

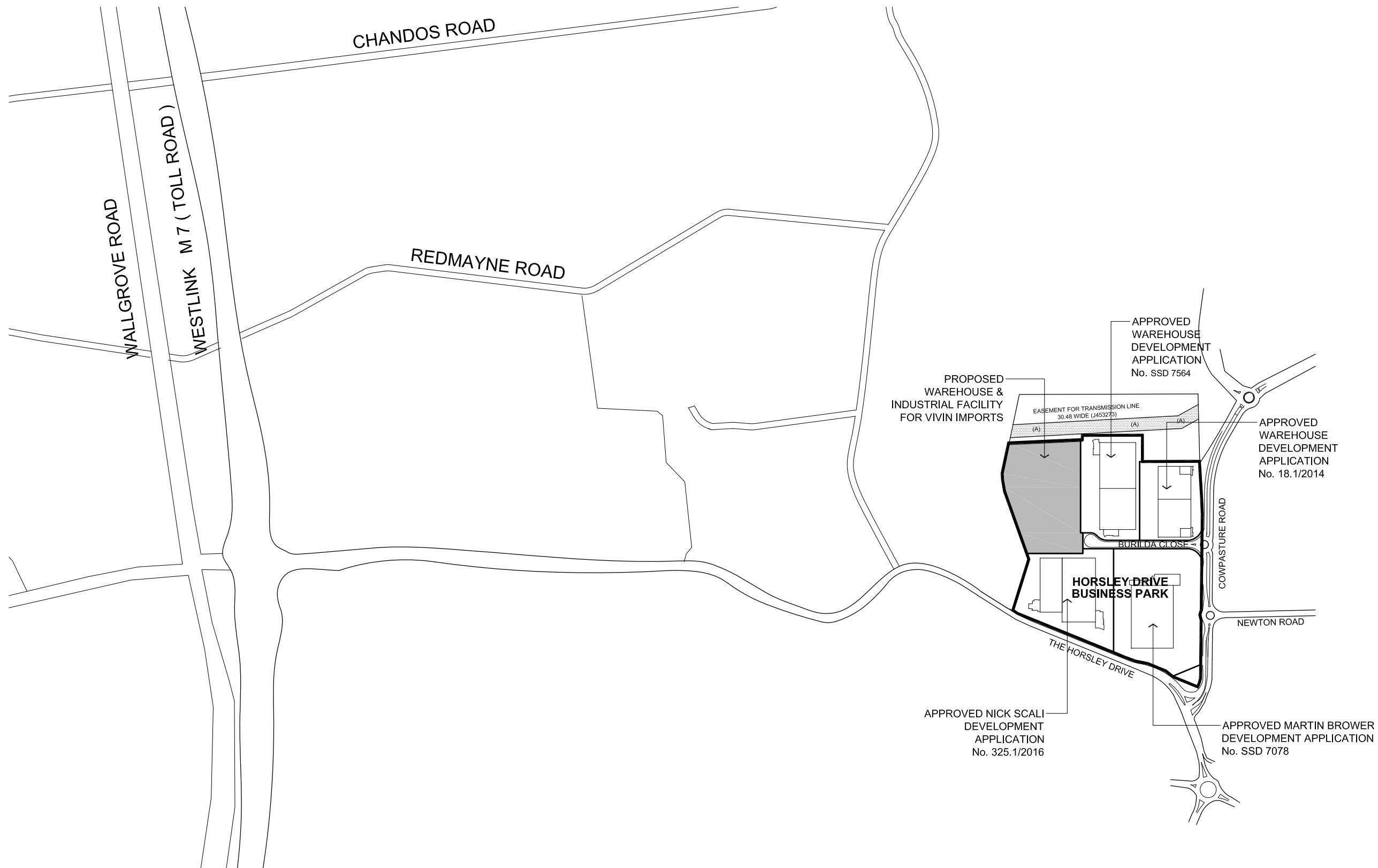
PROPOSED WAREHOUSE  
& INDUSTRIAL FACILITY FOR  
VIVIN IMPORTS

AT PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK  
HORSLEY DRIVE BUSINESS PARK

VI - WSPT - DA - 000	A	TITLE SHEET
VI - WSPT - DA - 001	A	LOCATION PLAN
VI - WSPT - DA - 002	A	SITE ANALYSIS
VI - WSPT - DA - 003	A	SITE PLAN
VI - WSPT - DA - 004	A	TRUCK TURNING DIAGRAMS - SHEET 1
VI - WSPT - DA - 005	A	TRUCK TURNING DIAGRAMS - SHEET 2
VI - WSPT - DA - 100	A	WAREHOUSE / INDUSTRIAL FACILITY PLAN
VI - WSPT - DA - 110	A	WAREHOUSE OFFICE & MAIN OFFICE PLANS
VI - WSPT - DA - 111	A	SHOWROOM PLANS
VI - WSPT - DA - 200	A	ELEVATIONS
VI - WSPT - DA - 210	A	SECTIONS
VI - WSPT - DA - 400	A	LIGHTING PLAN
VI - WSPT - DA - 500	A	COLOURED ELEVATIONS
VI - WSPT - DA - 600	A	BURILDA CLOSE CUL DE SAC PERSPECTIVE

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.  
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	06.04.17



COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 5  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
PROPOSED WAREHOUSE & INDUSTRIAL  
FACILITY FOR VIVIN IMPORTS  
ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK  
DRAWING TITLE  
LOCATION PLAN

SCALE 1:4000 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000

DRAWING NUMBER VI-WSPT-DA-001  
ISSUE A

01 LOCATION PLAN  
1:4,000 @ B1

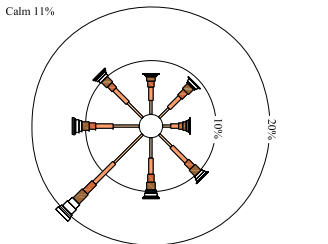
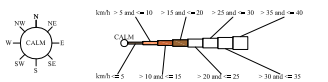
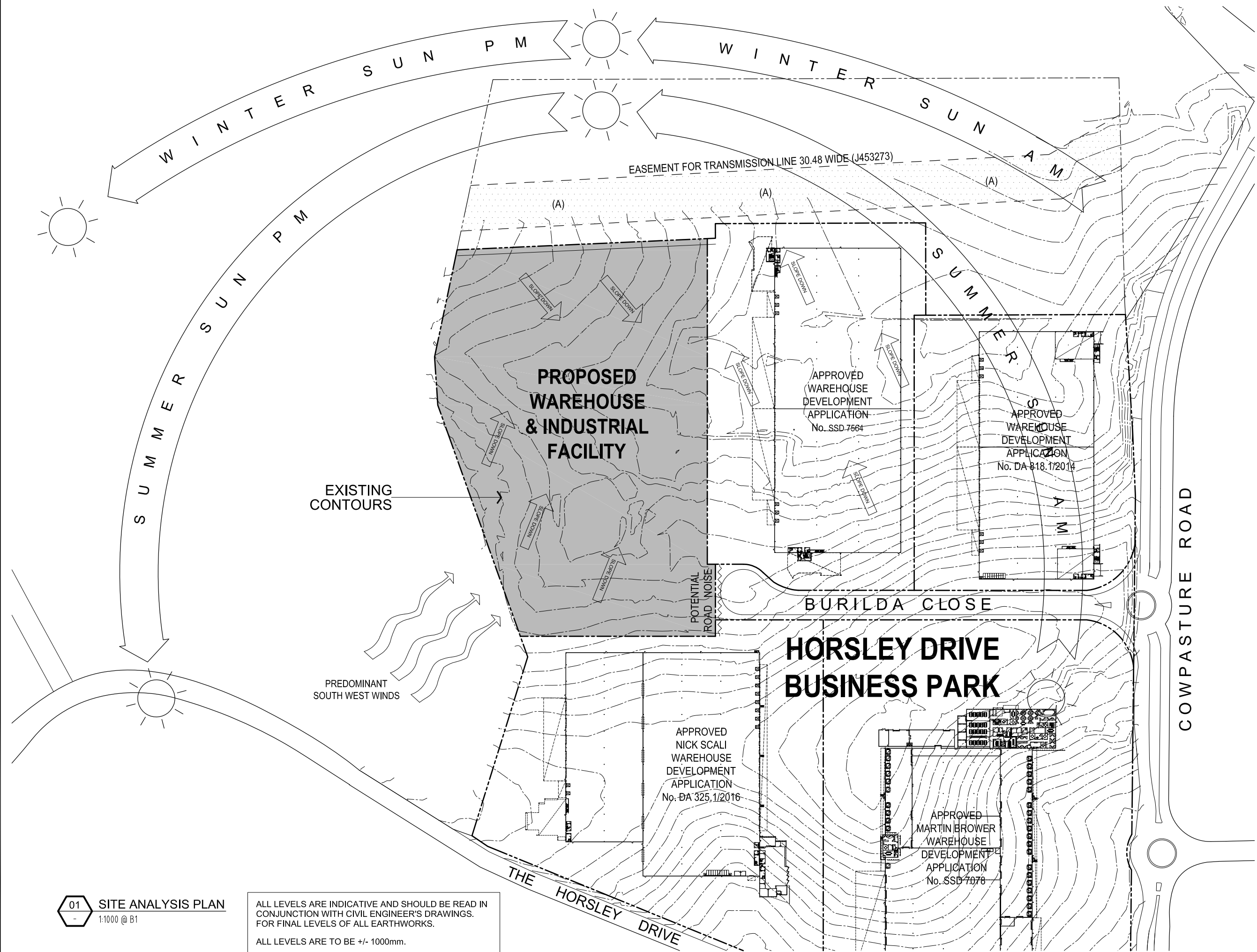
ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN  
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.  
FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.

© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	06.04.17



COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
PROPOSED WAREHOUSE & INDUSTRIAL  
FACILITY FOR VINI IMPORTS  
ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK  
DRAWING TITLE  
SITE ANALYSIS

SCALE 1:1000 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000

DRAWING NUMBER  
V-WSPT-DA-002  
ISSUE  
A

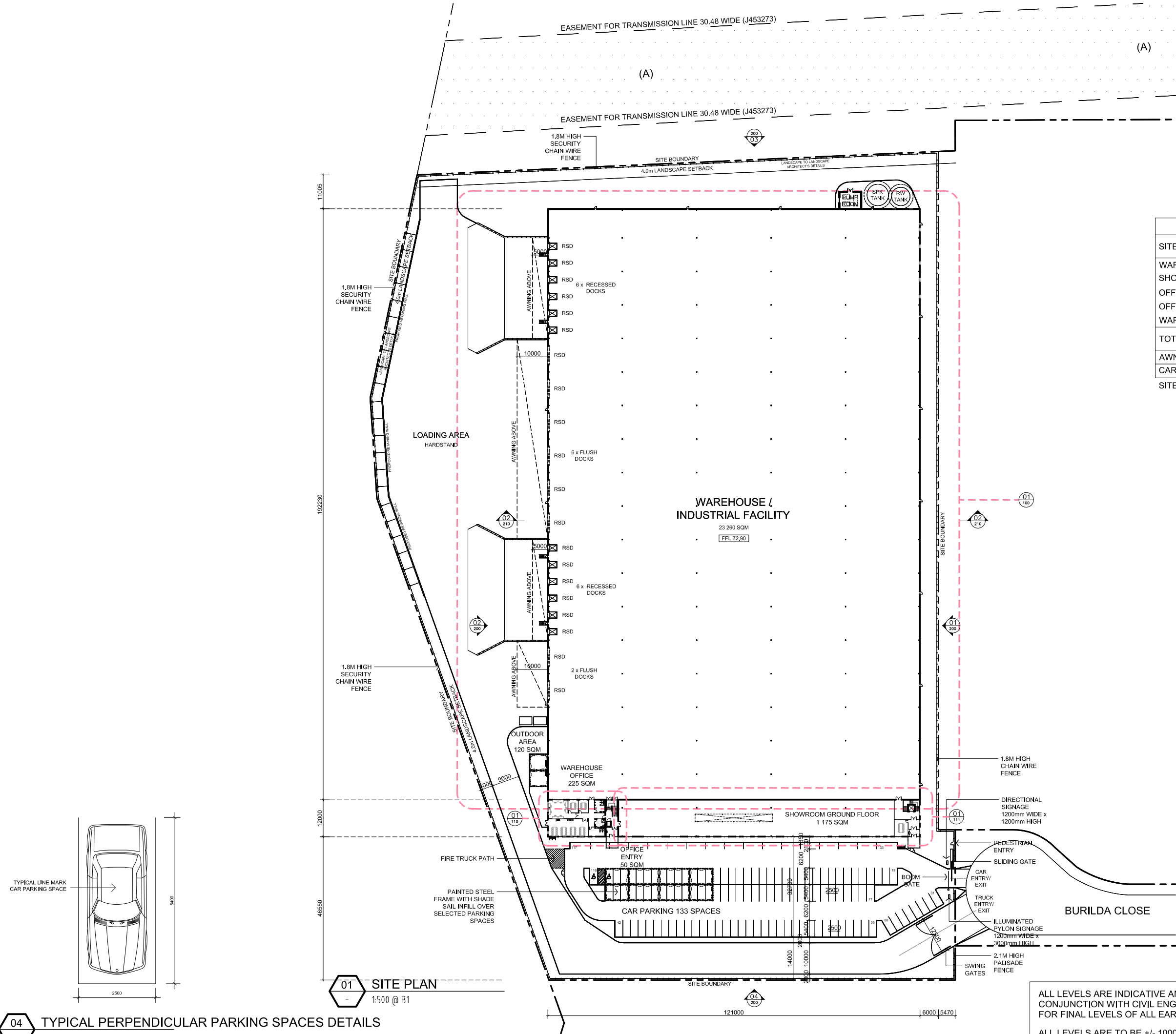
01 SITE ANALYSIS PLAN  
1:1000 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN  
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.  
FOR FINAL LEVELS OF ALL EARTHWORKS.  
ALL LEVELS ARE TO BE +/- 1000mm.

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.  
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be  
copied, used, reproduced or transmitted in any way or in any form  
without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	06.04.17

DEVELOPMENT AREAS	
SITE AREA	43976 SQM
WAREHOUSE / INDUSTRIAL FACILITY	23260 SQM
SHOWROOM (2 STOREY)	1990 SQM
OFFICE ENTRY	50 SQM
OFFICE FIRST FLOOR	530 SQM
WAREHOUSE OFFICE	225 SQM
TOTAL BUILDING AREA	26055 SQM
AWNING	1200 SQM
CAR PARKING PROVIDED (DCP 131)	133 SPACES
SITE COVERAGE	62



04 TYPICAL PERPENDICULAR PARKING SPACES DETAILS  
SCALE - 1:50 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN  
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.  
FOR FINAL LEVELS OF ALL EARTHWORKS.  
ALL LEVELS ARE TO BE +/- 1000mm.



