



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 1 of 31

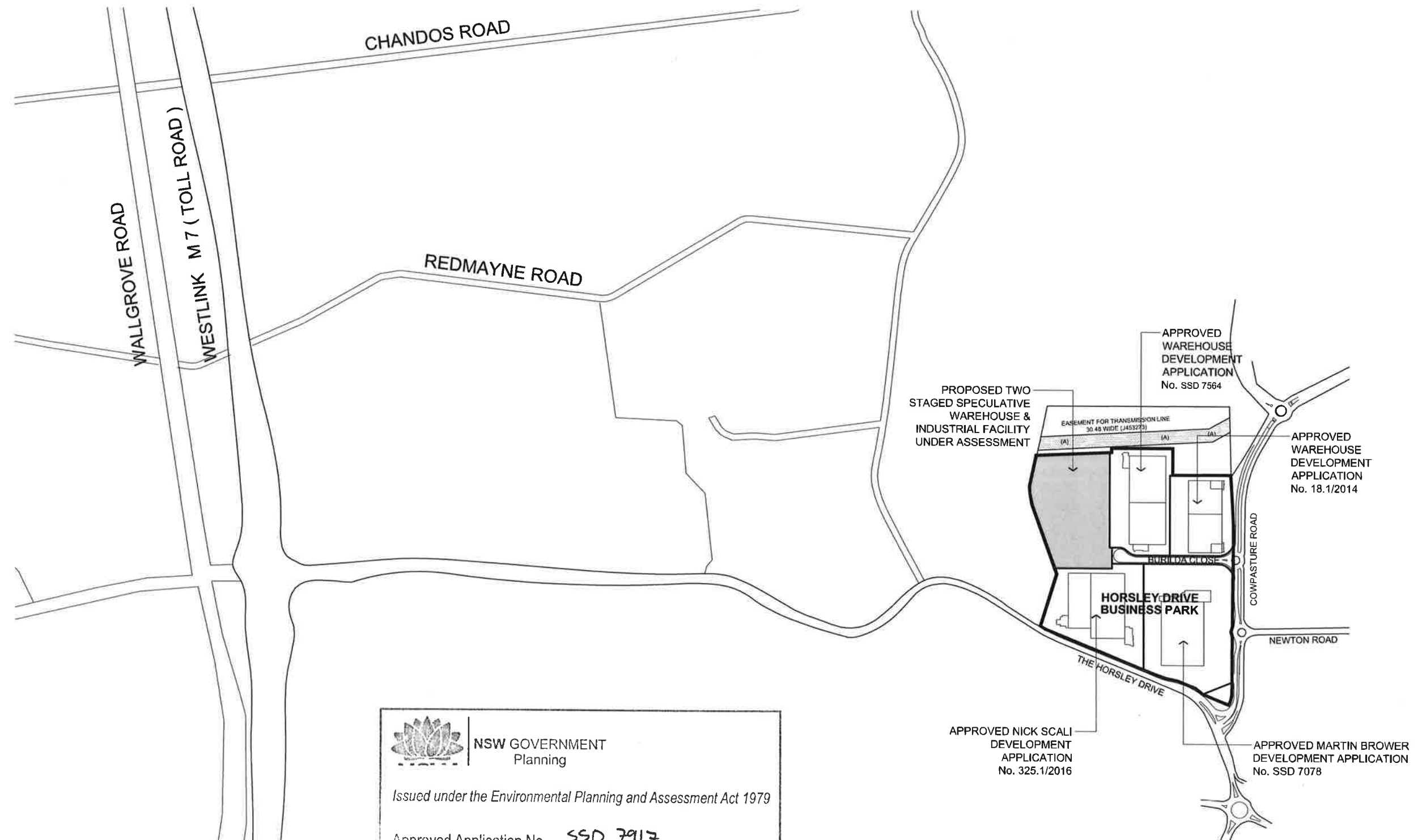
TWO STAGED SPECULATIVE WAREHOUSE & INDUSTRIAL FACILITY

AT PROPOSED LOT 3 IN LOT 5 DP1212087,
BURILDA CLOSE, WETHERILL PARK
HORSLEY DRIVE BUSINESS PARK

SP4 - WSPT - DA - 000	A	TITLE SHEET
SP4 - WSPT - DA - 001	A	LOCATION PLAN
SP4 - WSPT - DA - 002	A	SITE ANALYSIS
SP4 - WSPT - DA - 003	A	SITE PLAN
SP4 - WSPT - DA - 004	A	TRUCK TURNING DIAGRAMS - SHEET 1
SP4 - WSPT - DA - 005	A	TRUCK TURNING DIAGRAMS - SHEET 2
SP4 - WSPT - DA - 006	A	STAGING PLANS
SP4 - WSPT - DA - 100	A	WAREHOUSE / INDUSTRIAL FACILITY PLAN
SP4 - WSPT - DA - 110	A	OFFICE 01 - FLOOR PLANS
SP4 - WSPT - DA - 111	A	OFFICE 02 - FLOOR PLANS
SP4 - WSPT - DA - 200	A	ELEVATIONS
SP4 - WSPT - DA - 210	A	SECTIONS
SP4 - WSPT - DA - 400	A	LIGHTING PLAN
SP4 - WSPT - DA - 500	A	COLOURED ELEVATIONS
SP4 - WSPT - DA - 600	A	OFFICE 01 - PERSPECTIVE
SP4 - WSPT - DA - 610	A	OFFICE 02 - PERSPECTIVE
SP4 - WSPT - DA - 620	A	STREETSCAPE CONTEXT SKETCHES

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.
 © 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.
 This drawing is confidential and is subject to copyright. It may not be
 copied, used, reproduced or transmitted in any way or in any form
 without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	05.10.16



01 LOCATION PLAN
 1:4,000 @ B1

NSW GOVERNMENT
 Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 2 of 31

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN
 CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.
 FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

COMMERCIAL & INDUSTRIAL DIVISION
 1 HONOURARY BAY DRIVE
 BUILDING G, LEVEL 3
 RHODES NSW 2138
 PO BOX 5307
 RHODES NSW 2138

PHONE 02 9767 2000
 FAX 02 9767 2908

PROJECT
 TWO STAGED SPECULATIVE WAREHOUSE
 & INDUSTRIAL FACILITY

ADDRESS
 PROPOSED LOT 3 IN LOT 5 DP1212087
 BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
 LOCATION PLAN

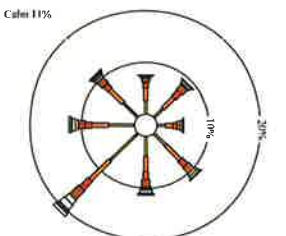
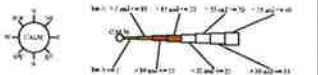
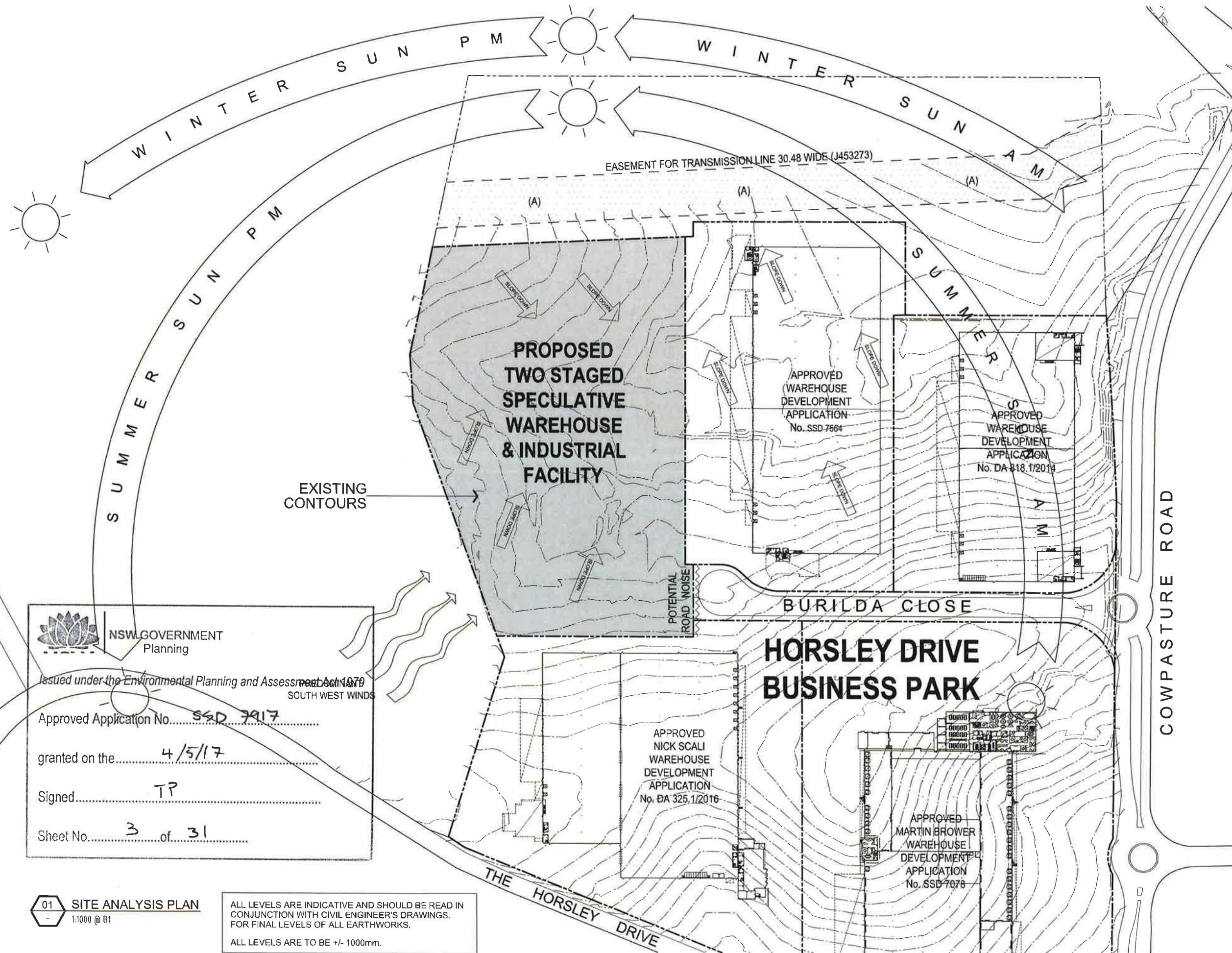
SCALE 1:4000 @ B1
 DRAWN MP
 CHECKED JO
 DATE 05.10.16
 JOB NUMBER 0000-00-000

DRAWING NUMBER
 SP4-WSPT-DA-001

ISSUE
 A

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	05/10/16



FRASERS PROPERTY

COMMERCIAL & INDUSTRIAL DIVISION
1 HORSLEY DRIVE
BURLINGA NSW 2136
PO BOX 3307
RHODES NSW 2136
PHONE 02 9787 2000
FAX 02 9787 2008

PROJECT
TWO STAGED SPECULATIVE WAREHOUSE
& INDUSTRIAL FACILITY
ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURLINGA CLOSE, WETHERILL PARK
DRAWING TITLE
SITE ANALYSIS

SCALE 1:1000 @ B1
DRAWN MP
CHECKED JO
DATE 05/10/16
JOB NUMBER 0000-00-000

DRAWING NUMBER
SP4-WSPT-DA-002
ISSUE
A



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979
SOUTH WEST WINDS

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 3 of 31

01 SITE ANALYSIS PLAN
1:1000 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.
FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS ARE TO BE +/- 1000mm.

NSW GOVERNMENT
Planning

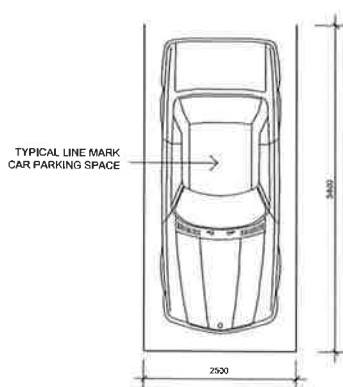
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 7917**

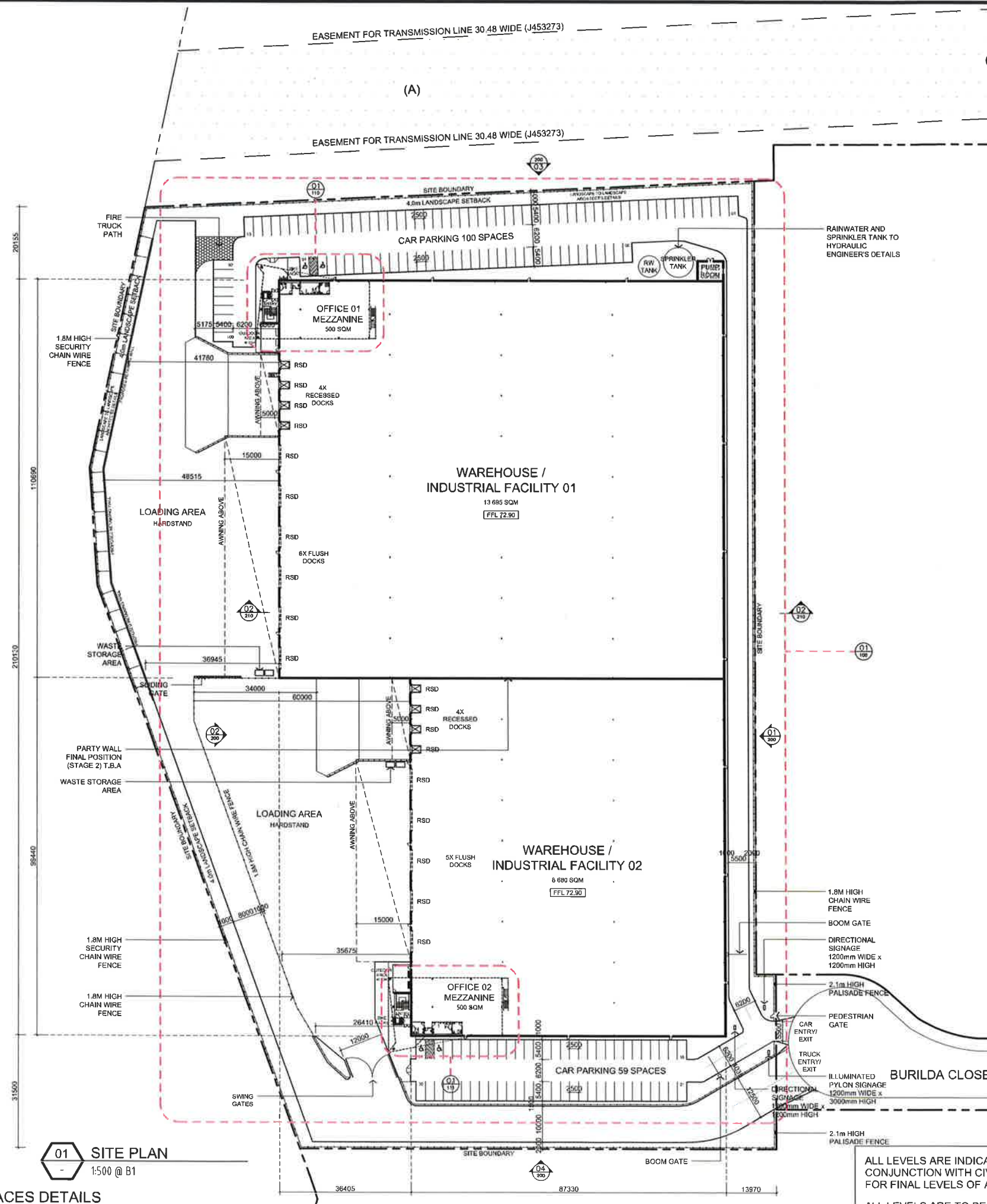
granted on the **4/5/17**

Signed **TP**

Sheet No. **4** of **31**



04 TYPICAL PERPENDICULAR PARKING SPACES DETAILS
SCALE - 1:50 @ B1



ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.

© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	04 ISSUE	05.10.16

DEVELOPMENT AREAS	
SITE AREA	43 976 SQM.
WAREHOUSE / INDUSTRIAL FACILITY 01	13 695 SQM.
MEZZANINE OFFICE	500 SQM.
ENTRY FOYER	40 SQM.
TOTAL BUILDING AREA	14 235 SQM.
AWNING	1 125 SQM.
WAREHOUSE / INDUSTRIAL FACILITY 02	8680 SQM.
MEZZANINE OFFICE	500 SQM.
ENTRY FOYER	40 SQM.
TOTAL BUILDING AREA	9 220 SQM.
AWNING	844 SQM.
TOTAL BUILDING AREA	23 455 SQM.
CAR PARKING	
CAR PARKING PROVIDED	159 SPACES
MASTER PLAN APPROVED	117 SPACES
CAR PARKING REQUIRED (1 space per 200sqm GFA)	
SITE COVERAGE	53%



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMERUSH BAY DRIVE
BUILDING C, LEVEL 3
RICHMOND NSW 2138
PO BOX 3307
RICHMOND NSW 2138

PHONE 02 9767 2000
FAX 02 9767 2008

PROJECT
TWO STAGED SPECULATIVE WAREHOUSE
& INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURILDA CLOSE, WETHERILL PARK

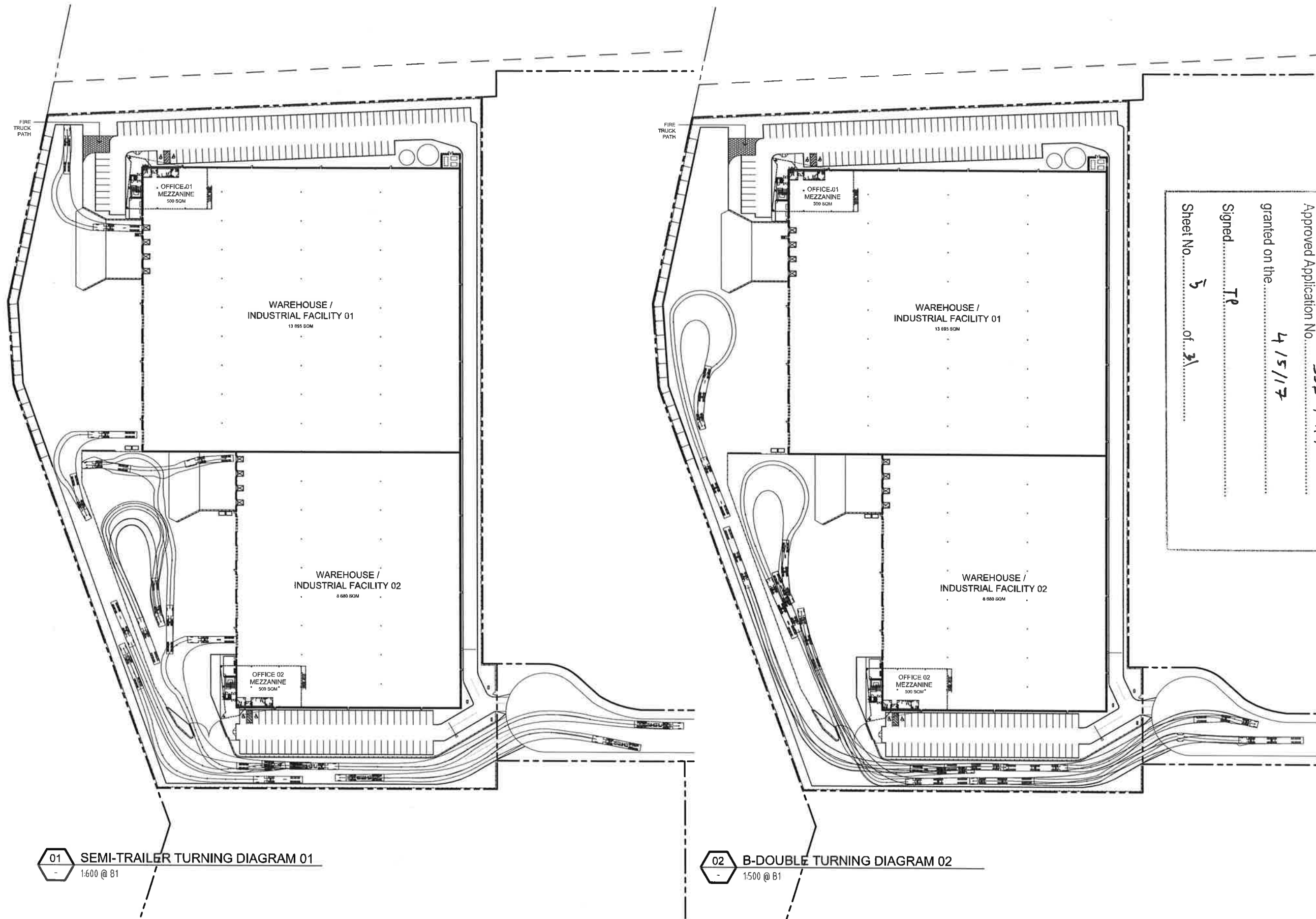
DRAWING TITLE
SITE PLAN

SCALE 1:500 @ B1
DRAWN MP
CHECKED JQ
DATE 05.10.16
JOB NUMBER 0000-09-000

DRAWING NUMBER
ISSUE
SP4-WSPT-DA-003 A

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.
This drawing is confidential and is subject to copyright. It may not be
copied, used, reproduced or transmitted in any way or in any form
without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	ON ISSUE	05.10.16



