NOTES: Heritage and Archaeological Issues

Penrhyn House at 22-26 Playfair Street is of State heritage significance for its historical and scientific cultural values and is also of State heritage significance for its contribution to The Rocks area which is of State heritage significance in its own right.

The Contractor and subcontractors shall make themselves familiar with current conservation

philosophy of the ICOMOS Burra Charter, the *Heritage Act* 1977 and the Conservation Management Plan.

The work is to be done with the objective of leaving as much of the original building fabric

- The Contractor and subcontractors shall familiarise themselves with the conditions of consent issued, with particular reference to heritage approvals and archaeological significance, and ensure that the WUC are executed in accordance with all statutory approvals which include the reference to the archaeological and heritage components involved in the WUC
- The Principal may engage a Heritage Architect and other specialists to liaise and provide advice to the Principal. Access to the site of accredited representatives of these bodies is to be provided by the Contractor.
- As part of the "site induction" the Contractor must make the subcontractors and workmen aware that the site of the WUC is of significant heritage value and archaeological significance and exercise appropriate care throughout the execution of the WUC so that the significant fabric of the building both inside and out is protected.
- The Contractor must rectify any damage sustained to the existing buildings during the WUC, including damage sustained by the building as the unavoidable consequence of the performance of the WUC.
- Archaeological artefacts (relics) and deposits are protected by the Heritage Act 1977 Part 6 Division 9. All deposits, objects or material evidence relating to the non-Aboriginal settlement of New South Wales which are fifty years old or more are deemed to be the absolute property of the Principal

If an artefact or relic is discovered on the site, the Contractor must:

- notify the Superintendent immediately;
- not disturb the item unless directed to do so by the Superintendent; and
- leave the item in place until the Principal removes the

The Contractor must ensure that all workers on the Principal's property are aware of the obligations of the Contractor in relation to the archaeological artefacts (relics) and deposits and take all precautions necessary to ensure that such artefacts and relics are not removed or

- The Contractor must note that infringement of the Heritage Act 1977 carries penalties which will be enforced by the Principal
- Where the Schedule of Conservation Works allows for quantities or percentages of repair work, the Contractor must keep detailed records in a form approved by the Superintendent of the actual amount completed and submit those records to the Superintendent at the intervals
- The following principles of conservation are to be adopted in these conservation works:
 - Retention of as much existing material as possible, repairing and consolidating rather than renewing (i.e
 - minimal disturbance); The use of reversible processes where possible; The use of additional material or structure (to match
 - existing or similar approved) to reinforce, strengthen, prop, tie and support;
 - The use of traditional materials and techniques. New (d) work is to be distinguishable to the trained eye, on close inspection from the old:
 - (e) Where possible the heritage fabric is to fix into masonry
 - y joints rather than into masonry; Where an element is damaged and repair is not practical replacement will be permitted:
 - if the Superintendent agrees that repair is
 - not practical: and
 - if the new work can match the existing as closely as possible and the work is approved by the
 - Superintendent; and Simplification of detailing is not permitted unless prior approval is given by the Superintendent.
- 10. Protection of the heritage fabric is to be carried out in accordance with the Contractor's Work Method Statements as approved by the Superintendent When in doubt ask the direction of the Superintendent.

SCHEDULE OF SHOP DRAWINGS TO BE SUPPLIED FOR APPROVAL BY ARCHITECT

- Structural and Non-structural Steel
- Lift Car
- Lift Shaft
- **Automatic Doors**
- Glazing
- Mesh Cladding Panels

Project Reference No.

STATE SIGNIFICANT DEVELOPMENT APPLICATION

for a New Entry, Access Upgrade + New bathrooms at 22-26 Playfair Street, The Rocks, NSW, 2000