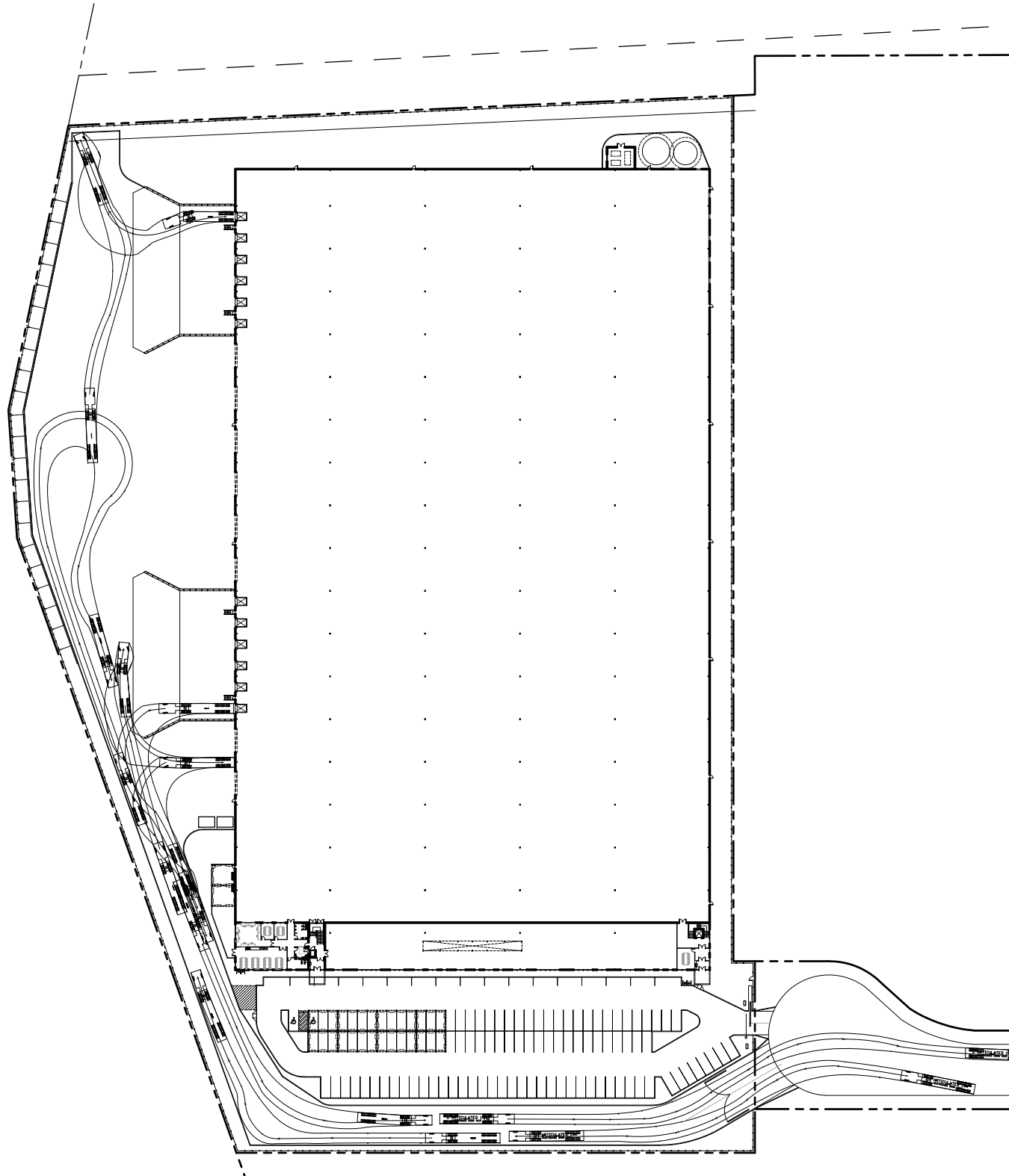
COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
PROPOSED WAREHOUSE & INDUSTRIAL  
FACILITY FOR VIVIN IMPORTS  
ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK  
DRAWING TITLE  
SITE PLAN

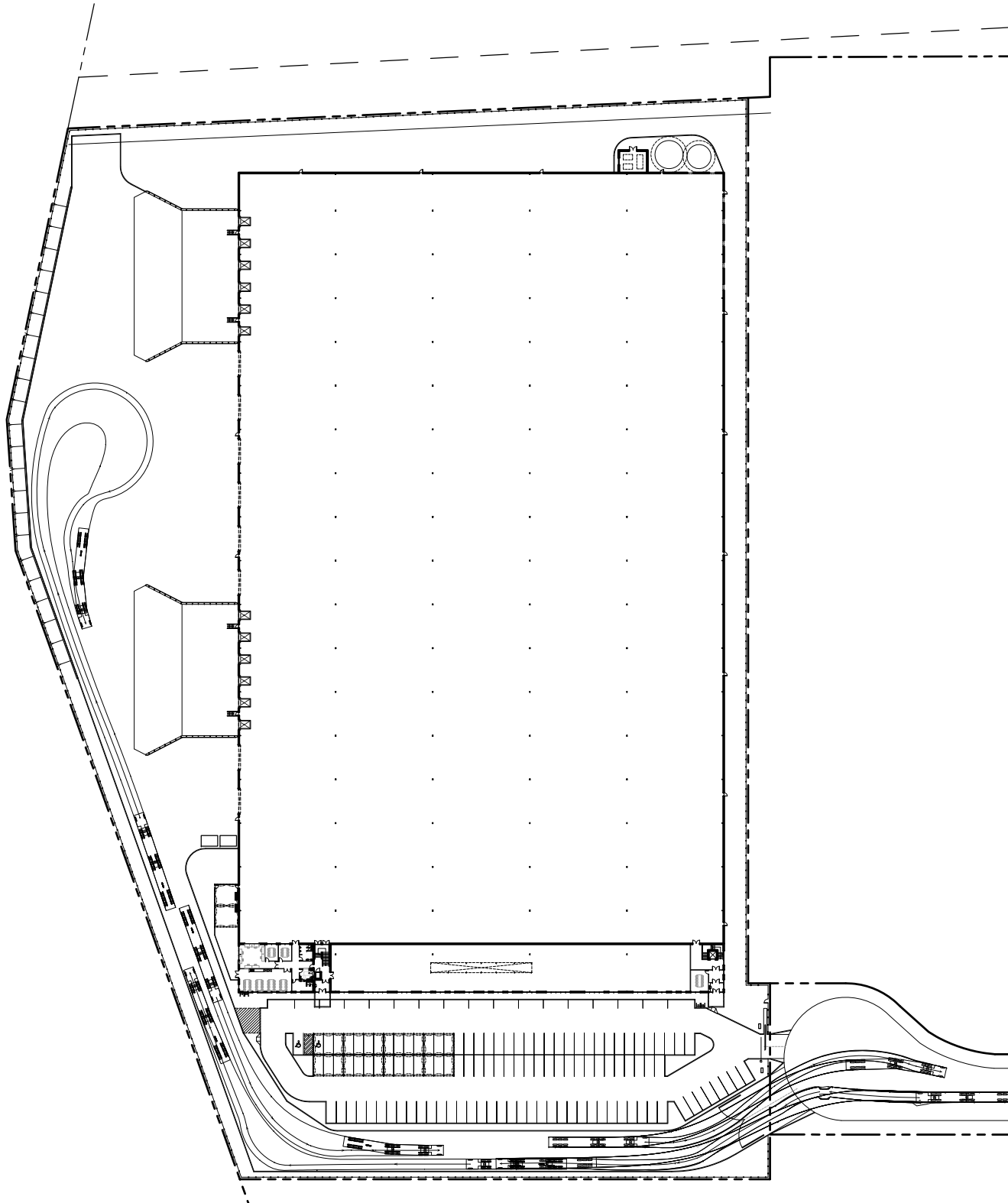
SCALE 1:500 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000  
DRAWING NUMBER VI-WSPT-DA-003  
ISSUE B

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.  
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	06.04.17



01 SEMI-TRAILER TURNING DIAGRAM 01  
1:600 @ B1



02 B-DOUBLE TURNING DIAGRAM 02  
1:600 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.  
ALL LEVELS ARE TO BE +/- 1000mm.