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 7917**

granted on the **4/5/17**

Signed **TP**

Sheet No. **5** of **31**



COMMERCIAL & INDUSTRIAL DIVISION
1 HOWDURSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9787 2000
FAX 02 9787 2908

PROJECT
TWO STAGED SPECULATIVE WAREHOUSE
& INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
**TRUCK TURN
DIAGRAMS - SHEET 1**

SCALE 1:600 @ B1
DRAWN MP
CHECKED JO
DATE 05.10.16
JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE

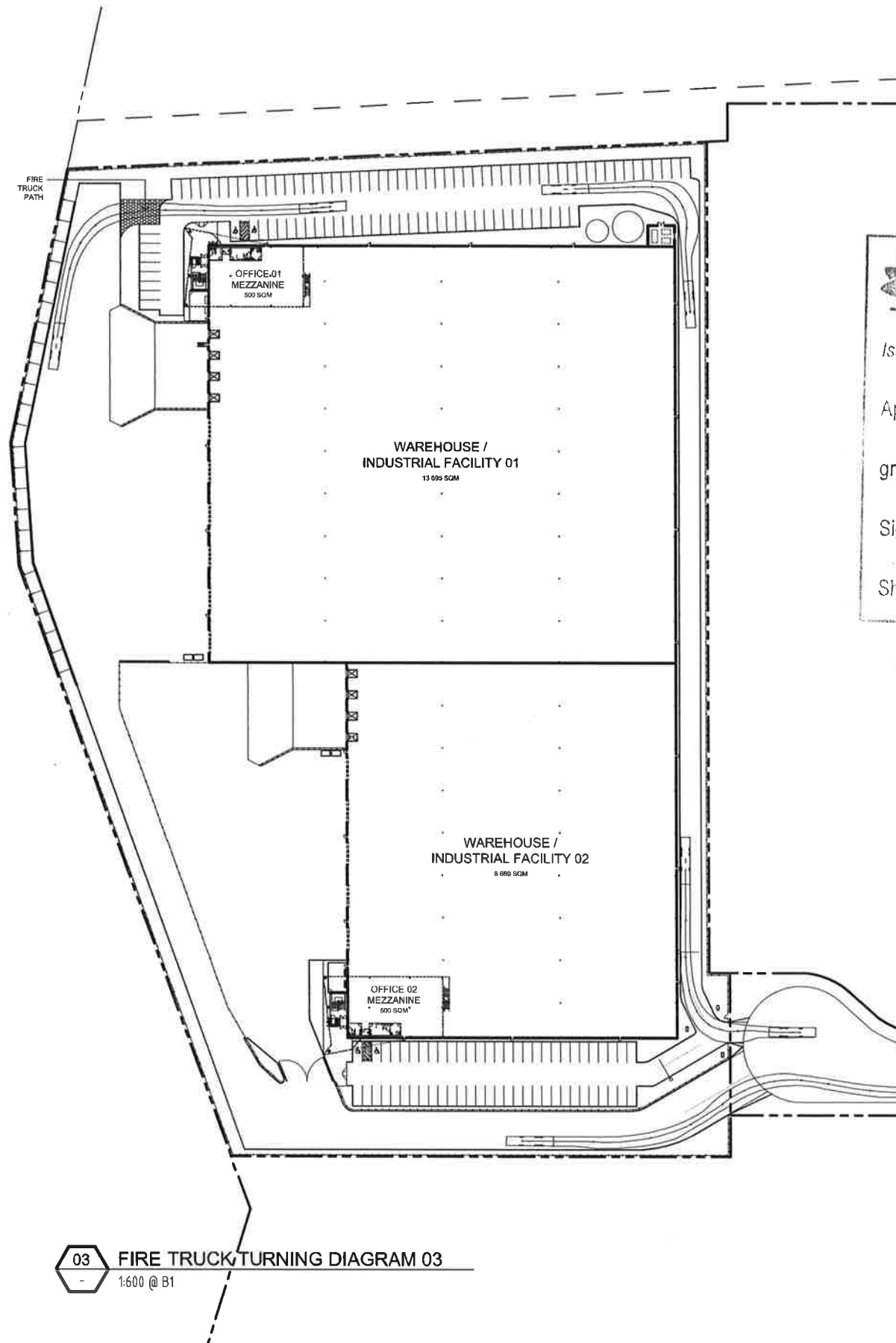
SP4-WSPT-DA-004 A

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.
FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.
 © 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.
 This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	On Issue	05.10.16



NSW GOVERNMENT

Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No.....**3507917**

granted on the.....**4/5/17**

Signed.....**TP**

Sheet No.....**6**.....of.....**31**

03

FIRE TRUCK TURNING DIAGRAM 03

1:600 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

FRASERS

PROPERTY

COMMERCIAL & INDUSTRIAL DIVISION
 1 HOBBSBURY BAY DRIVE
 BUILDING C, LEVEL 3
 RHODES NSW 2138
 PO BOX 3307
 RHODES NSW 2138

PHONE 02 9797 2000
 FAX 02 9797 2906

PROJECT
 TWO STAGED SPECULATIVE WAREHOUSE & INDUSTRIAL FACILITY

ADDRESS
 PROPOSED LOT 3 IN LOT 5 DP1212087
 BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
 TRUCK TURN DIAGRAMS – SHEET 2

SCALE	1:600 @ B1
DRAWN	MP
CHECKED	JQ
DATE	05.10.16
JOB NUMBER	0000-00-000

DRAWING NUMBER	ISSUE
SP4-WSPT-DA-005	A

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or by any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	ISSUE	05/10/16



NSW GOVERNMENT
Planning

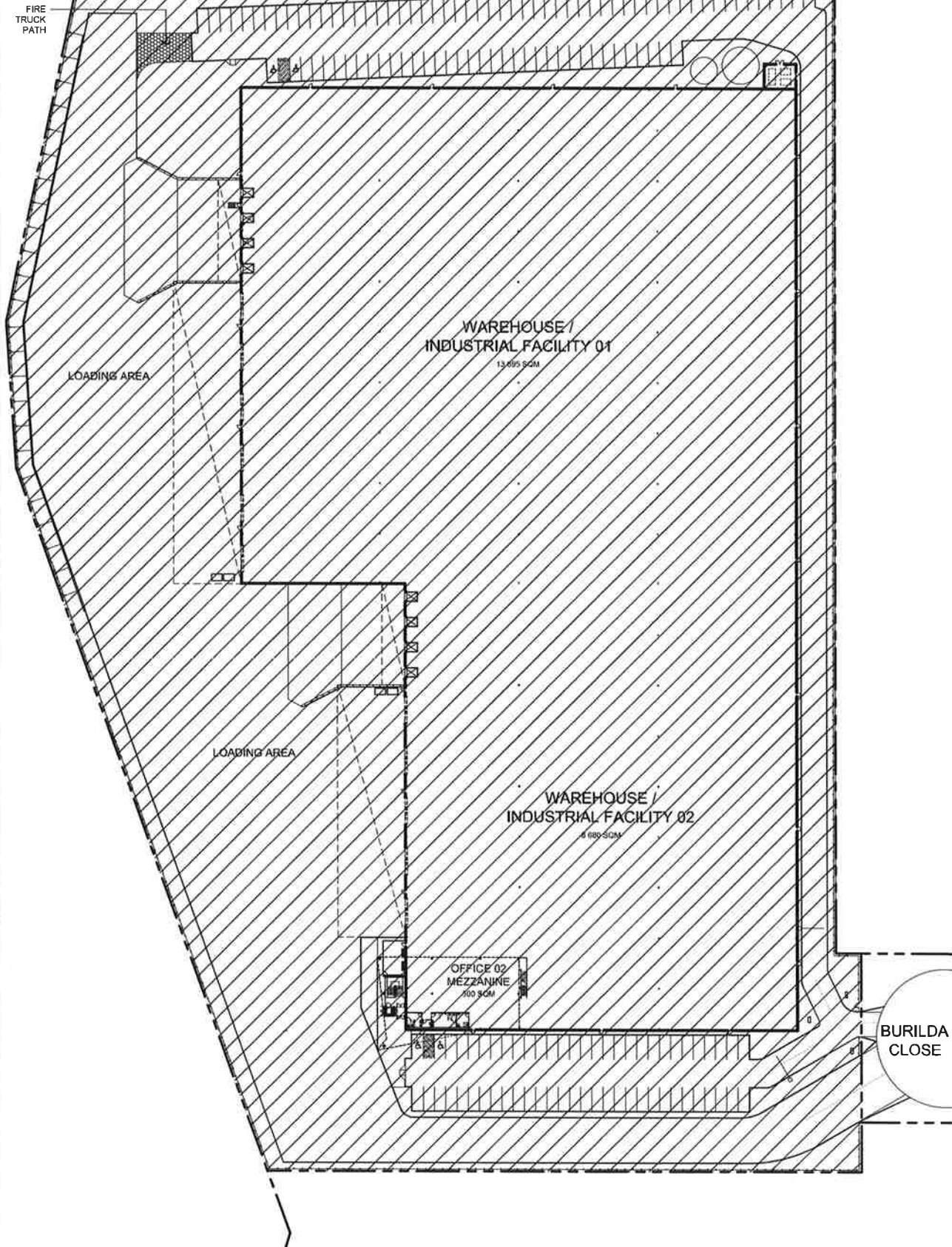
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 3417**

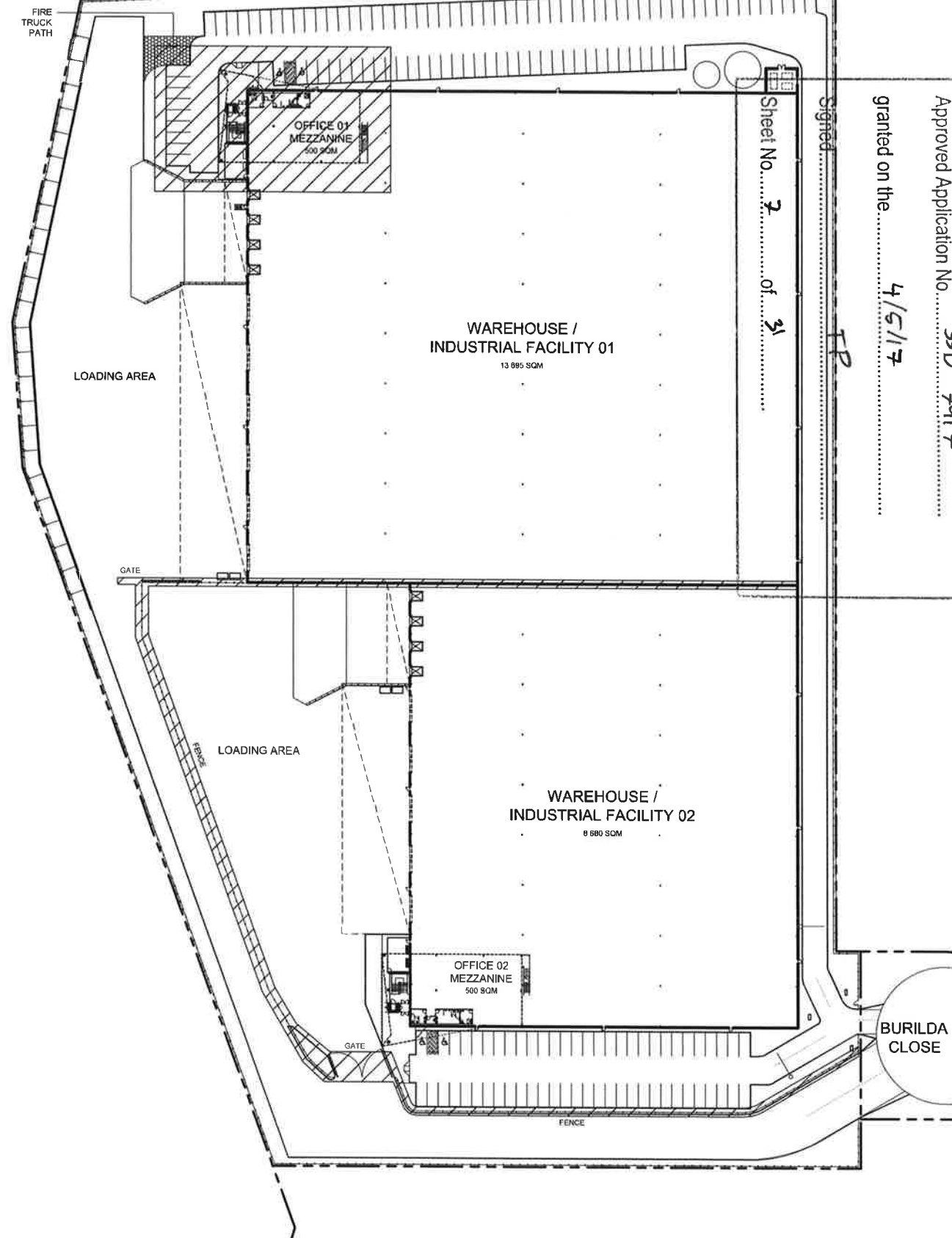
granted on the **4/5/17**

Signed **FP**

Sheet No. **2** of **3**



01 STAGING PLAN - STAGE 01
1:500 @ B1



02 STAGING PLAN - STAGE 02
1:500 @ B1



FRASERS PROPERTY

COMMERCIAL & INDUSTRIAL DIVISION
1 HOBARTS BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9787 2000
FAX 02 9787 2008

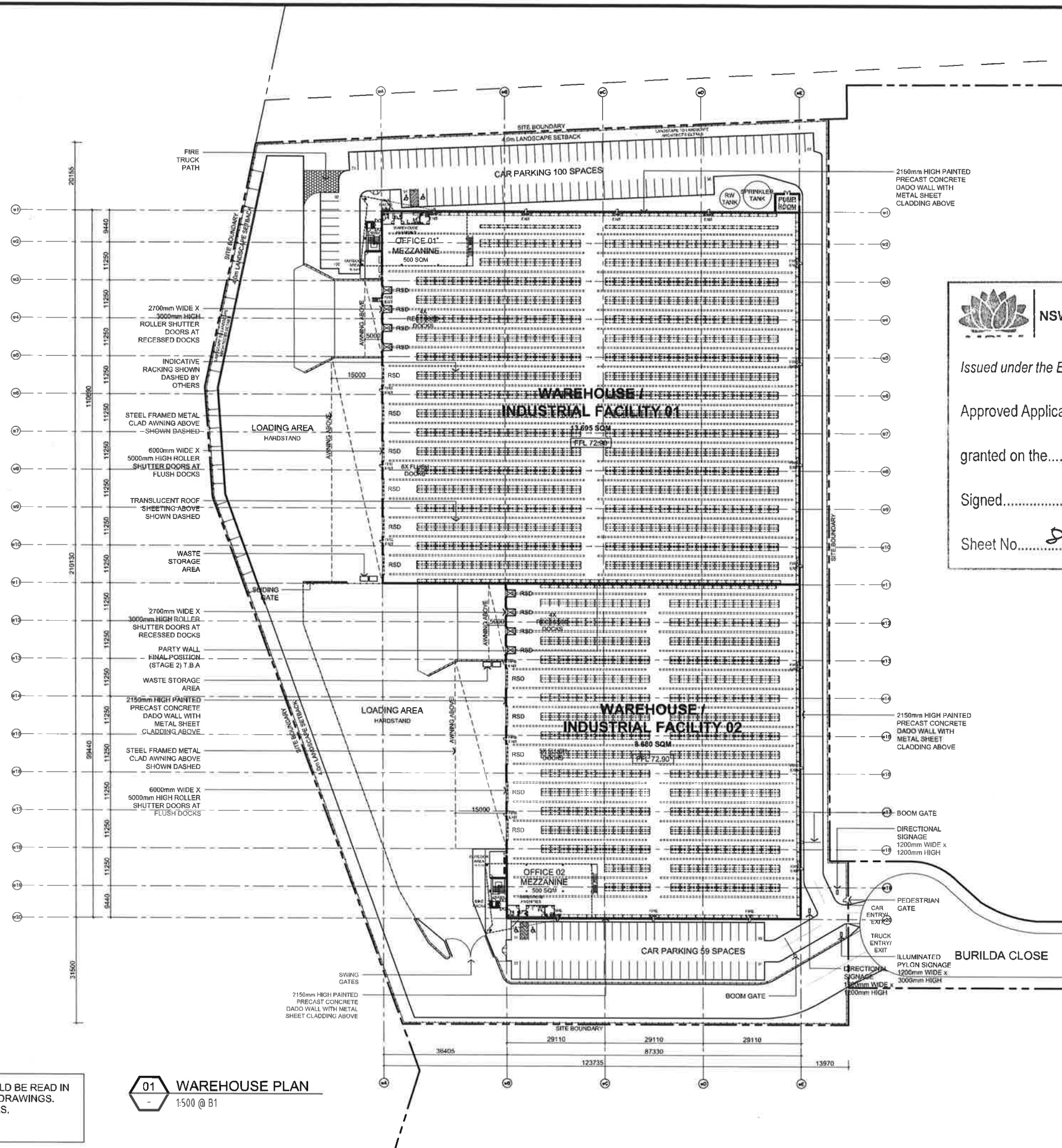
PROJECT
TWO STAGED SPECULATIVE WAREHOUSE & INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
STAGING PLANS

SCALE 1:500 @ B1
DRAWN MP
CHECKED JO
DATE 05/10/16
JOB NUMBER 0000-00-000

DRAWING NUMBER
SP4-WSPT-DA-006
ISSUE
A



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 6917

granted on the 4/5/17

Signed TP

Sheet No. 5 of 31



COMMERCIAL & INDUSTRIAL DIVISION
 1 HOWERSHAY DRIVE
 BUILDING C, LEVEL 3
 RHODES NSW 2138
 PHONE 02 9787 2000
 FAX 02 9787 2908
 PO BOX 3307
 RHODES NSW 2138

PROJECT
 TWO STAGED SPECULATIVE WAREHOUSE
 & INDUSTRIAL FACILITY
 ADDRESS
 PROPOSED LOT 3 IN LOT 5 DP1212087
 BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
 TWO STAGED WAREHOUSE
 & INDUSTRIAL FACILITY
 PLAN