for The Sydney Harbour Foreshore Authority

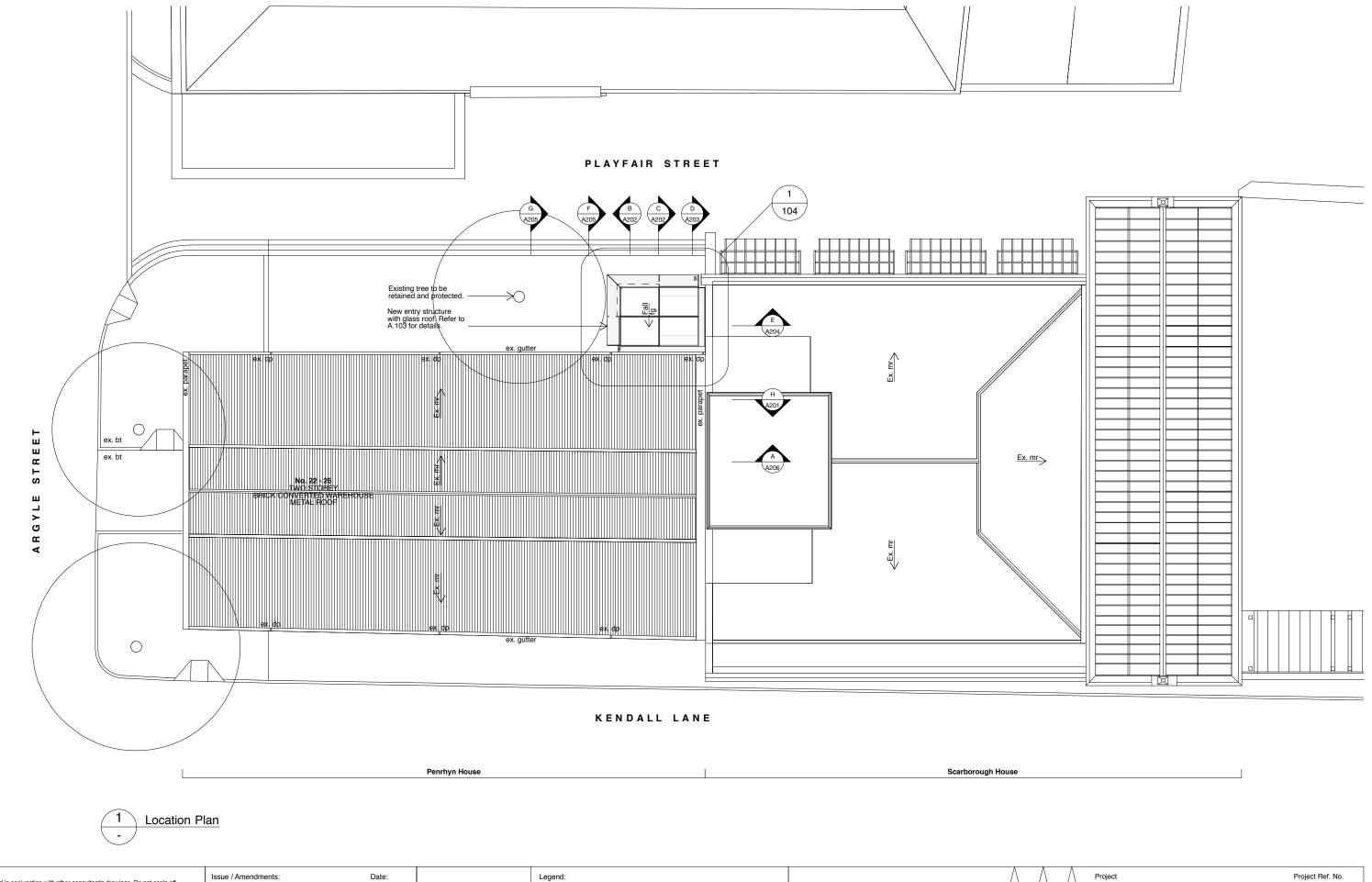
MAY 2017

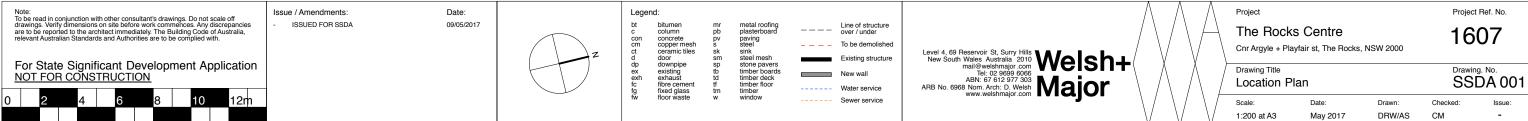


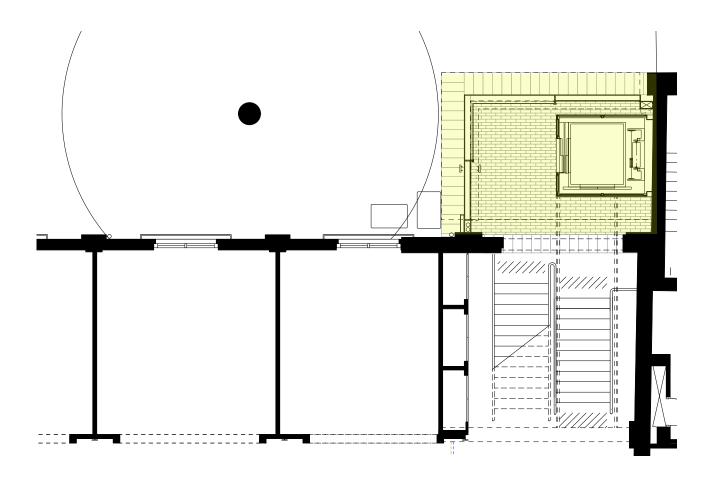
Location Plan

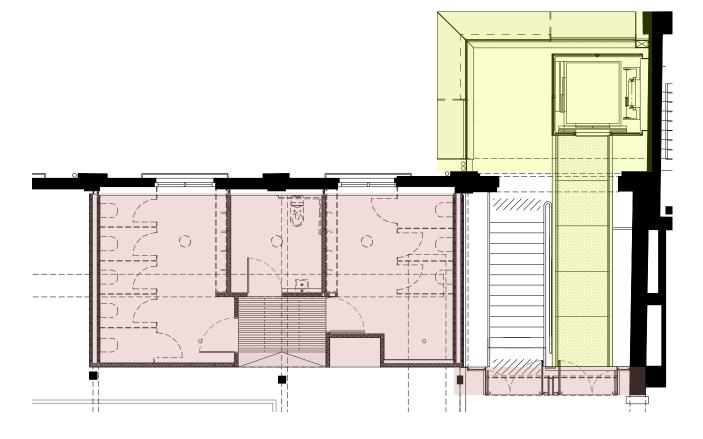












Ground Floor Staging Plan

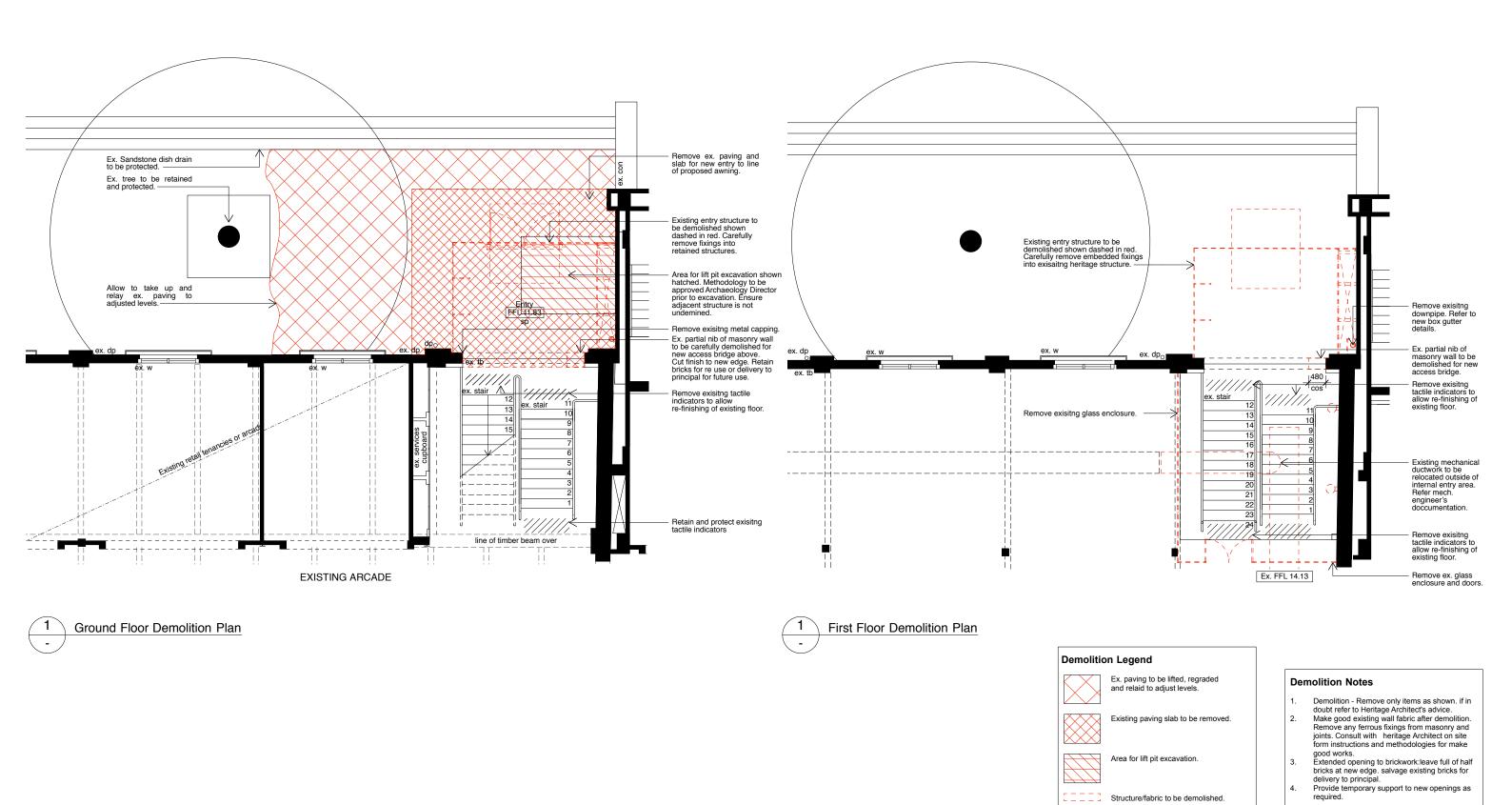
2 First Floor Staging Plan

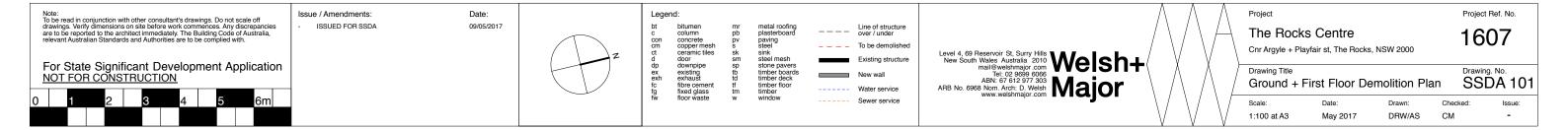
STAGE 1 (Subject to Section 60)

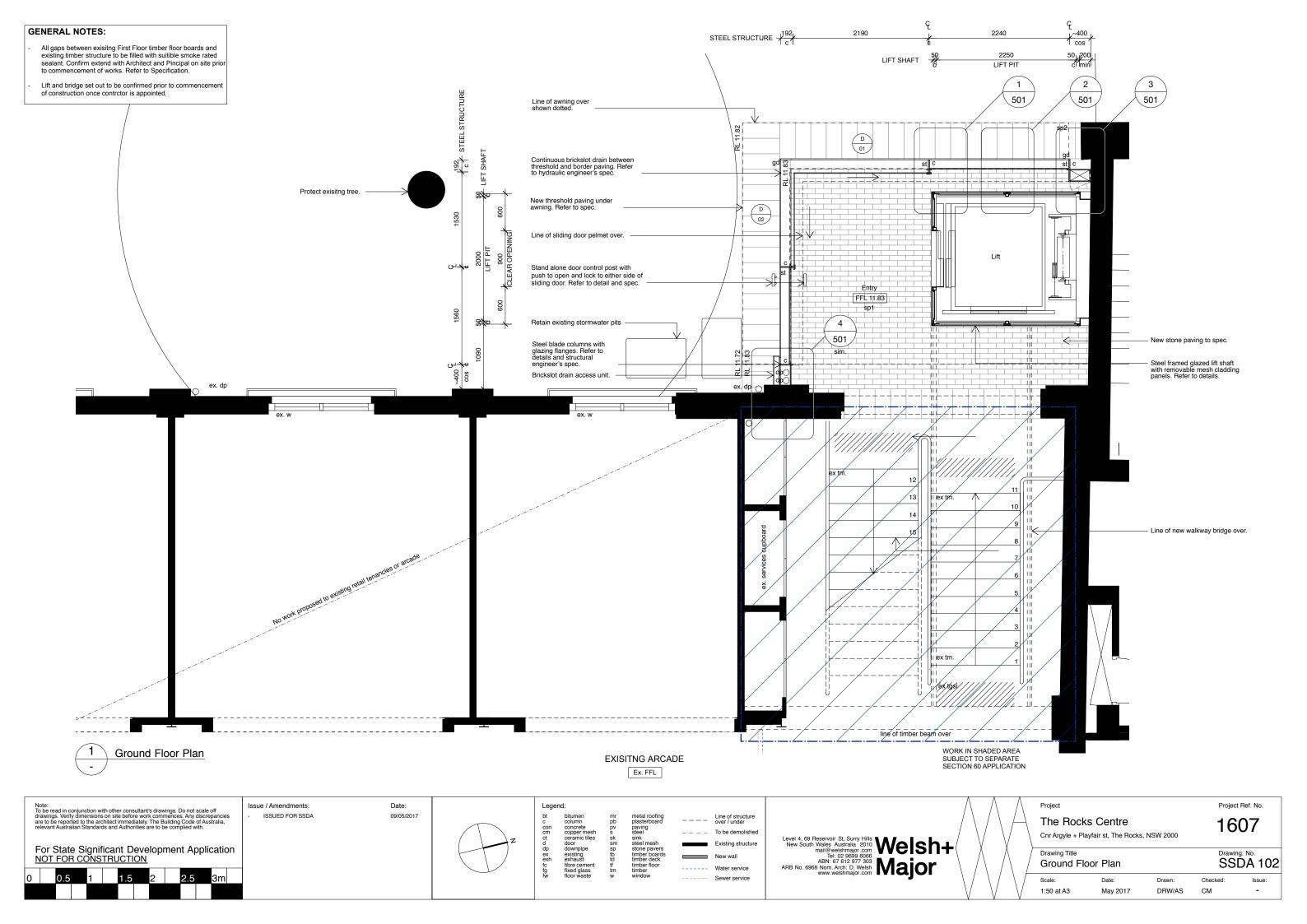
STAGE 2 (Subject to SSDA)