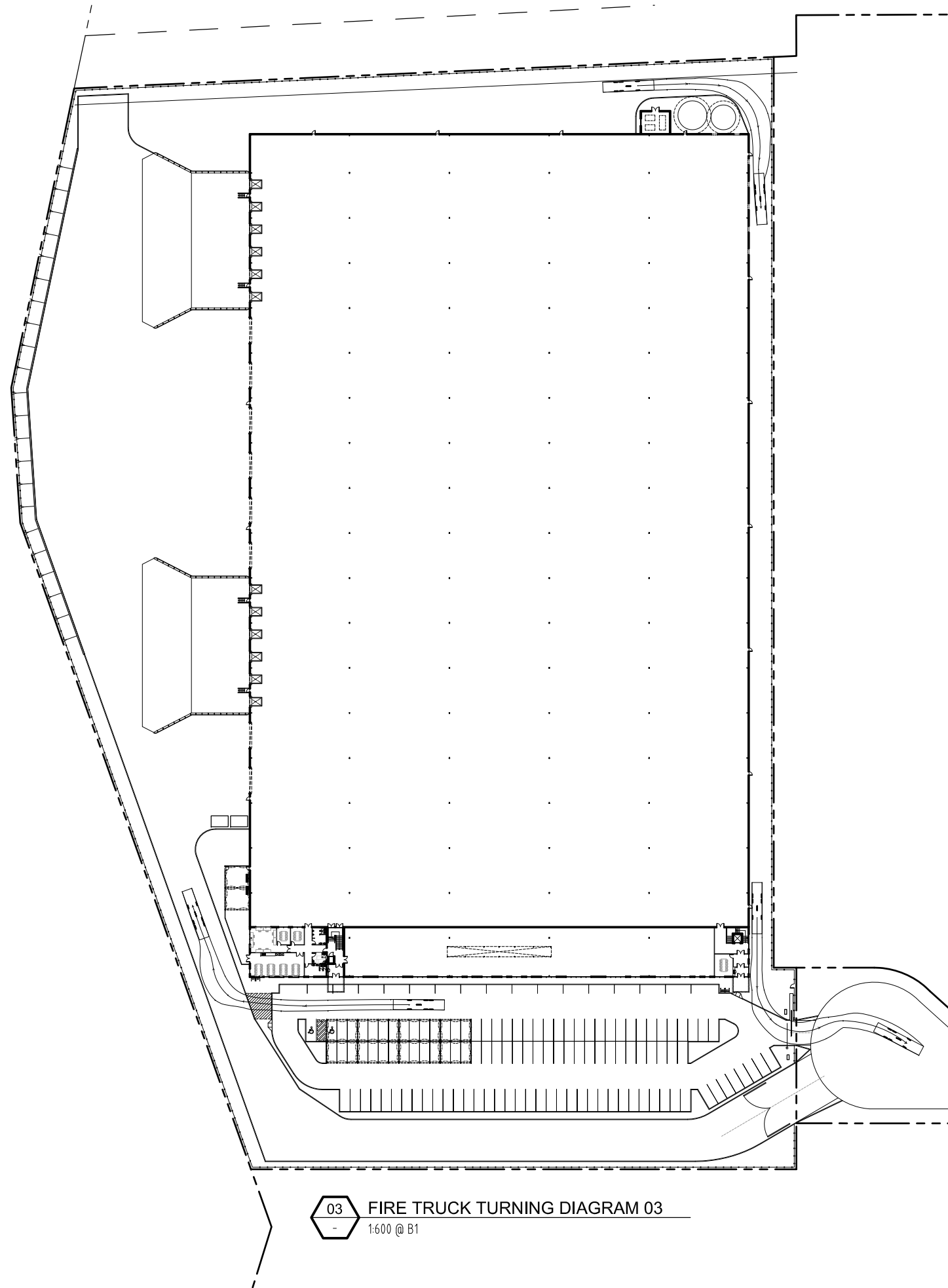
COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
PROPOSED WAREHOUSE & INDUSTRIAL FACILITY FOR VIVIN IMPORTS  
ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK  
DRAWING TITLE  
TRUCK TURN DIAGRAMS – SHEET 1

SCALE 1:600 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000

DRAWING NUMBER VI-WSPT-DA-004  
ISSUE A





03 FIRE TRUCK TURNING DIAGRAM 03  
1:600 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.  
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	06.04.17



**FRASERS  
PROPERTY**

COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 5  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138

PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
PROPOSED WAREHOUSE & INDUSTRIAL FACILITY FOR VIVIN IMPORTS

ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE  
TRUCK TURN DIAGRAMS – SHEET 2

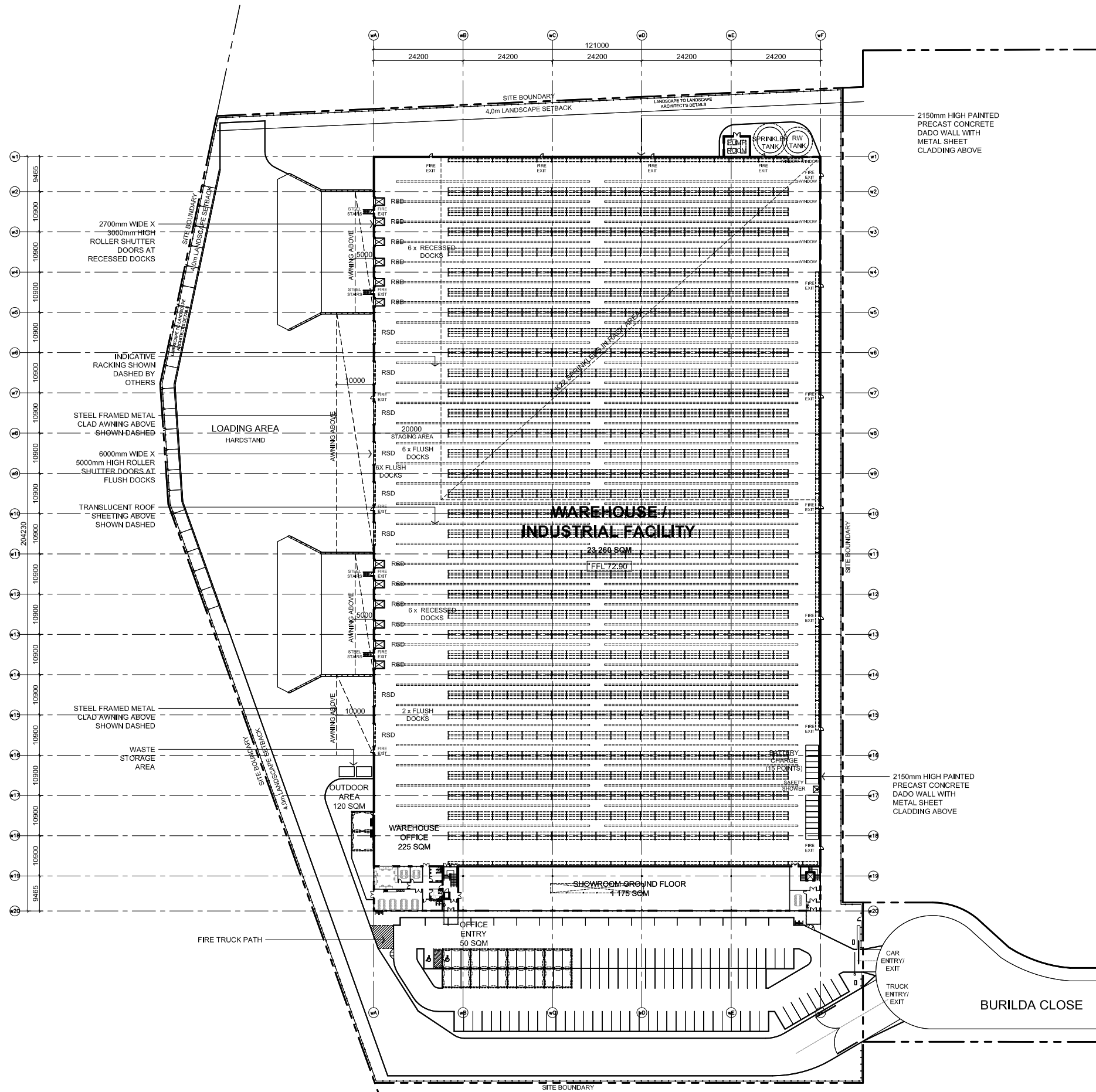
SCALE	1:600 @ B1
DRAWN	MP
CHECKED	JQ
DATE	06.04.17
JOB NUMBER	0000-00-000

DRAWING NUMBER	VI-WSPT-DA-005
ISSUE	A

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.

© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be  
copied, used, reproduced or transmitted in any way or in any form  
without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	06.04.17



ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN  
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.  
FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

