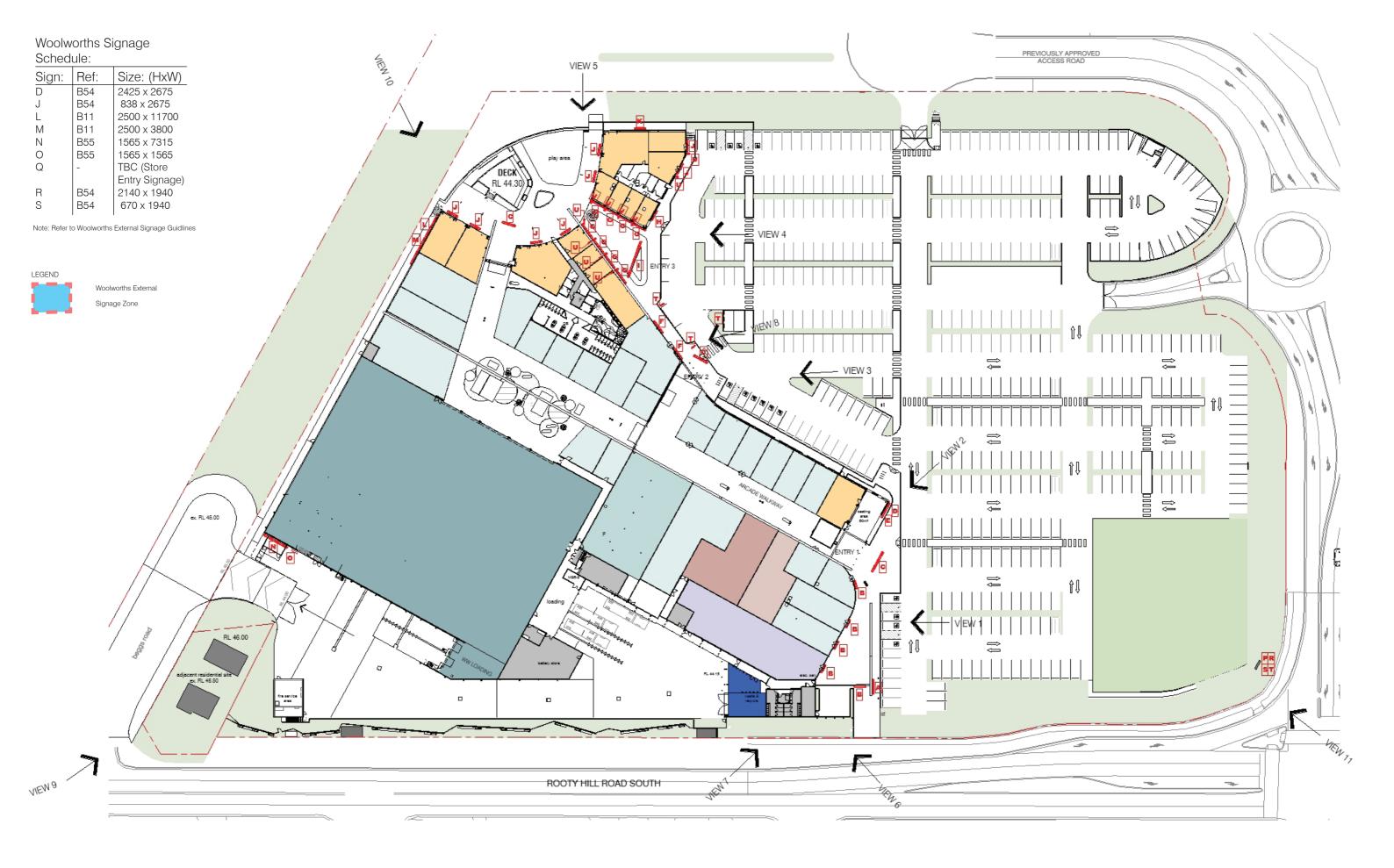


EASTERN CREEK QUARTER ROOTY HILL . NSW 2766

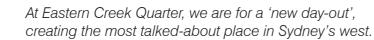
SIGNAGE ZONES

















SIGN A: illuminated 3d lettering for centre signage "eastern creek quarter" 3.12m wide x 2.44m high refer to strategy concept_V1