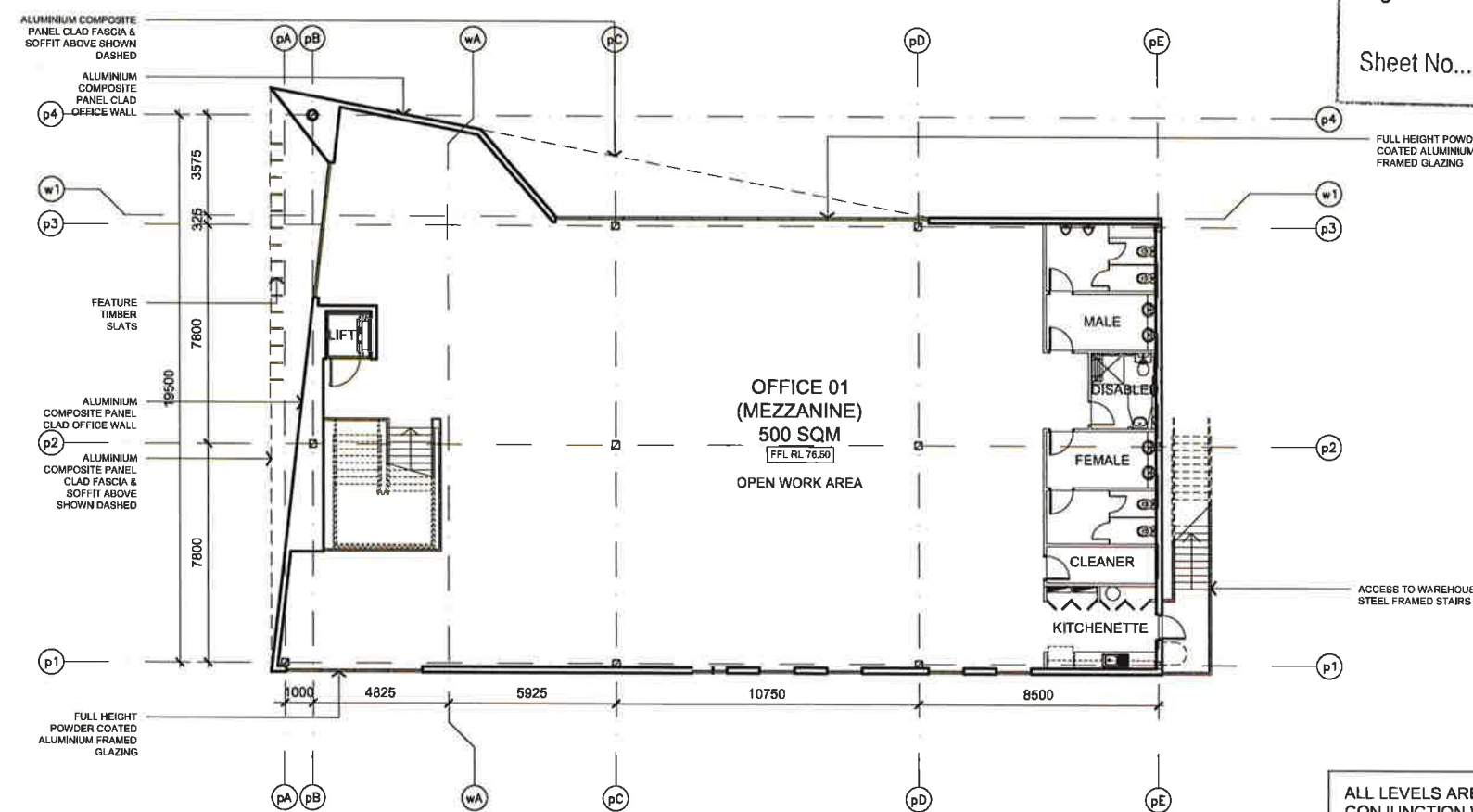
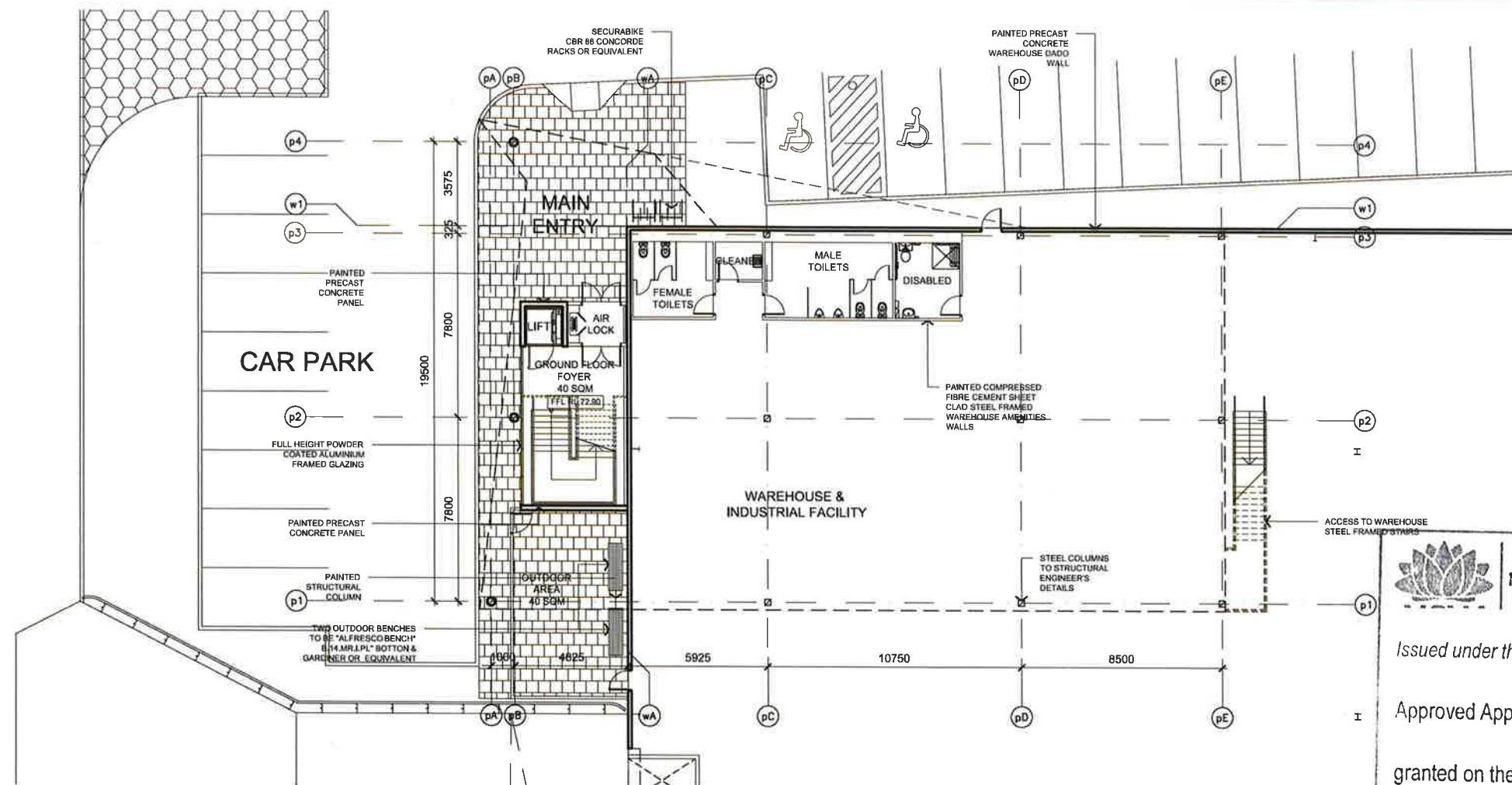
SCALE 1:500 @ B1
 DRAWN MP
 CHECKED JO
 DATE 05.10.16
 JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE

SP4-WSPT-DA-100 A

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN
 CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.
 FOR FINAL LEVELS OF ALL EARTHWORKS.
 ALL LEVELS ARE TO BE +/- 1000mm.

01 WAREHOUSE PLAN
 1:500 @ B1



01 OFFICE FLOOR PLAN
1:100 @ B1

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	05.10.15
B	DA ISSUE	22.12.15

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 7917**

granted on the **4/5/17**

Signed **TP**

Sheet No. **9** of **31**

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.

FRASERS PROPERTY

COMMERCIAL & INDUSTRIAL DIVISION
1 HOMERUSH BAY DRIVE
BUILDING C, LEVEL 3
RHOODES NSW 2138
PO BOX 3307
RHOODES NSW 2138

PHONE 02 9787 2000
FAX 02 9787 2900

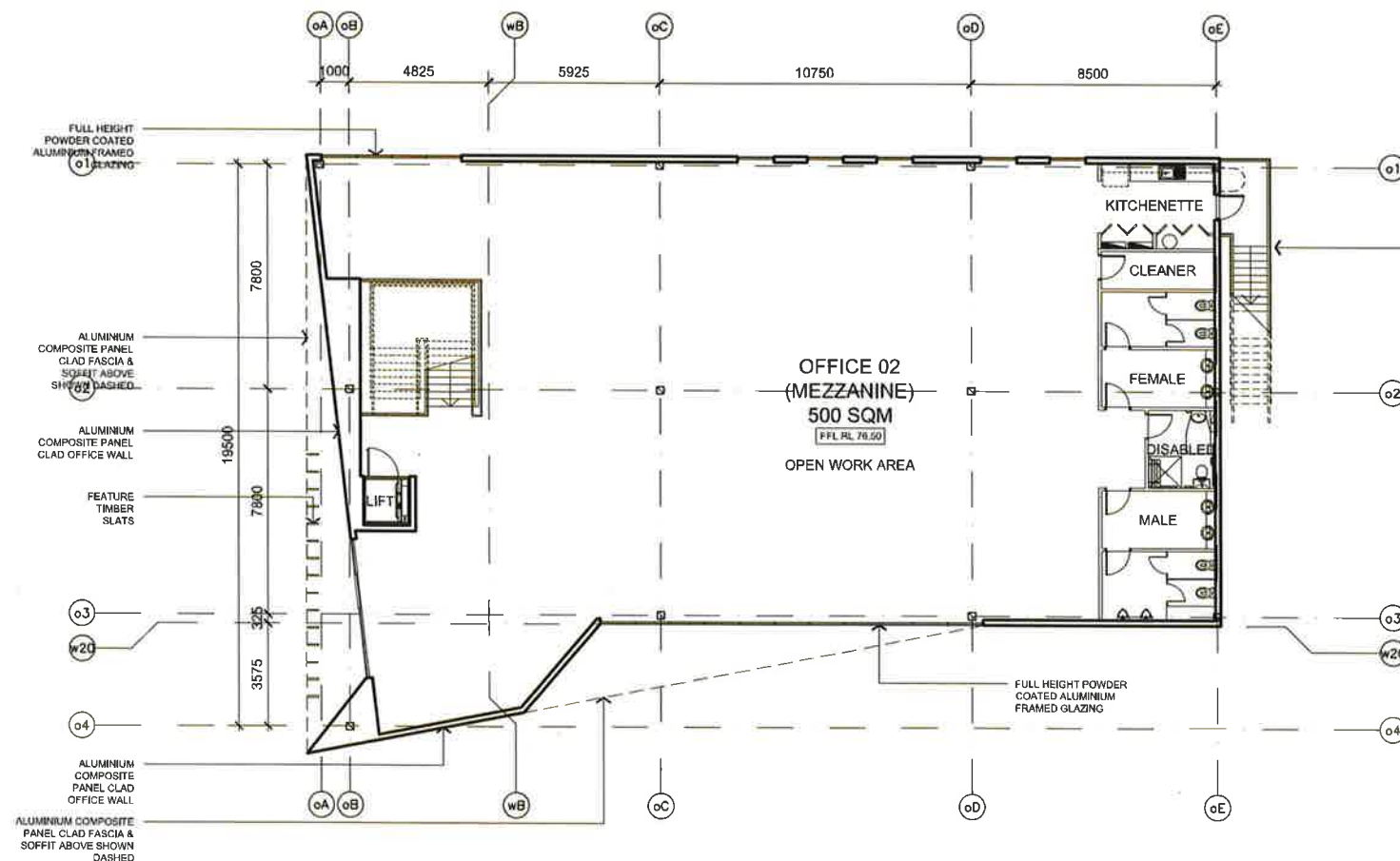
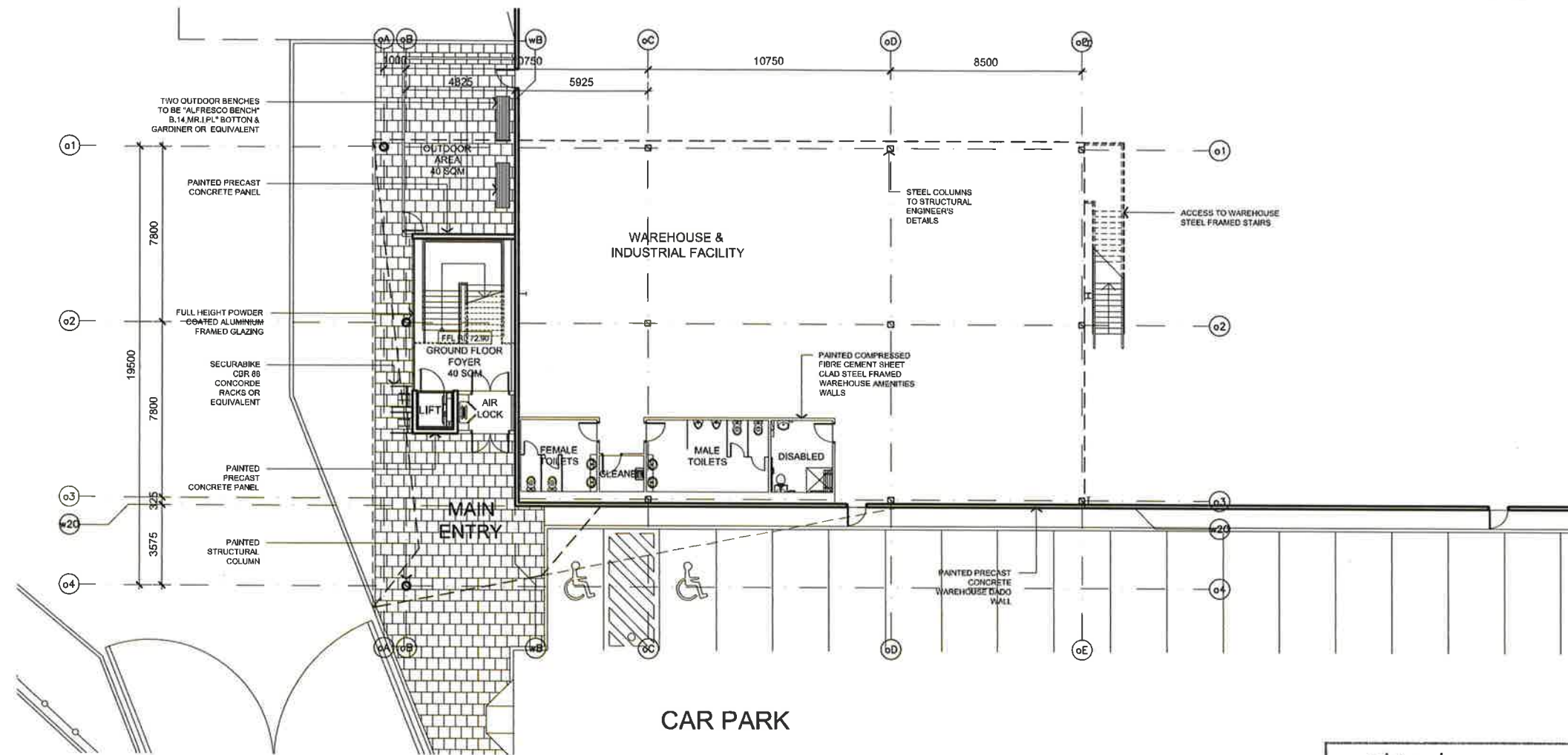
PROJECT
TWO STAGED SPECULATIVE WAREHOUSE & INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
OFFICE 01 - PLAN

SCALE 1:100 @ B1
DRAWN MP
CHECKED JO
DATE 22.12.15
JOB NUMBER 0000-00-000

DRAWING NUMBER **SP4-WSPT-DA-110** ISSUE **B**



01 OFFICE FLOOR PLAN
1:100 @ B1



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 10 of 31

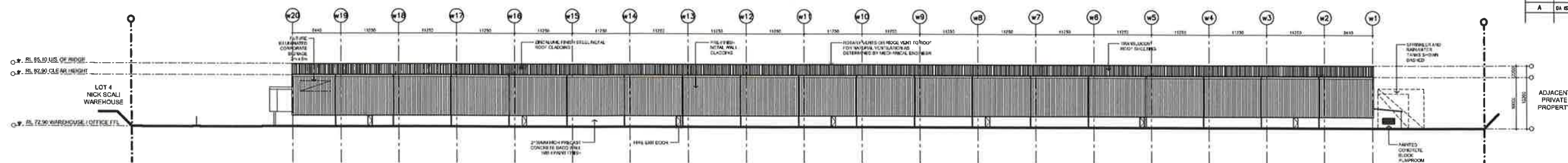


COMMERCIAL & INDUSTRIAL DIVISION
1 HENDERSON BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

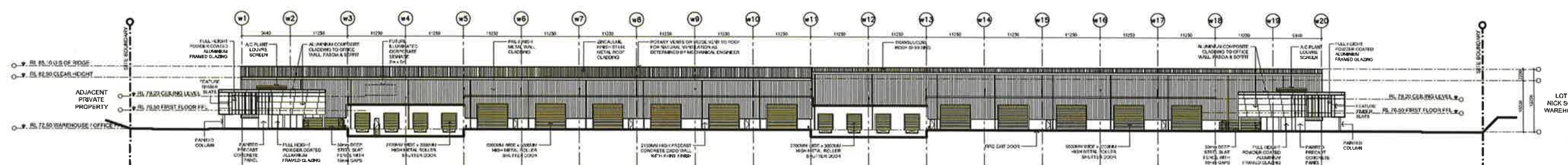
PROJECT
TWO STAGED SPECULATIVE WAREHOUSE
& INDUSTRIAL FACILITY
ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURILDA CLOSE, WETHERILL PARK
DRAWING TITLE
OFFICE 02 - PLAN

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.
FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS ARE TO BE +/- 1000mm.

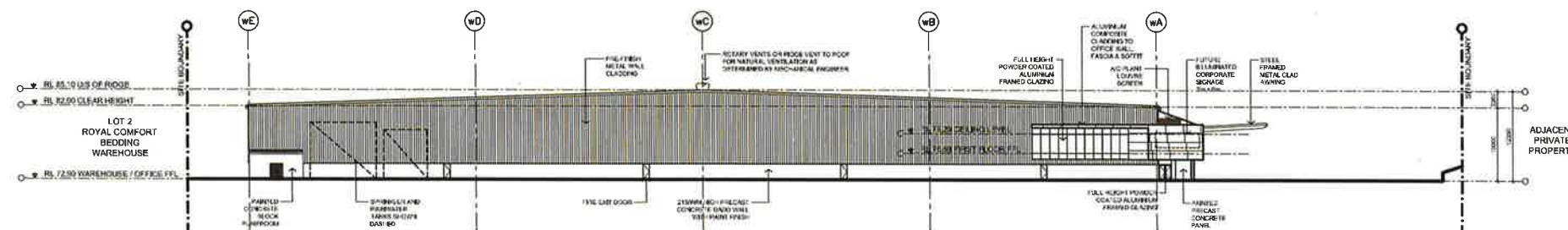
SCALE 1:100 @ B1
DRAWN MP
CHECKED JO
DATE 05/10/16
JOB NUMBER 0000-00-000
DRAWING NUMBER ISSUE
SP4-WSP4-DA-111 A



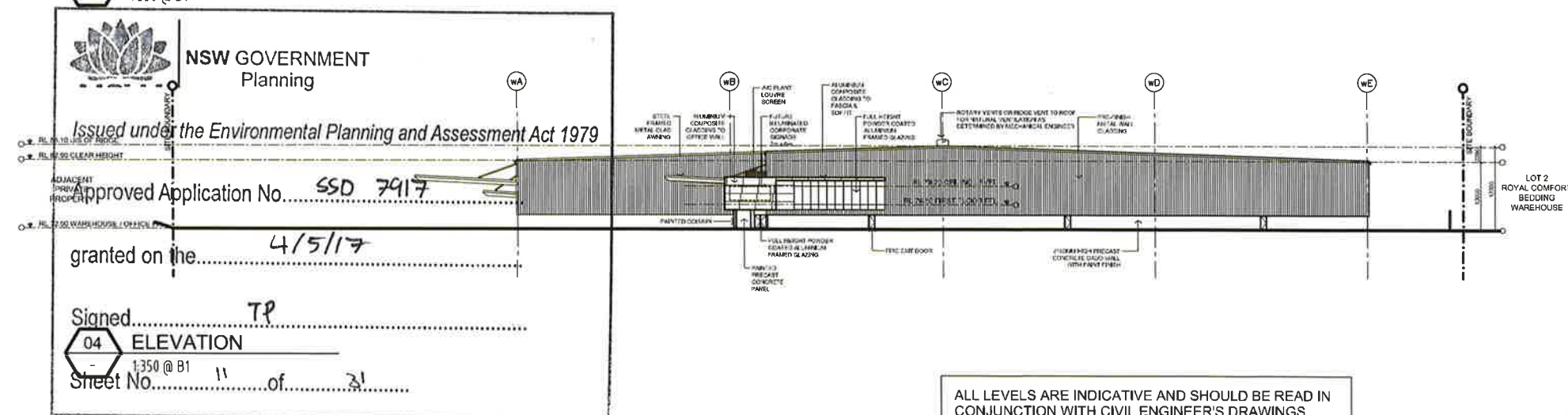
01 ELEVATION
 1:350 @ B1



02 ELEVATION
 1:350 @ B1

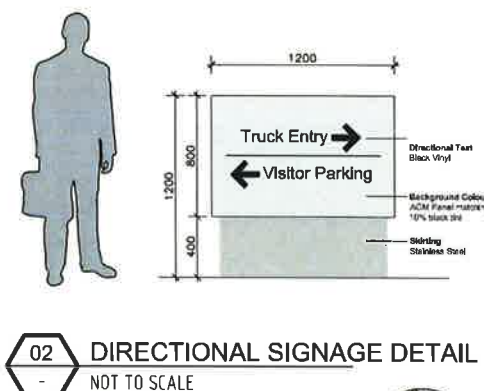


03 ELEVATION
 1:350 @ B1



04 ELEVATION
 1:350 @ B1
 Sheet No. 11 of 31

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.
 ALL LEVELS ARE TO BE +/- 1000mm.