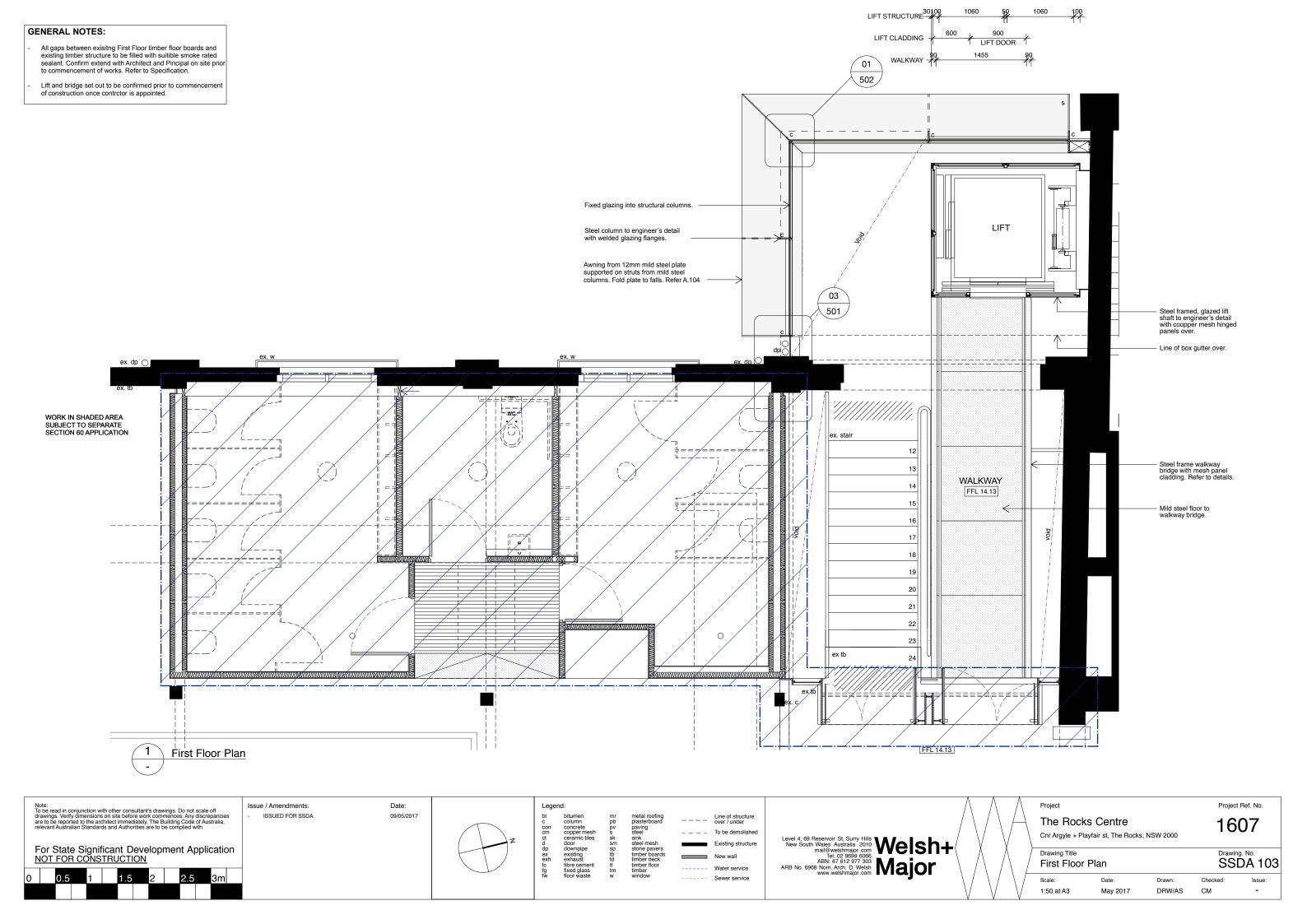
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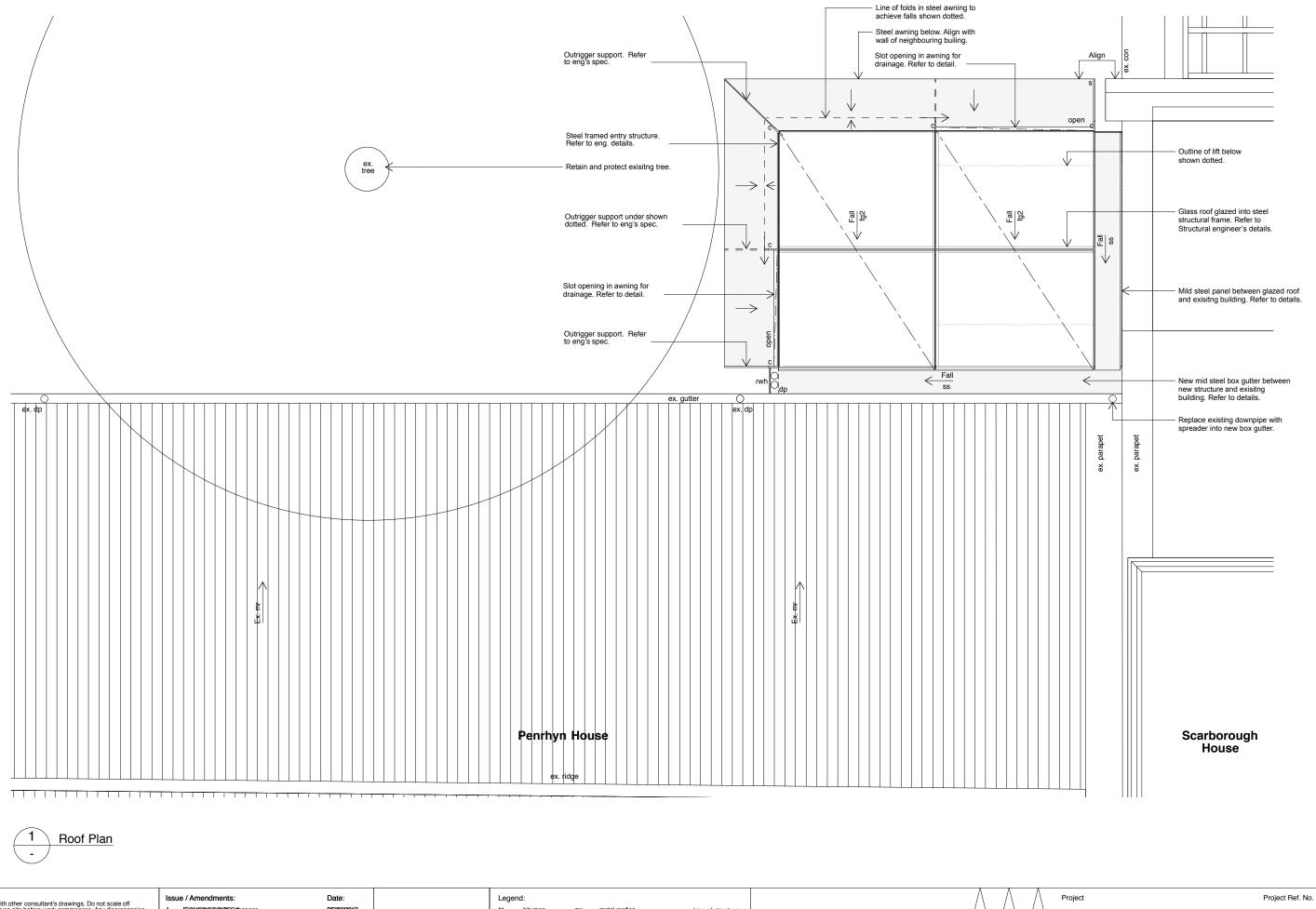
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be compiled with. Project Ref. No. Issue / Amendments: ISSUED FOR SSDA 09/05/2017 The Rocks Centre 1607 _ _ _ To be demolished Cnr Argyle + Playfair st, The Rocks, NSW 2000 Level 4, 69 Reservoir St, Surry Hills
New South Wales Australia 2010
mail@welshmajor.com
Tel: 02 9699 6066
ABN: 67 612 977 303
ARB No. 6968 Nom. Arch: D. Welsh
www.welshmajor.com
Walen For State Significant Development Application NOT FOR CONSTRUCTION SSDA 002 Drawing Title Staging Plan ----- Water service ----- Sewer service 1:200 at A3 DRW/AS May 2017

