197

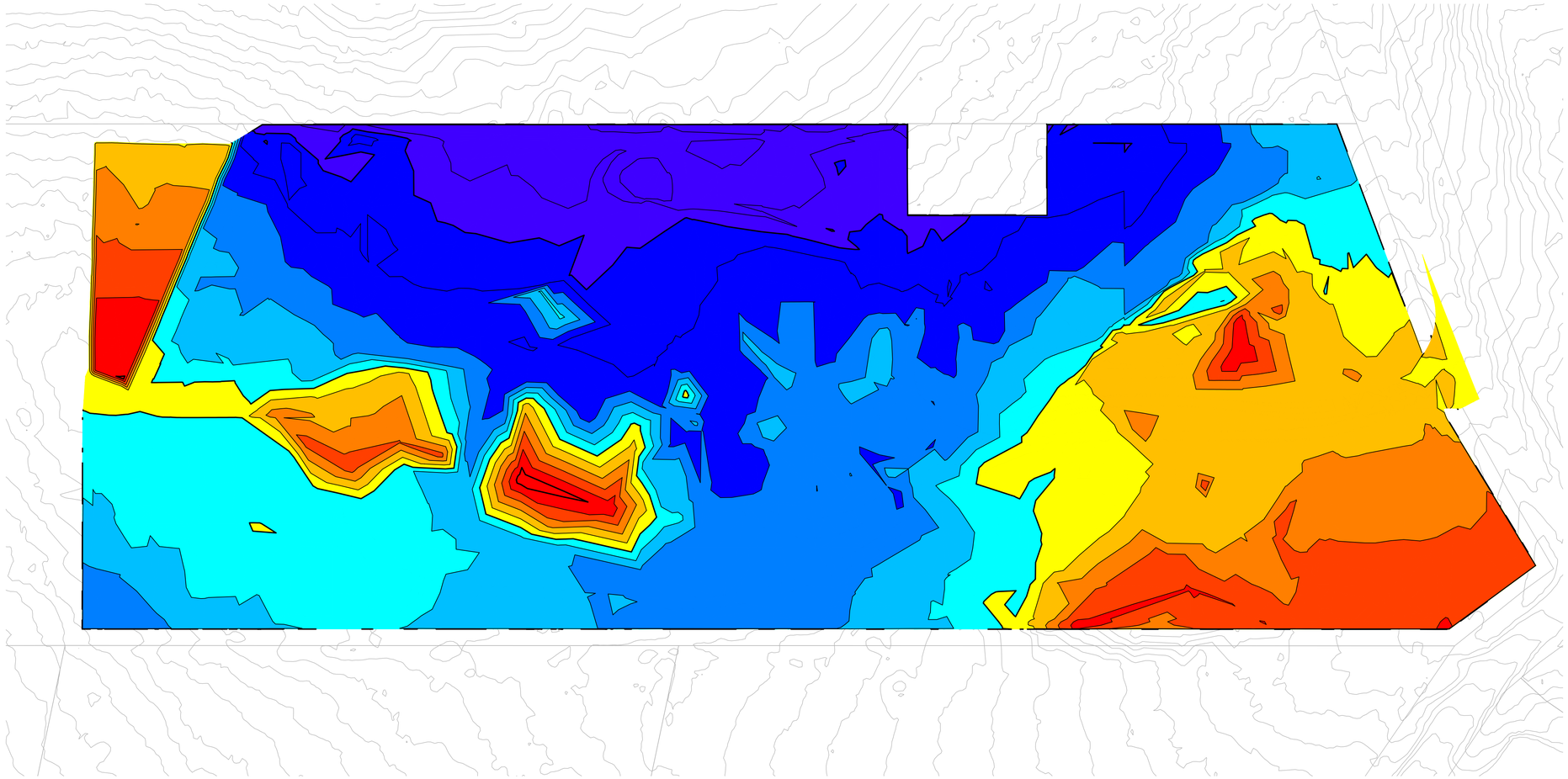
DESIGNED: G. ABDULAHED
DRAWN: G. ABDULAHED
CHECKED: M. LIEBMAN

SHEET: 109
SHEET No: 4 OF 9
SCALE:
COORD. ORIGIN:

DATE: 16/12/2019
SIZE: A1
DATUM: AHD

NOTES:

1. NET FILL VOLUME ABOVE EXISTING SURFACE = 107,200m³
2. NET CUT VOLUME BELOW EXISTING SURFACE = 35,900m³
3. BALANCE OF CUT : FILL = (107,200m³ - 35,900m³) = 71,300m³ FILL REQUIRED
4. PAVEMENT VOLUME = 25,200m^3
5. DRAINAGE LAYER VOLUME = 8,400m^3
6. CONCRETE AREA = 6,600m^2
7. ASPHALT AREA = 11,500m^2
8. UNSEALED PAVEMENT AREA = 30,500m^2
9. ALL ABOVE AREAS ARE EXCLUDING BUILDINGS



Levels Table			
Number	Minimum Level	Maximum Level	Colour
1	-6.000	-4.000	
2	-4.000	-3.000	
3	-3.000	-2.000	
4	-2.000	-1.000	
5	-1.000	0.000	
6	0.000	1.000	
7	1.000	2.000	
8	2.000	3.000	
9	3.000	5.000	
10	5.000	8.000	

PLAN
SCALE 1:750

DIAL BEFORE YOU DIG
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0 7.5 15 22.5 30 37.5 45 52.5 60
SCALE 1:750 (A1) SCALE 1:1500 (A3)

REV	DATE	DESCRIPTION	BY	CKD
2	20/01/2020	REVISED FOR DA	GA	ML
1	16/12/2019	FOR DA	GA	ML

Sustainability Workshop
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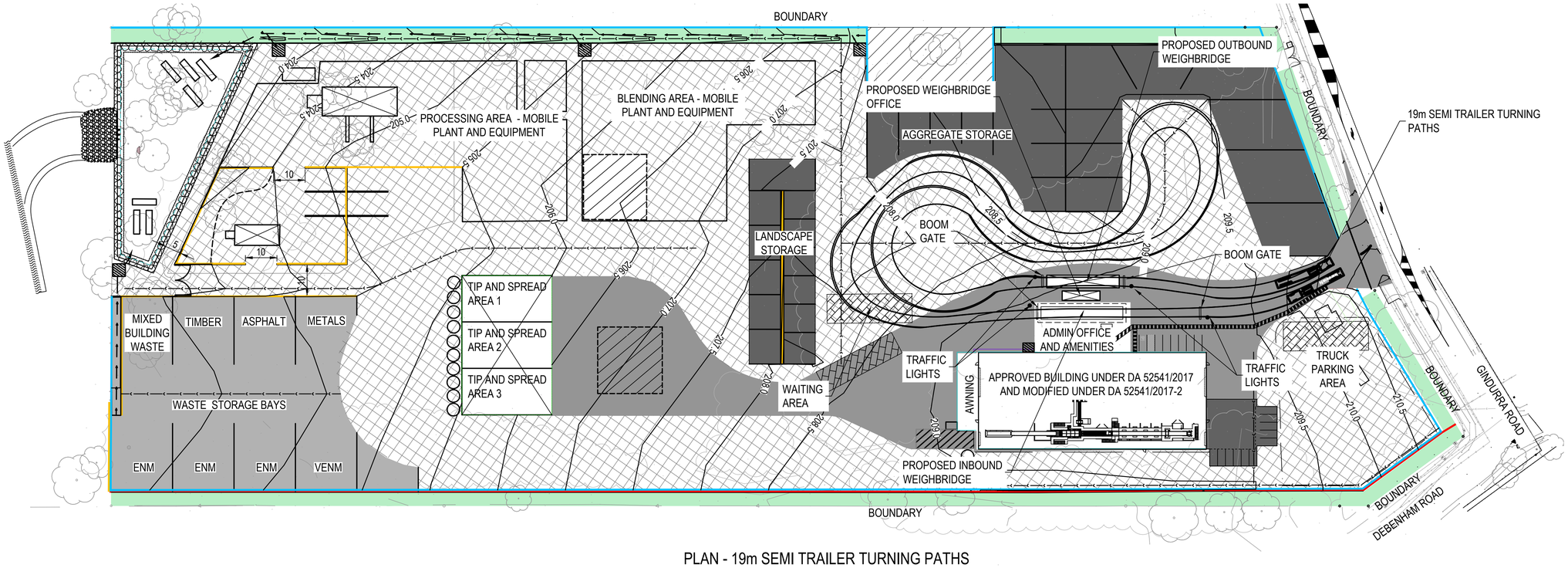
M: 0468 423 299
4 Park Ave, Blackheath, NSW
www.sustainabilityworkshop.com