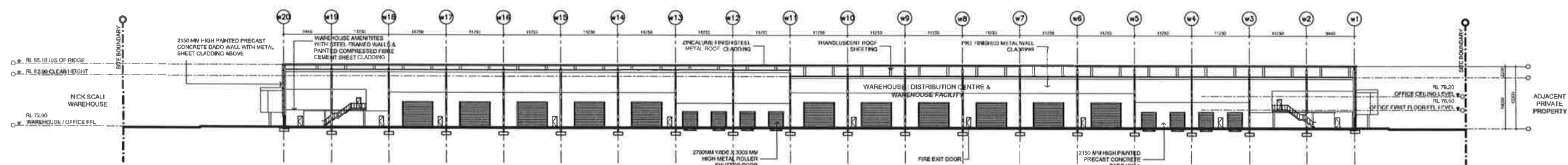


02 DIRECTIONAL SIGNAGE DETAIL
 NOT TO SCALE

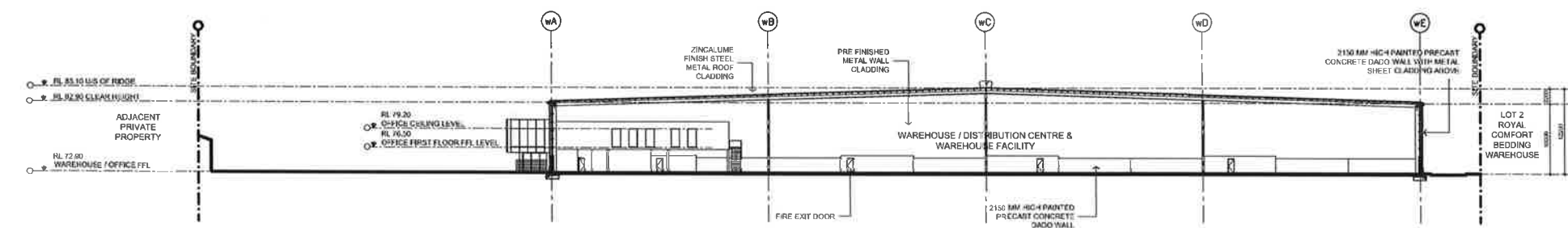


01 PYLON SIGNAGE DETAIL
 NOT TO SCALE


DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.		
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.		
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.		
REVISION	DESCRIPTION	DATE
A	IN ISSUE	05.10.16



01 SECTION
1:350 @ B1



02 SECTION
1:350 @ B1



NSW GOVERNMENT

Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 12 of 31

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.



COMMERCIAL & INDUSTRIAL DIVISION
1 HENDERSON BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

PHONE 02 9787 2000
FAX 02 9787 2008

PROJECT
TWO STAGED SPECULATIVE WAREHOUSE
& INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
SECTIONS

SCALE 1:4000 @ B1
DRAWN MP
CHECKED JO
DATE 05.10.16
JOB NUMBER 0000-00-000

DRAWING NUMBER
SP4-WSP4-DA-210

ISSUE
A



NSW GOVERNMENT
Planning

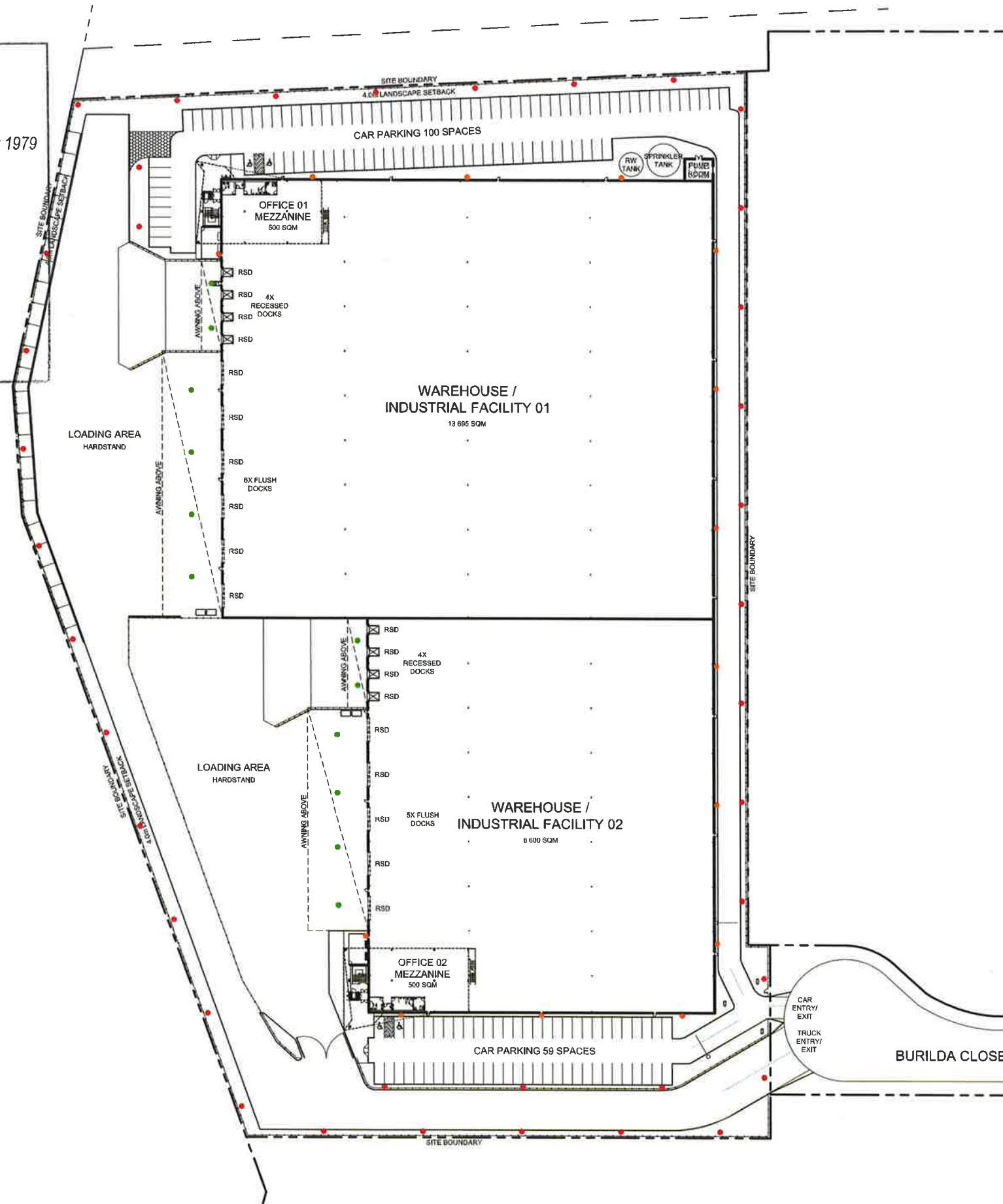
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 13 of 31



DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.
This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or by any means without the express permission of Frasers Property Australia Pty Ltd.

REVISION	DESCRIPTION	DATE
A	DA ISSUE	05.10.16

LEGEND	
	CAR PARK LIGHT APPROX 5M HIGH
	WALL MOUNTED LIGHTING
	LIGHT TO UNDERSIDE OF AWNING

FINAL LIGHT POSITIONS SUBJECT TO BCA REQUIREMENTS



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMERUSH BAY DRIVE
BUNDABERG, QLD 4670
PHONES NSW 2138
PO BOX 3307
BUNDABERG NSW 2138
PHONE 02 9797 2000
FAX 02 9797 2908

PROJECT
TWO STAGED SPECULATIVE WAREHOUSE
& INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
LIGHTING PLAN

SCALE 1:500 @ B1
DRAWN MP
CHECKED JQ
DATE 05.10.16
JOB NUMBER 0000-00-000

DRAWING NUMBER
SP4-WSP4-DA-400
ISSUE
A

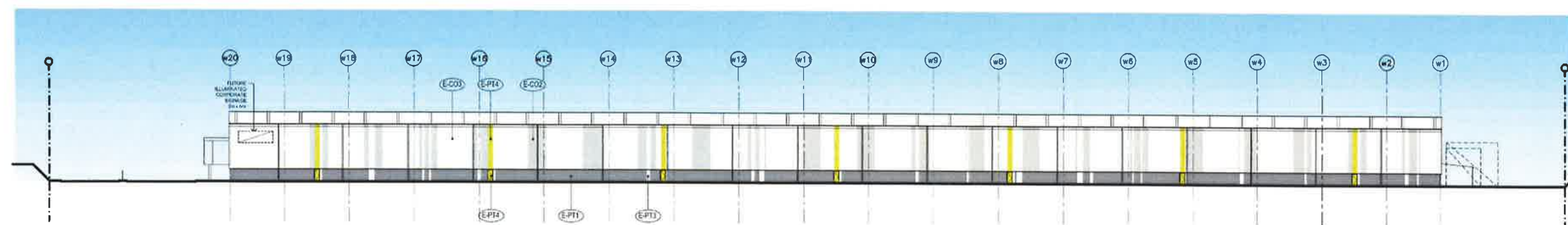
01 LIGHTING PLAN
1:500 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.
FOR FINAL LEVELS OF ALL EARTHWORKS.

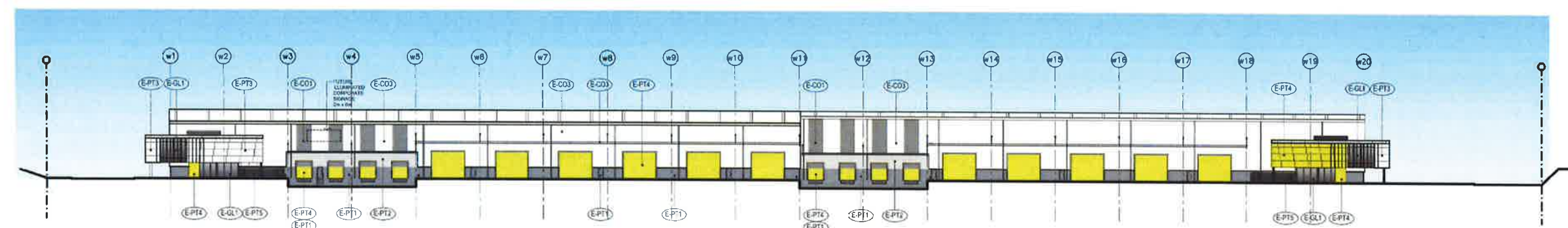
ALL LEVELS ARE TO BE +/- 1000mm.

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.
 © 2015 FRASERS PROPERTY AUSTRALIA PTY LTD.
 This drawing is confidential and is subject to copyright. It may not be
 copied, used, reproduced or transmitted in any way or in any form
 without the express permission of Frasers Property Australia Pty Ltd.

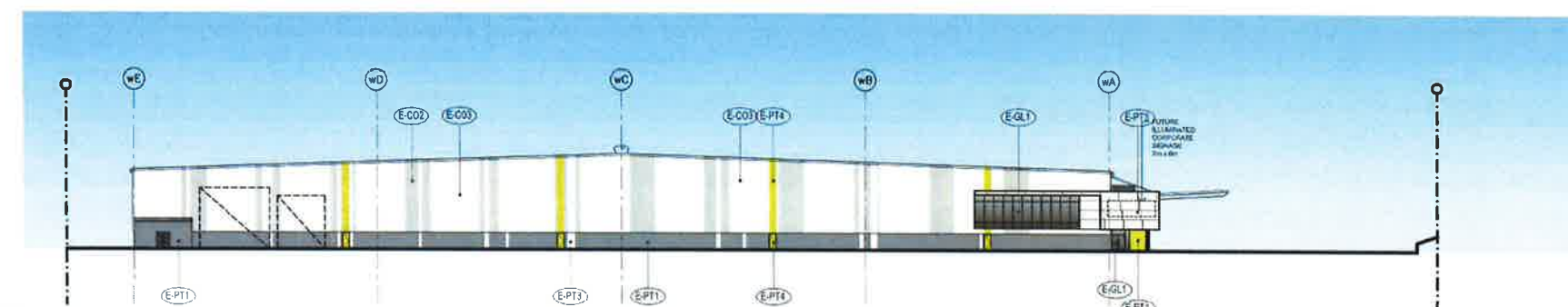
REVISION	DESCRIPTION	DATE
A	DA ISSUE	05.10.16



01 ELEVATION
 1:350 @ B1



02 ELEVATION
 1:350 @ B1



03 ELEVATION
 1:350 @ B1

LEGEND

COLORBOND FINISHES

E-C01 WAREHOUSE WALLS COLORBOND "WINDSPRAY"

E-C02 WAREHOUSE WALLS COLORBOND "SHALE GREY"

E-C03 WAREHOUSE WALL, GUTTERS & WAREHOUSE ROOF TRIMS, AWNING & AWNING CAPPING COLORBOND "SURF WEST"

PAINT FINISHES

E-PT1 SELECTED ROLLER SHUTTER DOORS, SELECTED PRECAST DADO PANELS, PUMP ROOM & SELECTED FIRE EXIT DOORS TO MATCH COLORBOND "WINDSPRAY"

E-PT2 SELECTED PRECAST DADO PANELS TO MATCH COLORBOND "SHALE GREY"

E-PT3 POWDER COATED METAL WALL CLADDING, SELECTED PRECAST DADO PANELS TO MATCH COLORBOND "SURF WEST"

E-PT4 POWDER COATED METAL WALL CLADDING, PRECAST CONCRETE PANELS, SELECTED ROLLER SHUTTER DOORS, A SELECTED FIRE EXIT DOORS TO MATCH DULUX - ELECTRIC ENERGY 1191H

E-PT5 OUTDOOR AREA FENCE TO MATCH COLORBOND "MONUMENT"

MISCELLANEOUS

E-GL1 GLAZED BRICKWORK ON OFFICE WALL TO BE "CHARCOAL GREY"

E-ER1 ROOF SPRINKLER TANKS ZINCALUME

NOTE: COLOUR SWATCHES SHOWN ON THIS DRAWING ARE INDICATIVE ONLY. FOR TRUE COLOUR REFERENCES, PLEASE REFER SAMPLE FROM MANUFACTURERS.



COMMERCIAL & INDUSTRIAL DIVISION
 1 HOMERUSH BAY DRIVE
 BUILDING C, LEVEL 3
 RHODES NSW 2138
 PHONE 02 9157 2000
 FAX 02 9157 2906
 PO BOX 3307
 RHODES NSW 2138

PROJECT
 TWO STAGED SPECULATIVE WAREHOUSE
 & INDUSTRIAL FACILITY
 ADDRESS
 PROPOSED LOT 3 IN LOT 5 DP1212087
 BURILDA CLOSE, WETHERILL PARK
 DRAWING TITLE
 COLOURED ELEVATIONS

SCALE	1:350 @ B1
DRAWN	MP
CHECKED	JO
DATE	05.10.16
JOB NUMBER	0000-00-000
DRAWING NUMBER	ISSUE
SP4-WSPT-DA-800	A

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.
 ALL LEVELS ARE TO BE +/- 1000mm.

NSW GOVERNMENT Planning

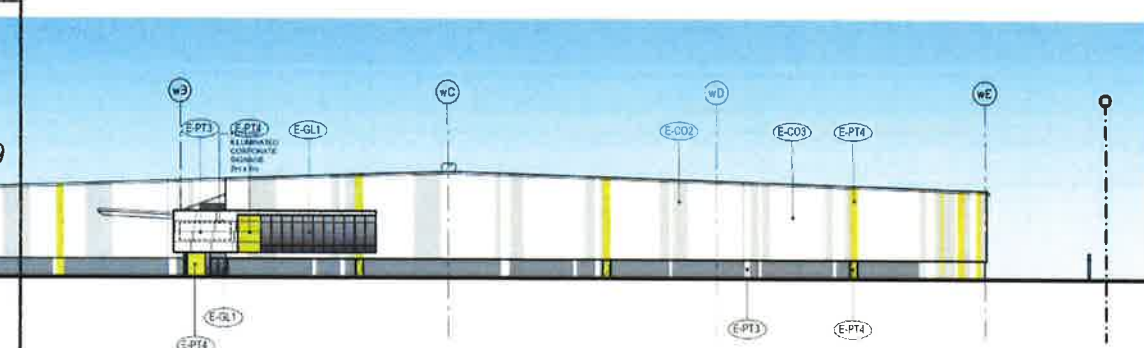
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 7917**

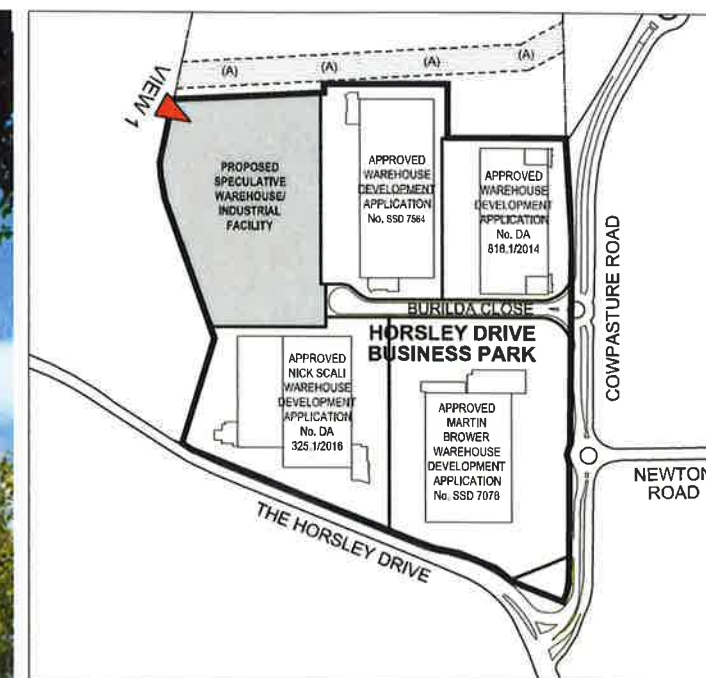
granted on the **4/5/17**

Signed **TP**

Sheet No. **14** of **31**



04 ELEVATION
 1:350 @ B1



KEY PLAN

02 OFFICE 01 PERSPECTIVE
 - N.T.S.



NSW GOVERNMENT
 Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 15 of 31



COMMERCIAL & INDUSTRIAL DIVISION
 1 HOBBSBURY BAY DRIVE PHONE 02 9787 2000
 BUILDING 3 LEVEL 3 FAX 02 9787 2008
 RHODES NSW 2138
 PO BOX 3307
 RHODES NSW 2138

PROJECT
 TWO STAGED SPECULATIVE WAREHOUSE
 & INDUSTRIAL FACILITY

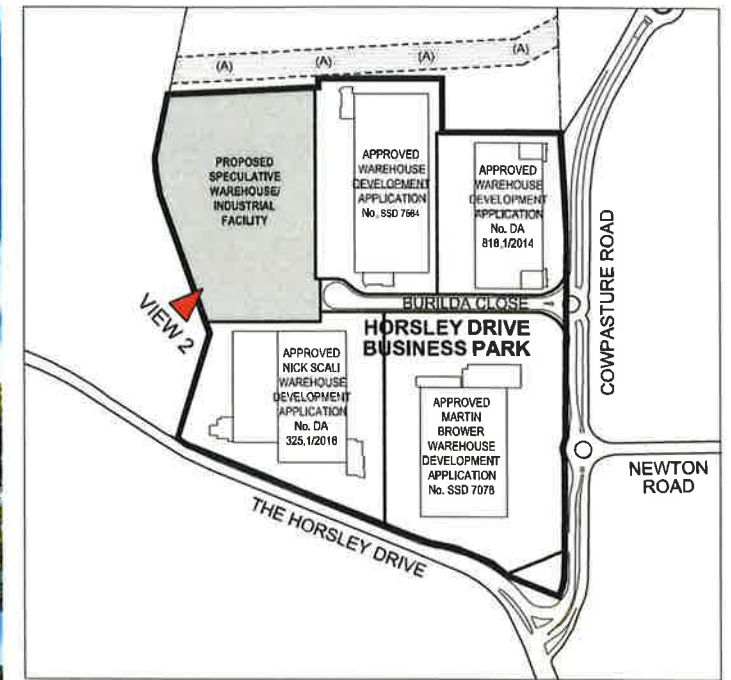
ADDRESS
 PROPOSED LOT 3 IN LOT 5 DP1212087
 BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
 OFFICE 01
 PERSPECTIVE

SCALE NOT TO SCALE
 DRAWN MP
 CHECKED JD
 DATE 05.10.16
 JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE
 SP4-WSP-DA-800 A

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.		
© 2015 FRASERS PROPERTY AUSTRALIA PTY LTD. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Frasers Property Australia Pty Ltd.		
REVISION	DESCRIPTION	DATE
A	DA ISSUE	05.10.16



KEY PLAN

02 OFFICE 02 PERSPECTIVE
N.T.S.



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No..... SSD 67917

granted on the..... 4/5/17

Signed..... TP

Sheet No..... 16of..... 31



**FRASERS
PROPERTY**

COMMERCIAL & INDUSTRIAL DIVISION
1 HEMLOCK BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2158
PO BOX 3307
RHODES NSW 2158
PHONE 02 9787 2000
FAX 02 9787 2008

PROJECT
TWO STAGED SPECULATIVE WAREHOUSE
& INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
**OFFICE 02
PERSPECTIVE**

SCALE NOT TO SCALE
DRAWN MP
CHECKED JO
DATE 05.10.16
JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE

SP4-WSPT-DA-810 A



PROPOSED BUILDING
VIEWED FROM TRIVET ST.