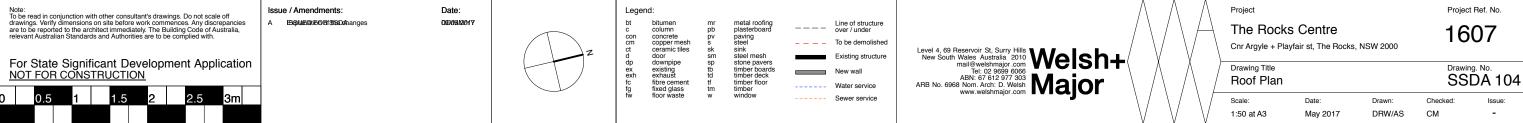


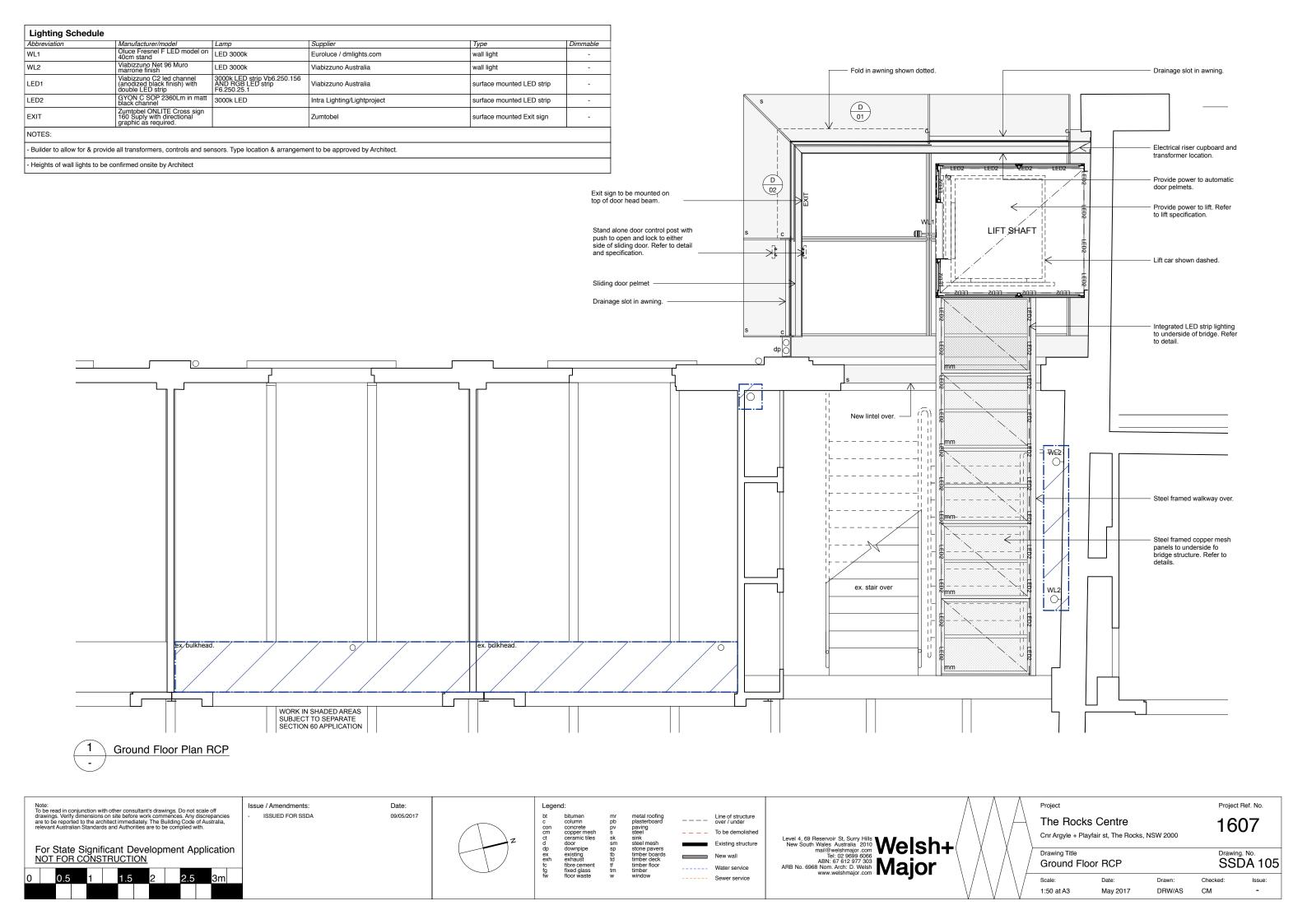


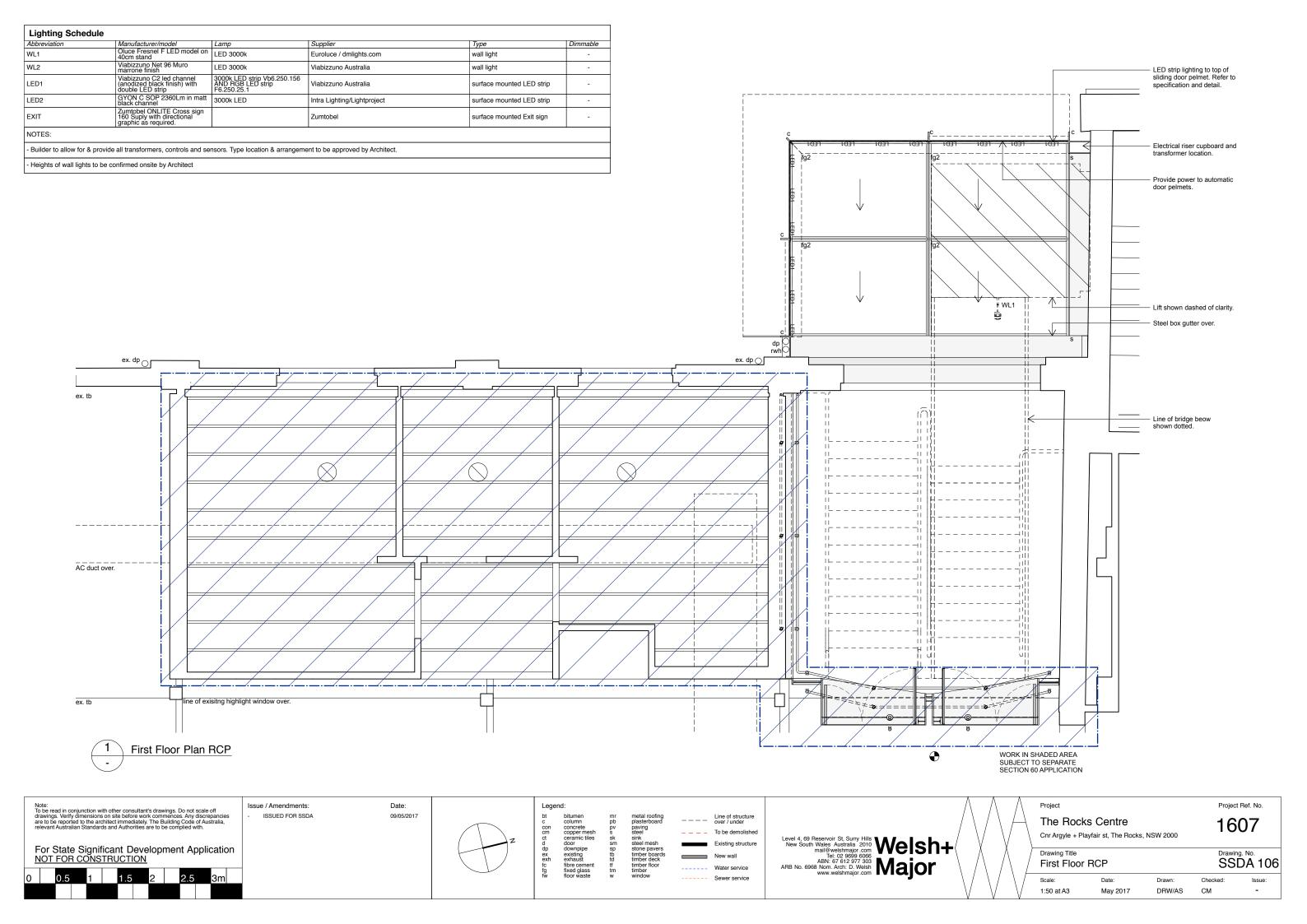


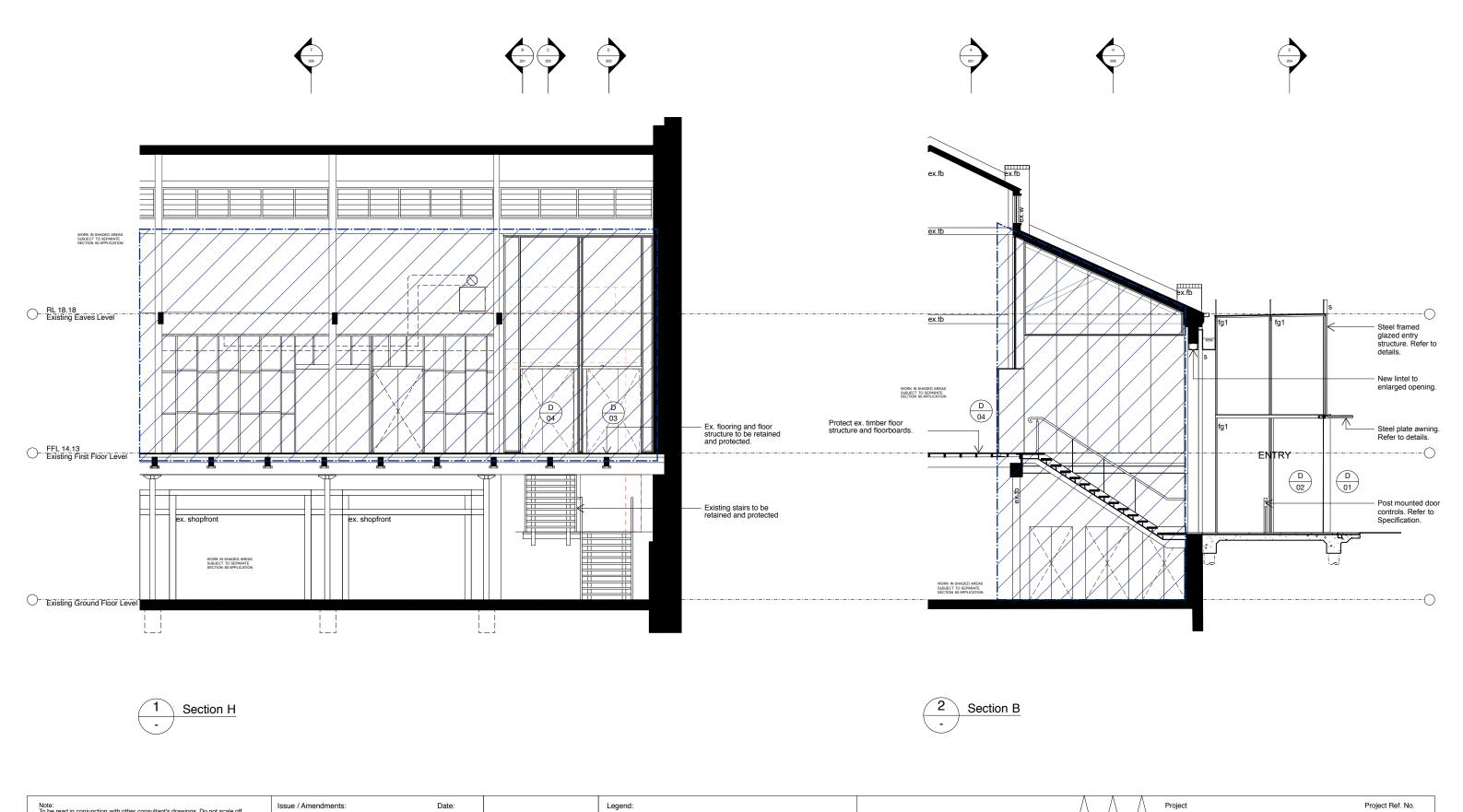




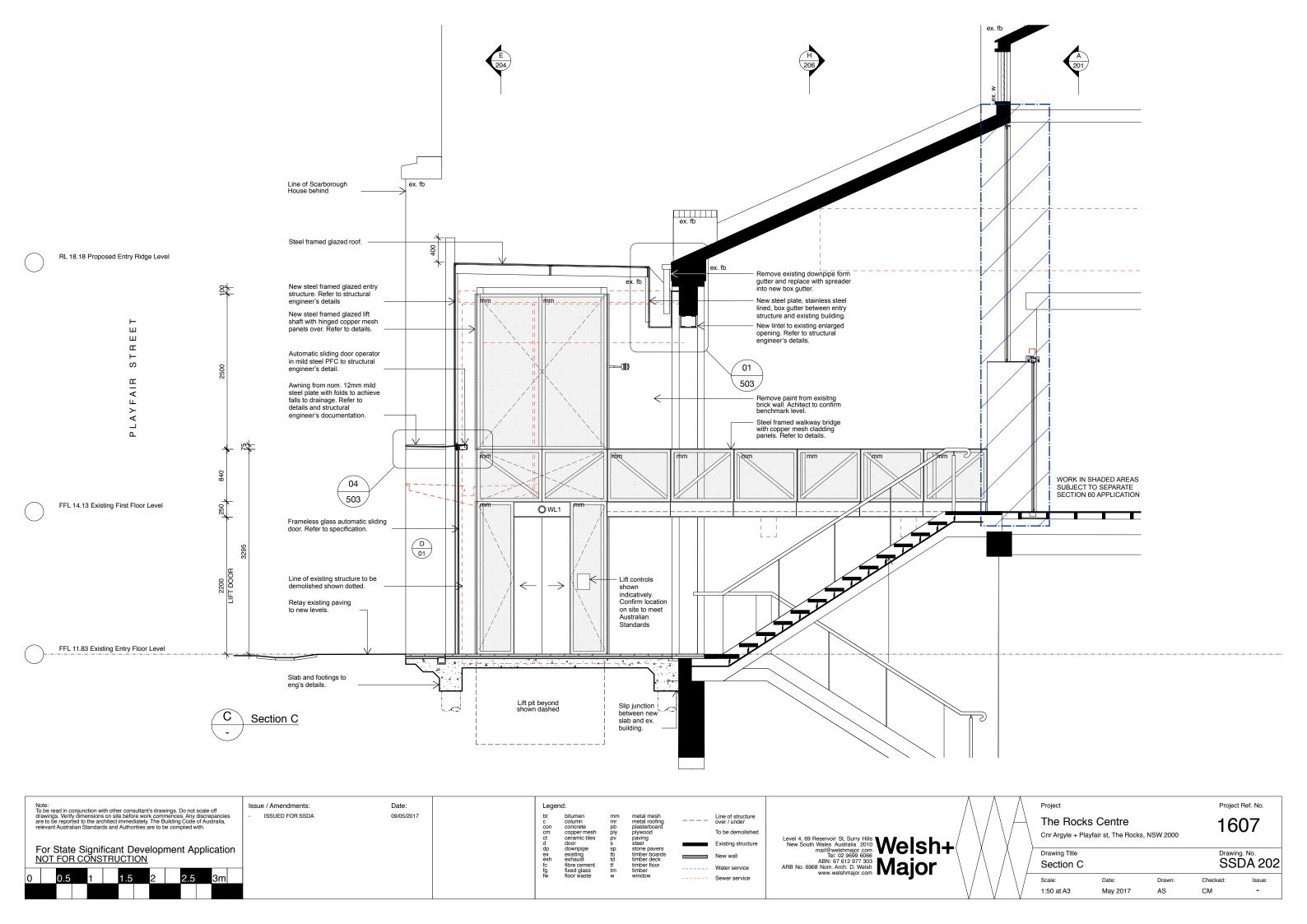


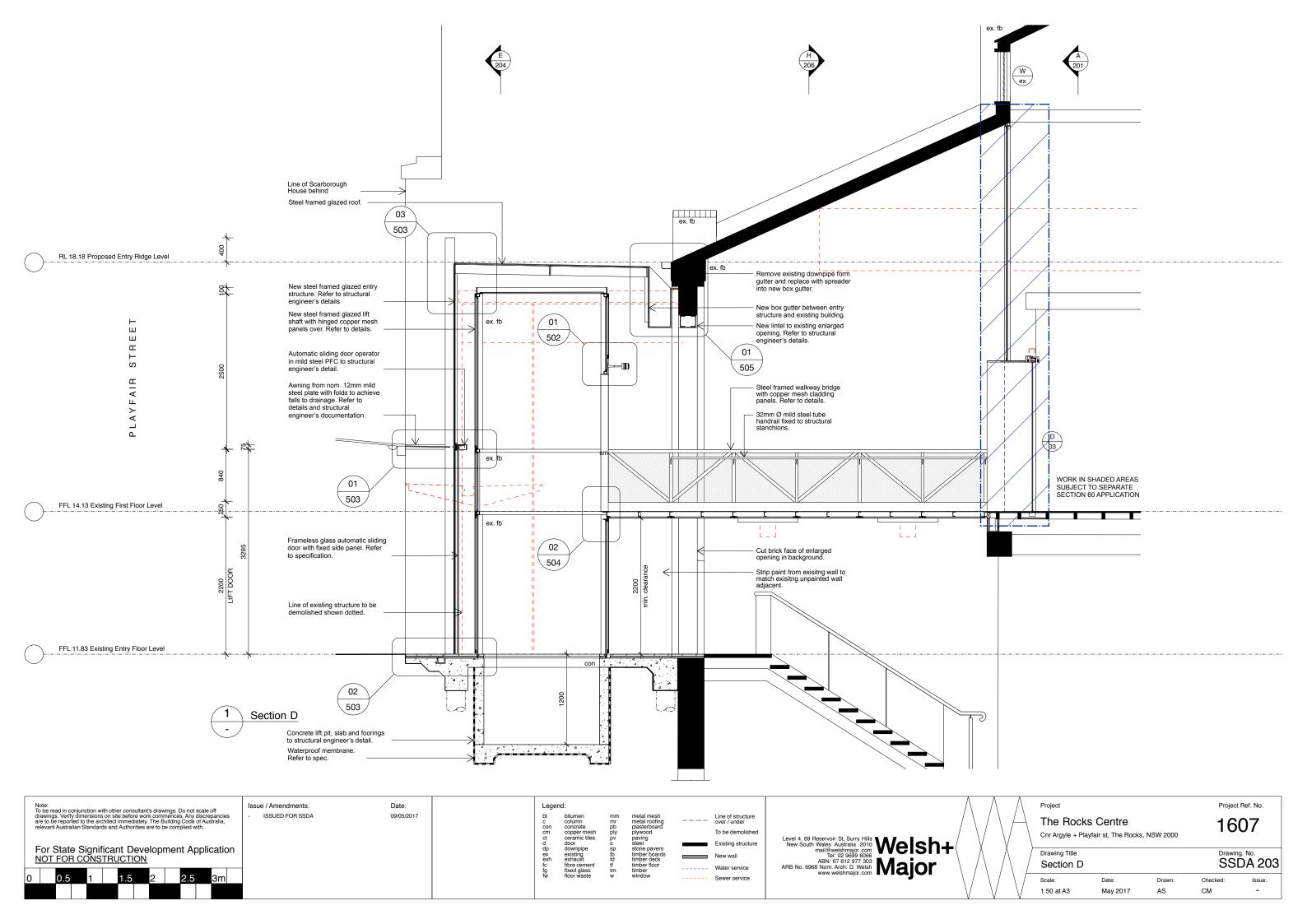


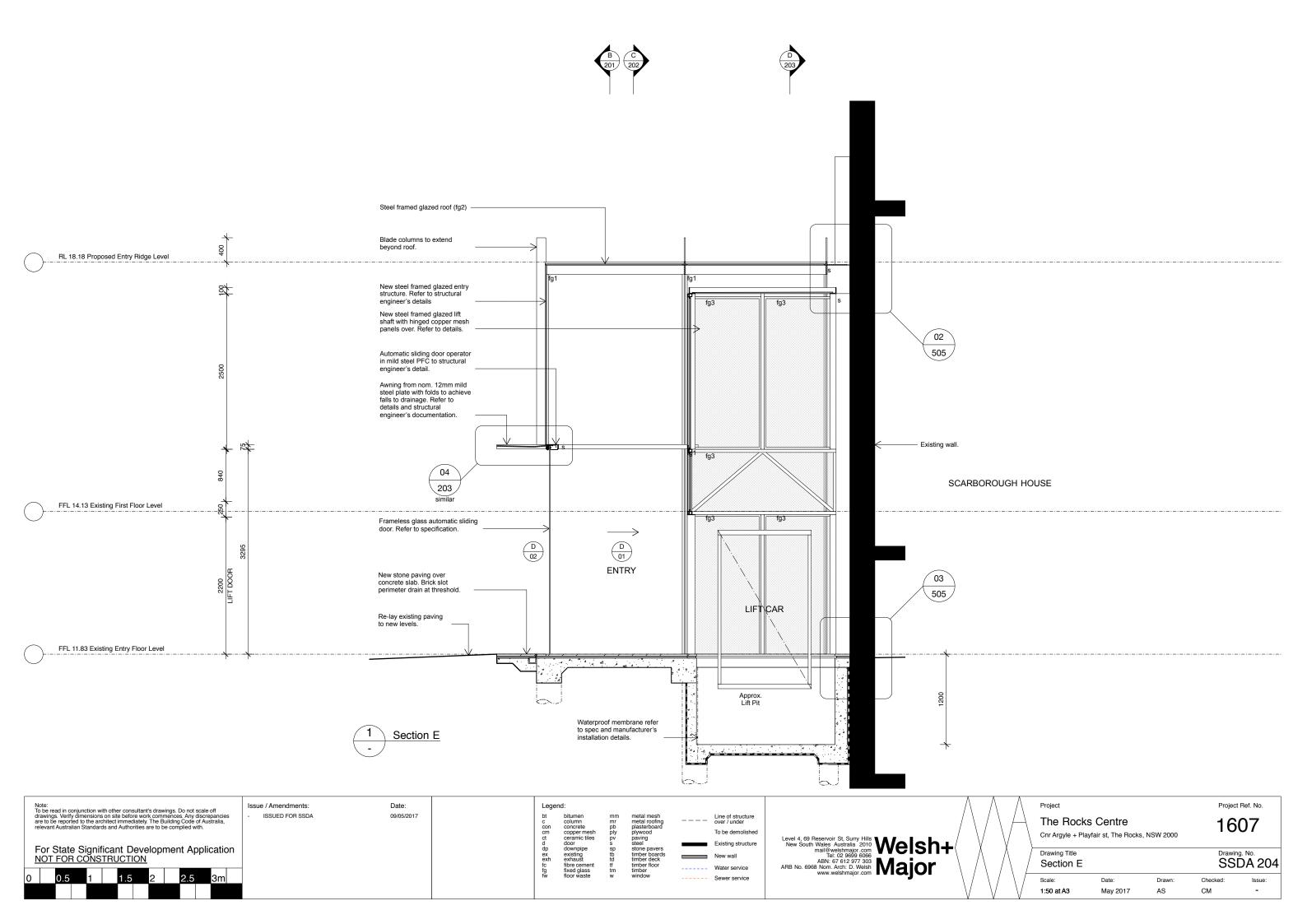


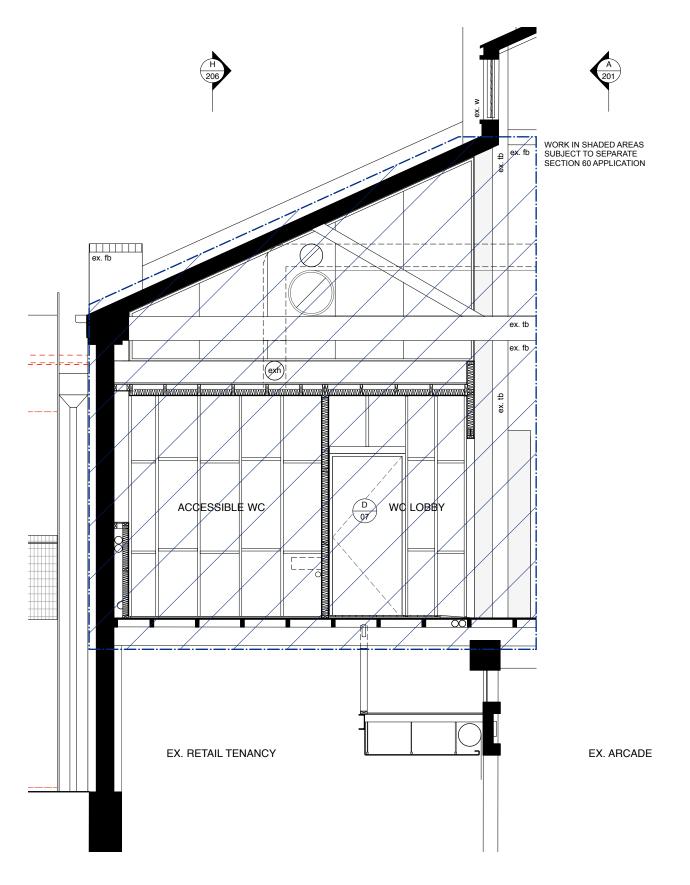


Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be compiled with. ISSUED FOR SSDA 09/05/2017 Line of structure over / under The Rocks Centre 1607 Cnr Argyle + Playfair st, The Rocks, NSW 2000 Level 4, 69 Reservoir St, Surry Hills
New South Wales Australia 2010
mail@welshmajor.com
Tel: 02 9699 6066
ARB No. 6968 Nom. Arch. D. Welsh
www.welshmajor.com For State Significant Development Application NOT FOR CONSTRUCTION Drawing. No. SSDA 201 Drawing Title Section A + B ---- Water service ---- Sewer service Checked: 1:100 at A3 AS СМ May 2017