SIGN B tenancy signage illuminated by tenant to folded screens + above shopfronts 2.5m wide x 0.7m high

SIGN C: illuminated 3d lettering for centre signage "eastern creek quarter" 5.7 wide TBC x 0.41m TBC mounted to awning fascia

illuminated sigange as per woolworths brief ref:B54 2.425m wide x 2.675m high

SIGN E:

illuminated sigange as per woolworths brief ref:B54 2.675m wide x 0.838m high



EASTERN CREEK QUARTER

At Eastern Creek Quarter, we are for a 'new day-out', creating the most talked-about place in Sydney's west. PROJECT 2015-088

DRAWING NO. SK28.3 DATE 20.04.2018 PL/DD

PER 1800 422 533 i 2 C . C O M .

SIGN C: illuminated 3d lettering for centre signage "eastern creek quarter" 5.7 wide TBC x 0.41m TBC mounted to awning fascia

no signage on feature wall



VIEW 2

illuminated sigange as per woolworths brief ref:B54 2.425m wide x 2.675m high

SIGN E:

illuminated sigange as per woolworths brief ref:B54 2.675m wide x 0.838m high







illuminated 3d lettering for centre signage 'eastern creek quarter' 5.7m wide tbc, 0.41 high tbc mounted to awning fascia

Woolworths Pick Up zone pylon + marked parking zones (x4 parking spaces)

illuminated by tenant tenancy blake signage 0.3m wide, 0.3m high, 0.6m in depth off wall refer to studio y documentation





At Eastern Creek Quarter, we are for a 'new day-out', creating the most talked-about place in Sydney's west. PROJECT 2015-088

DRAWING NO. SK28.5

PER

DATE 20.04.2018 PL/DD

BLADE SIGN U: illuminated by tenant tenancy blade signage 0.3m wide, 0.3m high, 0.6m in depth off wall refer to studio y documentation





At Eastern Creek Quarter, we are for a 'new day-out', creating the most talked-about place in Sydney's west. PROJECT 2015-088

DRAWING NO. SK28.6 DATE 20.04.2018 PL/DD

MEL SYD PER

SIGN C: illuminated 3d lettering for centre signage 'eastern creek quarter' 5.7m wide x 0.41m high mounted to awning fascia





EASTERN CREEK QUARTER

SIGN J: illuminated by tenant tenancy signage 1.8m wide x 0.7 high

> PROJECT 2015-088

DRAWING NO. **SK28.7**

MEL SYD PER



VIEW 6

SIGN B: illuminated by tenant tenancy signage 2.5m wide x 0.7 high



VIEW 7





SIGN T:
Woolworths Pick Up
zone pylon + marked parking zones
(x4 parking spaces)

SIGN N: illuminated signage as per woolworths brief ref: B55 7.315m wide x 1.565m high SIGN T: Woolworths Pick Up zone pylon + marked parking zones (x4 parking spaces)



VIEW 9



SIGN O: illuminated signage as per bws brief ref: B55 2.0m wide x 1.565m high

DATE 20.04.2018 PL/DD

SIGN J: illuminated by tenant tenancy signage 1.8m wide x 0.7 high

SIGN L: illuminated signage as per woolworths brief ref: B11 11.7m wide x 2.5m high