01 VIEW 01
TRIVET ST.



PROPOSED BUILDING
VIEWED FROM CHANDOS RD.

02 VIEW 02
CHANDOS RD.



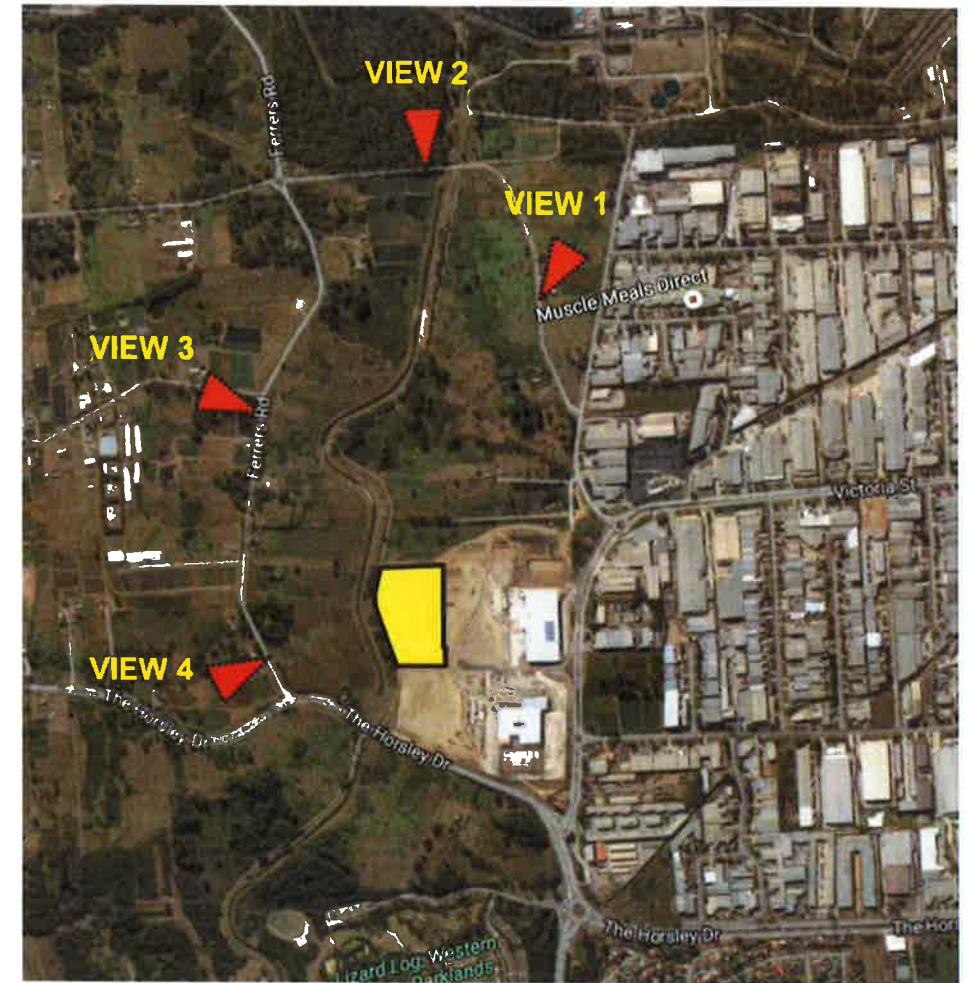
PROPOSED BUILDING
VIEWED FROM FERRERS RD.

03 VIEW 03
FERRERS RD.



PROPOSED BUILDING VIEWED FROM
FERRERS RD. NEAR THE HORSLEY DR

04 VIEW 04
FERRERS RD. NEAR THE HORSLEY DR.



KEY PLAN



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 19 of 31



**FRASERS
PROPERTY**

COMMERCIAL & INDUSTRIAL DIVISION
1 KEMBRIDGE BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2008

PROJECT
TWO STAGED SPECULATIVE WAREHOUSE
& INDUSTRIAL FACILITY

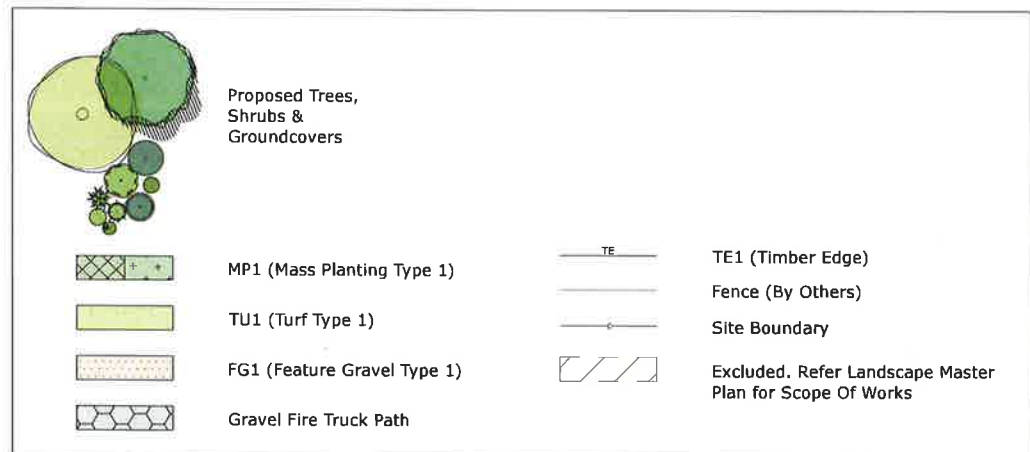
ADDRESS
PROPOSED LOT 3 IN LOT 5 DP1212087
BURILDA CLOSE, WETHERILL PARK

DRAWING TITLE
STRETSCAPE CONTEXT
SKETCHES

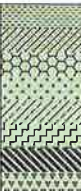
SCALE NOT TO SCALE
DRAWN MP
CHECKED JO
DATE 05.10.16
JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE
SP4-WSPT-DA-820 A




DWG NO.	ISSUE	DRAWING TITLE
LA-00	A	COVER SHEET / LEGEND / PLANT SCHEDULE
LA-01	A	LANDSCAPE PLAN
LA-02	A	LANDSCAPE PLAN
LA-03	A	LANDSCAPE PLAN



LEGEND

CODE	SPECIES	COMMON NAME	HEIGHT	POT SIZE	HATCH	TOTAL
	TREES					
CAN	Cupaniopsis anacaroides	Tuckeroo	12M	100L	as shown	23
ERT	Elaeocarpus reticulatus	Blueberry Ash	16M	100L	as shown	10
MEX	Magnolia 'Exmouth'	Exmouth	10M	200L	as shown	23
TLL	Tristaniopsis 'Luscious'	Water Gum	10M	100L	as shown	12
WFL	Waterhousia floribunda	Weeping Lily Pilly	6M	45L	as shown	33
	MIX TYPE 1					
Asb	Acmena 'Sublime'	Sublime	3M	300mm	as shown	2 / lin m
Sam	Syzgium 'Alyn Magic'	Alyn Magic	1.5M	300mm	as shown	3 / lin m
Vo	Viburnum odotdisorum	Sweet Viburnum	4M	300mm	as shown	3 / lin m
	MIX TYPE 2					
Bjp	Buxus japonica	Japanese Box	0.6M	200mm		3/m2
Clj	Callistemon 'Little John'	Little John	0.8M	140mm		4/m2
Ivd	Lomandra 'Verday'	Verday	0.4M	140mm		4/m2
Ngs	Nandina 'Gulf Stream'	Gulf Stream	0.6M	200mm		3/m2
Pxn	Philodendron 'Xanadu'	Xanadu	1.2M	200mm		3/m2
Rsm	Rhaphelepis 'Snow Maiden'	Indian Hawthorne	0.8M	200mm		3/m2
Sam*	Syzgium 'Alyn Magic'	Alyn Magic	1.5M	200mm		3/m2
tjm	Trachelospermum jasminoides	Star Jasmine	0.2M	140mm		4/m2
	MIX TYPE 3					
Be	Banksia ericifolia	Heath-leaved Banksia	2M	200mm		1/2m2
De	Doryanthes excelsa	Gymea Lily	5M	200mm		1/2m2
Dv	Dodonaea viscosa	Hop Bush	3M	200mm		1/2m2
Gsg	Grevillea 'Sandra Gordon'	Sandra Gordon	3.5M	200mm		1/2m2
cap	Carex appressa	Tall Sedge	0.8M	tube		6/m2
dIr	Dianella 'Little Rev'	Little Rev	0.3M	tube		6/m2
dI	Dianella longifolia	Blue Berry Flax	1.2M	tube		6/m2
Ikt	Lomandra 'Katrinus'	Katrinus	1.4M	tube		6/m2
Ikb	Lomandra 'Katie Belles'	Katie Belles	1.2M	tube		6/m2

PLANT SCHEDULE

REV	DATE	ISSUE / AMENDMENT	DRAW CHECK		LANDSCAPE ARCHITECT	CONSULTANTS	CLIENT	NORTH	PROJECT	DRAWING TITLE		
P1	160924	PRELIMINARY	SC	SC		ENGINEER			HORSLEY DRIVE BUSINESS PARK SPECULATIVE FACILITY 3	COVER SHEET		
A	161002	FOR DEVELOPMENT APPLICATION	SC	SC		COSTIN ROE CONSULTING				SCALE PROJECT NO DRAWING NO		
										1623 LA-00		

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 15 of 31

LA - 01

LA-02

LA - 03

SITE LAYOUT
SCALE - N.T.S.

REFER LA-01

Plant Mix Type 2

Plant Mix Type 3

Plant Mix Type 3



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No.....SSD 7917

granted on the.....4/5/17

Signed.....TP

Sheet No.....20.....of.....31

REFER LA-03

LANDSCAPE PLAN
SCALE - 1:200

REV	DATE	ISSUE / AMENDMENT	DRAW	CHECK	LANDSCAPE ARCHITECT	CONSULTANTS	CLIENT	NORTH	PROJECT	DRAWING TITLE							
P1	160924	PRELIMINARY	SC	SC		ENGINEER COSTIN ROE CONSULTING			HORSLEY DRIVE BUSINESS PARK SPECULATIVE FACILITY 3	LANDSCAPE PLAN							
A	161002	FOR DEVELOPMENT APPLICATION	SC	SC													
													SCALE BAR		SCALE 1:200 @ B1	PROJECT NO 1623	DRAWING NO LA-02

REFER LA-02



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979





Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 21 of 31

LANDSCAPE PLAN
SCALE = 1:200

REV	DATE	ISSUE / AMENDMENT	DRAW CHECK	LANDSCAPE ARCHITECT	CONSULTANTS	CLIENT	NORTH	PROJECT	DRAWING TITLE		
P1	160924	PRELIMINARY	SC SC		ENGINEER			HORSLEY DRIVE BUSINESS PARK SPECULATIVE FACILITY 3	LANDSCAPE PLAN		
A	161002	FOR DEVELOPMENT APPLICATION	SC SC		COSTIN ROE CONSULTING				<small>SCALE BAR</small> 		
									<small>SCALE</small> 1:200 @ B1	<small>PROJECT NO</small> 1623	<small>DRAWING NO</small> LA-03



LOT 3 IN LOT 5 DP1212087, BURILDA CLOSE, WETHRILL PARK TWO STAGED SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY CIVIL ENGINEERING WORKS

GENERAL NOTES:

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH FAIRFIELD CITY COUNCIL'S CONSTRUCTION SPECIFICATION, CONTRACTOR TO OBTAIN AND RETAIN A COPY ON SITE DURING THE COURSE OF THE WORKS.
- ALL NEW WORKS ARE TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS, AND MARRY IN A 'WORKMANLIKE' MANNER.
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL SERVICES WITH EACH RELEVANT AUTHORITY. ANY DAMAGE TO SERVICES SHALL BE RECTIFIED BY THE CONTRACTOR OR THE RELEVANT AUTHORITY AT THE CONTRACTOR'S EXPENSE. SERVICES SHOWN ON THESE PLANS ARE ONLY THOSE EVIDENT AT THE TIME OF SURVEY OR AS DETERMINED FROM SERVICE DIAGRAMS. HENRY AND HYMAS CONSULTING PTY. LTD. CANNOT GUARANTEE THE INFORMATION SHOWN NOR ACCEPT ANY RESPONSIBILITY FOR INACCURACIES OR INCOMPLETE DATA.
- SERVICES & ACCESSSES TO THE EXISTING PROPERTIES ARE TO BE MAINTAINED IN WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.
- ADJUST EXISTING SERVICE COVERS TO SUIT NEW FINISHED LEVELS TO RELEVANT AUTHORITY REQUIREMENTS WHERE NECESSARY.
- REINSTATE AND STABILISE ALL DISTURBED LANDSCAPED AREAS IN ACCORDANCE WITH FAIRFIELD CITY COUNCIL'S REQUIREMENTS.
- MINIMUM GRADE OF SUBSOIL SHALL BE 0.5% (1:200) FALL TO OUTLETS.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ARE TO BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS, EROSION AND SEDIMENTATION CONTROL PLAN, ENVIRONMENTAL MANAGEMENT PLAN, AND BLACKTOWN CITY COUNCIL'S REQUIREMENTS WHERE APPLICABLE.
- CONTRACTOR TO CHECK AND CONFIRM SITE DRAINAGE CONNECTIONS ACROSS THE VERGE PRIOR TO COMMENCEMENT OF STREET DRAINAGE WORKS.
- PROPERTIES AFFECTED BY THE WORKS ARE TO BE NOTIFIED IN ADVANCE WHERE DISRUPTION TO EXISTING ACCESS IS LIKELY.

SITeworks NOTES

- DATUM A.H.D.
- ORIGIN OF LEVELS. REFER TO BENCH OR STATE SURVEY MARKS WHERE SHOWN ON PLAN.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.
- ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE DIRECTIONS OF THE SUPERINTENDENT.
- EXISTING SERVICES UNLESS SHOWN ON SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS ACHIEVED.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATION IS TO BE UNDERTAKEN OVER TELSTRA OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- CONTRACTOR TO OBTAIN AUTHORITY APPROVALS WHERE APPLICABLE.
- MAKE SMOOTH TRANSITION TO EXISTING SURFACES AND MAKE GOOD.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED LANDSCAPE, ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED RELATING TO DEVELOPMENT AT THE SITE.
- TRENCHES THROUGH EXISTING ROAD AND CONCRETE PAVEMENTS SHALL BE SAWCUT TO FULL DEPTH OF CONCRETE AND A MINIMUM OF 50mm IN BITUMINOUS PAVING.
- ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN 800 uPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND EDGE OF PAVING.
- GRADES TO PAVEMENTS TO BE AS IMPLIED BY RL'S ON PLAN. GRADE EVENLY BETWEEN NOMINATED RL'S. AREAS EXHIBITING PONDING GREATER THAN 5mm DEPTH WILL NOT BE ACCEPTED UNLESS IN A DESIGNATED SAG POINT.
- ALL COVERS AND GRATES ETC TO EXISTING SERVICE UTILITIES ARE TO BE ADJUSTED TO SUIT NEW FINISHED SURFACE LEVELS WHERE APPLICABLE.



LOCALITY SKETCH

N.T.S

EXISTING SERVICES & FEATURES

- THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION AND REMOVAL (IF REQUIRED) OF ALL EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA OR AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
- THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
- PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN APPROVAL OF HIS PROGRAM FOR THE RELOCATION/ CONSTRUCTION OF TEMPORARY SERVICES.
- CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDING REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED, THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.
- INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL CONTRACTOR TO GAIN APPROVAL FROM THE SUPERINTENDENT FOR TIME OF INTERRUPTION.
- EXISTING SERVICES, BUILDINGS, EXTERNAL STRUCTURES AND TREES SHOWN ON THESE DRAWINGS ARE EXISTING FEATURES PRIOR TO ANY DEMOLITION WORKS.
- EXISTING SERVICES UNLESS SHOWN ON SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE A DIAL BEFORE YOU DIG SEARCH AND TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN 800 uPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND EDGE OF PAVING.

SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY SURVEYOR SPECIFIED IN THE TITLE BLOCK. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. HENRY AND HYMAS PTY. LTD. DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS. SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT HENRY AND HYMAS PTY. LTD. THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM ORIGINAL SURVEY DOCUMENTS.