01 WAREHOUSE PLAN  
1:500 @ B1

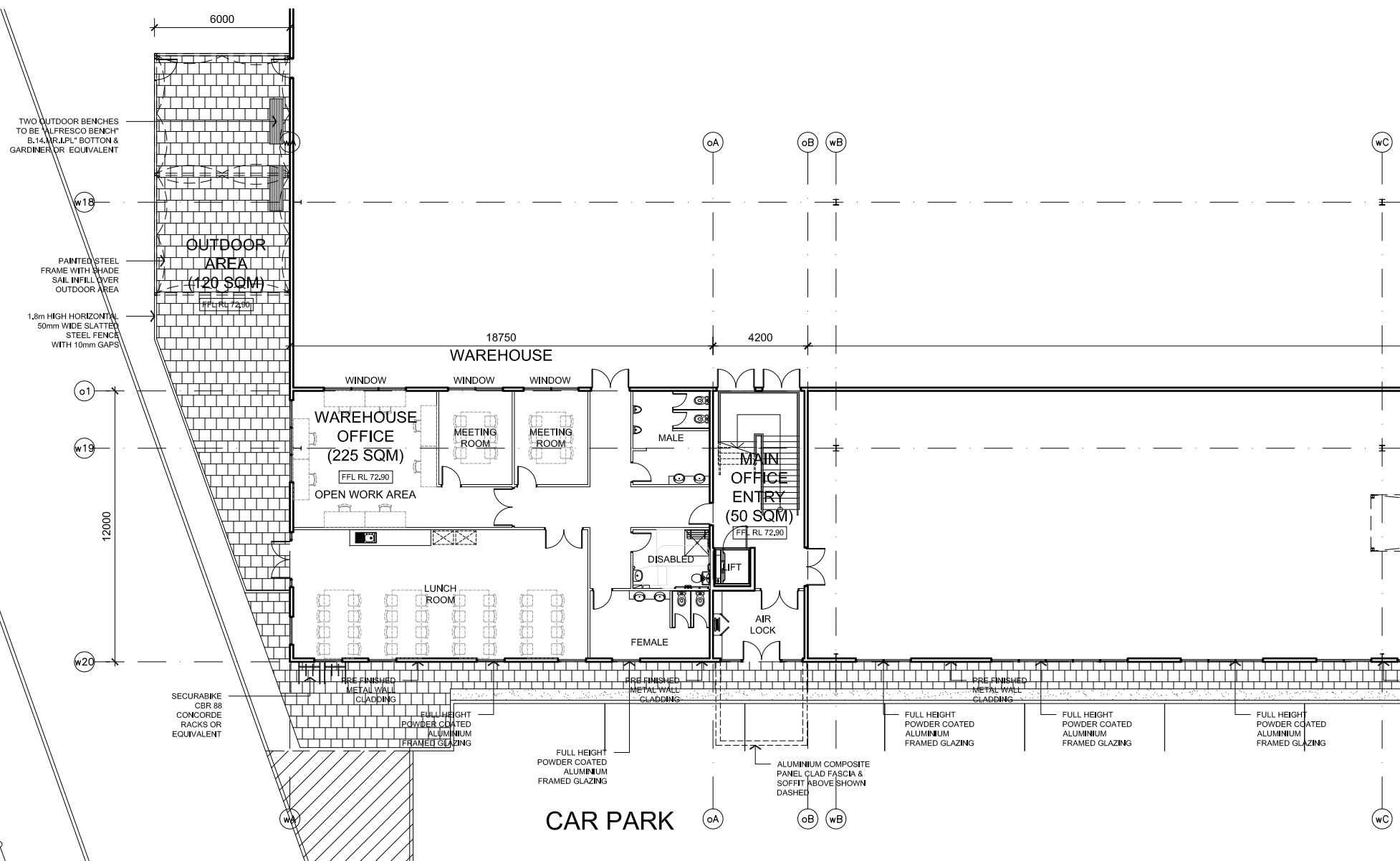


COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

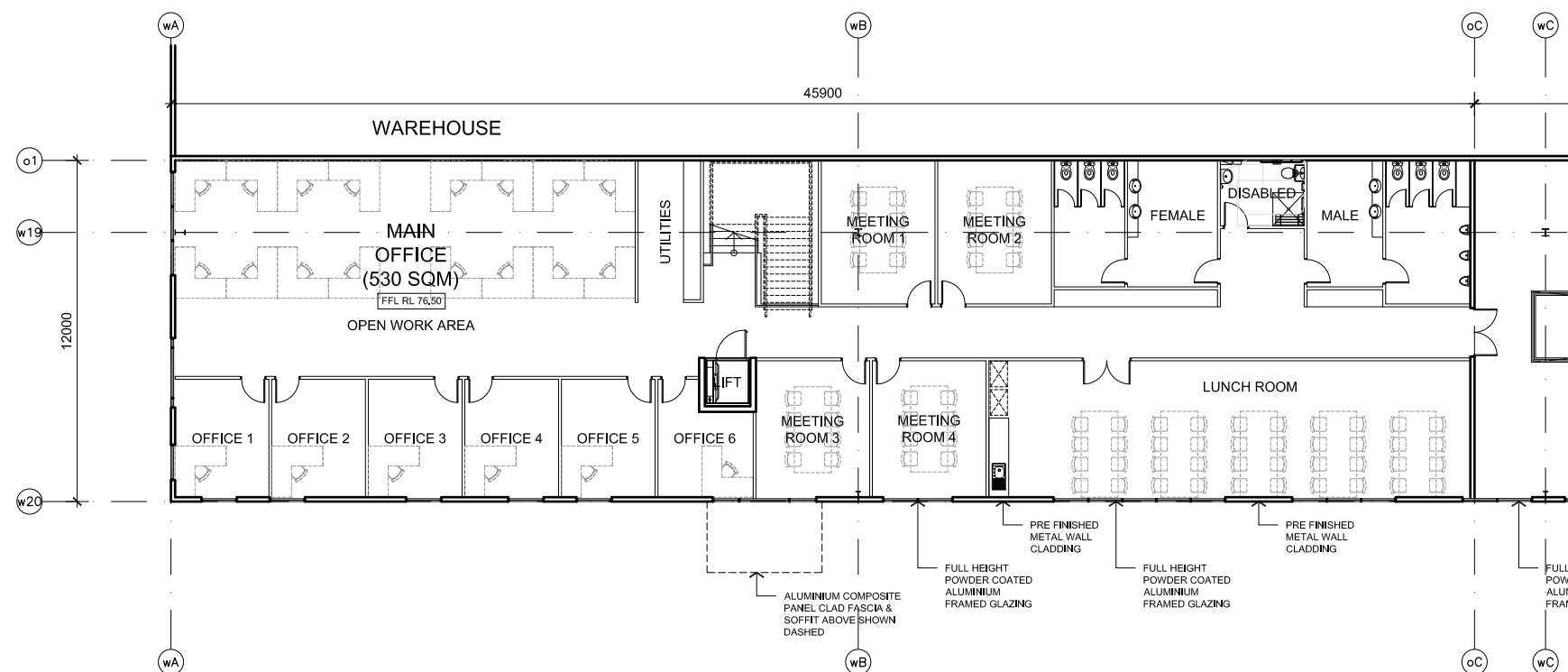
PROJECT  
P  
FACILITY FOR VIVIN IMPORTS  
ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK  
DRAWING TITLE  
WAREHOUSE /  
INDUSTRIAL FACILITY  
PLAN

SCALE 1:500 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE  
VI-WSPT-DA-100 A



01 WAREHOUSE OFFICE AND MAIN OFFICE ENTRY PLAN  
1:100 @ B1



02 MAIN OFFICE PLAN  
1:100 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.



COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
TWO STAGED SPECULATIVE WAREHOUSE  
& INDUSTRIAL FACILITY

ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE  
WAREHOUSE OFFICE &  
MAIN OFFICE PLANS

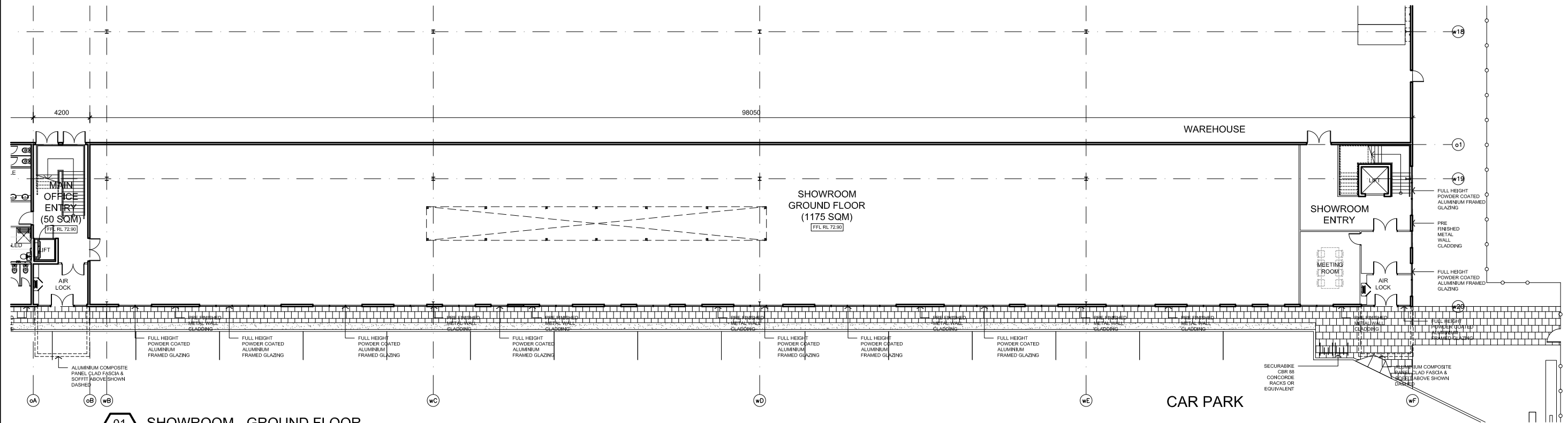
SCALE 1:100 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 22.12.16  
JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE  
V-WSPT-DA-110 A