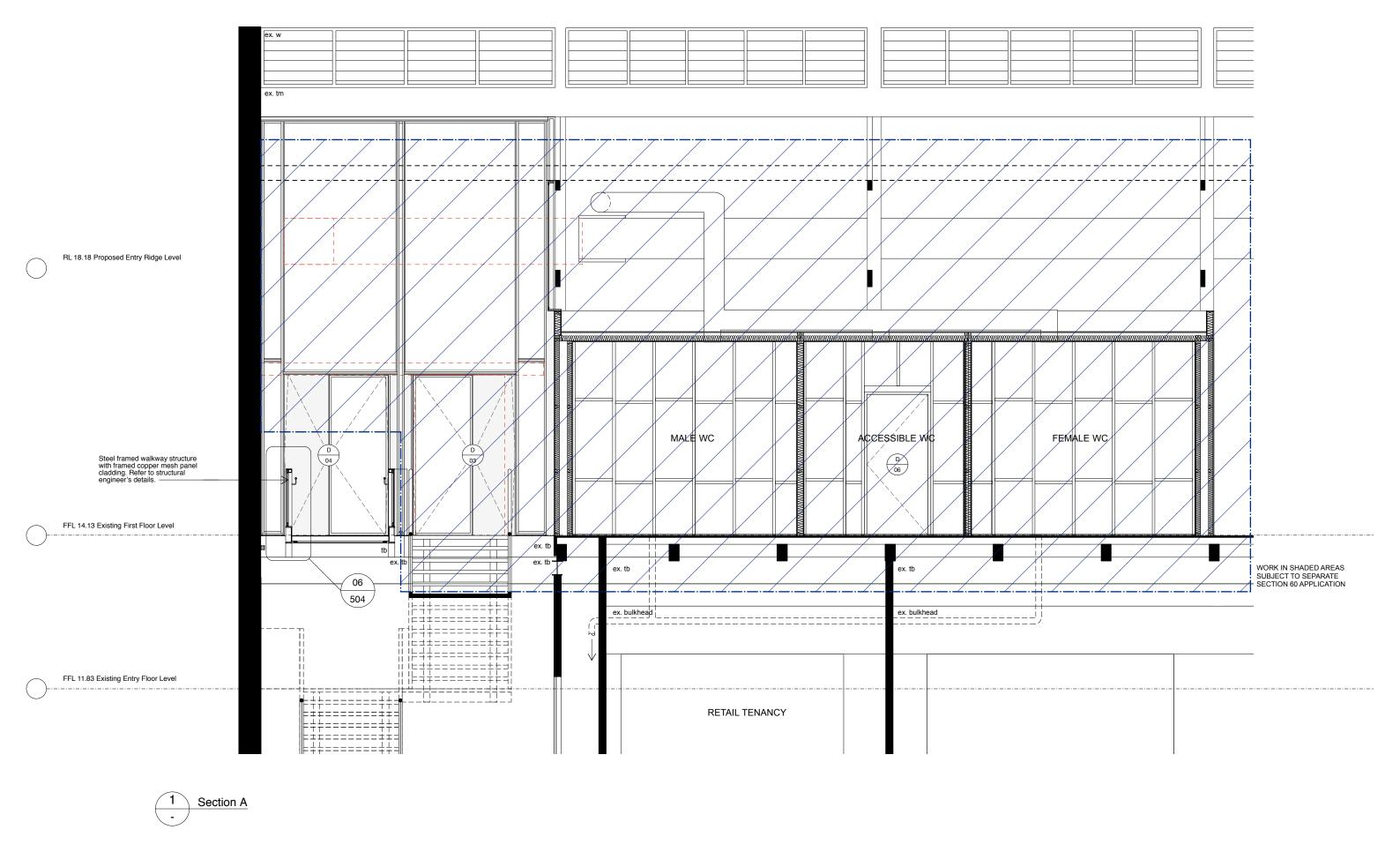


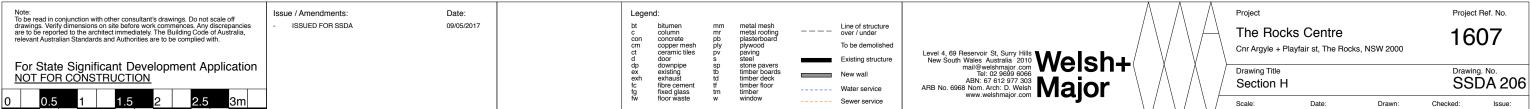






	Note: To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be compiled with. For State Significant Development Application NOT FOR CONSTRUCTION	Issue / Amendments: - ISSUED FOR SSDA	Date: 09/05/2017)17	bt bitumen c column con concrete cm copper mesh ct ceramic tiles d door	mm mr pb ply pv s	mm metal mesh mr metal roofing pb plasterboard ply plywood pv paving s steel sp stone pavers to timber dock tf timber floor tm timber deck	Line of structure over / under To be demolished Existing structure	Level 4, 69 Reservoir St, Surry Hills New South Wales Australia 2010 mail@welshmajor.com mail@welshmajor.com 20 9699 6066	$/ \setminus$	\bigwedge	Th	Project The Rocks Centre Cnr Argyle + Playfair st, The Rocks, NSW 2000		•	Project Ref. No.	
		-			dp downpipe ex existing exh exhaust fc fibre cement fg fixed glass	sp tb td nt tf tm		New wall Water service	mail@welshmajor.com WVEISII+\ Tel: 02 9699 6066 ABN: 67 612 977 303 ARB No. 6968 Nom. Arch: D. Welsh www.welshmajor.com	^	$\setminus \bigwedge$	1	ving Title ction F + G		Drawii SS	ng. No. DA 205	
	0 0.5 1 1.5 2 2.5 3m				fw floor waste	w	window	Sewer service	agu sain		\/ \	Scale	e: Date: May 2017	Drawn: AS	Checked: CM	Issue:	



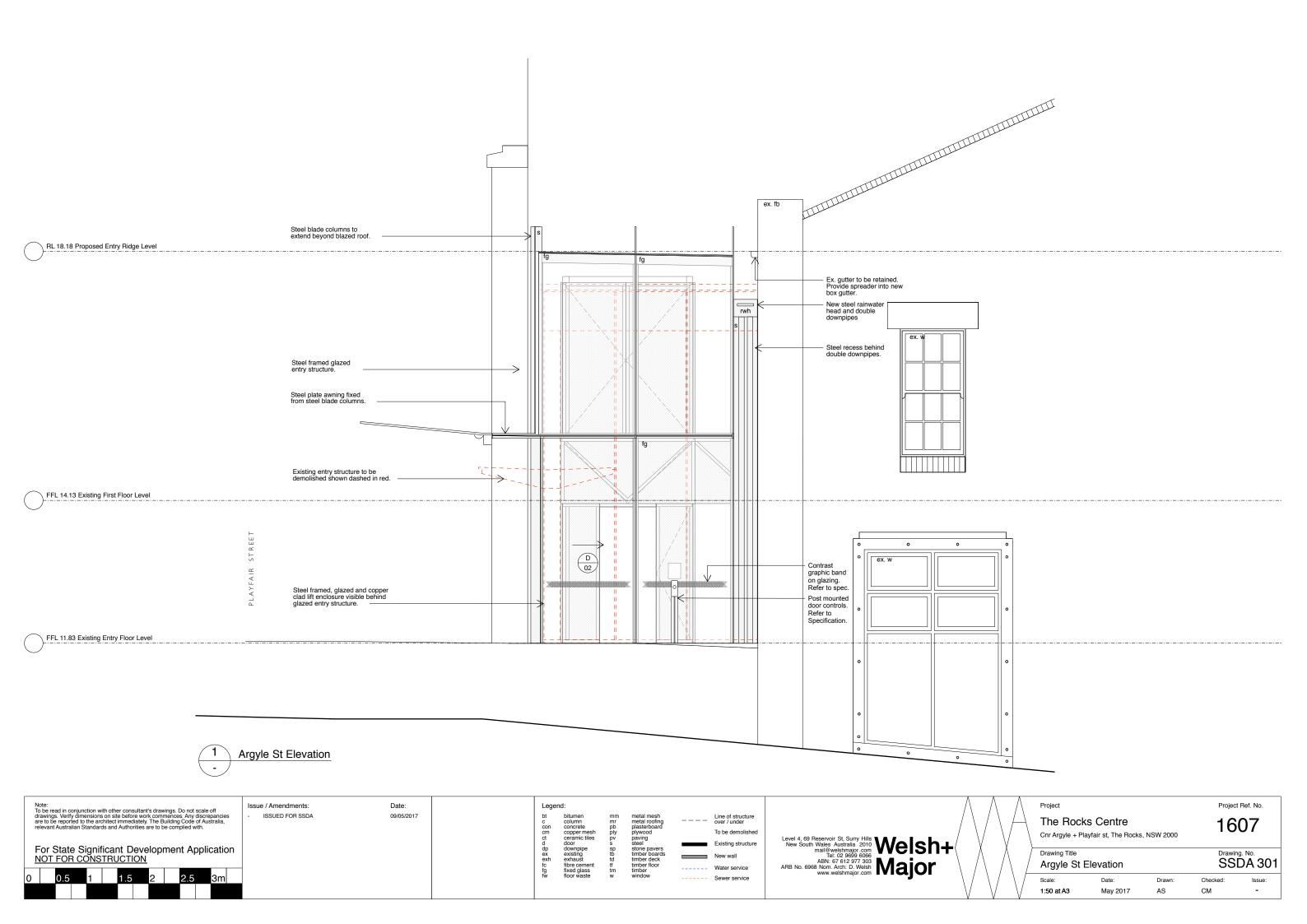


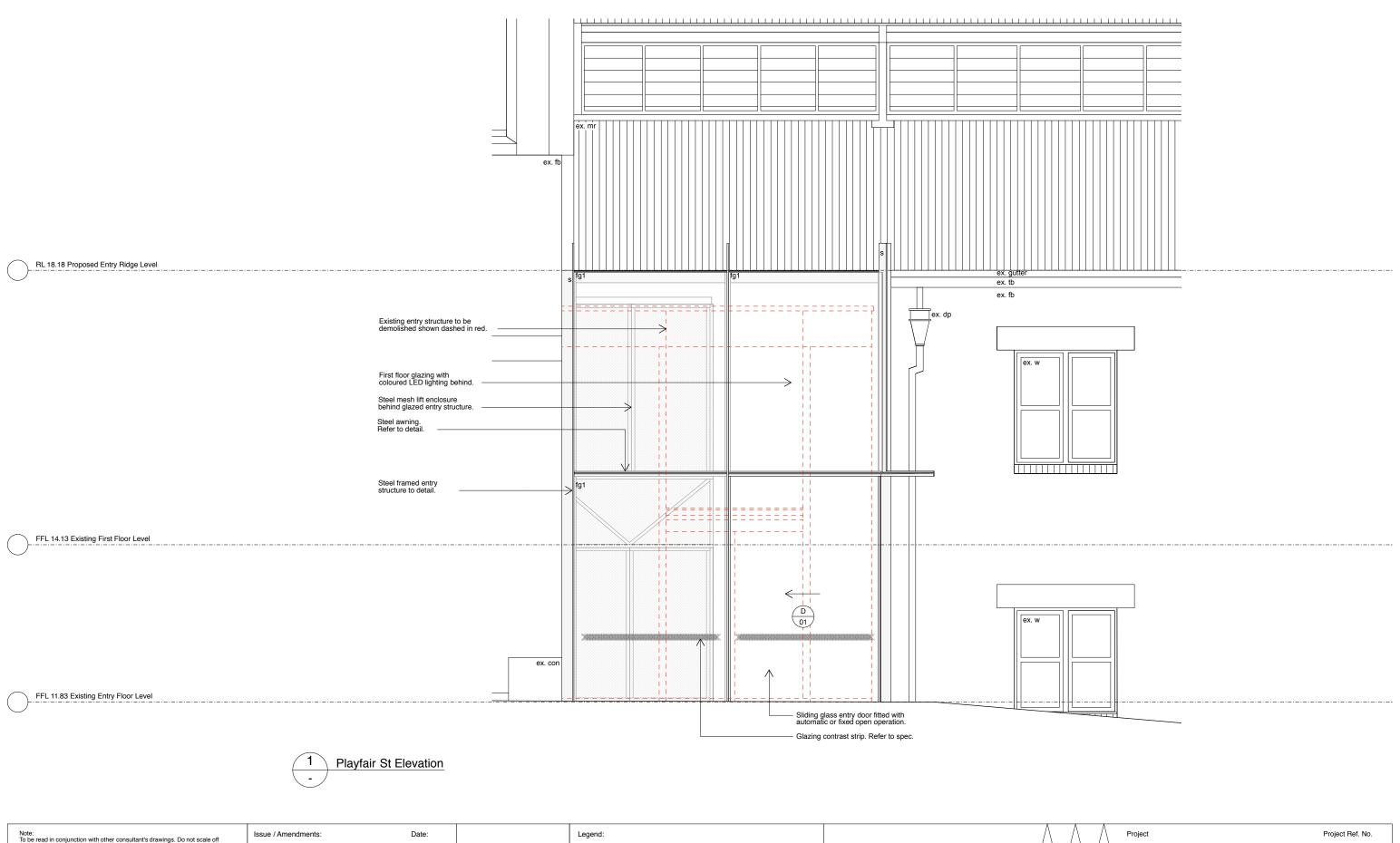
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May 2017