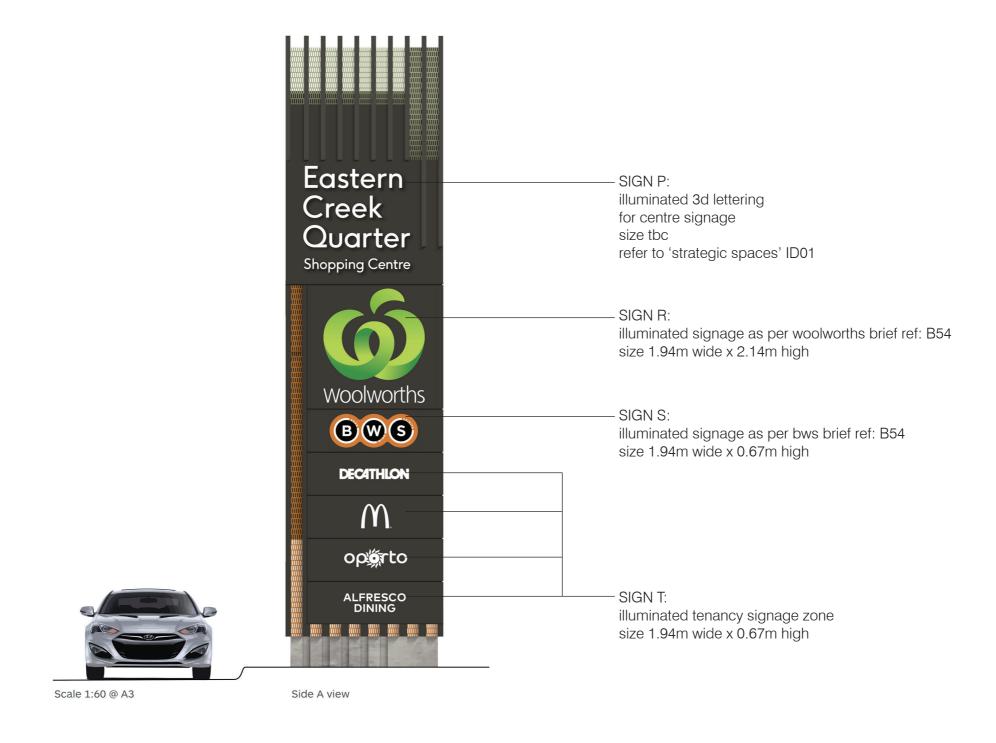
SIGN M: illuminated signage as per BWS brief ref: B11 3.8m wide x 2.5m high



VIEW 10

SIGN C: illuminated 3d lettering for centre signage 'eastern creek quarter' 5.7m wide x 0.41m high mounted to awning fascia