DRAWING SCHEDULE

16875_DA_C000	COVER SHEET, DRAWING SCHEDULE, NOTES & LOCALITY SKETCH
16875_DA_C100	GENERAL ARRANGEMENT PLAN
16875_DA_C101	DETAIL PLAN, SHEET 1 OF 4
16875_DA_C102	DETAIL PLAN, SHEET 2 OF 4
16875_DA_C103	DETAIL PLAN, SHEET 3 OF 4
16875_DA_C104	DETAIL PLAN, SHEET 4 OF 4
16875_DA_C200	STORMWATER MISCELLANEOUS DETAILS & PIT LID SCHEDULE
16875_DA_C250	STORMWATER CATCHMENT PLAN
16875_DA_SE01	SEDIMENT & EROSION CONTROL PLAN
16875_DA_SE02	SEDIMENT & EROSION CONTROL TYPICAL DETAILS



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 7917**

granted on the..... **4/5/17**

Signed..... **TP**

Sheet No. **22** of **31**

FOR DA ONLY

SURVEY INFORMATION SURVEYED BY CRAIG & RHODES DATE AND ORIGIN OF LEVELS P M 31/97 RL 3.021				Client FRASERS PROPERTY Approved FRASERS PROPERTY This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas.				Level 5, 78 Victoria Avenue Chesham NSW 2067 Telephone +61 2 9417 5400 Facsimile +61 2 9417 5337 Email email@hhenryhymas.com.au Web www.henryhymas.com.au		 henryhymas		Project LOT 3 IN LOT 5 DP1212087, BURILDA CLOSE, WETHERILL PARK TWO STAGED SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY Title COVER SHEET, DRAWING SCHEDULE, NOTES & LOCALITY SKETCH		Drawn J. Liu Checked T. Dempsey Drawing number 16875_DA_C000		Designed T. Chan Approved A. Fung Date SEP 2016 Scale N.T.S. Revision 01	
--	--	--	--	--	--	--	--	---	--	-----------------------	--	--	--	--	--	--	--



16875_DA_C102



GENERAL ARRANGEMENT PLAN

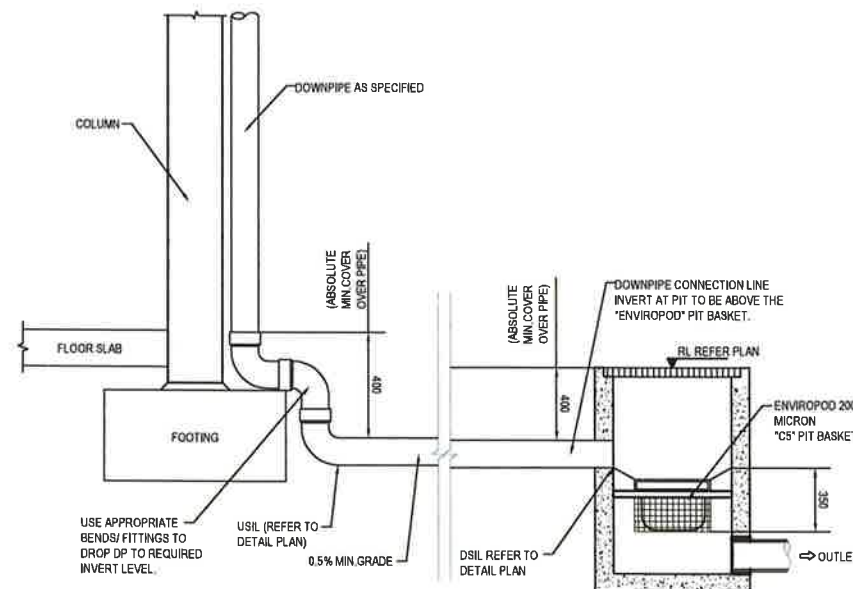
SCALE: 1:500

— LEGEND

- | | |
|--|---|
| | EXISTING BOUNDARY |
| | PROPOSED RIDGE LINE |
| | PROPOSED VALLEY LINE |
| | PROPOSED JUNCTION PITS |
| | PROPOSED SURFACE INLET PITS |
| | PROPOSED LINTEL ONGRADE & SAG PITS |
| | PROPOSED PIT TAG |
| | STORMWATER UPSTREAM INVERT RL
STORMWATER PIPE DIAMETER & CLASS
STORMWATER PIPE LENGTH
STORMWATER PIPE GRADE
STORMWATER DOWNSTREAM INVERT RL |
| | PROPOSED GRATED DRAIN |
| | EXISTING STORMWATER PIPE |
| | PROPOSED STORMWATER PIPE |
| | PROPOSED BATTER LINE |
| | EXISTING CONTOURS |
| | PROPOSED CONTOURS |
| | PROPOSED SPOT LEVEL |
| | PROPOSED KERB & GUTTER |
| | PROPOSED KERB ONLY |
| | OVERLAND FLOW PATH |
| | EXISTING SUBDIVISION RETAINING WALL
ASSUMED TO BE BUILT PRIOR TO LOT 3
CONSTRUCTION |
| | PROPOSED 100mm LOW KERB |
| | PROPOSED RETAINING WALL |

FOR DA ONLY

[illegible]



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

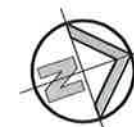
Approved Application No. SSD 3917

granted on the 4/5/17

Signed TP

Sheet No. 24 of 31

EXISTING NO FINES
KEYSTONE WALL TO
REMAIN



PROPOSED RETAINING
WALL TO STRUCTURAL
ENGINEERING DETAILS

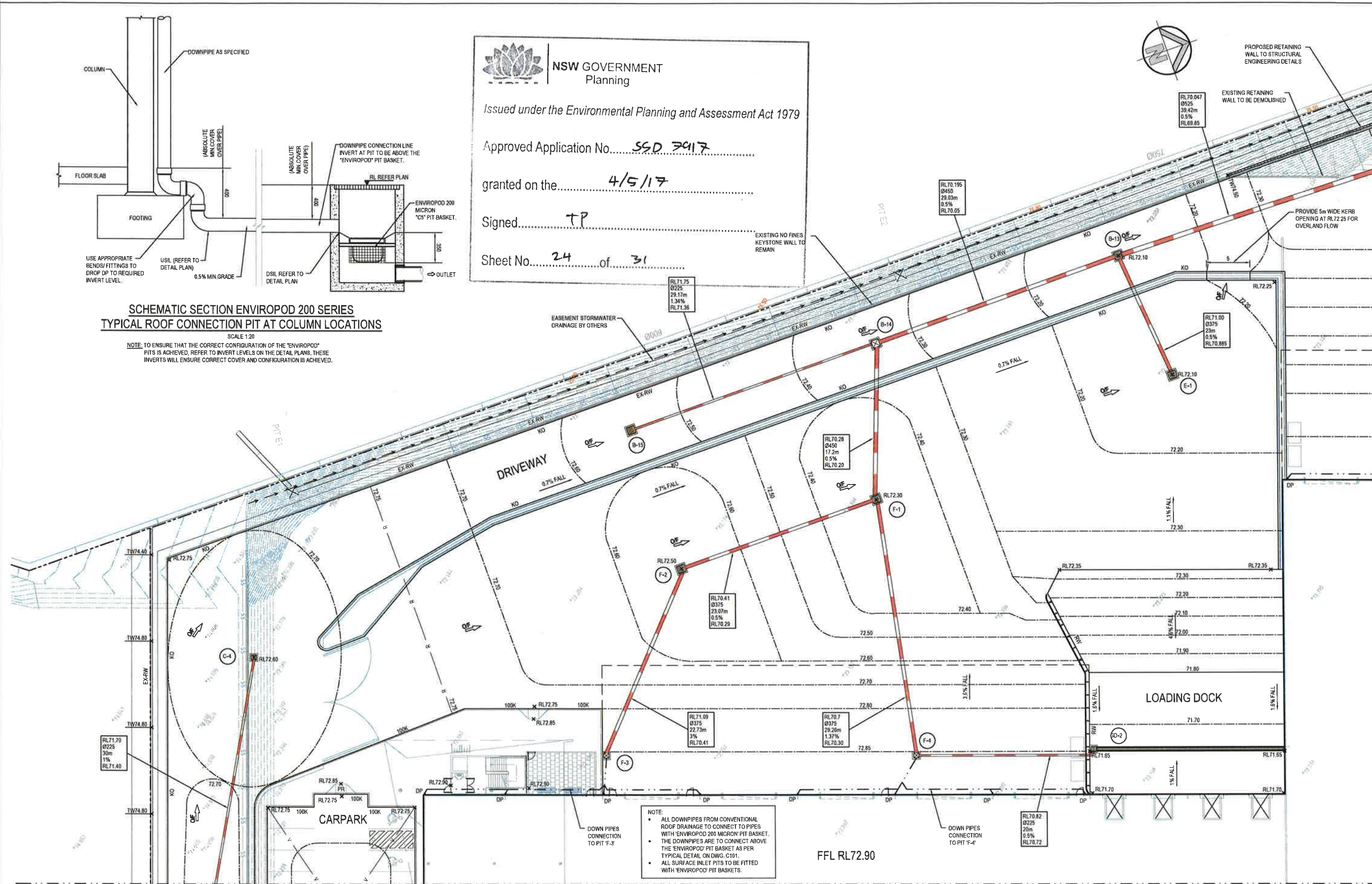
EXISTING RETAINING
WALL TO BE DEMOLISHED

PROVIDE 5m WIDE KERB
OPENING AT RL72.25 FOR
OVERLAND FLOW

SCHEMATIC SECTION ENVIROPOD 200 SERIES TYPICAL ROOF CONNECTION PIT AT COLUMN LOCATIONS

SCALE 1:20

NOTE: TO ENSURE THAT THE CORRECT CONFIGURATION OF THE ENVIROPOD PITS IS ACHIEVED, REFER TO INVERT LEVELS ON THE DETAIL PLANS. THESE INVERTS WILL ENSURE CORRECT COVER AND CONFIGURATION IS ACHIEVED.



SCALE 1:200

DETAIL PLAN - SHEET 1 OF 4

SCALE: 1:200

FOR DRAWING CONTINUATION REFER 16875_DA_C103

FOR DA ONLY

SURVEY INFORMATION

SURVEYED BY CRAIG & RHODES
DATUM AHD
ORIGIN OF LEVELS: PM3502 RL3 521

REVISION	AMENDMENT	DRAWN	DESIGNED	DATE	REVISION	AMENDMENT	DRAWN	DESIGNED	DATE
01	ISSUED FOR DEVELOPMENT APPLICATION	JL	TC	24/09/2016					

FRASERS PROPERTY

FRASERS PROPERTY

This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas

Level 5
18 Victoria Avenue
Cheltenham NSW 2067



Telephone
+61 2 9417 8400
Facsimile
+61 2 9417 8337
Email
www.henryhymas.com.au
Web
www.henryhymas.com.au



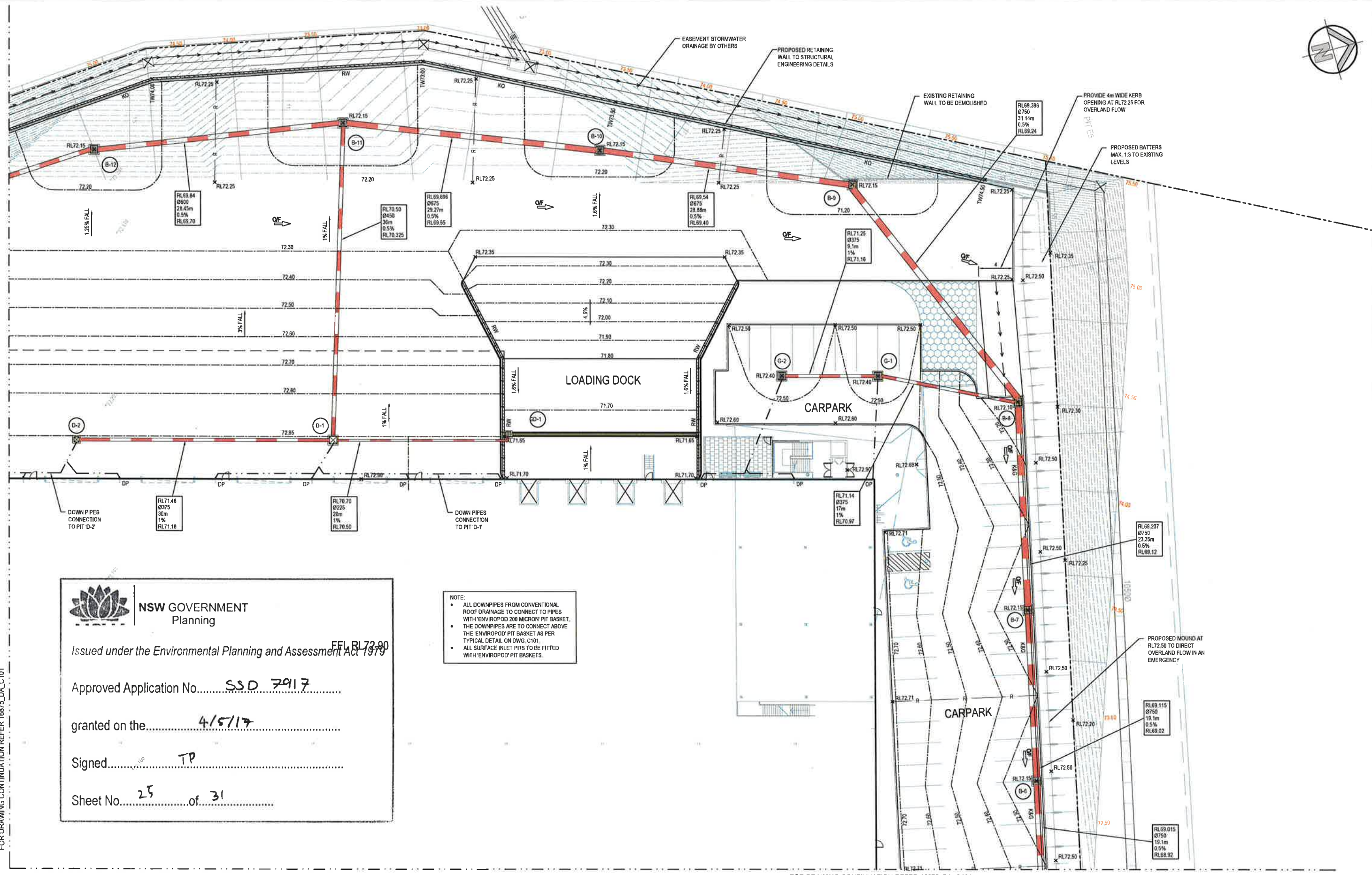
LOT 3 IN LOT 5 DP1212087, BURILDA CLOSE, WETHERILL PARK
TWO STAGED SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY


DETAIL PLAN
SHEET 1 OF 4

Drawn
J Liu
Checked
T Dempsey
Designed
T Chan
Approved
A Francis
Scale
1:200 @ A1
Date
SEP 2016

16875_DA_C101 01

FOR DRAWING CONTINUATION REFER 16875_DA_C102





NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

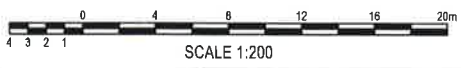
Signed TP

Sheet No. 25 of 31

NOTE:

- ALL DOWNPIPES FROM CONVENTIONAL ROOF DRAINAGE TO CONNECT TO PIPES WITH 'ENVIROPOD' 200 MICRON PIT BASKET.
- THE DOWNPIPES ARE TO CONNECT ABOVE THE 'ENVIROPOD' PIT BASKET AS PER TYPICAL DETAIL ON DWG. C101.
- ALL SURFACE INLET PITS TO BE FITTED WITH 'ENVIROPOD' PIT BASKETS.

FOR DRAWING CONTINUATION REFER 16875_DA_C101




DETAIL PLAN - SHEET 2 OF 4
SCALE: 1:200

FOR DRAWING CONTINUATION REFER 16875_DA_C104

FOR DA ONLY

SURVEY INFORMATION SURVEYED BY CRAIG & RHODES DATUM AHD ORIGIN OF LEVELS PM31592 RL3.621		Client FRASERS PROPERTY Architect FRASERS PROPERTY		Location Lot 3 in Lot 5 DP1212087, Burilda Close, Wetherill Park Two Staged Speculative Warehouse/Industrial Facility		Drawn J Liu Checked T Dempsey		Designed T Chan Approved A. Francis		Date SEP 2016 Scale 1:200 @ A1	
11 ISSUED FOR DEVELOPMENT APPLICATION		16		20160916		Drawing number		Revision		16875_DA_C102	
REVISION		AMENDMENT		DATE		DRAWN		DESIGNED		DATE	

This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas.



henry & hymas

Telephone
+61 2 9417 8400
Facsimile
+61 2 9417 8337
Email
email@hthomas.com.au
Web
www.henryhymas.com.au



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 26 of 31

NOTE:

- ALL DOWNPIPES FROM CONVENTIONAL ROOF DRAINAGE TO CONNECT TO PIPES WITH 'ENVIROPOD 200 MICRON' PIT BASKET.
- THE DOWNPIPES ARE TO CONNECT ABOVE THE 'ENVIROPOD' PIT BASKET AS PER TYPICAL DETAIL ON DWG. C101.
- ALL SURFACE INLET PITS TO BE FITTED WITH 'ENVIROPOD' PIT BASKETS.

DETAIL PLAN - SHEET 3 OF 4

SCALE: 1:200

FOR DA ONLY

SCALE 1:200

SURVEY INFORMATION
SURVEYED BY CRAIG & RHODES
DATUM: AHD
ORIGIN OF LEVELS: PM3582 RL3.521

Client
FRASERS PROPERTY
Architect
FRASERS PROPERTY

This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas

Level 5
19 Victoria Avenue
Cherrybrook NSW 2887



Telephone
+61 2 9417 8400
Facsimile
+61 2 9417 8337
Email
enquiries@hhy.com.au
Web
www.henryhymas.com.au



Project
LOT 3 IN LOT 5 DP1212087, BURILDA CLOSE, WETHERILL PARK
TWO STAGED SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY
Title
DETAIL PLAN
SHEET 3 OF 4

Client J Liu	Designed T Chan	Date SEP 2016
Checked T Dempsey	Approved A Francis	Scale 1:200 @ A1
Drawing number 16875_DA_C103		Revision 01



WAREHOUSE 3
BEL 72.20



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

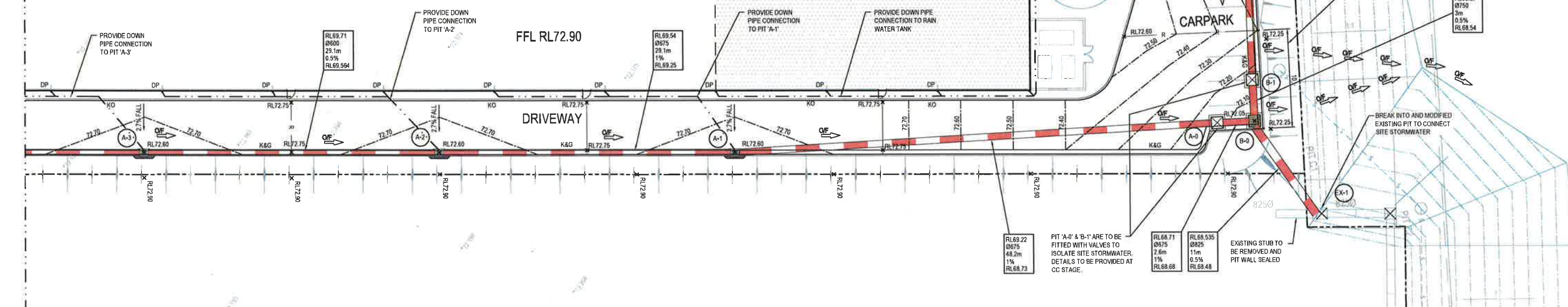
granted on the 4/5/17

Signed TP

Sheet No. 27 of 31

- NOTE:
- ALL DOWNPIPES FROM CONVENTIONAL ROOF DRAINAGE TO CONNECT TO PIPES WITH ENVIROPOD 200 MICRON PIT BASKET.
 - THE DOWNPIPES ARE TO CONNECT ABOVE THE ENVIROPOD PIT BASKET AS PER TYPICAL DETAIL ON DWG. C101.
 - ALL SURFACE INLET PITS TO BE FITTED WITH ENVIROPOD PIT BASKETS.

THIS 2000m² CATCHMENT TO RWT
(ASSUMED RWT VOLUME IS 50kl)



DETAIL PLAN - SHEET 4 OF 4

SCALE: 1:200

FOR DA ONLY

SURVEY INFORMATION
SURVEYED BY CRAIG & RHODES
DATUM AHD
ORIGIN OF LEVELS PMD 552 RL3 521

REVISION	ISSUED FOR DEVELOPMENT APPLICATION	AMENDMENT	DATE	REVISION	AMENDMENT	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION		24/05/2016			

Client
FRASERS PROPERTY
Approved
FRASERS PROPERTY

This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas

Level 5,
79 Victoria Avenue
Chateaufort NSW 2067

Telephone
+61 2 9417 8400
Facsimile
+61 2 9417 8337
Email
enquiries@hennyhymas.com.au
Web
www.hennyhymas.com.au



Project
LOT 3 IN LOT 5 DP1212087, BURILDA CLOSE, WETHERILL PARK
TWO STAGED SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

Detail Plan
SHEET 4 OF 4

Drawn
J. Liu
Checked
A. Frith
Approved
T. Dempsey

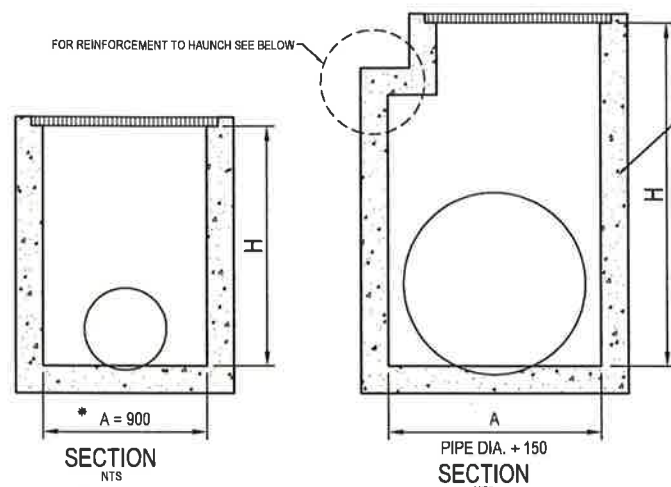
Date
SEP 2016
Scale
1:200 @ A1

16875_DA_C104 01

IT IS THE CONTRACTORS RESPONSIBILITY TO SELECT PIT CHAMBER SIZE WITH REGARDS TO PIPE SIZE, DEPTH TO INVERT AND SKEW ANGLE. REFER SKETCHES BELOW.