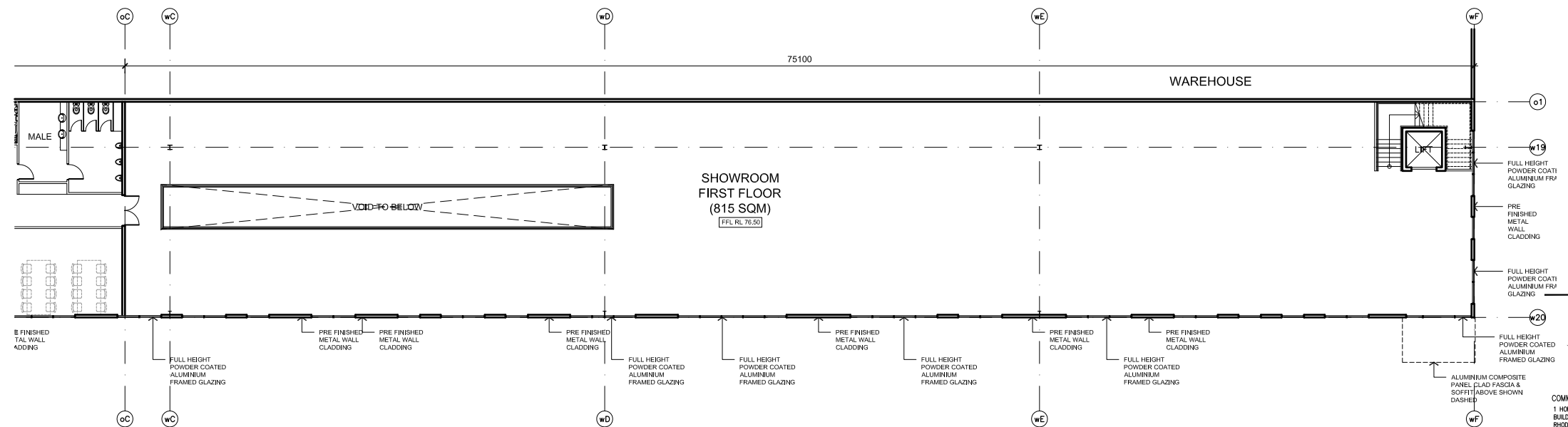


DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.  
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	05.10.16



01 SHOWROOM - GROUND FLOOR  
1:125 @ B1



01 SHOWROOM - FIRST FLOOR  
1:125 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.



**FRASERS  
PROPERTY**

COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
TWO STAGED SPECULATIVE WAREHOUSE  
& INDUSTRIAL FACILITY

ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE  
SHOWROOM  
GROUND FLOOR &  
FIRST FLOOR PLANS

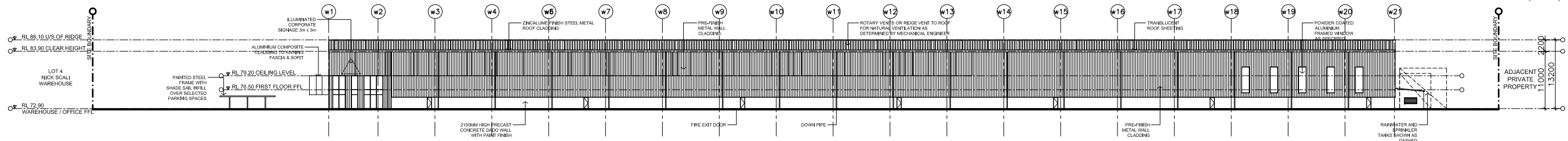
SCALE 1:125 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 05.10.16  
JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE

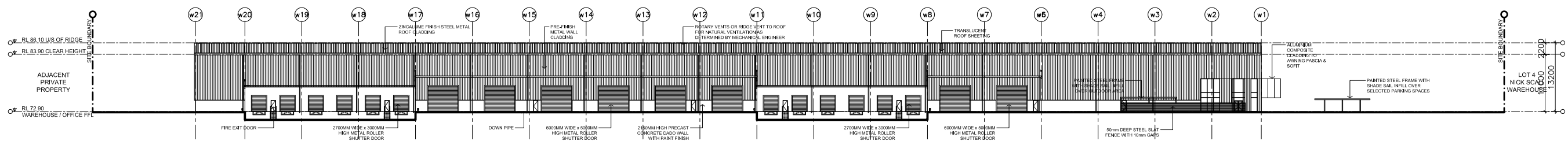
V-WSPT-DA-111 A

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.  
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

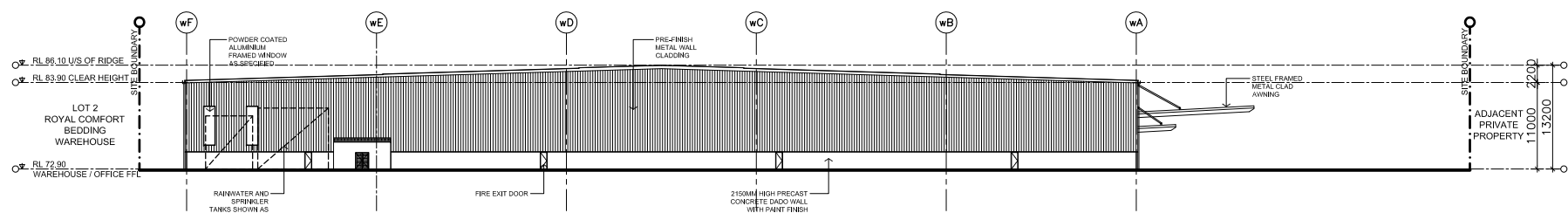
REVISION	DESCRIPTION	DATE
A	DA ISSUE	06.04.17



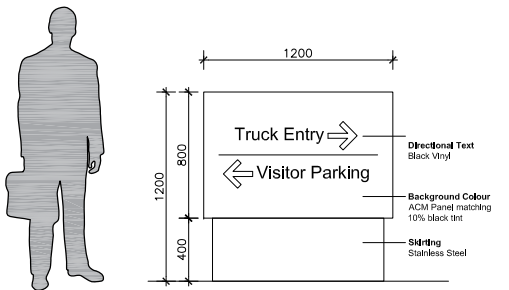
01 ELEVATION  
1:350 @ B1



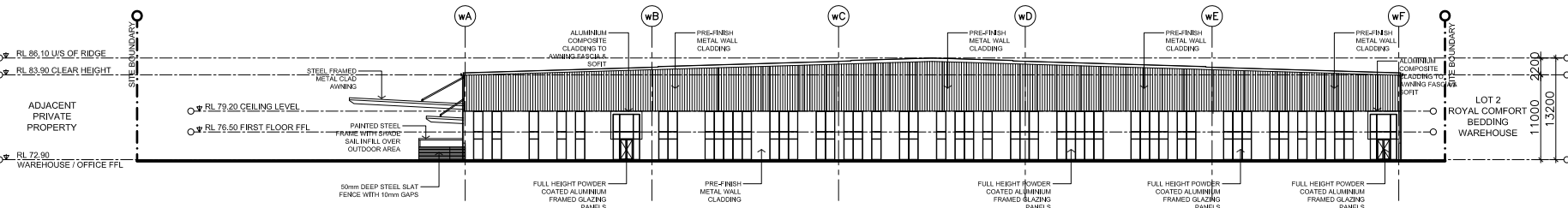
02 ELEVATION  
1:350 @ B1



03 ELEVATION  
1:350 @ B1



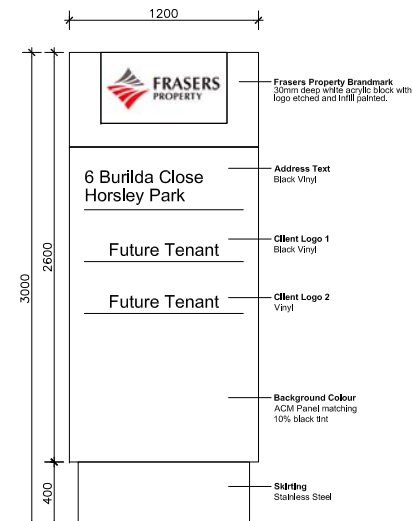
02 DIRECTIONAL SIGNAGE DETAIL  
NOT TO SCALE



04 ELEVATION  
1:350 @ B1



01 PYLON SIGNAGE DETAIL  
NOT TO SCALE



ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.