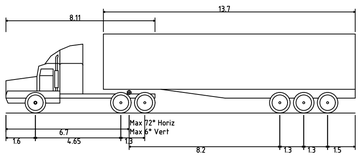
PROJECT: PROPOSED KARIONG SAND & SOIL SUPPLIES FACILITY - SSD8660
BULK EARTHWORKS PLAN

CLIENT: KARIONG SAND & SOIL SUPPLIES
JOB REF No: 197

DESIGNED: G. ABDULAHED
DRAWN: G. ABDULAHED
CHECKED: M. LIEBMAN

SHEET: 110
SHEET No: 5 OF 9
SCALE: 1:750
DATE: 16/12/2019
SIZE: A1
DATUM: AHD
COORD. ORIGIN:





Prime mover and semi-trailer (19 m)

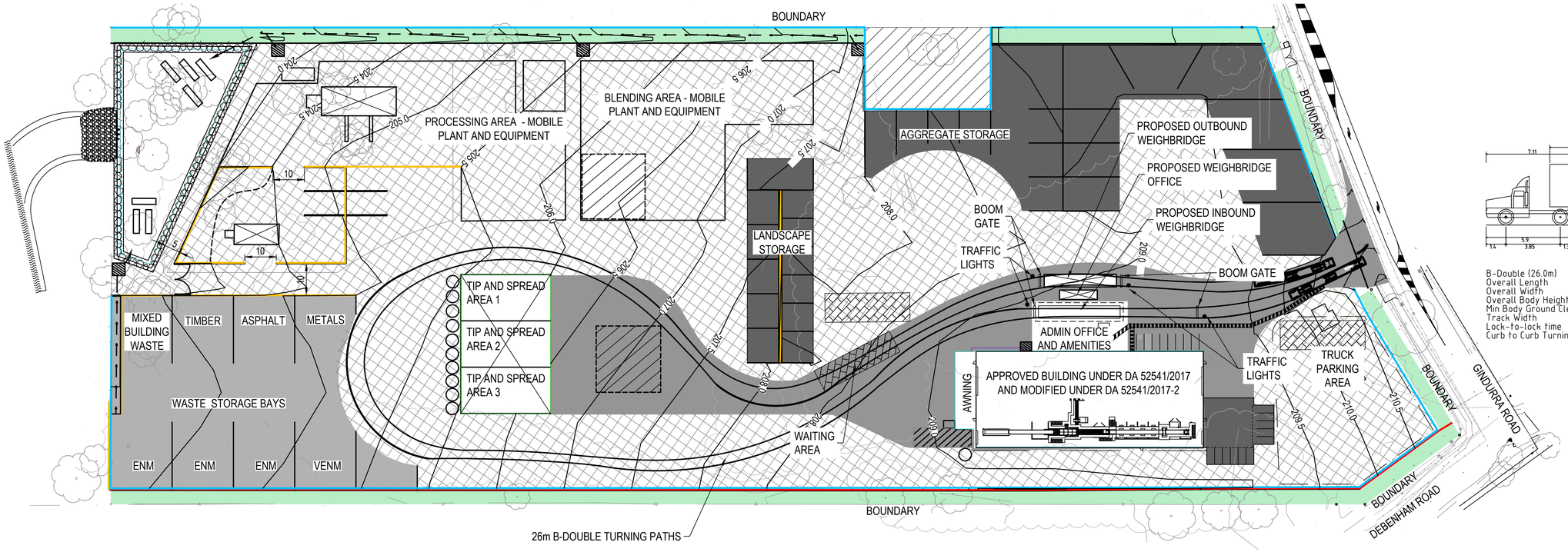
Overall Length	19.000m
Overall Width	2.500m
Overall Body Height	4.300m
Min Body Ground Clearance	0.540m
Track Width	2.500m
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	12.500m

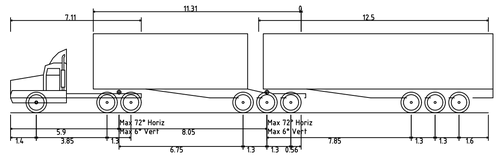
LEGEND

89.5 — 99.0 DESIGN CONTOURS (0.5m INTERVALS)

PLAN - 19m SEMI TRAILER TURNING PATHS

SCALE 1:750





B-Double (26.0m)

Overall Length	26.000m
Overall Width	2.500m
Overall Body Height	4.300m
Min Body Ground Clearance	0.540m
Track Width	2.500m
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	15.000m

PLAN - 26m B-DOUBLE TURNING PATHS

SCALE 1:750

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0 7.5 15 22.5 30 37.5 45 52.5 60
SCALE 1:750 (A1) SCALE 1:1500 (A3)

REV	DATE	DESCRIPTION	BY	CKD
2	20/01/2020	REVISED FOR DA	GA	ML
1	16/12/2019	FOR DA	GA	ML

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4 Park Ave, Blackheath, NSW
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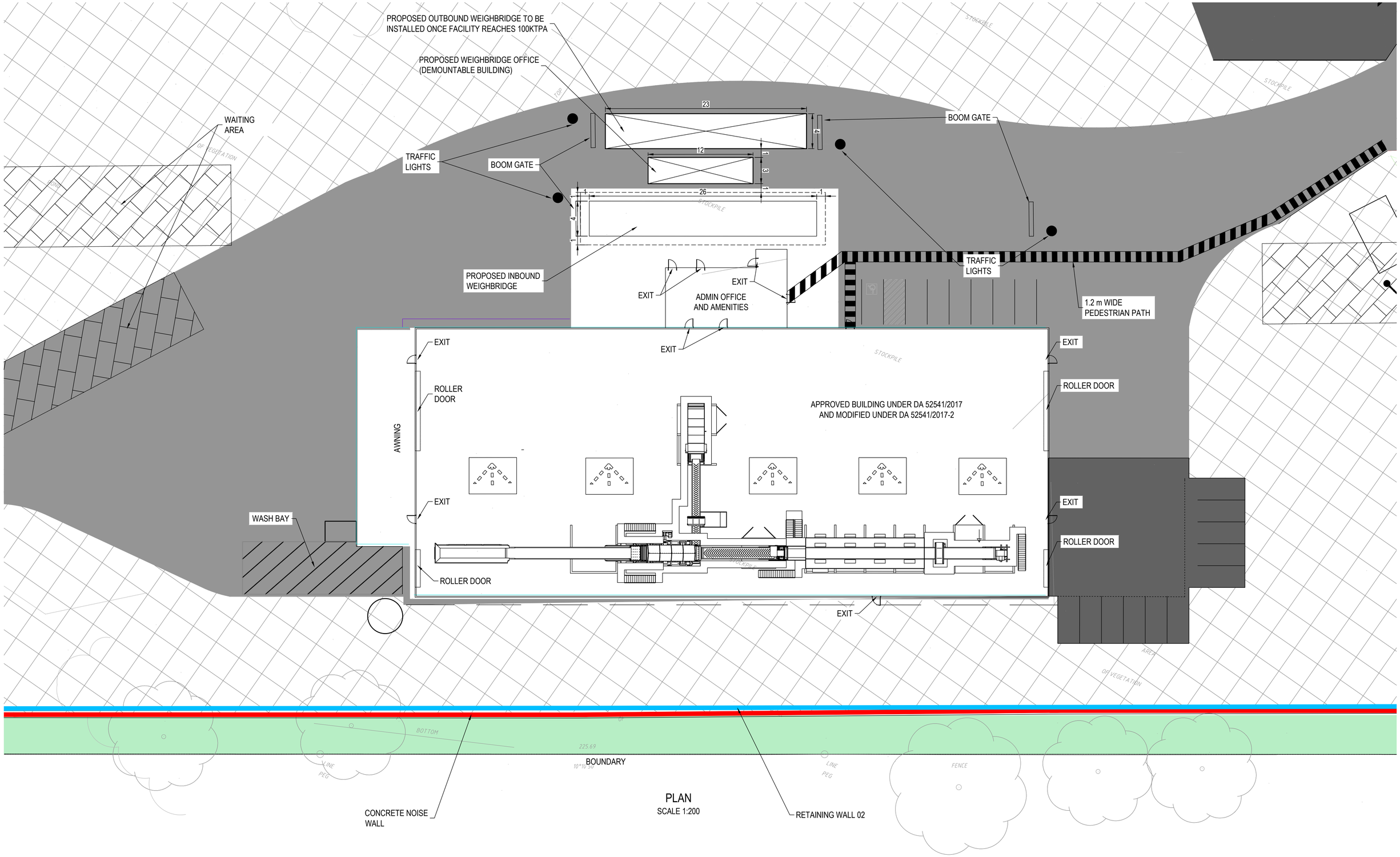
PROJECT: PROPOSED KARIONG SAND & SOIL SUPPLIES FACILITY - SSD8660
TURNING MOVEMENTS PLAN