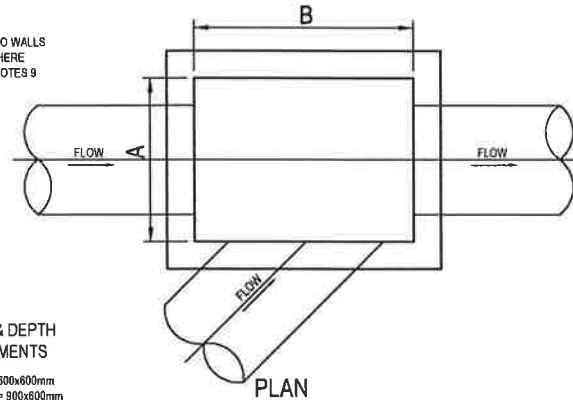
1. SELECT PIT CHAMBER USING THE STEPS BELOW.
2. SELECT PIT CHAMBER SIZE DEPENDING ON THE PIPE DIAMETERS.
3. CHECK PIT CHAMBER SIZE TO SATISFY DEPTH TO INVERT REQUIREMENTS.
4. CHECK PIT CHAMBER DIMENSIONS TO SATISFY THE SKEW ANGLE IN THE TABLE.

FOR B = 600mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 225mm
FOR B = 900mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 375mm
FOR B = 1200mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 600mm
FOR B = 1500mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 825mm
FOR B = 1800mm - MAX. SIDE ENTRY PIPE AT 45° SKEW = 1050mm



2. PIT SIZE & DEPTH REQUIREMENTS

H = 0-800mm - AxB = 600x600mm
H = 900-1200mm - AxB = 900x900mm
H = >1200mm - AxB = 900x900mm



3. PIT CHAMBER FOR SIDE ENTRY ON SKEW

TABLE 3				
SUPPORT TYPE	BED ZONE X	HAUNCH ZONE Y	BED AND HAUNCH ZONES COMPACTION	MAX BEDDING FACTOR
HS1	100 IF D<=1500, OR 150 IF D>=1500	0.1D	50	2.0
HS2		0.3D	60	2.5
HS3		0.3D	70	4.0

TABLE 2	
SIEVE SIZE (MM)	WEIGHT PASSING (%)
19.0	100
2.36	100 TO 50
0.60	90 TO 20
0.30	60 TO 10
0.15	25 TO 0
0.075	10 TO 0

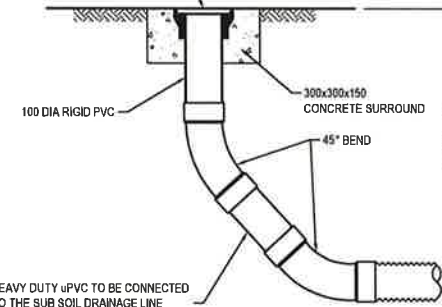
TABLE 1	
SIEVE SIZE (MM)	WEIGHT PASSING (%)
75.0	100
9.5	100 TO 50
2.36	100 TO 30
0.60	50 TO 15
0.075	25 TO 0

PIT LID SCHEDULE	
PIT NUMBER	DESCRIPTION
GD-1 GD-2	300mm WIDE HEAVY DUTY GRATED DRAIN AND HEAVY DUTY FRAME CLASS "D" CONNECTED TO A 600x800 GRATED PIT (HEAVY DUTY CLASS "D" IN ACCORDANCE WITH FAIRFIELD CITY COUNCIL'S REQUIREMENTS. THE 600x800 PIT IS TO BE FITTED WITH "ENVIROPOD" PIT BASKET AND OILSOLBS. THE GRATED DRAIN DISCHARGING INTO THE 600x800 PIT MUST BE ABOVE THE "ENVIROPOD" PIT BASKET.
A-1 A-2 A-3 A-4 A-5 A-6	SAG KERB INLET PIT WITH 12m LINTEL AND MEDIUM DUTY GRATED LID, CLASS "C" IN ACCORDANCE WITH FAIRFIELD CITY COUNCIL'S REQUIREMENTS. THESE PITS TO BE FITTED WITH "ENVIROPODS" 200 MICRON PIT BASKETS WITH OILSOLBS.
A-8 A-9 A-10 B-0 B-1 B-2 D-1 B-3 B-4 B-5 B-6 B-7 B-8 B-9	PROPOSED SURFACE INLET PIT WITH HINGED 900x900 MEDIUM DUTY GRATED LID CLASS "C" IN ACCORDANCE WITH FAIRFIELD CITY COUNCIL'S REQUIREMENTS. THESE PITS TO BE FITTED WITH "ENVIROPODS" 200 MICRON PIT BASKETS WITH OILSOLBS.
B-9 B-10 B-11 B-12 B-13 B-14 C-1 C-2 C-3 C-4 E-1 F-1 F-2	PROPOSED SURFACE INLET PIT WITH HINGED 900x900 MEDIUM DUTY GRATED LID CLASS "D" IN ACCORDANCE WITH FAIRFIELD CITY COUNCIL'S REQUIREMENTS. THESE PITS TO BE FITTED WITH "ENVIROPODS" 200 MICRON PIT BASKETS WITH OILSOLBS.
D-1 D-2 F-3 F-4	JUNCTION PIT WITH SEALED 900x900, HEAVY DUTY LID CLASS "D" IN ACCORDANCE WITH FAIRFIELD CITY COUNCIL'S REQUIREMENTS.
B-1 A-0	JUNCTION PIT WITH SEALED 1200x1200, MEDIUM DUTY LID CLASS "C" IN ACCORDANCE WITH FAIRFIELD CITY COUNCIL'S REQUIREMENTS.

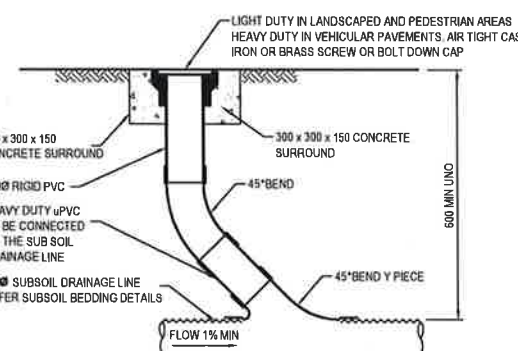
DRAINAGE NOTES:

1. ALL STORMWATER WORK TO COMPLY WITH AS 3500 PART 3.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE MINIMUM COVER OF 600mm ON ALL PIPES.
3. PROTECTION OF PIPES DUE TO LOADS EXCEEDING W7 WHEEL LOAD SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
4. BEDDING TYPE SHALL BE TYPE H2 FOR RCP. WHERE NECESSARY THE OVERLAY ZONE SHALL BE REDUCED TO ACCOMMODATE PAVEMENT REQUIREMENTS. REFER TO THIS DRAWING FOR DETAILS.
5. MINIMUM COVER OVER EXISTING PIPES FOR PROTECTION DURING CONSTRUCTION SHALL BE 800mm.
6. NO CONSTRUCTION LOADS SHALL BE APPLIED TO PLASTIC PIPES.
7. FINISHED SURFACE LEVELS SHOWN ON LAYOUT PLAN DRGS TAKE PRECEDENCE OVER DESIGN DRAINAGE SURFACE LEVELS.
8. ALL PIPES UP TO AND INCLUDING 300 DIA. SHALL BE SOLVENT OR RUBBER RING JOINTED PVC CLASS SH PIPE TO AS1260. ALL OTHER PIPES TO BE RCP USING CLASS 2 RUBBER RING JOINTED PIPE. HARDIES FRC PIPE MAY BE USED IN LIEU OF RCP IF DESIRED IN GROUND. ALL AERIAL PIPES TO BE PVC CLASS SH.
9. ALL PITS IN NON TRAFFICABLE AREAS TO BE PREFABRICATED POLYESTER CONCRETE "POLYCRETE" WITH "LIGHT DUTY" CLASS B GALV. MILD STEEL GRATING AND FRAME. ALL PITS IN TRAFFICABLE AREAS (CLASS "D" LOADING MAX) TO HAVE 150mm THICK CONCRETE WALLS AND BASE CAST IN-SITU F₂₈=32 MPa, REINFORCED WITH N12-200 BOTH LOADING WAYS CENTRALLY PLACE, U.N.O. ON SEPARATE DESIGN DRAWINGS IN THIS SET. GALV MILD STEEL GRATING AND FRAME TO SUIT DESIGN LOADING. PRECAST PITS, RECTANGULAR OR CIRCULAR IN SHAPE, MAY BE USED IN LIEU AND SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.
10. ALL PITS, GRATINGS AND FRAMES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION AND TO BE IN ACCORDANCE WITH AS3500.3 AND AS3995.
11. PIT CHAMBER DIMENSIONS ARE TO BE SELECTED TO SATISFY THE FOLLOWING:
 - PIPE SIZE
 - DEPTH TO INVERT
 - SKEW ANGLEREFER TYPICAL PIT CHAMBER DETAILS BELOW
- IF PIT LID SIZE IS SMALLER THAN THE PIT CHAMBER SIZE THEN THE PIT LID IS TO BE CONSTRUCTED ON THE CORNER OF THE PIT CHAMBER WITH THE STEP IRONS DIRECTLY BELOW. ALTERNATIVELY THE PIT LID TO BE USED, IS TO BE THE SAME SIZE AS THE PIT CHAMBER.
12. FOR PIPE SIZES GREATER THAN 300mm, PIT FLOOR IS TO BE BENCH TO FACILITATE FLOW.
13. GALVANISED STEP IRONS SHALL BE PROVIDED AT 300 CTS FOR PITS HAVING A DEPTH EXCEEDING 1200mm. SUBSOIL DRAINAGE PIPE SHALL BE PROVIDED IN PIPE TRENCHES ADJACENT TO INLET PIPES. (MINIMUM LENGTH 3m).
14. ALL SUBSOIL PIPES SHALL BE 100mm SLOTTED PVC IN A FILTER SOCK, UNO, WITH 3m INSTALLED UPSTREAM OF ALL PITS.
15. ALL PIPEWORK SHALL HAVE MINIMUM DIAMETER 100.
16. MINIMUM GRADE FOR ROOFWATER DRAINAGE LINES SHALL BE 1%.
17. ALL PIPE JUNCTIONS AND TAPER UP TO AND INCLUDING 300 DIA. SHALL BE VIA PURPOSE MADE FITTINGS.
18. ALL ROOF DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3500, PART 3. TESTING TO BE UNDERTAKEN AND REPORTS PROVIDED TO THE SUPERINTENDENT.
19. LOCATION OF THE DIRECT DOWN PIPE CONNECTIONS MAY VARY ON SITE TO SUIT SITE CONDITIONS, WHERE CONNECTION SHOWN ON LONG SECTIONS CHAINAGES ARE INDICATIVE ONLY.
20. PITS IN EXCESS OF 1.5m DEEP TO HAVE WALL AND FLOOR THICKNESS INCREASED TO 200mm, REINFORCED WITH N12@200 CTS CENTRALLY PLACED BOTH WAYS THROUGHOUT U.N.O. ON SEPARATE DESIGN DRAWINGS IN THIS SET. IF DEPTH EXCEEDS 5m CONTACT ENGINEER.
21. SUBSOIL DRAINAGE LINES FOR LANDSCAPE AREA NOT SHOWN ON THESE DRAWINGS, REFER TO LANDSCAPING PLANS FOR DETAILS.
22. ALL STORMWATER PITS TO HAVE 100mm SLOTTED SUBSOIL PIPES CONNECTED TO THEM. THESE SUBSOILS TO EXTEND 3m UPSTREAM OF THE PIT AT A MINIMUM GRADE.

LIGHT DUTY IN LANDSCAPED AND PEDESTRIAN AREAS
HEAVY DUTY IN VEHICULAR PAVEMENTS.
AIR TIGHT CAST IRON OR BRASS SCREW OR BOLT DOWN CAP.

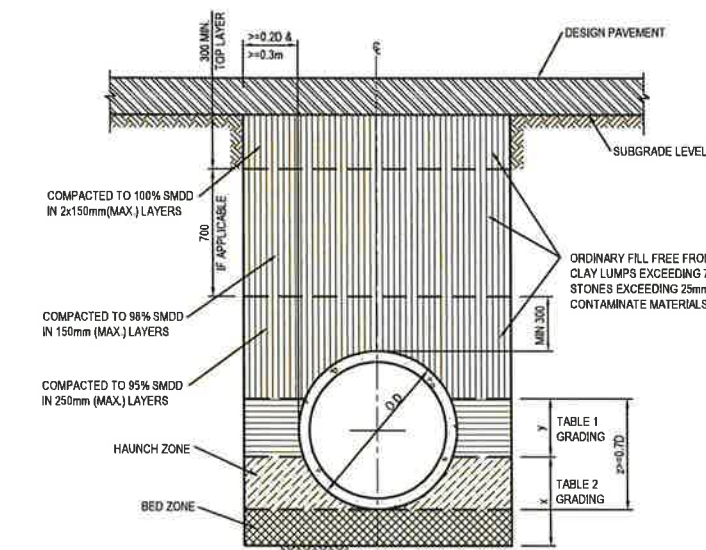


FLUSHING POINT (FP)



INTERMEDIATE RISER (IR)

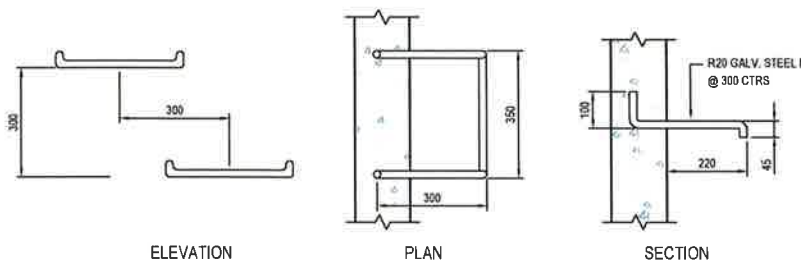
NOTE: SLOTTED RIGID PVC PIPE AND FITTINGS MAY BE USED



PIPE TRENCH INSTALLATION BENEATH PAVEMENT

(HS SUPPORT TO BE USED UNDER ROADWAY)
SCALE 1:20

NOTE:
TYPE HS2 TO BE USED AS A TYPICAL SUPPORT FOR TRENCHES UNDER ROADWAY UNLESS SPECIFIED SEPERATELY



TYPICAL STEP IRON DETAIL

SCALE 1:10



SCALE 1:10



SCALE 1:20

NSW GOVERNMENT
Planning
IN LANDSCAPE AREAS
Issued under the Environmental Planning and Assessment Act 1979
(H1 & H2 SUPPORT)
SCALE 1:20

Approved Application No. 550 7917

granted on the 4/5/17

Signed TP

Sheet No. 28 of 31

FRASERS PROPERTY

FRASERS PROPERTY

This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas

Level 5
19 Victoria Avenue
Cherrybrook NSW 2067



Telephone
+61 2 9417 9400
Facsimile
+61 2 9417 8337
Email
enquiries@henryhymas.com.au
Web
www.henryhymas.com.au



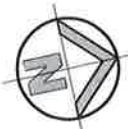
Project
LOT 3 IN LOT 5 DP1212087, BURILDA CLOSE, WETHERILL PARK
TWO STAGED SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

Stormwater Miscellaneous Details
& PIT LID SCHEDULE

FOR DA ONLY

Drawn
J. Liu
Designed
T. Chan
Scale
A. Francis
Date
SEP 2016
Shown @ A1

16875_DA_C200 01



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 201 of 31

TOTAL SITE AREA: 43975.5m²

 **ROOF CATCHMENT**
AREA: 22,463.5m²

 **CARPARK CATCHMENT**
AREA: 11,530m²

 **LOADING CATCHMENT**
AREA: 7,982m²

 **LOADING CATCHMENT**
AREA: 2,000m² TO RW TANK

0 10 20 30 40 50m
SCALE 1:500

STORMWATER CATCHMENT PLAN
SCALE: 1:500

FOR DA ONLY

**SURVEY
INFORMATION**
SURVEYED BY CRAIG & RHODES
DATUM AHD
ORIGIN OF LEVELS PM3/502 RL3 521

REVISION	AMENDMENT	DRAWN	DESIGNED	DATE	REVISION	AMENDMENT	DRAWN	DESIGNED	DATE
31	ISSUED FOR DEVELOPMENT APPLICATION	AL	TC	24/02/16					

Client
FRASERS PROPERTY
Project
FRASERS PROPERTY

This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas

Level 5
79 Victoria Avenue
Cherrywood NSW 2007

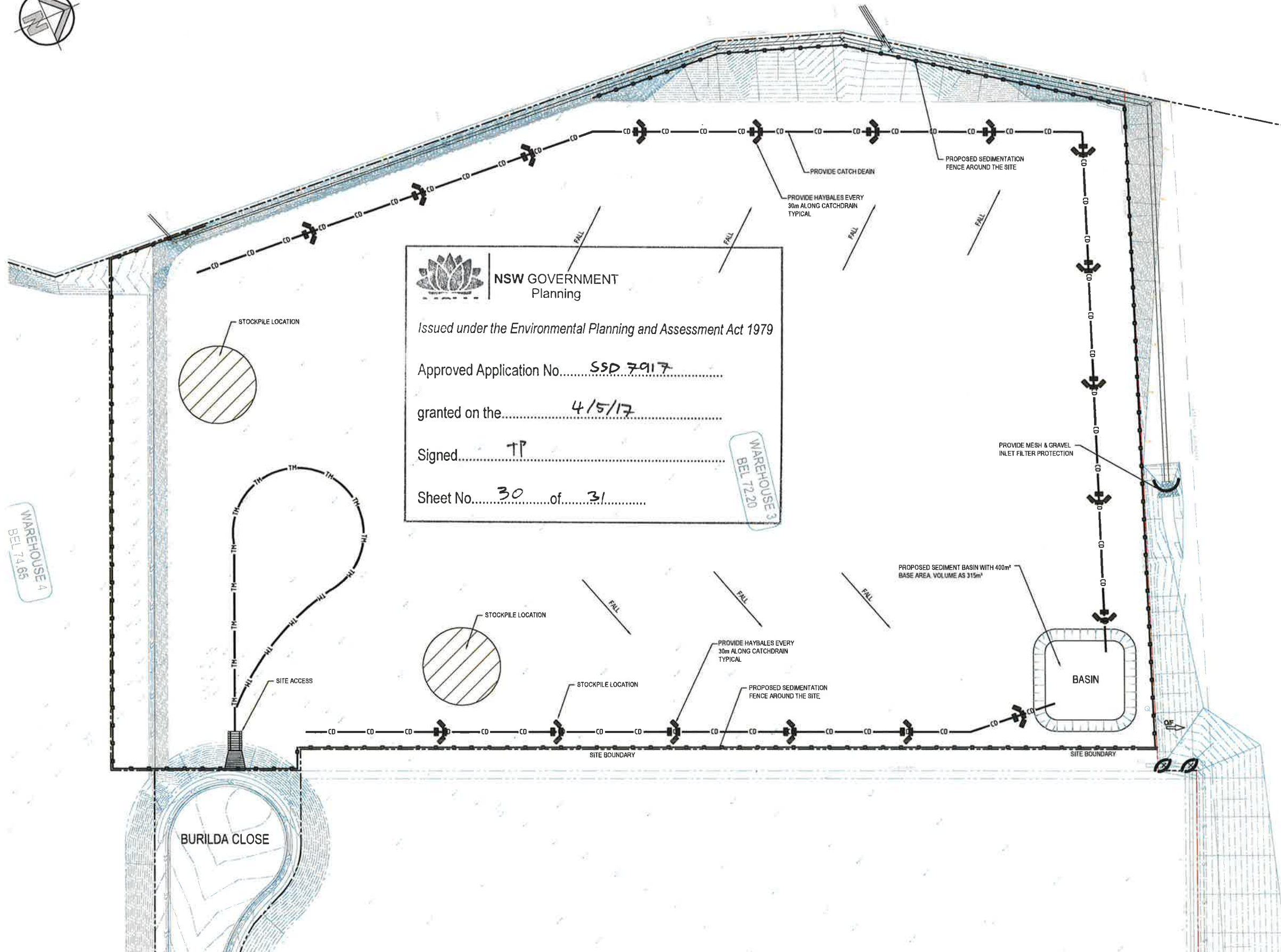
Telephone
+61 2 9411 8400
Facsimile
+61 2 9411 8337
Email
enquiries@hhy.com.au
Web
www.henryandhymas.com.au




Project
LOT 3 IN LOT 5 DP1212087, BURILDA CLOSE, WETHERILL PARK
TWO STAGED SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY
Title
STORMWATER CATCHMENT PLAN

Drawn J Liu	Designed T Chan	Date SEP 2016
Checked T Dempsey	Forwared A Francis	Scale 1:500 @ A1

16875_DA_C250 01



 **NSW GOVERNMENT**
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 7917

granted on the 4/5/17

Signed TP

Sheet No. 30 of 31

WAREHOUSE 3
BEL 7220

GENERAL INSTRUCTIONS

- THIS SEDIMENT AND EROSION CONTROL WORKS FOR THE SITE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION, 4TH EDITION (2004)" BY LANDCOM.
- AS REQUIRED BY BLACKTOWN CITY COUNCIL SEDIMENT CONTROL MEASURES WILL BE REQUIRED DURING THE CONSTRUCTION OF ALL DEVELOPMENT/BUILDING WORKS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY THAT THE WORKS ARE CARRIED OUT IN ACCORDANCE WITH THE SEDIMENT AND EROSION CONTROL PLAN AND COUNCIL'S REQUIREMENTS.
- THE CONTRACTOR SHALL ENSURE THAT ALL SUBCONTRACTORS ARE INFORMED OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE AREAS.
- THE NON-DISTURBED PORTION OF THE CATCHMENT OUTSIDE OF OPERATING AREA IS TO BYPASS THE BASINS BY MEANS OF LINED CATCH DRAINS.
- WHERE PRACTICABLE, THE SOIL EROSION HAZARD SHALL BE KEPT AS LOW AS POSSIBLE. LIMITATIONS TO ACCESS ARE TO BE VIA THE SEALED ACCESS ROAD OFF CAPTAIN COOK DRIVE UNLESS OTHERWISE APPROVED BY COUNCIL.
- ENSURE THAT ALL DRAINS ARE OPERATING EFFECTIVELY AND SHALL MAKE ANY NECESSARY REPAIRS. REMOVE TRAPPED SEDIMENT WHERE THE CAPACITY OF THE TRAPPING DEVICE FALLS BELOW 80%.
- CONSTRUCT ADDITIONAL EROSION OR SEDIMENT CONTROL WORKS AS MAY BE APPROPRIATE TO ENSURE THE PROTECTION OF DOWNSLOPE LANDS AND WATERWAYS.
- MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FULLY FUNCTIONING CONDITION AT ALL TIMES UNTIL THE SITE IS REHABILITATED.
- REMOVE TEMPORARY SOIL CONSERVATION STRUCTURES AS THE LAST ACTIVITY IN THE REHABILITATION PROGRAM.