COMMERCIAL & INDUSTRIAL DIVISION  
1 HORSBUSH BAY DRIVE  
BUILDING C, LEVEL 5  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

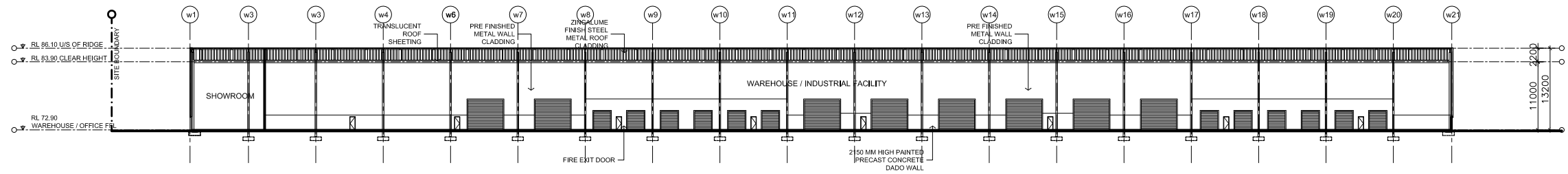
PROJECT  
PROPOSED WAREHOUSE & INDUSTRIAL  
FACILITY FOR VIVIN IMPORTS  
ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK  
DRAWING TITLE  
ELEVATIONS

SCALE 1:350 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000

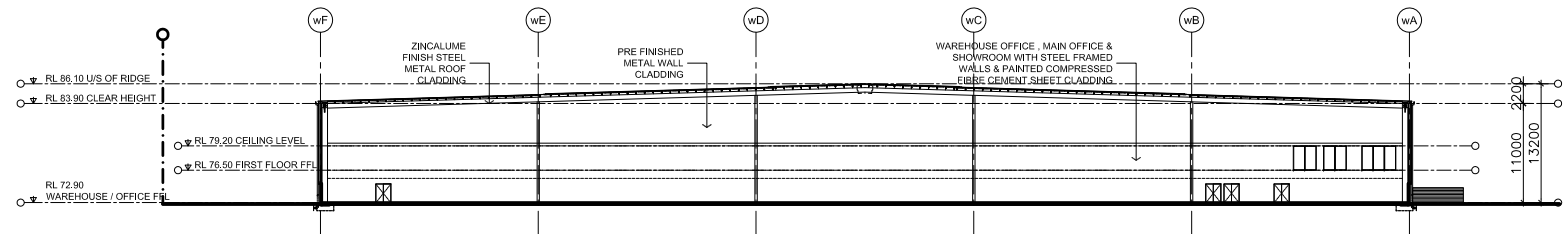
DRAWING NUMBER ISSUE  
VI-WSPT-DA-200 A

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.  
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	06.04.17



01 SECTION  
1:350 @ B1



02 SECTION  
1:350 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

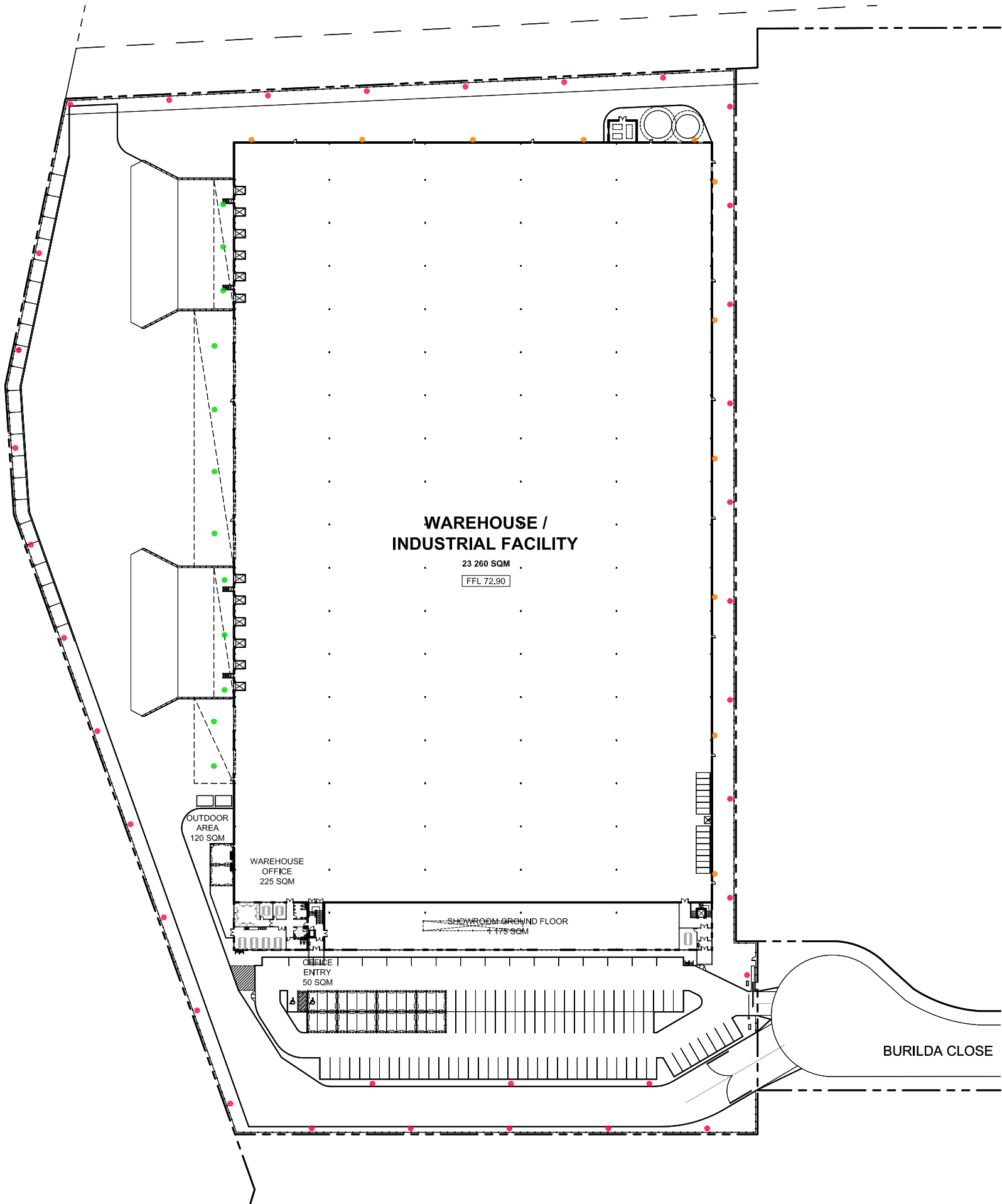


COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
PROPOSED WAREHOUSE & INDUSTRIAL FACILITY FOR VIVIN IMPORTS  
ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK  
DRAWING TITLE  
SECTIONS