CLIENT: KARIONG SAND & SOIL SUPPLIES
JOB REF No: 197

DESIGNED: G. ABDULAHED
DRAWN: G. ABDULAHED
CHECKED: M. LIEBMAN

SHEET: 111
SHEET No: 6 OF 9
SCALE: 1:750
DATE: 16/12/2019
SIZE: A1
DATUM: AHD
COORD. ORIGIN:



PLAN
SCALE 1:200

DIAL BEFORE YOU DIG
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0 2.0 4.0 6.0 8.0 10.0 12.0 14.0 16.0
SCALE 1:200 (A1) SCALE 1:400 (A3)

REV	DATE	DESCRIPTION	BY	CKD
2	20/01/2020	REVISED FOR DA	GA	ML
1	16/12/2019	FOR DA	GA	ML

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www.sustainabilityworkshop.com

PROJECT: PROPOSED KARIONG SAND & SOIL SUPPLIES FACILITY - SSD8660
DETAILED SECONDARY PROCESSING BUILDING PLAN

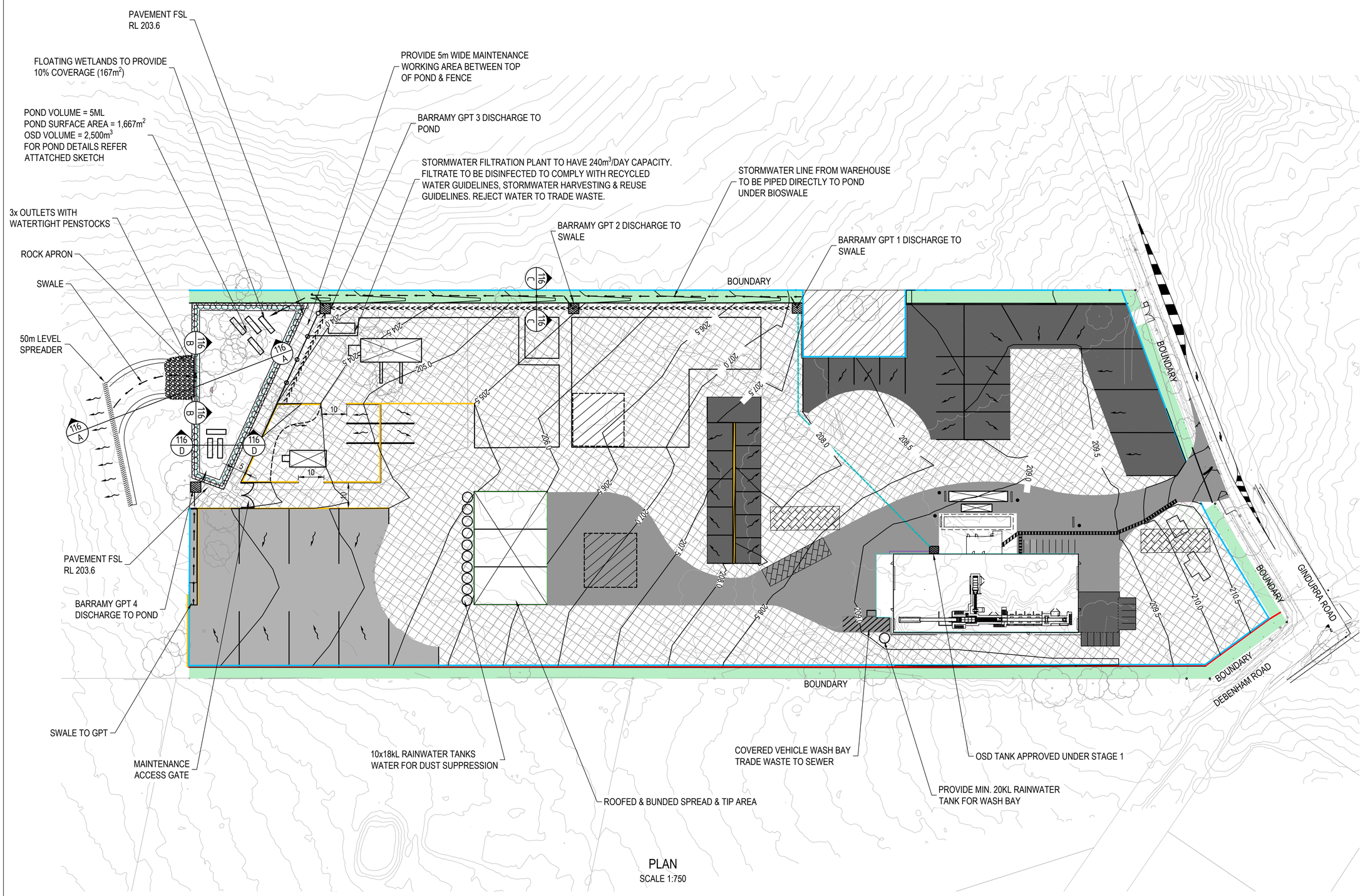
CLIENT: KARIONG SAND & SOIL SUPPLIES
JOB REF No: 197

DESIGNED: G. ABDULAHED
DRAWN: G. ABDULAHED
CHECKED: M. LIEBMAN

SHEET: 113
SHEET No: 7 OF 9
SCALE: 1:200
COORD. ORIGIN:
DATE: 16/12/2019
SIZE: A1
DATUM: AHD

NOTES:

1. ALL UNSEALED AREAS TO HAVE EITHER HDPE OR GCL LINER BELOW TO PROTECT GROUNDWATER



PLAN
SCALE 1:750

LEGEND

- DISH DRAIN
- 2m HIGH CHAIN WIRE FENCE WITH FAUNA FRIENDLY "FLOPPY TOP" AROUND POND
- DIRECTION OF FALL
- DESIGN CONTOURS (0.5m INTERVALS)
- RCP AT 1% MIN. GRADE
- BARRAMY GROSS POLUTANT TRAP (4 OFF)

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0 7.5 15 22.5 30 37.5 45 52.5 60
SCALE 1:750 (A1) SCALE 1:1500 (A3)

REV	DATE	DESCRIPTION	BY	CKD
2	20/01/2020	REVISED FOR DA	GA	ML
1	16/12/2019	FOR DA	GA	ML

Sustainability Workshop
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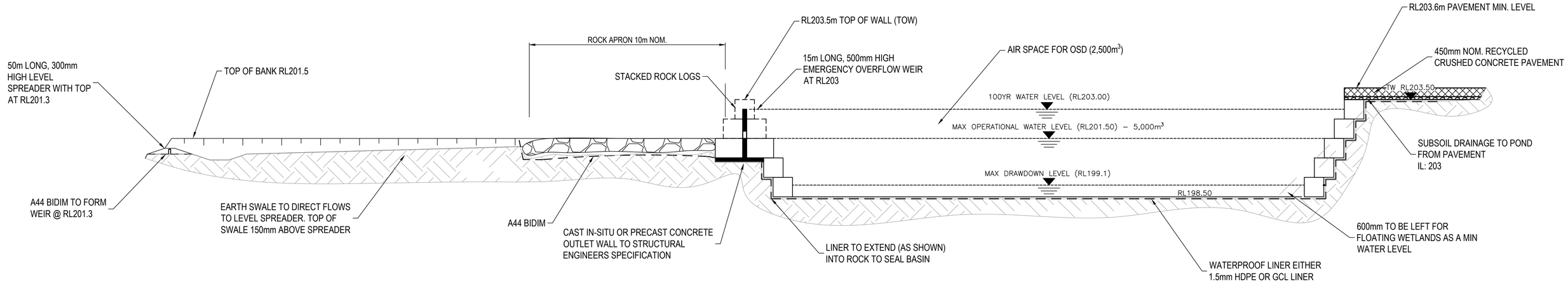
M: 0468 423 299
4 Park Ave, Blackheath, NSW
www.sustainabilityworkshop.com