EROSION CONTROL REQUIREMENTS





- CLEARLY VISIBLE BARRIER FENCING SHALL BE INSTALLED AT THE DISCRETION OF THE SITE SUPERINTENDENT TO ENSURE TRAFFIC CONTROL AND PROHIBIT UNNECESSARY SITE DISTURBANCE. VEHICULAR ACCESS TO THE SITE SHALL BE LIMITED TO ONLY THAT ESSENTIAL FOR CONSTRUCTION WORK AND SHALL ENTER THE SITE ONLY THROUGH THE STABILISED ACCESS POINT.
- SOIL MATERIALS SHALL BE REPLACED IN THE SAME LAYERS THEY ARE REMOVED FROM THE GROUND i.e. ALL SUBSOILS ARE TO BE BURIED AND TOPSOIL IS TO BE RESPREAD ON THE SURFACE AT THE COMPLETION OF WORKS.
- ALL DISTURBED AREAS ARE TO BE STABILISED WITHIN SEVEN WORKING DAYS OF THE COMPLETION OF LAND SHAPING. ALL DISTURBED AREAS ARE TO BE PROTECTED SO THAT THE LAND IS PERMANENTLY STABILISED WITHIN SIX MONTHS. TOPSOIL SHALL BE RESPREAD OVER THE SITE, OTHER THAN LOT RE-GRADING AREAS, TO A MINIMUM DEPTH OF 100mm ON BARE BUT TYPED SOIL SURFACES AND THE SITE SHALL BE REVEGETATED IN ACCORDANCE WITH THE FOLLOWING.

CONSTRUCTION SEQUENCE

WORKS SHALL BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:

- INSTALL SEDIMENT FENCING AND CUT DRAINS TO MEET THE REQUIREMENTS OF THE SEDIMENT AND EROSION CONTROL PLAN. WASTE COLLECTION BINS SHALL BE INSTALLED ADJACENT TO SITE OFFICE.
- CONSTRUCT STABILISED SITE ACCESS IN ACCORDANCE WITH INVERELL SHIRE COUNCIL'S REQUIREMENTS.
- REDIRECT CLEAN WATER AROUND THE CONSTRUCTION SITE.
- INSTALL SEDIMENT CONTROL PROTECTION MEASURES AT ALL NATURAL AND MAN-MADE DRAINAGE STRUCTURES. MAINTAIN UNTIL ALL THE DISTURBED AREAS ARE STABILISED.
- CLEAR AND STRIP THE WORK AREAS. MINIMISE THE DAMAGE TO THE GRASS AND LOW GROUND COVER OF NON-DISTURBED AREAS.
- ANY DISTURBED AREAS, OTHER THAN BUILDING PAD AREAS, SHALL IMMEDIATELY BE COVERED WITH SITE TOPSOIL WITHIN 7 DAYS OF CLEARING. BUILDING PAD AREAS SHALL BE COVERED WITH BITUMEN EMULSION AS SPECIFIED.
- APPLY PERMANENT STABILISATION TO SITE (LANDSCAPING).

LEGEND

- CD — CD —> CATCH DIVERSION DRAIN
- TM — TM —> TRAFFIC MANOEUVRING
- OF —> OVERLAND FLOW PATH
- —> PROPOSED SEDIMENTATION FENCE
-  PROPOSED VEHICLE SHAKER GRID AND STABILISED SITE ACCESS
-  PROPOSED STOCKPILE LOCATION
-  PROPOSED HAYBALE FILTER
-  PROPOSED MESH & GRAVEL INLET FILTER

0 10 20 30 40 50m
SCALE 1:500

SEDIMENT & EROSION CONTROL PLAN

SCALE: 1:500

SURVEY INFORMATION
SURVEYED BY CRAIG & RHODES
DATUM AHD
ORIGIN OF LEVELS PM31582 RL3.921

REVISION	AMENDMENT	DRAWN	DESIGNED	DATE	REVISION	AMENDMENT	DRAWN	DESIGNED	DATE
01	ISSUED FOR DEVELOPMENT APPLICATION	JL	TC	06/09/2016					

Client
FRASERS PROPERTY

Architect
FRASERS PROPERTY

This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas

Level 5,
10 Victoria Avenue
Cherrywood NSW 2067



Telephone
+61 2 9417 9400
Facsimile
+61 2 9417 8837
Email
enquiries@henryhymas.com.au
Web
www.henryhymas.com.au



Project
**LOT 3 IN LOT 5 DP1212087, BURILDA CLOSE, WETHERILL PARK
TWO STAGED SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY**

Drawing number
SEDIMENT & EROSION CONTROL PLAN

Drawn
J.Liu

Designed
T.Chan

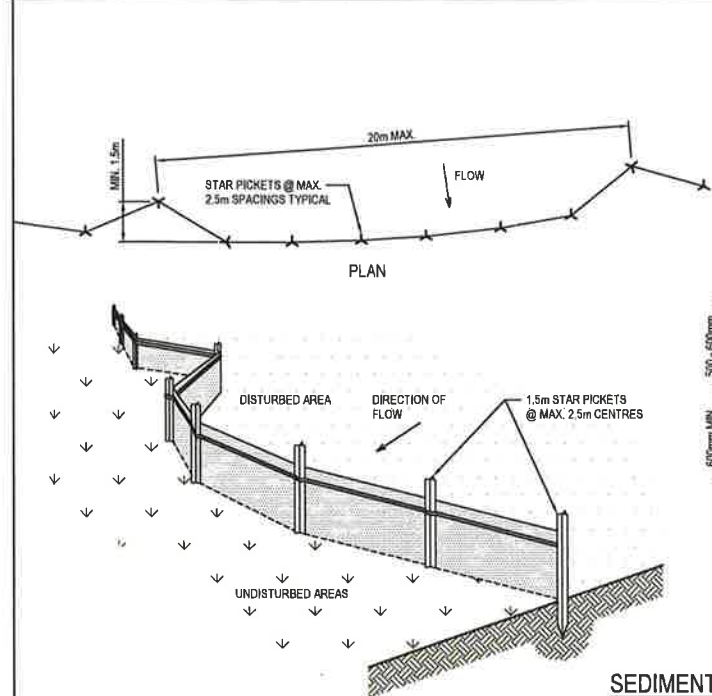
Approved
A.Franz

Scale
1:500 @ A1

Revision
16875_DA_SE01

01

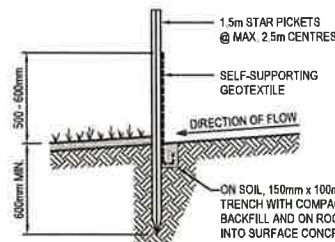
FOR DA ONLY



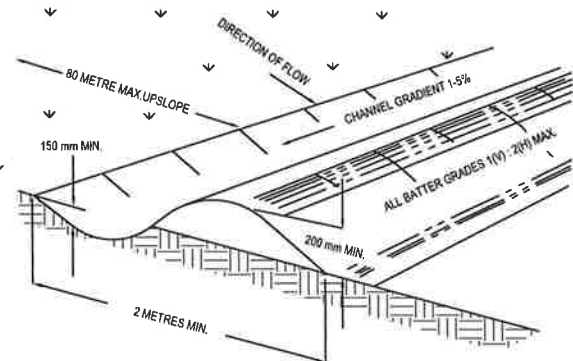
SEDIMENT FENCE
SCALE N.T.S.

SEDIMENT FENCE CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND @ 2.5m INTERVALS (MAX.) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



SECTION DETAIL



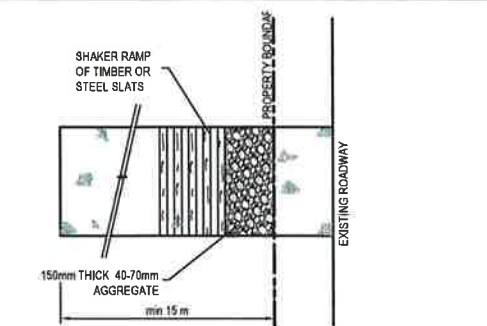
NOTE: ONLY TO BE USED AS TEMPORARY BANK WHERE MAC UPSLOPE LENGTH IS 80 METRES.

CATCH DRAIN CONSTRUCTION NOTES:

1. CONSTRUCT ALONG GRADIENT AS SPECIFIED.
2. MAXIMUM SPACING BETWEEN BANKS SHALL BE 80 METRES.
3. DRAINS TO BE OF PARABOLIC OR TRAPEZOIDAL CROSS SECTION NOT V-SHAPED.
4. EARTH BANKS TO BE ADEQUATELY COMPACTED IN ORDER TO PREVENT FAILURE.
5. CONSTRUCTION IS OF A TEMPORARY NATURE AND SHALL BE COMPACTED AT THE END A DAYS WORK OR IMMEDIATELY PRIOR RAIN.
6. ALL OUTLETS FROM DISTURBED LANDS ARE TO FEED INTO SEDIMENT BASIN OR SIMILAR.
7. DISCHARGE RUNOFF COLLECTED FROM UNDISTURBED LANDS ONTO EITHER A STABILISED OR AN UNDISTURBED DISPOSAL AISTE WITHIN THE SAME SUBCATCHMENT AREA FROM WHICH THE WATER ORIGINATED.
8. COMPACT WITH A SUITABLE IMPLEMENT IN SITUATIONS WHERE THEY ARE REQUIRED TO FUNCTION FOR MORE THAN FIVE DAYS.
9. EARTH BANKS TO BE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT WILL IMPEDE NORMAL FLOW.

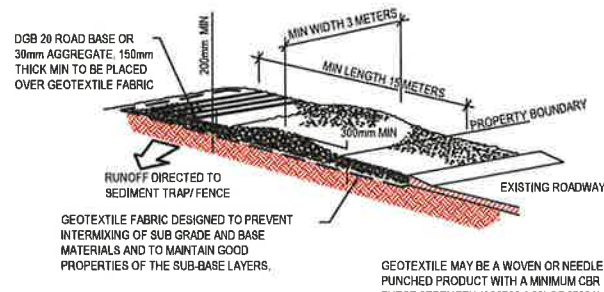
CATCH DRAINS SD 5-8

SCALE N.T.S.



PLAN
STABILISED SITE ACCESS WITH SHAKER RAMP
N.T.S.

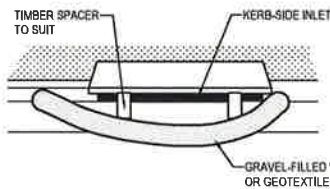
CONSTRUCTION SITE



STABILISED SITE ACCESS WITH SHAKER RAMP
N.T.S.

NOTES:

1. THIS DEVICE IS TO BE LOCATED AT ALL EXITS FROM CONSTRUCTION SITE.
2. THIS DEVICE IS TO BE REGULARLY CLEANED OF DEPOSITED MATERIAL SO AS TO MAINTAIN A 50mm DEEP SPACE BETWEEN PLANKS.
3. ANY UNSEALED ROAD BETWEEN THIS DEVICE AND NEAREST ROADWAY IS TO BE TOPPED WITH 100mm THICK 40-70mm SIZE AGGREGATE.
4. ALTERNATIVELY, THREE(3) PRECAST CONCRETE CATTLE GRIDS (AS MANUFACTURED BY 'HUMES CONCRETE' MAY BE USED. 1, 2 & 3 ABOVE ALSO APPLY.



MESH & GRAVEL INLET FILTER CONSTRUCTION NOTES:

1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
2. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
3. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
4. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
5. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY CAN FIRMLY ABUT EACH OTHER AND SEDIMENT / LADEN WATERS CANNOT PASS BETWEEN.

MESH & GRAVEL INLET FILTER

SCALE N.T.S.

SEDIMENT BASIN SIZING

1. THE SEDIMENT BASIN SHALL BE CONSTRUCTED ON A RATE PER HECTARE BASIS AND HAS BEEN IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDCOM MANUAL "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION", FOR SEDIMENTATION TYPE D SOILS. THE DISTURBED AREA WITHIN THIS CATCHMENT AT ANY ONE TIME SHOULD BE LIMITED TO AN AREA FOR WHICH EACH SEDIMENT BASIN CAN HANDLE. EACH BASIN SHALL BE SIZED IN ACCORDANCE WITH THE TABLE BELOW.

SEDIMENT BASIN SIZING TYPE D SOILS	
VOLUMETRIC RUNOFF COEFFICIENT, CV	0.25 (APPENDIX F - TABLE F2)
75TH PERCENTILE 5 DAY TOTAL RAINFALL DEPTH, R	19.0 mm
CATCHMENT AREA, A	1 Ha (UNIT AREA)
SETTLING ZONE VOLUME (PER HECTARE) 10 CV A R	47.5 m ³
DISTURBED CATCHMENT AREA	1 Ha (UNIT AREA)
R K L S P C	110.87m ³
SEDIMENT ZONE VOLUME (0.17 A (R K L S P C)) ^{1.3}	14.5m ³ < 50% SETTLING VOL
TOTAL SEDIMENT BASIN VOLUME REQUIRED	71.25 m ³ /Ha

* (LANDCOM MANAGING URBAN STORMWATER MANUAL REFERENCE)

2. THE FOLLOWING DESIGN PARAMETERS HAVE BEEN ASSESSED FOR THE SITE:

CONSTRAINT	VALUE	(SOURCE)*
RAINFALL EROSION (R-FACTOR)	2350	APPENDIX B
LENGTH/SLOPE GRADIENT FACTOR, LS	0.955	APPENDIX A - TABLE A1
SOIL ERODIBILITY (K-FACTOR)	0.038	(TABLE C20 - BLACKTOWN)
EROSION CONTROL PRACTICE FACTOR (P-FACTOR)	1.3 (COMPACTED)	APPENDIX A - TABLE A2
COVER FACTOR (C-FACTOR)	1.0 (DURING EARTHWORKS)	APPENDIX A - FIGURE A5
CALCULATED SOIL LOSS, A (RUSLE EQUATION)	110.87t/ha/yr	A = R K L S P C
SOIL HYDROLOGIC GROUP	GROUP C	APPENDIX C TABLE 20
SEDIMENT TYPE	TYPE D	APPENDIX C TABLE 4
75TH PERCENTILE 5-DAY RAINFALL EVENT	19.0mm (BLACKTOWN)	TABLE 6.3A

* (LANDCOM MANAGING URBAN STORMWATER MANUAL REFERENCE)

BASIN MANAGEMENT

1. THE CAPTURED STORMWATER IN THE SETTLING ZONE SHOULD BE DRAINED TO MEET THE MINIMUM STORAGE CAPACITY REQUIRED WITHIN A FIVE (5) DAY PERIOD FOLLOWING RAINFALL, PROVIDED THE ACCEPTABLE WATER QUALITY (NFR) AND TURBIDITY HAVE BEEN ACHIEVED.
2. CHEMICAL FLOCCULENT SUCH AS GYPSUM MAY BE DOSED TO AID SETTLING WITHIN 24 HOURS OF CONCLUSION OF EACH STORM. THE APPLIED DOSING RATES SHOULD ACHIEVE THE TARGET QUALITY WITHIN 36 TO 72 HOURS OF THE STORM EVENT.
3. INSPECT THE SEDIMENT BASINS AFTER EACH RAINFALL EVENT AND/OR WEEKLY. ENSURE THAT ALL SEDIMENT IS REMOVED ONCE THE SEDIMENT STORAGE ZONE IS FULL (REFER TO PEGS INSTALLED IN BASINS IN ACCORDANCE WITH THE SWMP). ENSURE THAT OUTLET AND EMERGENCY SPILLWAY WORKS ARE MAINTAINED IN A FULLY OPERATIONAL CONDITION AT ALL TIMES.

SOWING SEASON	SEED MIX
AUTUMN/WINTER	OATS@40kg/Ha + JAPANESE MILLET@10kg/Ha
SPRING/SUMMER	OATS@20kg/Ha + JAPANESE MILLET@20kg/Ha

NOTE: THESE PLANT SPECIES ARE FOR TEMPORARY REVEGETATION ONLY. THEY WILL ONLY PROVIDE PROTECTION FROM EROSION FOR SIX MONTHS. WHERE THE LOTS ARE TO BE LEFT UNDEVELOPED FOR A LONGER PERIOD, THE CONTRACTOR SHALL SEEK ADVICE FROM THE SITE SUPERINTENDENT AS TO MORE APPROPRIATE REVEGETATION METHODS.

REVEGETATION IN ACCORDANCE WITH THE ABOVE TABLE WILL BE ENHANCED BY ADDING LIME AT A RATE OF 4kg/TONNE OF TOPSOIL AND 7.5kg/TONNE OF SUBSOIL.

4. THE LONG TERM GROUND COVER FACTORS FOR THE CONSTRUCTION WORKS IS NOT TO EXCEED THE FOLLOWING LIMITS:

LAND	MAXIMUM C-FACTOR	REMARKS
WATERWAYS AND OTHER AREAS OF CONCENTRATED FLOWS, POST CONSTRUCTION	0.05	APPLIES AFTER TEN WORKING DAYS OF COMPLETION OF FORMATION AND BEFORE CONCENTRATED FLOWS ARE APPLIED. FOOT AND VEHICULAR TRAFFIC IS PROHIBITED IN THIS AREA AND 70% GROUND COVER IS REQUIRED.
STOCKPILES, POST CONSTRUCTION	0.10	APPLIES AFTER TEN WORKING DAYS FROM COMPLETION OF FORMATION. 60% GROUND COVER IS REQUIRED.
ALL LANDS, INCLUDING WATERWAYS AND STOCKPILES, DURING CONSTRUCTION.	0.15	APPLIES AFTER 20 DAYS OF INACTIVITY, EVEN THOUGH WORKS MAY BE INCOMPLETE. 50% GROUND COVER IS REQUIRED.

FOR DA ONLY

SURVEY INFORMATION SURVEYED BY CRAIG & RHODES ORIGIN OF LEVELS: PM1592 RL3.521		01 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		02 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		03 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		04 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		05 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		06 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		07 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		08 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		09 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		10 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		11 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		12 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		13 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		14 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		15 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		16 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		17 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		18 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		19 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		20 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		21 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		22 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		23 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		24 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		25 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		26 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		27 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		28 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		29 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY		30 ISSUED FOR DEVELOPMENT APPLICATION PRELIMINARY															
Project: LOT 3 IN LOT 5 DP1212087, BURILDA CLOSE, WETHERILL PARK TWO STAGED SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY		Drawn: J. Liu		Checked: T. Dempsey		Approved: A. Francis		Date: SEP 2016		Scale: N.T.S.		Revision:		16875_DA_SE02		01		02		03		04		05		06		07		08		09		10		11		12		13		14		15		16		17		18		19		20		21		22		23		24		25		26		27		28		29		30	