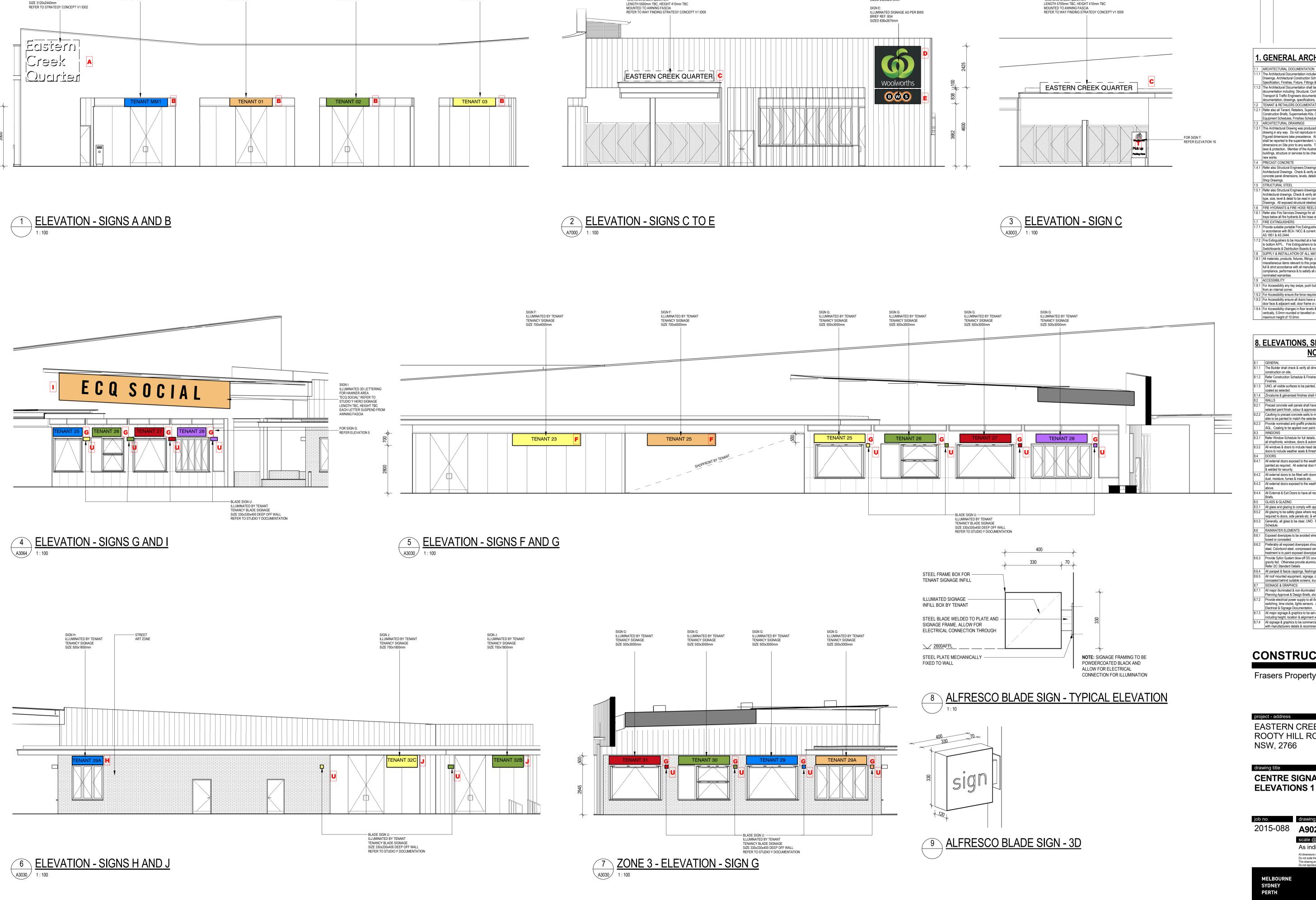
VIEW 11



PROJECT 2015-088 DATE 20.04.2018 PL/DD

SK28.11

MEL SYD PER 1800 422 533 i 2 C . C O M . A U



SIGN C: ILLUMINATED 3D LETTERING FOR CENTRE SIGNAGE "EASTERN CREEK QUARTER"

ILLUMINATED 3D LETTERING FOR CENTRE SIGNAGE "EASTERN CAPEK QUARTER"

ILLUMINATED BY TENANT TENANCY SIGNAGE

ILLUMINATED BY TENANT TENANCY SIGNAGE SIZE 700x2500mm

ILLUMINATED BY TENANT TENANCY SIGNAGE

ILLUMINATED BY TENANT TENANCY SIGNAGE

SIGN D: ILLUMINATED SIGNAGE AS PER WOOLWORTHS BRIEF REF: B54

SIZED 2425x2675mm

SIGN C: ILLUMINATED 3D LETTERING FOR CENTRE SIGNAGE "EASTERN CREEK QUARTER"

P 1 01.08.19 FOR INFORMATION P 3 08.10.19 FOR INFORMATION P 4 09.10.19 FOR INFORMATION

1. GENERAL ARCHITECTURAL NOTES

ARCHITECTURAL DOCUMENTATION

- The Architectural Documentation includes the following separate documents; Architectural Drawings, Architectural Construction Schedule, incorporating Architectural Trade Specification, Finishes, Fixture, Fittings & Signage Schedules.
- The Architectural Documentation shall be read in conjunction with all Project Consultants documentation including: Structural, Civil, Electrical, Mechanical, Hydraulic, Fire, Vertical Transport & Traffic Engineers documentation, Heritage, DDA, ESD Consultants documentation, drawings, specifications, reports & advice.
- TENANT & RETAILERS DOCUMENTATION
- 2.1 Refer also all Tenant, Retailers, Supermarket Documentation including: Design & Construction Briefs, Supermarkets Kits, Control Plans, Décor Plans, Floor Finishes Plans, Equipment Schedules, Finishes Schedules, Guidelines, Layouts & Information.
- ARCHITECTURAL DRAWINGS This Architectural Drawing was produced using Revit/ACAD. Do not manually alter this drawing in any way. Do not reproduce in full or part without approval. Do not scale drawings. Figured dimensions take precedence. All dimensions are in millimetres. Any discrepancies shall be reported to the superintendent / architect for action & instruction. Check & verify all
- shall be reported to the superintental rationact for accord a insuduction. Given a very and dimensions on Site prior to any works. This drawing a fit sontents are subject to copyright laws & protection. Member of the Australian Institute of Architects (AIA). Any existing buildings, structure or services to be checked & confirmed on site, prior to commencing an new works.