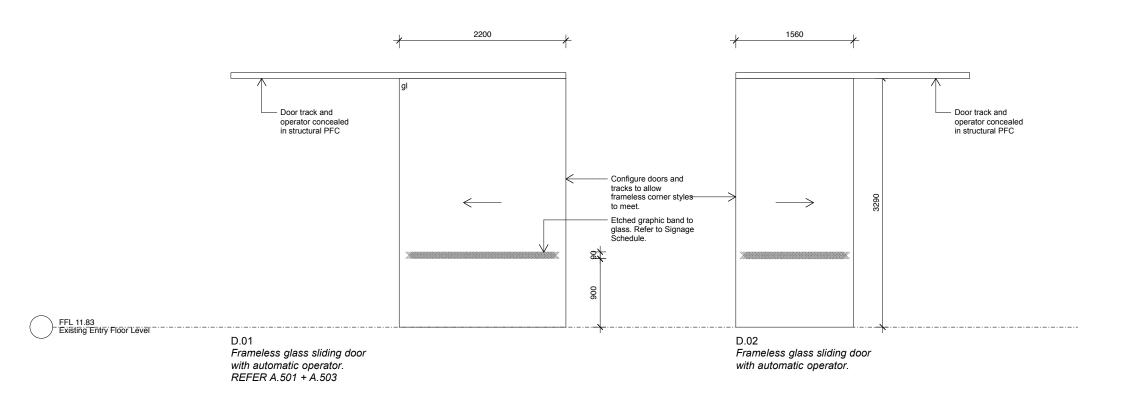
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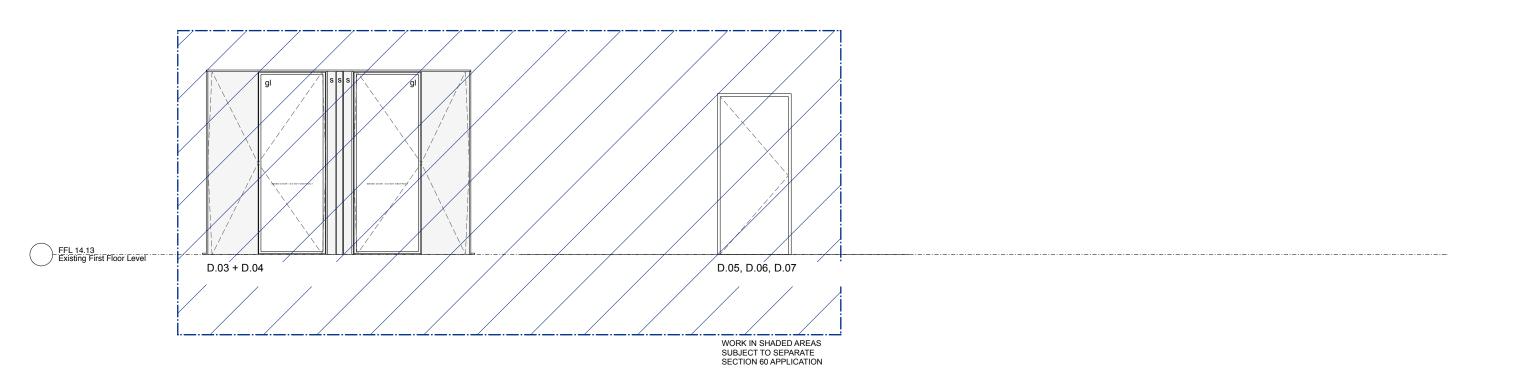
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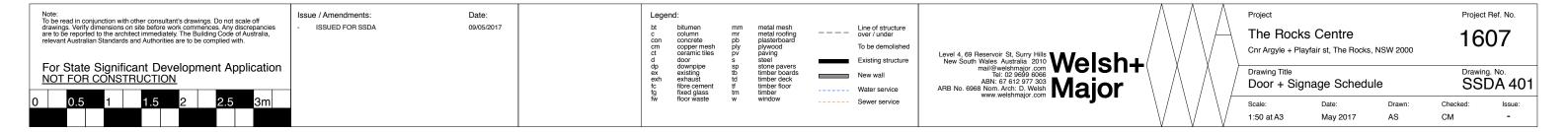


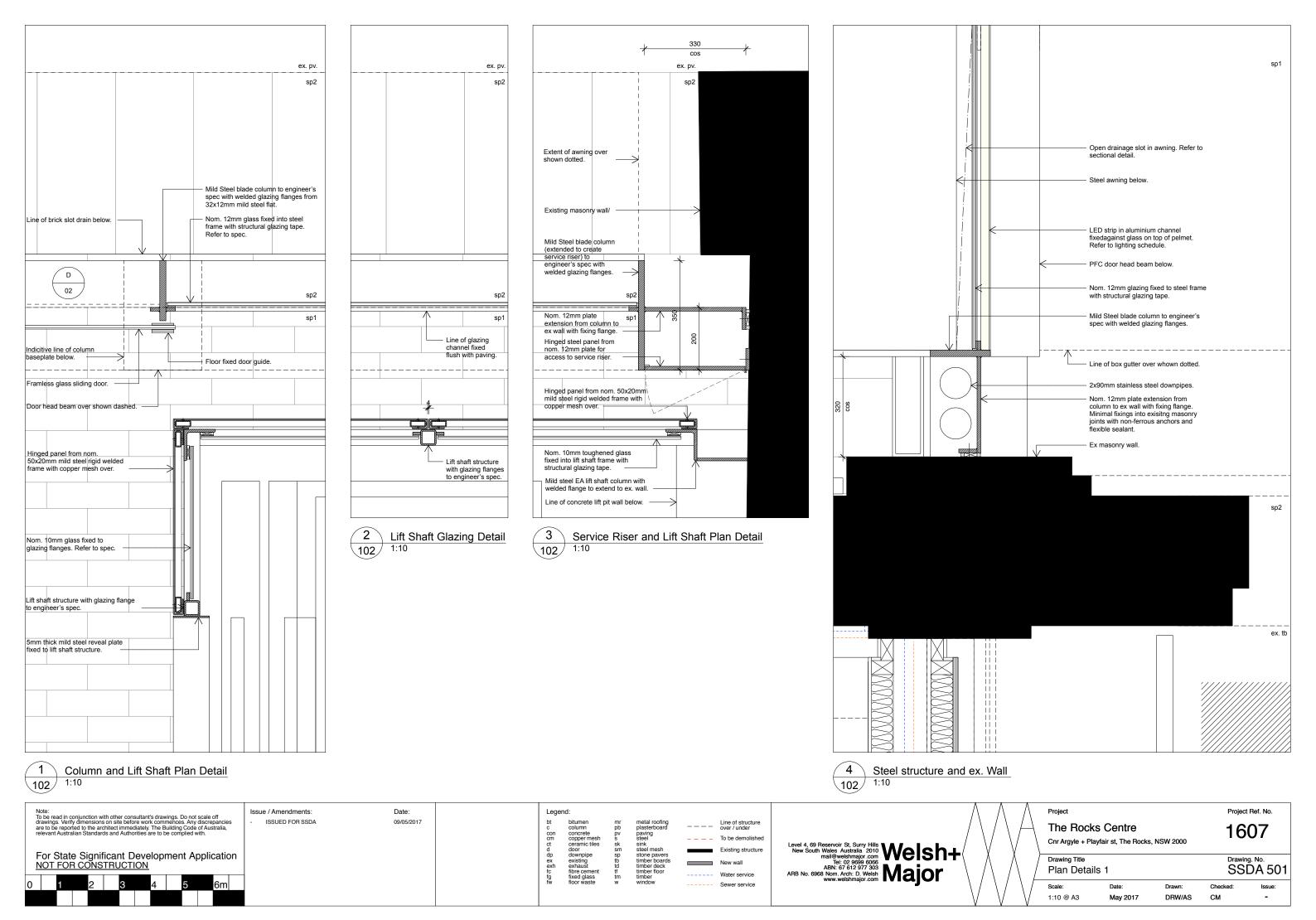


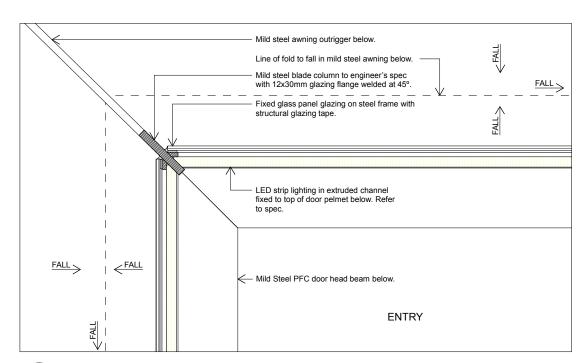
Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with. bitumen column concrete copper mesh ceramic tiles door downpipe existing exhaust fibre cement fixed glass floor waste ISSUED FOR SSDA 09/05/2017 Line of structure over / under The Rocks Centre 1607 To be demolished Level 4, 69 Reservoir St, Surry Hills
New South Wales Australia 2010
mail@welshmajor.com
Tel: 02 9699 6066
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ARB No. 6968 Nom. Arch: D. Welsh
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Waleshmajor.com Cnr Argyle + Playfair st, The Rocks, NSW 2000 For State Significant Development Application NOT FOR CONSTRUCTION Drawing. No. SSDA 302 Drawing Title Playfair St Elevation ---- Water service ----- Sewer service AS СМ 1:50 at A3 May 2017











Corner Glazing Detail.