PROJECT: PROPOSED KARIONG SAND & SOIL SUPPLIES FACILITY - SSD8660
STORMWATER PLAN

CLIENT: KARIONG SAND & SOIL SUPPLIES
JOB REF No: 197

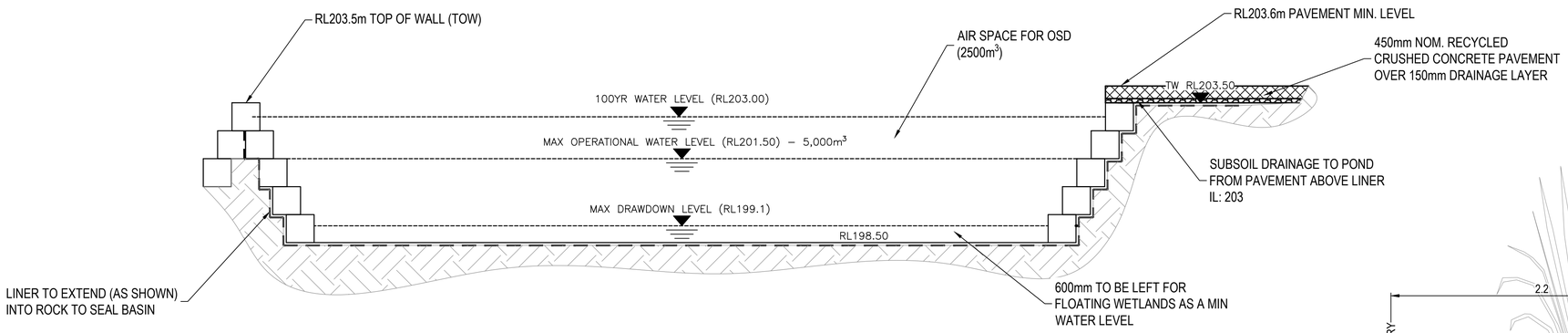
DESIGNED: G. ABDULAHED
DRAWN: G. ABDULAHED
CHECKED: M. LIEBMAN

SHEET: 115
SHEET No: 8 OF 9
SCALE: 1:750
COORD. ORIGIN:
DATE: 16/12/2019
SIZE: A1
DATUM: AHD



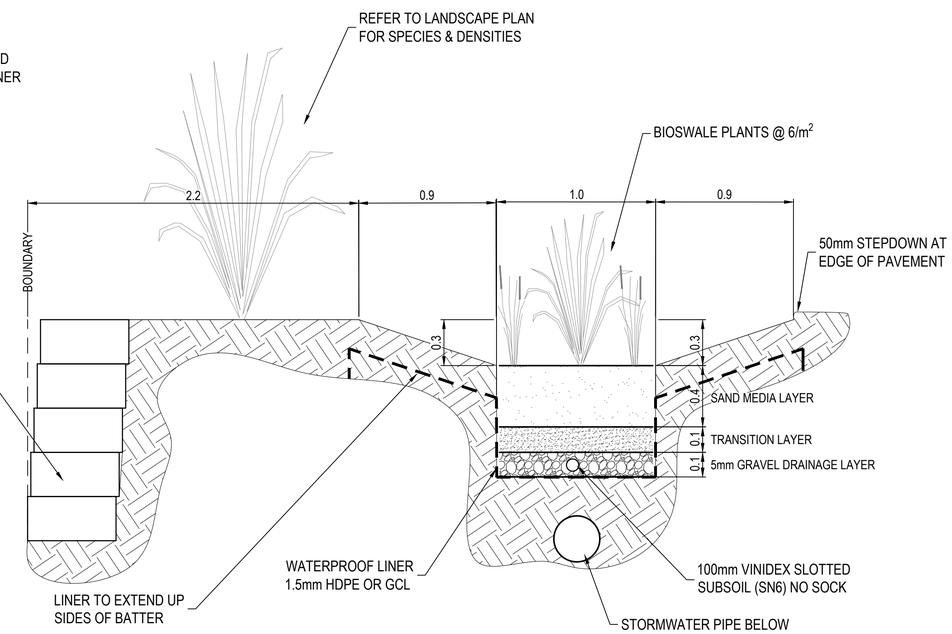
CROSS SECTION A-A THROUGH POND & WEIR

SCALE: NTS



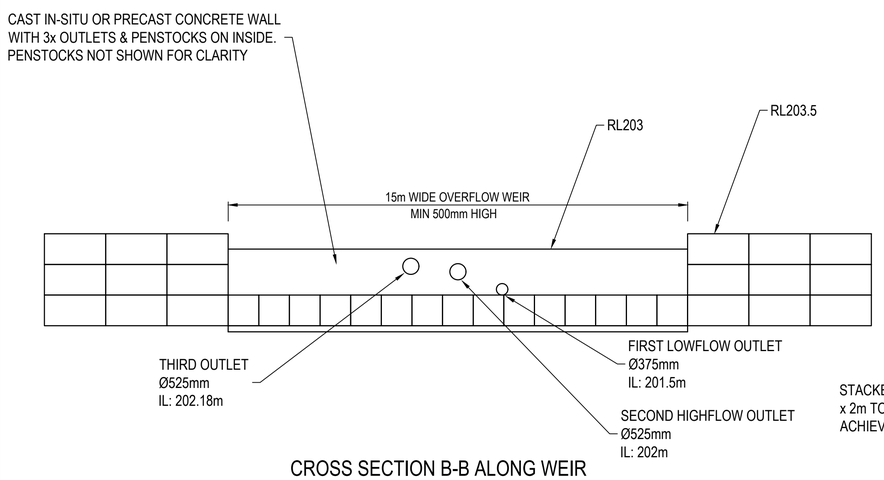
CROSS SECTION D-D THROUGH POND (NOT AT WEIR)

SCALE: NTS



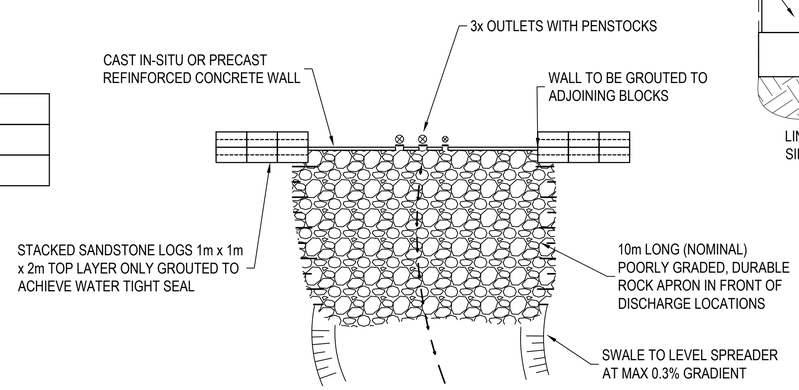
CROSS SECTION C-C THROUGH BIOSWALE

SCALE: NTS



CROSS SECTION B-B ALONG WEIR

SCALE: NTS



WEIR PLAN DETAIL

SCALE: NTS

NOTES:

1. WATERTIGHT PENSTOCKS TO BE FITTED TO EACH OUTLET
2. REFER TO OUTLET PLAN VIEW FOR MORE INFORMATION

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REV	DATE	DESCRIPTION	BY	CKD
2	20/01/2020	REVISED FOR DA	GA	ML
1	16/12/2019	FOR DA	GA	ML