 PRECAST CONCRETE
- 1.1 Refer also Structural Engineers Drawings, details, spec. & notes. Read in conjunction with Architectural Drawings. Check & verify all dimensions on Site prior to any works. Precast concrete panel dimensions, levels, details & rebates to be as per approved Precast Concrete
- 5.1 Refer also Structural Engineers drawings, details spec. & notes. Read in conjunction with Architectural drawings. Check & verify all dimensions on Site prior to any works. Member
- type, size, level & detail to be read in conjunction with approved Structural Steel Shop
 Drawings. All exposed structural steelwork to be hot dipped galvanised, UNO.
 FIRE HYDRANTS & FIRE HOSE REELS
- 6.1 Refer also Fire Services Drawings for all details of fire hydrants and hose reels. Provide drip
- trays below all fire hydrants & fire hose reels within cupboards or rooms internally, UNO.
 FIRE EXTINGUISHERS Provide suitable portable Fire Extinguishers where required adjacent electrical switchboard
- in accordance with BCA / NCC & current / relevant Australian Standards, including AS 1841 AS 1851 & AS 2444.
- 7.2 Fire Extinguishers to be mounted at a height no higher than 1200 to top & no lower than 100 to bottom AFFL. Fire Extinguishers to be mounted no closer than 2M to Electrical Switchboards & Distribution Boards & no further than 20M
- SUPPLY & INSTALLATION OF ALL MATERIALS & PRODUCTS All materials, products, fixtures, fittings, claddings, linings, equipment, fixings, finishes & miscellaneous items relevant to this project shall be supplied, delivered, stored & installed in full & strict accordance with all manufacturers details, instructions & recommendations for
- compliance, performance & to satisfy all applicable conditions for back-up, support & nominated warranties.

 9 ACCESSIBILITY
- For Accessibility any key swipe, push button devices to be located not less than 500mm away from an internal corner.

 9.2 For Accessibility ensure the force required to operate doors is to be not more than 20N force. 9.3 For Accessibility ensure all doors have a 30% luminance colour contrast between door or
- door face & adjacent wall, door frame or architrave.

 1.9.4 For Accessibility changes in floor levels & different floor finishes to be no higher than 3.0mm vertically, 5.0mm rounded or bevelled or above that height at a gradient of 1 in 8 & total

maximum height of 10.0mm.

8. ELEVATIONS, SECTIONS & DETAILS

<u>NOTES</u>

- The Builder shall check & verify all dimensions, heights & RL's shown & noted prior to construction on site.

 Refer Construction Schedule & Finishes Schedule for all references to material Tags &
- Finishes.

 3 UNO, all visible surfaces to be painted, pre-finished, pre-treated, Colorbond or powder
- Zincalume & galvanised finishes shall not be visible, UNO
- Precast concrete wall panels shall have surface quality for intended finish, including selected paint finish, colour & approved application system. Caulking to precast concrete walls to match the selected paint finish or surface finish or be able to be painted to match the selected paint finish & colour.
- Provide nominated anti-graffiti protection coating to nominated height or at least 3000mm AGL. Coating to be applied over paint or surface finish or part of paint system
- Refer Window Schedule for full details, size, dimensions, break-up, frame system & finish of all shopfronts, windows, doors & automatic sliding doors etc. All windows & doors to include head deflection channels, windows to include sub-sills &
- doors to include weather seals & thresholds.
- All external doors exposed to the weather to be external grade solid core doors sealed & painted as required. All external door hinges to be SS, concealed non lift off, fixed pin type & welded for security.
- All external doors to be fitted with doors seals (jamb, head & sill) to seal against entry of dust, moisture, fumes & insects etc. All external doors exposed to the weather shall be fitted with aluminium door head flashings
- above.

 All External & Exit Doors to have all required signage to comply with NCC / BCA & Design Briefs.

 GLASS & GLAZING
- All glass and glazing to comply with applicable Australian Standards including AS 1288.
- All glazing to be safety glass where required & include safety decals / manifestation as required to doors, side panels etc. & where a risk of damage is possible.

 Generally, all glass to be clear, UNO. Refer Project Glazing Calculator & Window
- Schedule.

 RAINWATER ELEMENTS
- Exposed downpipes to be avoided where possible & practical. Otherwise they shall be boxed or concealed. Preferably all exposed downpipes should be boxed or enclosed in a painted zincalume
- steel, Colorbond steel, compressed cement sheet or SS enclosure. Otherwise minimum treatment is to paint exposed downpipes & overflows to match adjacent wall colour.