SCALE 1:4000 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000

DRAWING NUMBER VI-WSPT-DA-210  
ISSUE A



LEGEND

CAR PARK LIGHT APPROX 5M HIGH

WALL MOUNTED LIGHTING

LIGHT TO UNDERSIDE OF AWNING

FINAL LIGHT POSITIONS SUBJECT TO BCA REQUIREMENTS

01

LIGHTING PLAN

1:500 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138

PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
PROPOSED WAREHOUSE & SPECULATIVE FACILITY FOR VIVIN IMPORTS

ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK

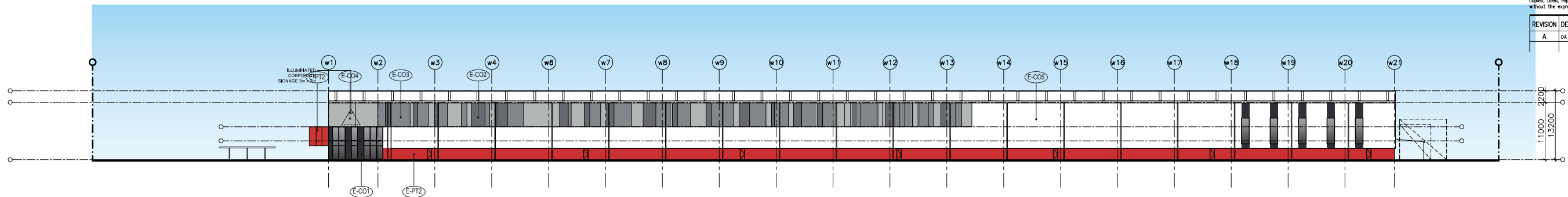
DRAWING TITLE  
LIGHTING PLAN

SCALE 1:500 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000

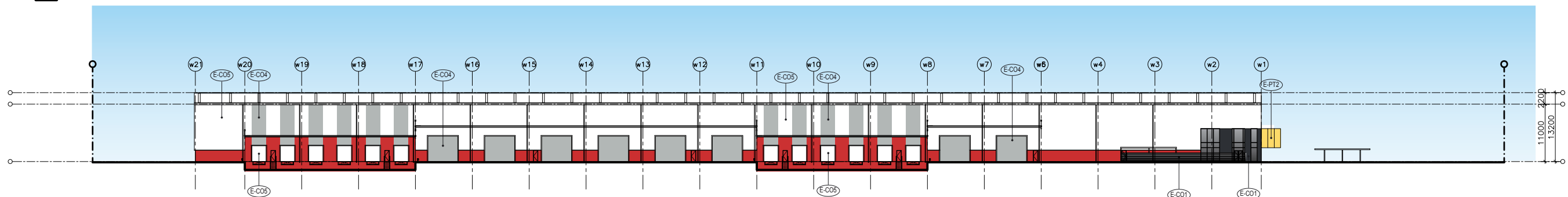
DRAWING NUMBER VI-WSPT-DA-400  
ISSUE A

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.  
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.  
This drawing is confidential and is subject to copyright. It may not be  
copied, used, reproduced or transmitted in any way or in any form  
without the express permission of Frasers Property Australia Pty Ltd.

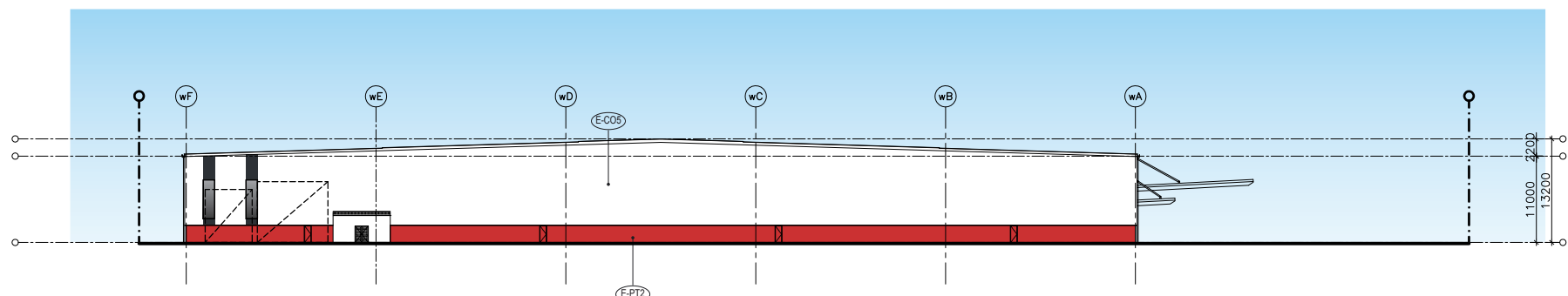
REVISION	DESCRIPTION	DATE
A	DA ISSUE	06.04.17



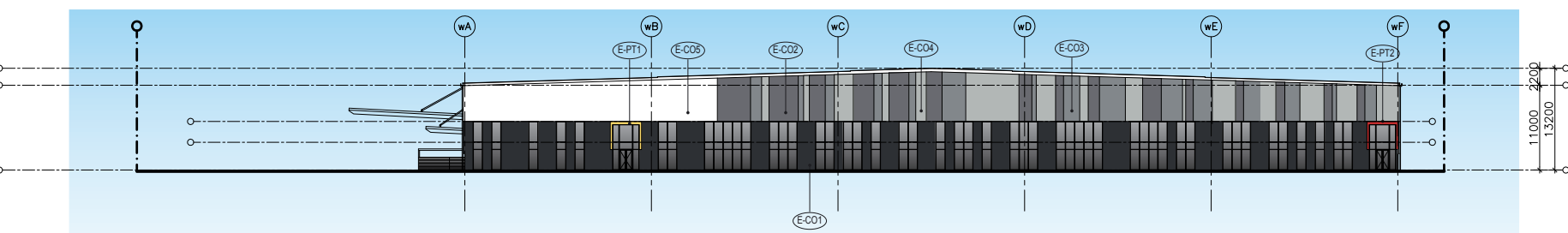
01 ELEVATION  
1:350 @ B1



02 ELEVATION  
1:350 @ B1



03 ELEVATION  
1:350 @ B1



04 ELEVATION  
1:350 @ B1

#### LEGEND

##### COLORBOND / PAINT FINISHES

NOTE: REFER TO BLACK AND WHITE  
ELEVATIONS FOR MATERIALS AND  
FINISHES

- E-C01  
COLOUR TO MATCH:  
COLORBOND "MONUMENT"
- E-C02  
COLOUR TO MATCH:  
COLORBOND "BASALT"
- E-C03  
COLOUR TO MATCH:  
COLORBOND "WINDSPRAY"
- E-C04  
COLOUR TO MATCH:  
COLORBOND "SHALE GREY"
- E-C05  
COLOUR TO MATCH:  
COLORBOND "SURFMIST"
- E-PT1  
COLOUR TO MATCH:  
DULUX "PRIMROSE PATH"
- E-PT2  
COLOUR TO MATCH:  
DULUX "HOT LIPS"

##### MISCELLANEOUS

- E-RF1  
ROOF SPRINKLER TANKS  
ZINCALUME

NOTE:  
COLOUR SWATCHES SHOWN ON THIS DRAWING  
ARE INDICATIVE ONLY. FOR TRUE COLOUR  
REFERENCES, PLEASE REFER SAMPLE FROM  
MANUFACTURERS.



COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
PROPOSED WAREHOUSE & INDUSTRIAL  
FACILITY FOR VIVIN IMPORTS  
ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK  
DRAWING TITLE  
LOCATION PLAN

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN  
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.  
FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

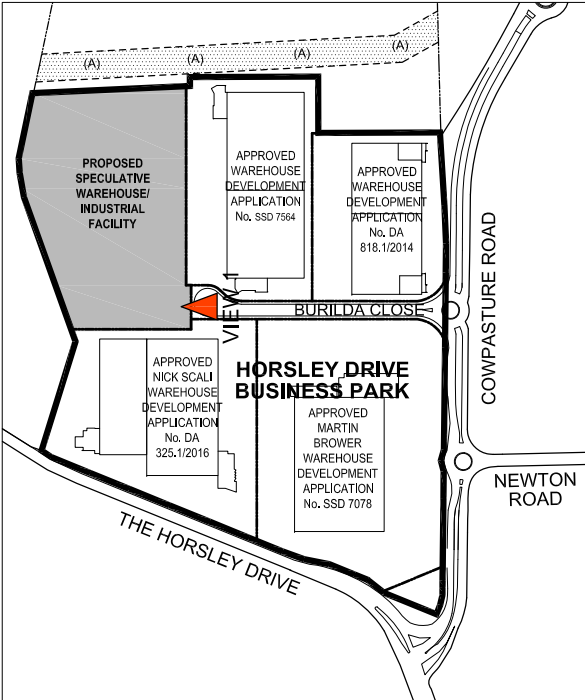
SCALE 1:350 @ B1  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE  
VI-WSPT-DA-500 A





01 BURILDA CLOSE CUL DE SAC PERSPECTIVE  
- N.T.S.



KEY PLAN



COMMERCIAL & INDUSTRIAL DIVISION  
1 HOMERUSH BAY DRIVE  
BUILDING C, LEVEL 3  
RHODES NSW 2138  
PO BOX 3307  
RHODES NSW 2138  
PHONE 02 9767 2000  
FAX 02 9767 2908

PROJECT  
PROPOSED WAREHOUSE & INDUSTRIAL  
FACILITY FOR VIVIN IMPORTS

ADDRESS  
PROPOSED LOT 3, DP 1213567  
No 6 BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE  
BURILDA CLOSE  
CUL DE SAC  
PERSPECTIVE

SCALE NOT TO SCALE  
DRAWN MP  
CHECKED JQ  
DATE 06.04.17  
JOB NUMBER 0000-00-000

DRAWING NUMBER VI-WSPT-DA-600  
ISSUE A