103 1:10

Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with. For State Significant Development Application NOT FOR CONSTRUCTION Issue / Amendments: ISSUED FOR SSDA Date:

09/05/2017

bitumen column concrete copper mesh ceramic tiles door downpipe existing exhaust fibre cement fixed glass floor waste

_ _ _ _ Line of structure over / under _ _ _ To be demolished Existing structure

----- Sewer service

----- Water service

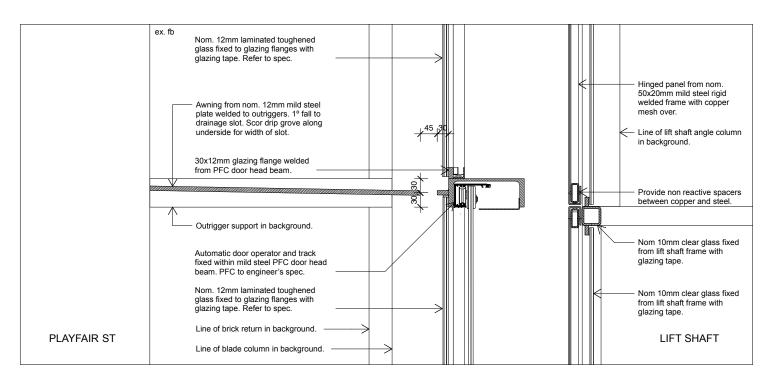
Level 4, 69 Reservoir St, Surry Hills
New South Wales Australia 2010
mail@welshmajor.com
Tit: 02 9699 6066
ABN: 67 612 977 303
ARB No. 6968 Nom. Arch D. Welsh
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The Rocks Centre Cnr Argyle + Playfair st, The Rocks, NSW 2000

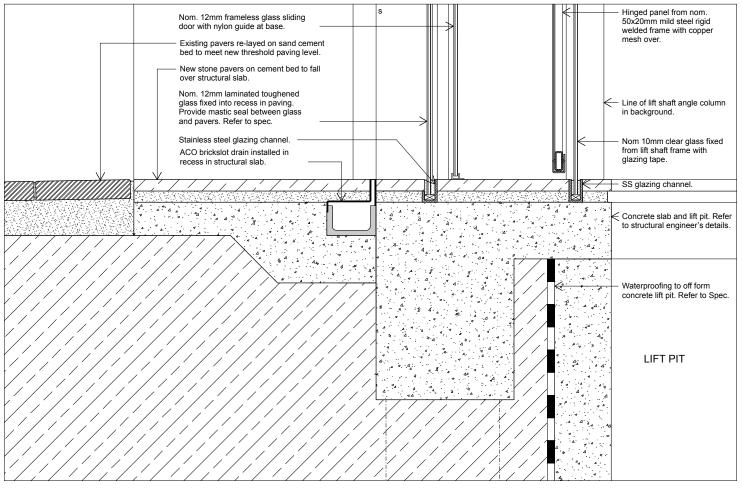
1607 Drawing Title

Drawing. No. SSDA 502 Plan Details 2 1:10 @ A3 May 2017 DRW/AS СМ

Project Ref. No.



Door Head + Awning Drainage Detail. **\203**/



Glazing Sill + Slot Drain Detail 203

Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with. Issue / Amendments: Date ISSUED FOR SSDA For State Significant Development Application NOT FOR CONSTRUCTION

09/05/2017

Legend: bitumen column concrete copper mesh ceramic tiles door downpipe existing exhaust fibre cement fixed glass floor waste

Line of structure over / under To be demolished

----- Water service

The Rocks Centre Cnr Argyle + Playfair st, The Rocks, NSW 2000 Drawing Title

May 2017

1:10 at A3

1607 Drawing. No. SSDA 503 Section Details 1 Checked

AS

СМ

Steel blade column to extend

- Laminated roof glazing fixed to

Line of steel blade beam. Refer

ex.fb

LIFT SHAFT

Project Ref. No.

to structural engineer's spec.

Glazed panel to roof of lift shaft. Refer to spec.

steel frame with glazing tape.

Refer to spec.

Glass Wall + Roof Junction Detail 203 1:10

Line of back flange welded

Provide non reactive spacers

Hinged panel from nom. 50x20mm

mild steel rigid welded frame with

between copper and steel.

copper mesh over

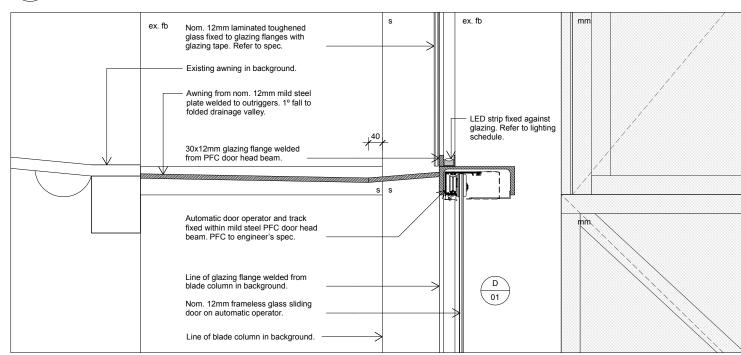
Line of lift shaft angle column in background.

from steel blade column 100EA mild steel angle to top of lift shaft.

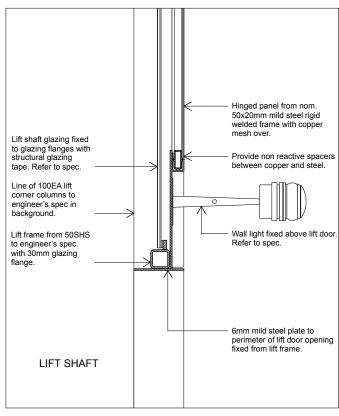
ex. fb

RL. 18.18

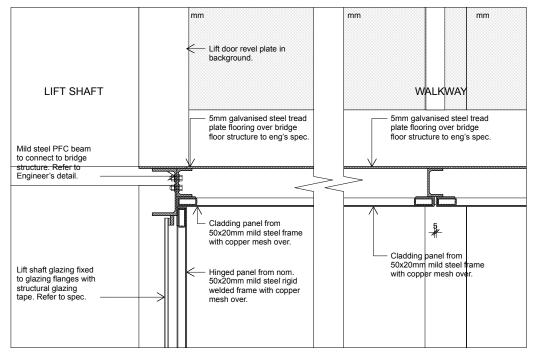
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Door Head + Awning Drainage Detail. 202/



Lift Door Head Detail. 203 1:10



Bridge Connection/Lift Door Sill Detail. 1:10 203

mm Exge of door reveal Mild steel bridge beam to engineer's spec. 5mm galvanised steel tread plate flooring to bridge. Bridge floor structure TO engineer's spec. Modify existing timber floor to meet new bridge structure. New timber 100mm wide threshold piece to match existing. Mild steel stub column from bridge beam to ex timber Beam to engineer's spec. Coordinate location on site with Architect
New timber trims between ex. beam and floor to match existing details. Existing timber beam. Protect

Walkway connection/D.03 Sill Detail. 203 1:10

90x5mm mild steel flat capping to balustrade. 50x50x6 SHS balustrade rail to engineer's spec. Handrail from 32mm Ø mild steel welded to walkway frame. Line of stanchion stiffener in background. Cladding panel from 50x20mm painted mild steel frame with copper mesh over. SHS balustrade stanchion to engineer's spec. welded from bridge beam. Welded stiffener plate between PFC flanges 5mm galvanised steel tread plate flooring over bridge structure to engineer's spec. Mild Steel PFC bridge beam to engineer's spec. with attached 50EA5 to support floor plate. Cladding panel from 50x20mm painted mild steel frame with copper mesh over. Stub column in background. - Existing Timber beam in background

Walkway Balustrade + Floor Detail. 206 1:10

Note:
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For State Significant Development Application NOT FOR CONSTRUCTION

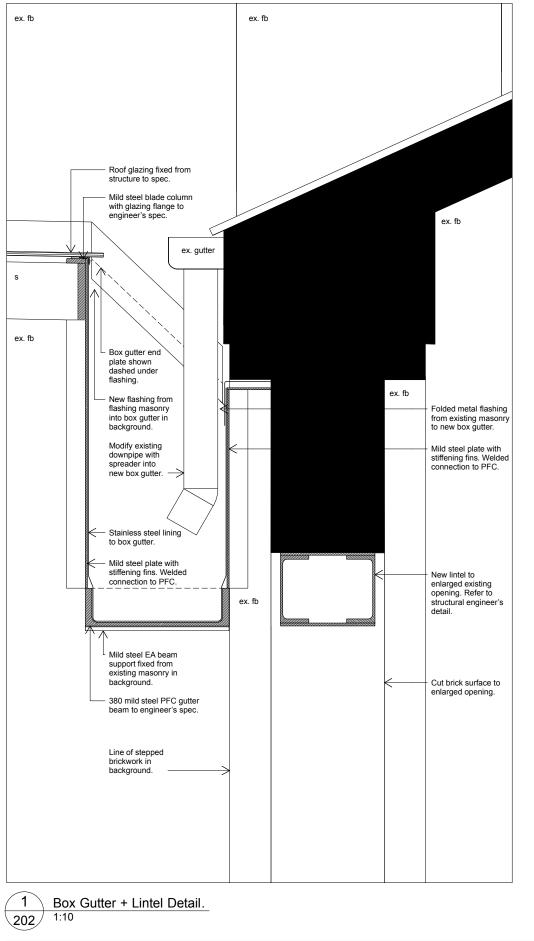
Issue / Amendments: Date: ISSUED FOR SSDA 09/05/2017

Legend:

Line of structure over / under To be demolished ----- Water service

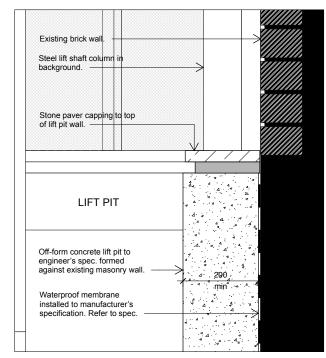
Level 4, 69 Reservoir St, Surry Hills
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ARB No. 6968 Nom. Arch: D. Welsh
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Project Ref. No. The Rocks Centre 1607 Cnr Argyle + Playfair st, The Rocks, NSW 2000 Drawing. No. SSDA 504 Drawing Title Section Details 2 Drawn Checked: 1:10 at A3 AS CM May 2017



- Blade column extension Nom 12mm mild steel plate welded from beam with ss flashing over. Fall to box gutter.
Folded lead flashing from existing brick joint over steel upstand. Mild steel upstand with continuous weld to plate. Fix into existing brickwork. Mild steel beam with welded glazing flanges. Refer to engineer's spec. Mild steel EA lift shaft frame capping. Refer to engineer's spec. Fixed glass lift shaft roof glazed to structural frame. LIFT SHAFT

Glazed Roof + Ex. Building Junction Detail. 204 1:10



3 Lift Pit + Ex. Building Junction Detail. 204 1:10

Note: To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be compiled with.

For State Significant Development Application NOT FOR CONSTRUCTION

Issue / Amendments: ISSUED FOR SSDA 09/05/2017

Legend:

metal mesh metal roofing plasterboard plywood paving steel stone pavers timber boards timber deck timber floor timber window

To be demolished Existing structure ----- Water service

----- Sewer service

Level 4, 69 Reservoir St, Surry Hills
New South Wales Australia 2010
mail@welshmajor.com
Tet: 02 9699 6066
ABN: 67 612 977 303
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Project Ref. No. The Rocks Centre 1607 Cnr Argyle + Playfair st, The Rocks, NSW 2000

Drawing. No. SSDA 505 Section Details 3 Drawn Checked: AS 1:10 at A3 May 2017