 Provide Syfon System blow-off SS covers to overflow outlets whether system is syphonic or
- gravity fed. Otherwise provide aluminium or SS square cover panels to conceal overflows Refer i2C Standard Details All parapet & fascia cappings, flashings etc. to be Colorbond or painted zincalume. UNO.
- 5 All roof mounted equipment, signage, condensers, decks, exhaust fan units etc. shall be concealed behind suitable screens, louvres etc.

 SIGNAGE & GRAPHICS All major illuminated & non-illuminated signage & graphics to be in accordance with
- Planning Approval & Design Briefs, shop drawings & signage drawings.
- Provide electrical power supply to all illuminated signage & graphics as required, including switching, time clocks, lights sensors. All conduits to be fully concealed. Refer also Electrical & Signage Documentation.
- 8.7.3 All major signage & graphics to be set-out carefully, to the approval of the architect, including height, location & alignment with adjacent building elements, signage & graphics.

 8.7.4 All signage & graphics to be commercial quality, sealed & securely mounted in accordance with manufacturers details & recommendations.

CONSTRUCTION ISSUE

Frasers Property

EASTERN CREEK QUARTER

ROOTY HILL ROAD SOUTH, NSW, 2766

CENTRE SIGNAGE

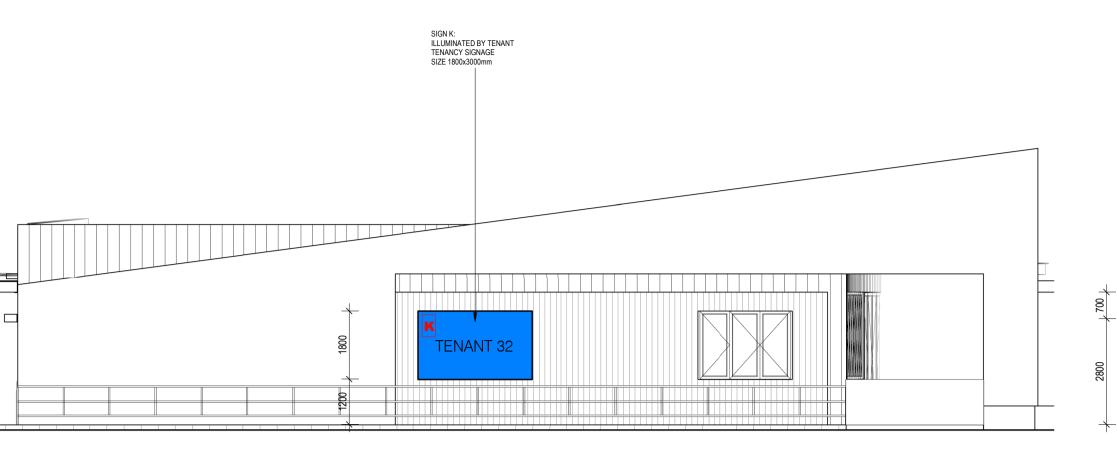
job no. drawing no. issue

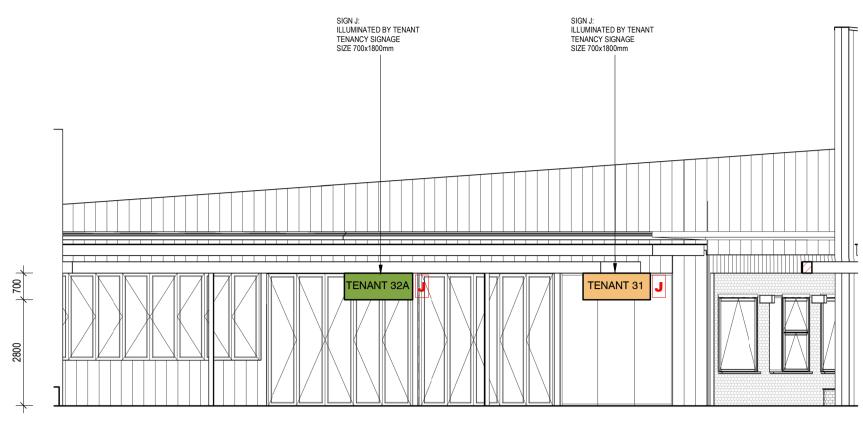
2015-088 **A9025** P 4

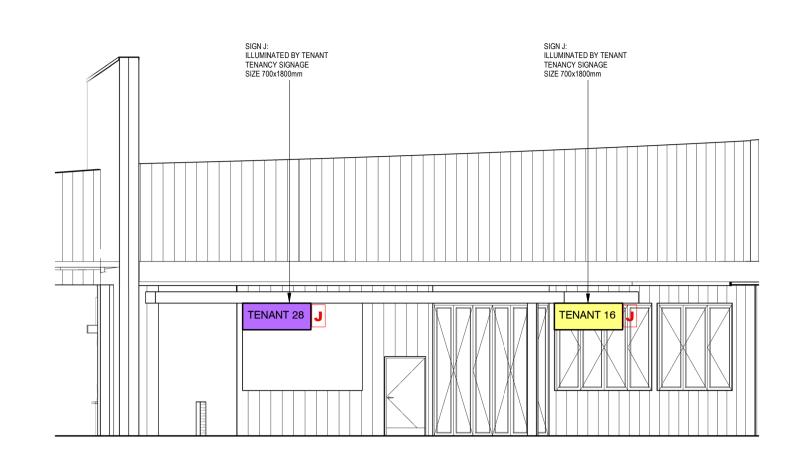
scale @ A1 drawn As indicated MPR All dimensions in millimetres unless noted otherwise. Do not scale these drawings - Figured dimensions take precedent This drawing and its contents are subject to copyright laws and pr