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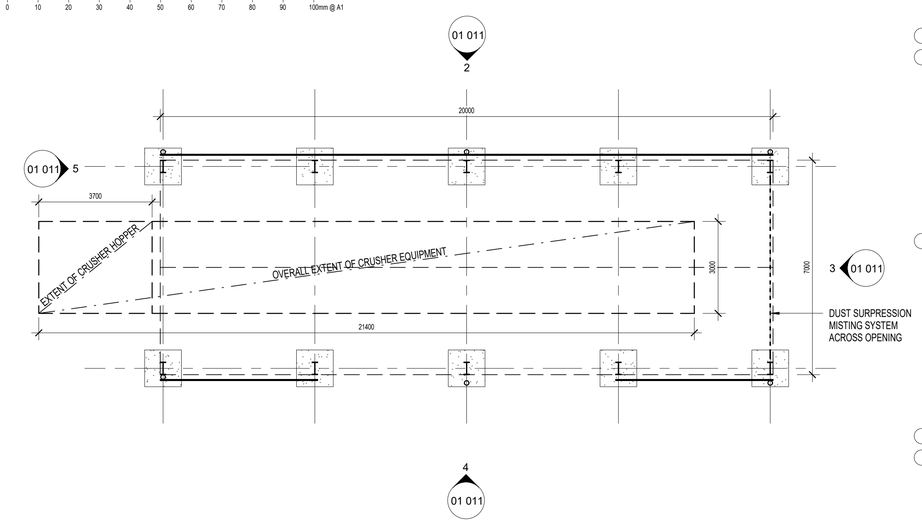
4 Park Ave, Blackheath, NSW
www.sustainabilityworkshop.com

PROJECT: PROPOSED KARIONG SAND & SOIL SUPPLIES FACILITY - SSD8660
STORMWATER SECTIONS & DETAILS

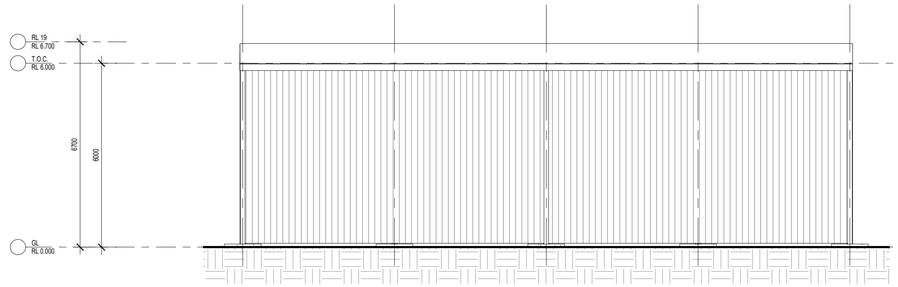
CLIENT: KARIONG SAND & SOIL SUPPLIES
JOB REF No: 197

DESIGNED: G. ABDULAHED
DRAWN: G. ABDULAHED
CHECKED: M. LIEBMAN

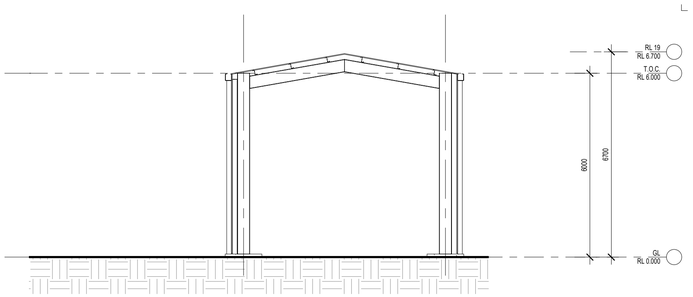
SHEET: 116
SHEET No: 9 OF 9
SCALE:
COORD. ORIGIN:
DATE: 16/12/2019
SIZE: A1
DATUM: AHD



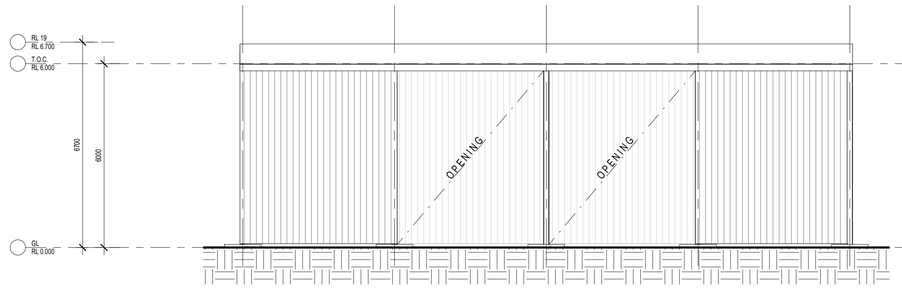
1 CRUSHER OPERATION BUILDING - PLAN
01 011 SCALE 1 : 100



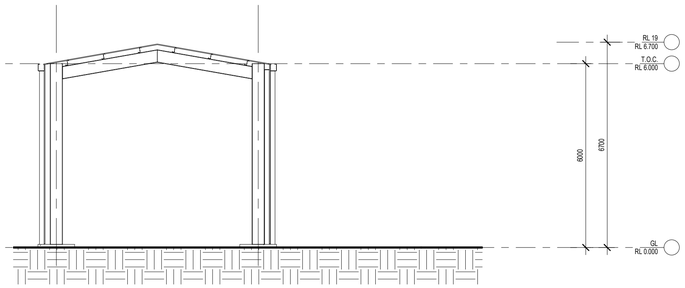
2 CRUSHER - WEST ELEVATION
01 011 SCALE 1 : 100



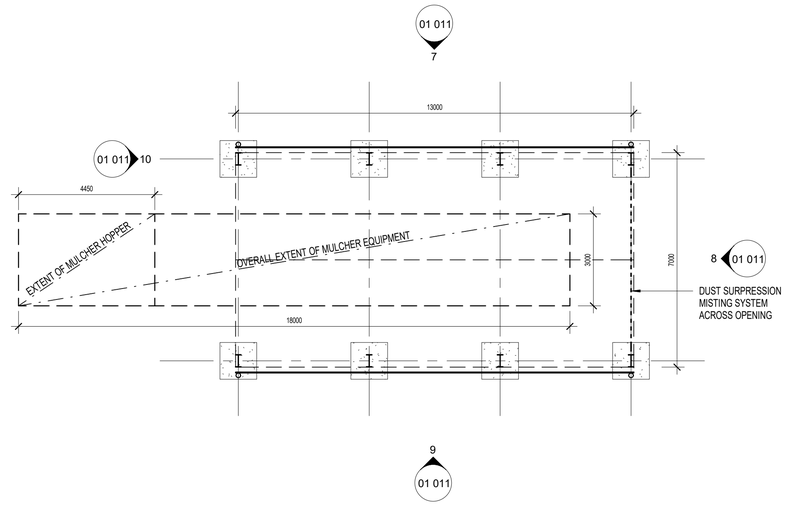
3 CRUSHER - NORTH ELEVATION
01 011 SCALE 1 : 100



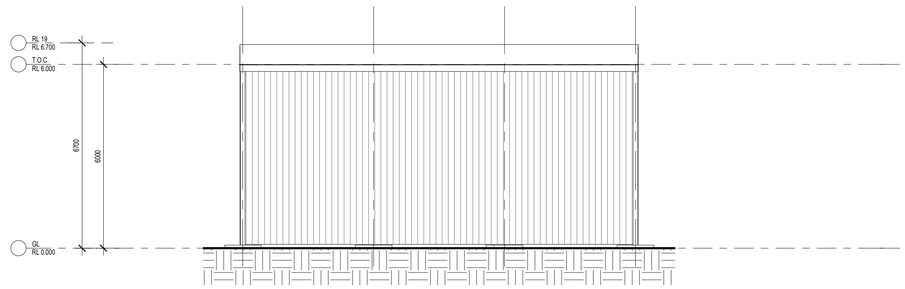
4 CRUSHER - EAST ELEVATION
01 011 SCALE 1 : 100



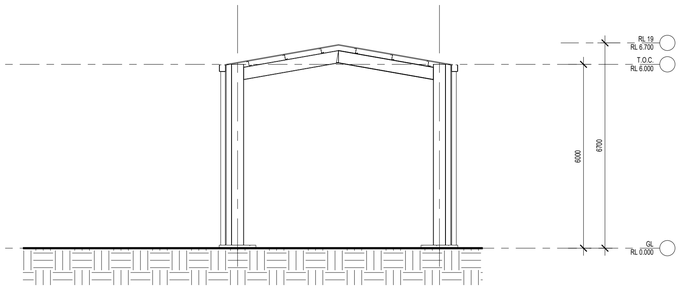
5 CRUSHER - SOUTH ELEVATION
01 011 SCALE 1 : 100



6 MULCHER OPERATION BUILDING - PLAN
01 011 SCALE 1 : 100



7 MULCHER - WEST ELEVATION
01 011 SCALE 1 : 100



8 MULCHER - NORTH ELEVATION
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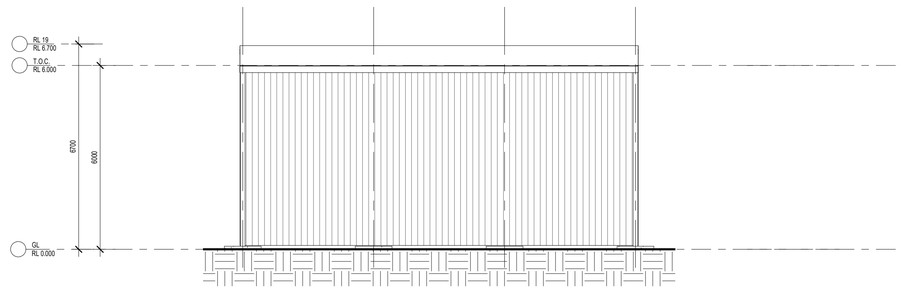
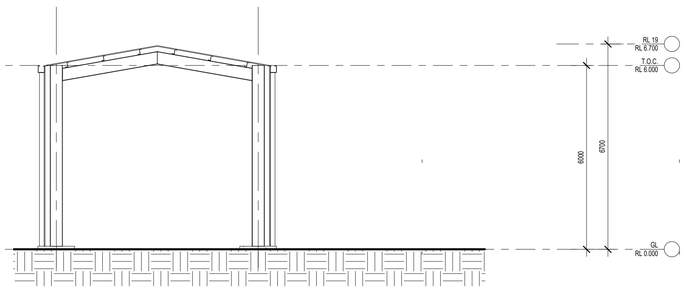
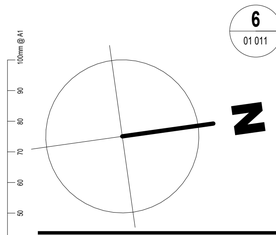


9 MULCHER - EAST ELEVATION
01 011 SCALE 1 : 100



10 MULCHER - SOUTH ELEVATION
01 011 SCALE 1 : 100



STATE SIGNIFICANT DEVELOPMENT

REV	DESCRIPTION	BY	DATE
3	GENERAL REVISIONS	GM	14.05.19
2	SHED WALLS, EQUIPMENT DETAILS, STOCKPILE AND OPERATION DIRECTION ADDED.	GM	06.05.19
1	INITIAL ISSUE	GM	30.04.19

REVISION SCHEDULE

RAYBAL PTY LTD CONSTRUCTIONS
INDUSTRIAL COMMERCIAL ARCHITECTURAL DOMESTIC
ABN 67 158 198 817 BUILDERS LICENCE No. 249055C
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WEB: www.macari.com.au

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PROJECT
PROPOSED INDUSTRIAL DEVELOPMENT

CLIENT
RJ & SM DAVIS

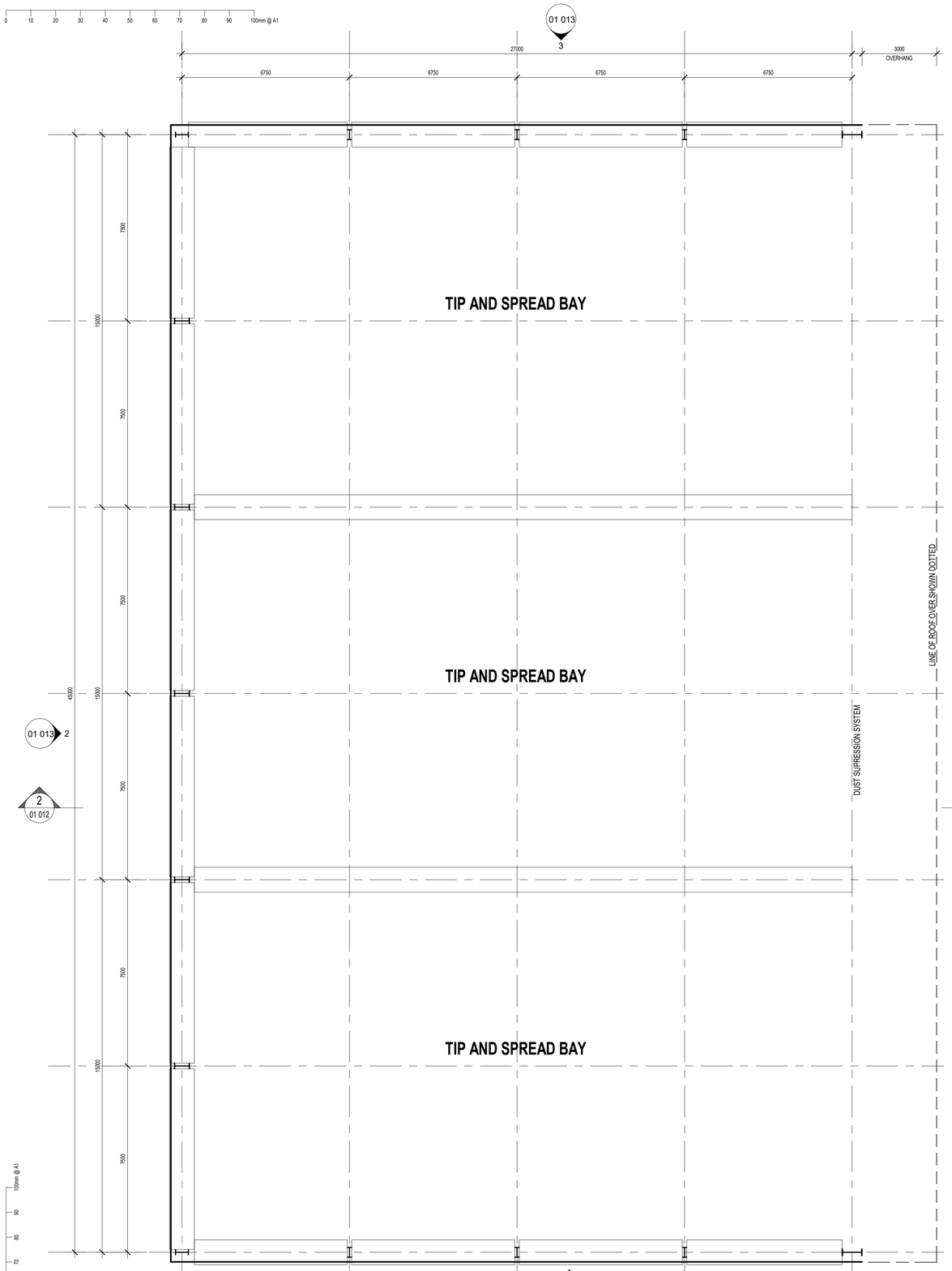
ADDRESS
90 GINDURRA ROAD SOMERSBY - LOT 4, DP227279

SHEET NAME
CRUSHER AND MULCHER OPERATION BUILDINGS PLANS AND ELEVATIONS

General notes: Verify all dimensions before commencing work. Do not scale this drawing, use written dimensions shown only. Report any discrepancies to the author or to the builder prior to commencement of work. This drawing has not been checked or approved unless signed. All work is to be carried out in a tradesman like manner and in accordance with the requirement of the relevant local authorities, Australian Standards and Building Code of Australia. Copyright: This drawing and all associated remain the property of Raybal Constructions P/L and cannot be used or copied without the written approval from Raybal Construction P/L.