SYDNEY PERTH 1800 422 533



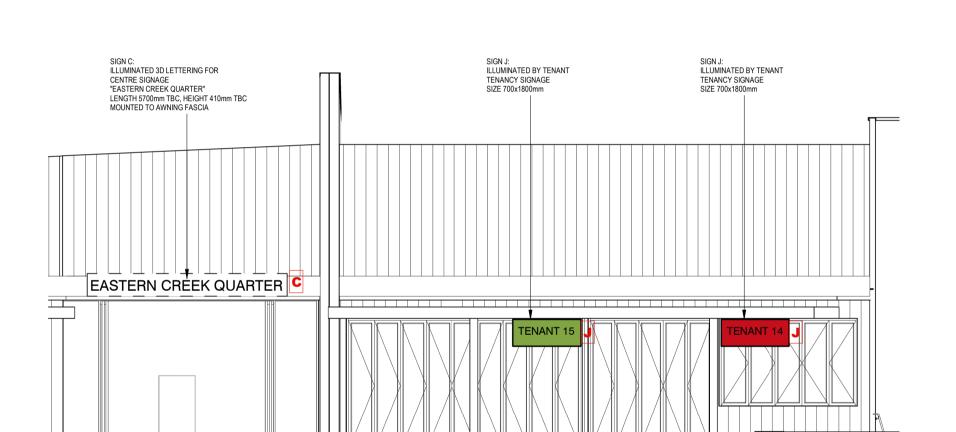


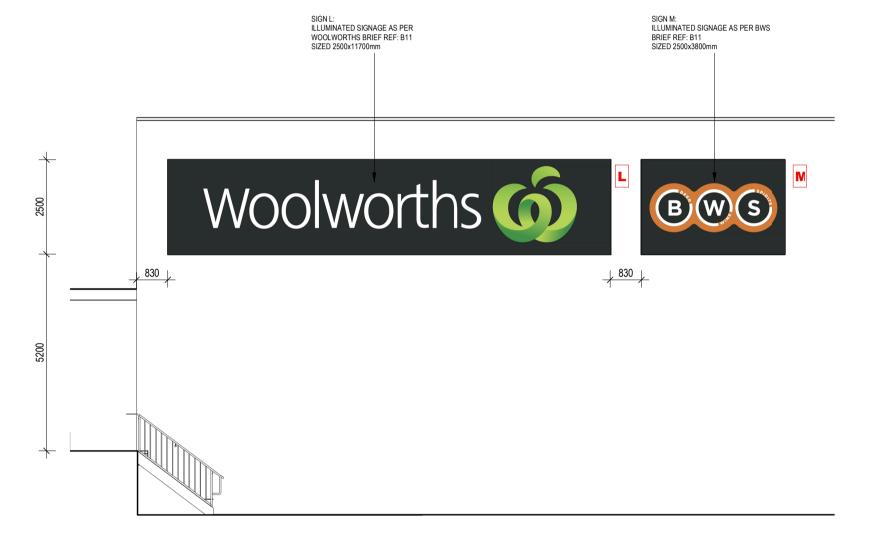




3 A5310 ELEVATIONS - SIGNS J

ELEVATION - SIGN K





5 A5310 ELEVATION - SIGNS L AND M

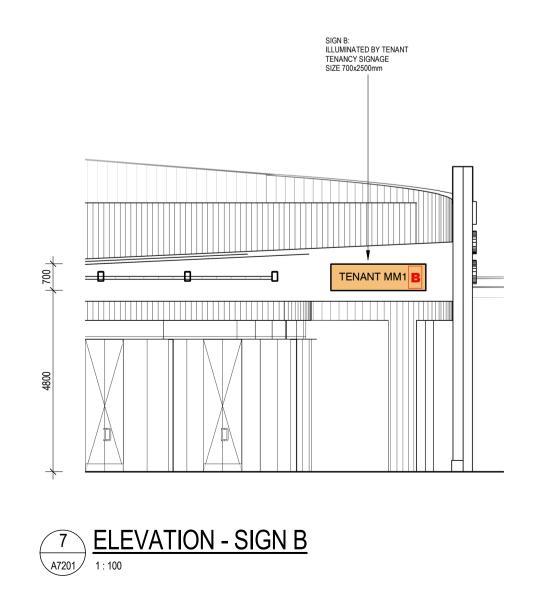
2 ELEVATION - SIGNS J

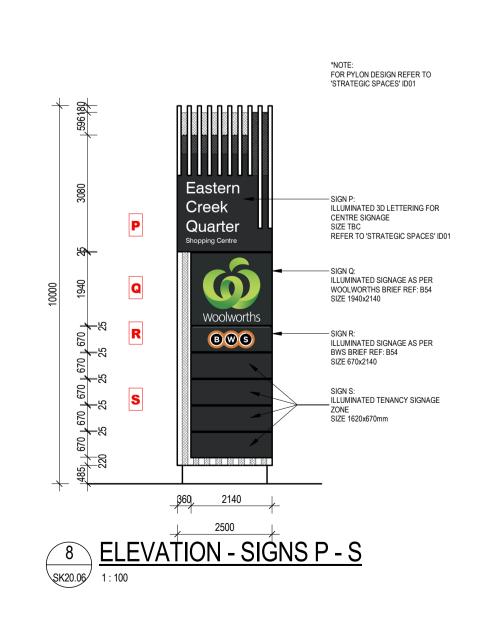
4 A5310 ELEVATION - SIGNS C AND J

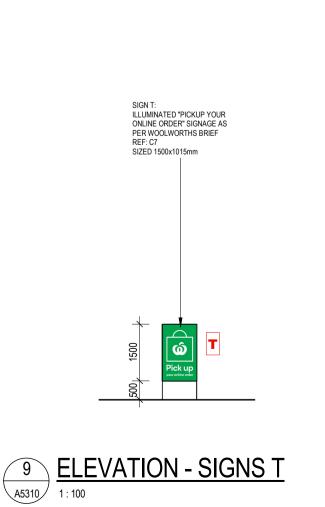
ELEVATION - SIGNS N AND O

6 A3010 ELE 1:100









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P 2 09.10.19 FOR INFORMATION

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Shop Drawings.

STRUCTURAL STEEL

5. Refer also Structural Engineers drawings, details spec. & notes. Read in conjunction with Architectural drawings. Check & verify all dimensions on Site prior to any works. Member type, size, level & detail to be read in conjunction with approved Structural Steel Shop Drawings. All exposed structural steelwork to be hot dipped galvanised, UNO. FIRE HYDRANTS & FIRE HOSE REELS

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CONSTRUCTION ISSUE

Frasers Property

EASTERN CREEK QUARTER ROOTY HILL ROAD SOUTH,

CENTRE SIGNAGE

ELEVATIONS 2

NSW, 2766

job no. drawing no. issue 2015-088 **A9026** P 2

scale @ A1 drawn 1:100 MPR All dimensions in millimetres unless noted otherwise. Do not scale these drawings - Figured dimensions take precedence This drawing and its contents are subject to copyright laws and pro