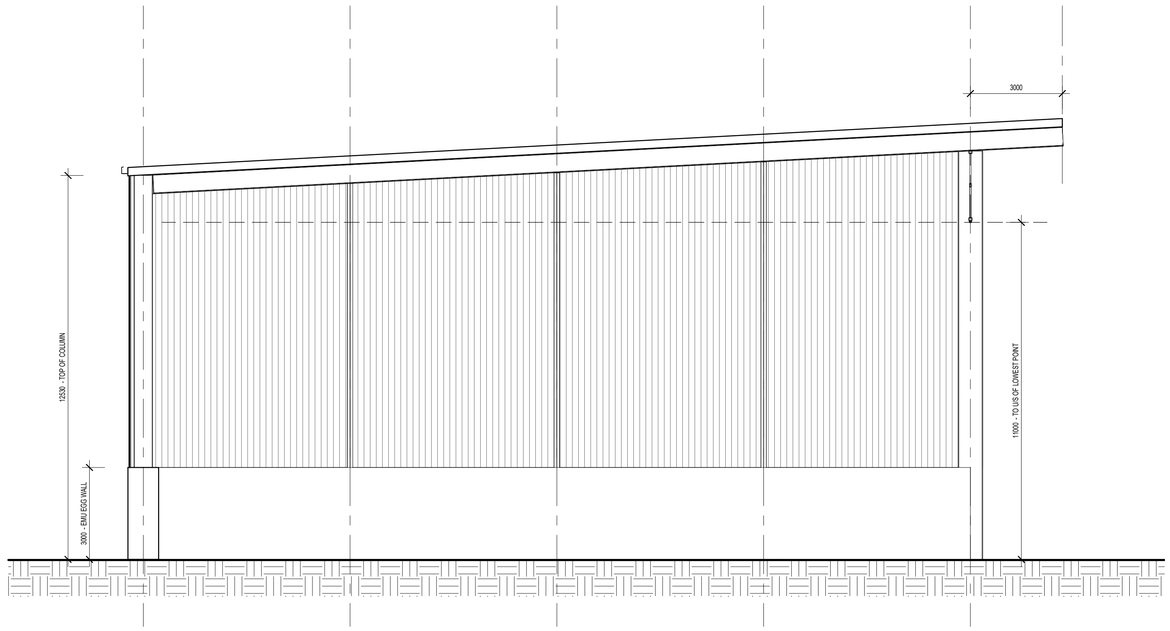
DRAWN: Author SCALE: 1 : 100 ORIGINAL SHEET SIZE:

PROJECT NO.	PHASE	DISCIPLINE	BLDG No.	SHEET No.	REVISION
17017	SSD	A	01	011	3



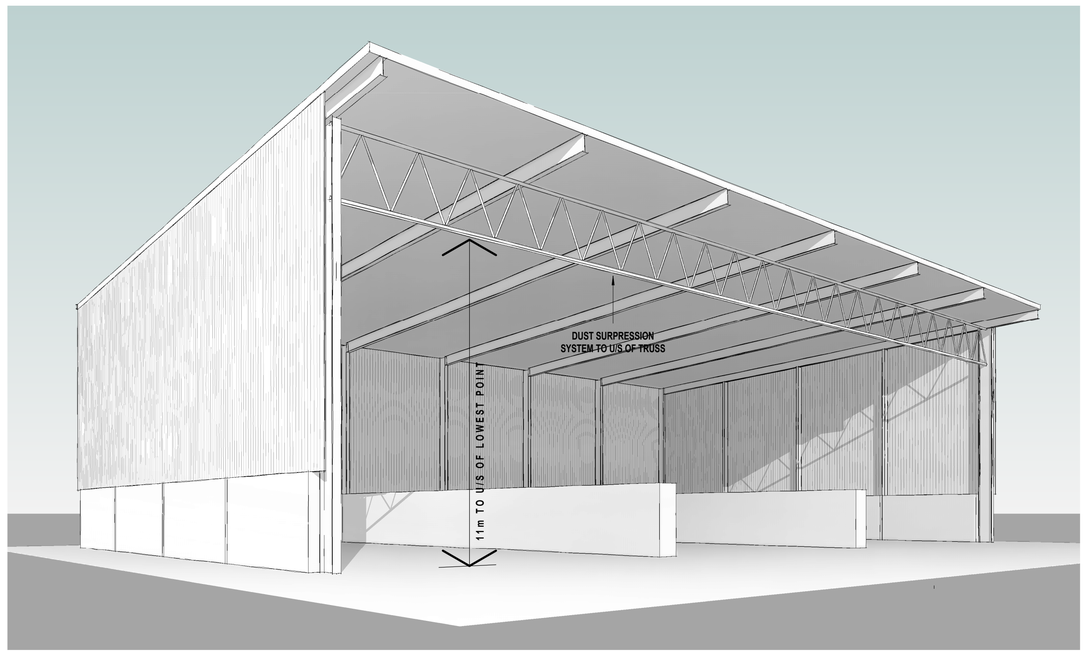
1 TIP AND SPREAD BAY - PLAN

01 011 SCALE 1 : 100



2 SECTION AA

01 011 SCALE 1 : 100



STATE SIGNIFICANT DEVELOPMENT

REV	DESCRIPTION	BY	DATE
6	TIP AND SPREAD - ISSUED FOR INFORMATION	GM	08.07.2019
5	REVISED TIP AND SPREAD DRAWINGS	GM	02.07.2019
4	INITIAL ISSUE OF TIP AND SPREAD DRAWING FOR CLIENT REVIEW	GM	10.06.2019

REVISION SCHEDULE

RAYBAL PTY LTD
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PROJECT
PROPOSED INDUSTRIAL DEVELOPMENT

CLIENT
RJ & SM DAVIS

ADDRESS
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SHEET NAME
TIP AND SPREAD BAYS - PLAN AND SECTION

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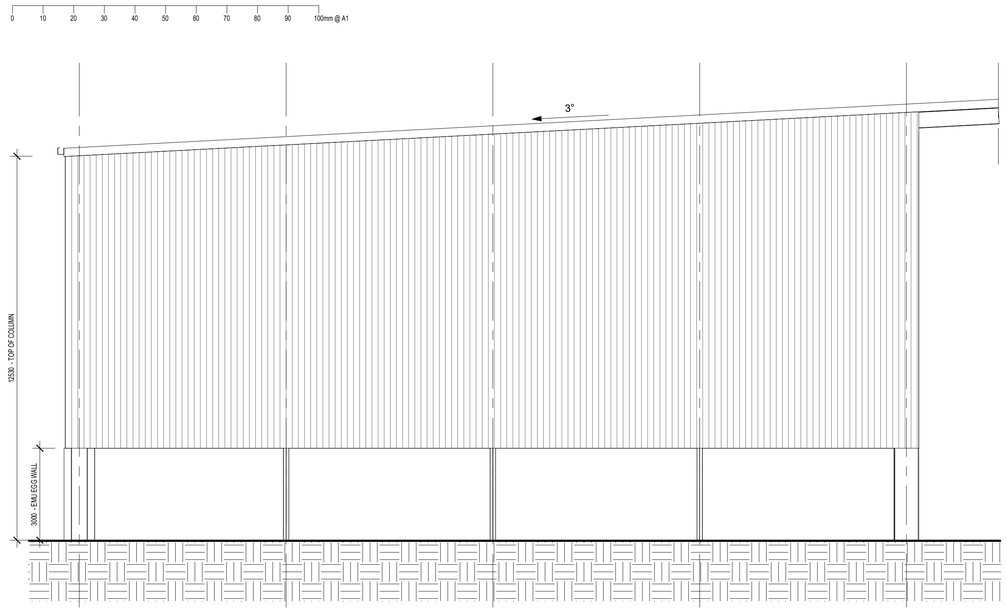
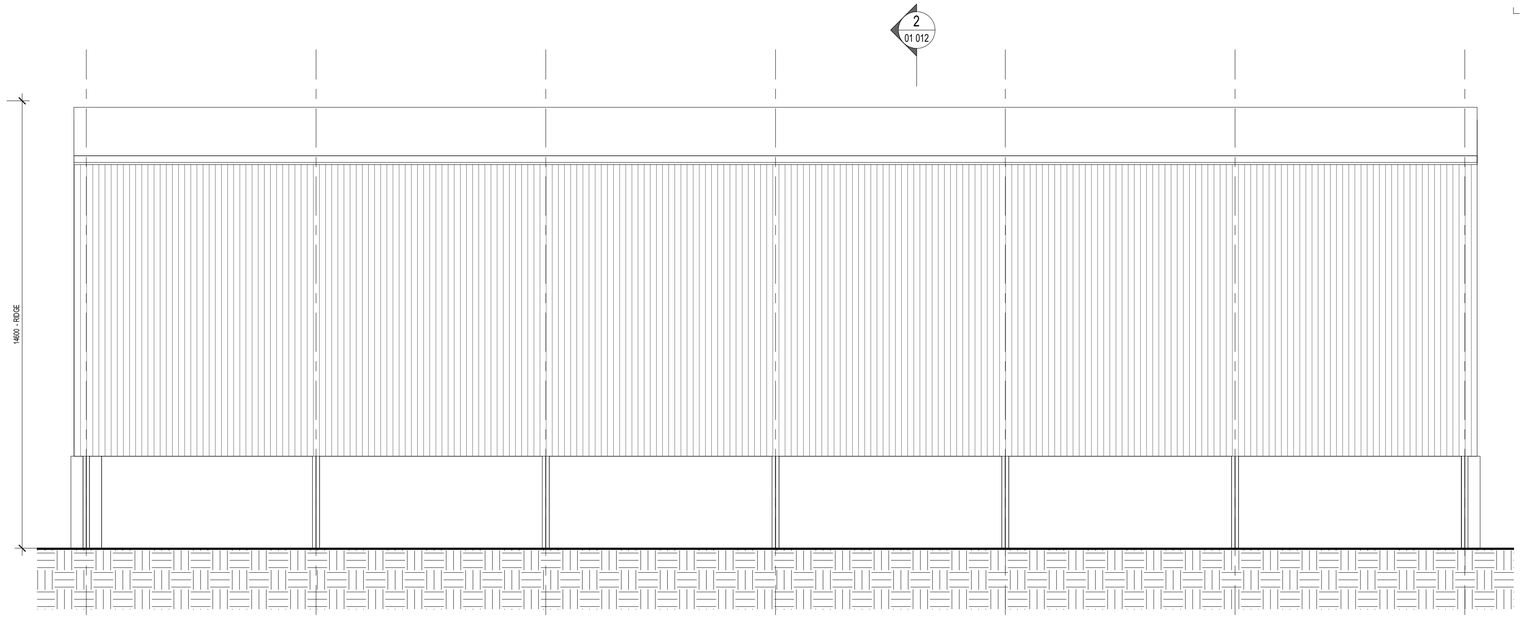
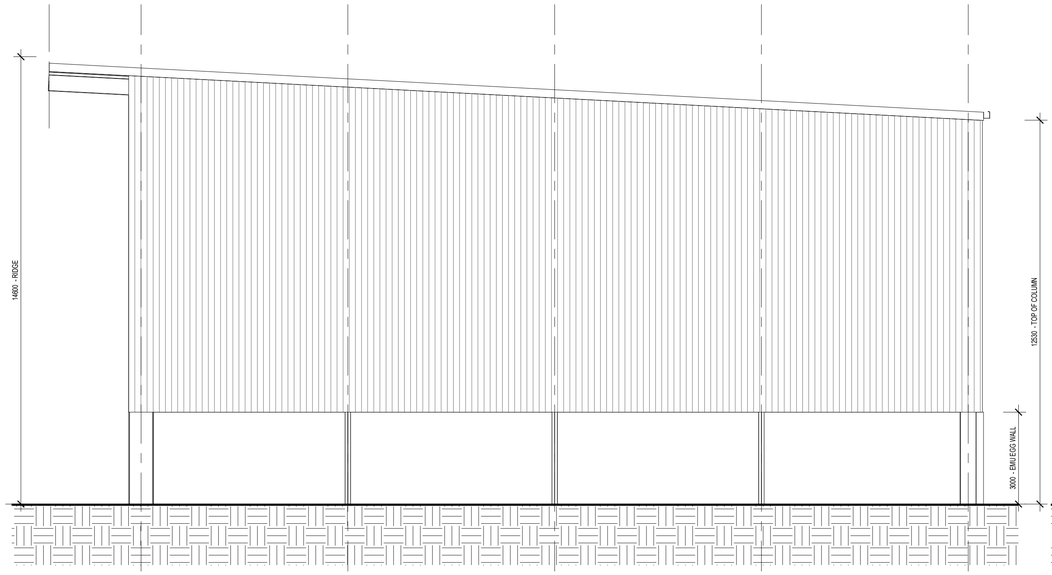
DRAWN: GM	SCALE: 1 : 100			ORIGINAL SHEET SIZE: A1
PROJECT NO.	PHASE	DISCIPLINE	BLDG No.	SHEET No.	REVISION
17017	SSD	A	01	012	6



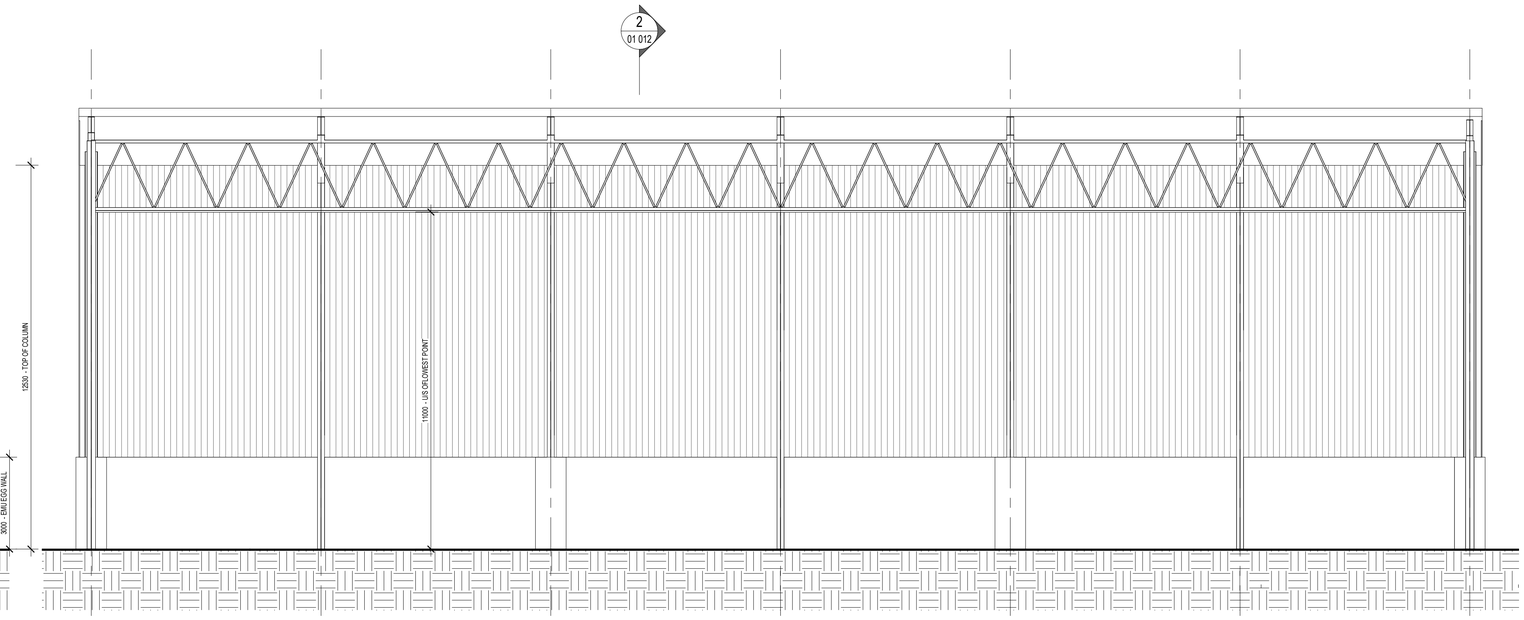
1 01 011 **TIP AND SPREAD BAY - EAST ELEVATION**
SCALE 1 : 100



2 01 011 **TIP AND SPREAD - SOUTH ELEVATION**
SCALE 1 : 100



3 01 011 **TIP AND SPREAD - WEST ELEVATION**
SCALE 1 : 100



4 01 011 **TIP AND SPREAD - NORTH ELEVATION**
SCALE 1 : 100

STATE SIGNIFICANT DEVELOPMENT

REV	DESCRIPTION	BY	DATE
6	TIP AND SPREAD - ISSUED FOR INFORMATION	GM	08.07.2019

REVISION SCHEDULE

RAYBAL PTY LTD CONSTRUCTIONS
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PROJECT
PROPOSED INDUSTRIAL DEVELOPMENT

CLIENT
RJ & SM DAVIS

ADDRESS
90 GINDURRA ROAD SOMERSBY - LOT 4, DP227279

SHEET NAME
TIP AND SPREAD BAYS - ELEVATIONS

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DRAWN: Author SCALE: 1 : 100 ORIGINAL SHEET SIZE:

PROJECT NO.	PHASE	DISCIPLINE	BLDG No.	SHEET No.	REVISION
17017	SSD	A	01	013	6