

ACCESS REPORT

STATE SIGNIFICANT DEVELOPMENT APPLICATION SSDA 7689



WALSH BAY ARTS PRECINCT

Prepared By Mark Relf

4th November 2016



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Introduction

The purpose of this report is to provide an accessibility review of the adaptive reuse and refurbishment of Pier 2 / 3, Wharf 4 / 5 and respective shore sheds having regard to the relevant legislation, regulations and standards pertaining to the inclusive access for people with disabilities for a state significant development application (SSDA).

I have inspected the site attended design meetings and reviewed the plans prepared by Tonkin Zulaikha Greer Architects and provide the following comments in relation to inclusive access design requirements for the Walsh Bay Arts Precinct for Pier 2/3 and Wharf 4/5.

Assessment Criteria

The assessment considers the following legislation, planning instruments and standards pertaining to access for people with disabilities:


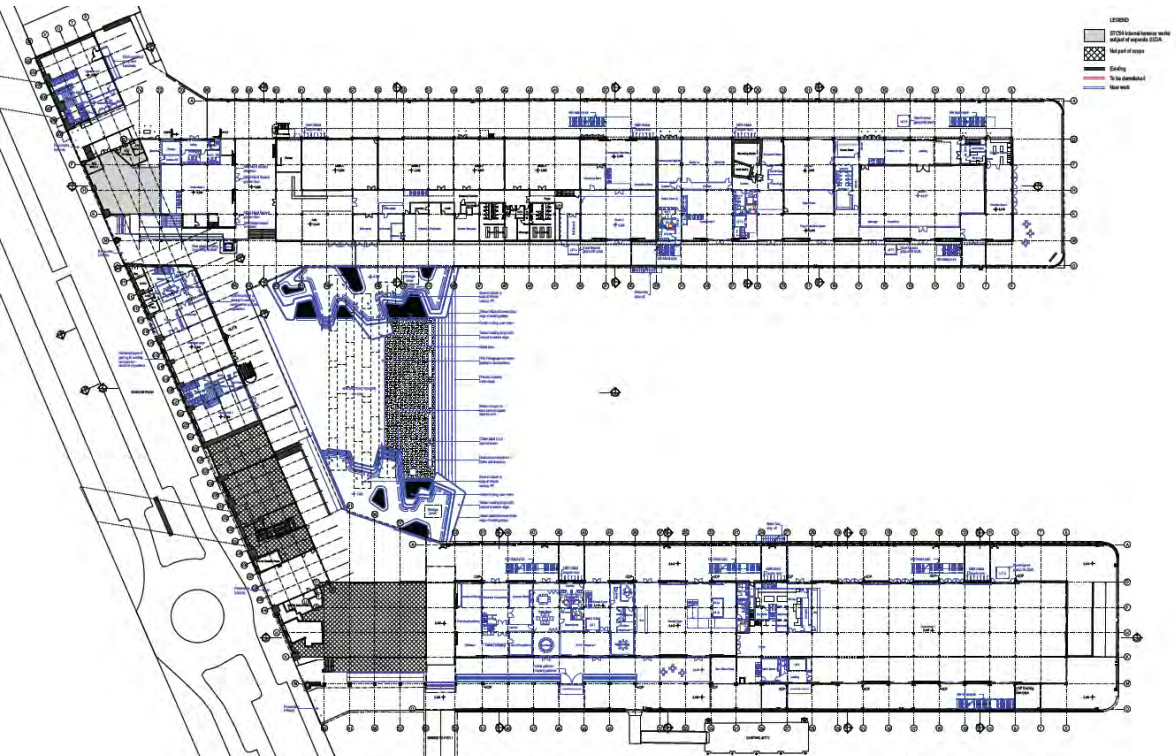
- (1) Secretary's Environmental Assessment Requirements (SEARS) dated 1 July 2016.
- (2) Disability Discrimination Act
- (3) Parts D3, E3.6, F2.4 of the Building Code of Australia (BCA).
- (4) DDA Access Code
- (5) Australian Standard AS1428.1 (2009) – Design for Access and Mobility – General Requirements.
- (6) Australian Standard AS1428.2 (1992) – Design for Access & Mobility – Enhanced Requirements.
- (7) Australian Standard AS1428.4 (2009) – Design for Access and Mobility – Tactile Indicators.
- (8) Australian Standard AS1735.12 (1999) – Lifts : Facilities For People With Disabilities.
- (9) Australian Standard AS2890.6 (2009) – Off-Street Parking.
- (10) NSW Disability Inclusion Act


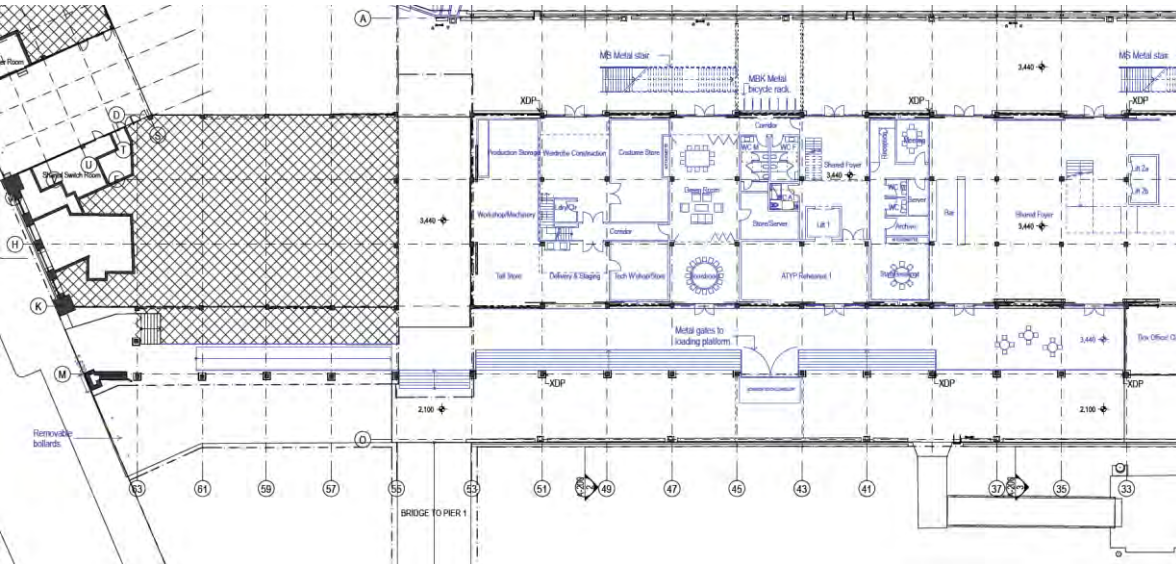
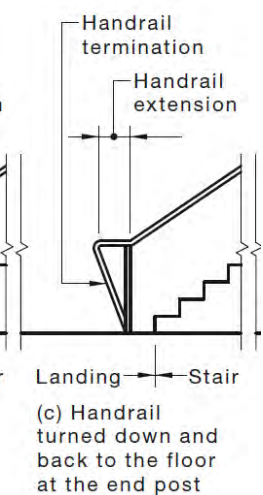
Plans relied upon for this assessment report include;





DRAWING LIST-SSDA		A- 100 GENERAL ARRANGEMENT PLANS	
A- 000 GENERAL INFORMATION		A-100	GROUND FLOOR PLAN
A-000	COVER SHEET + DRAWING LIST	A-101	MEZZANINE PLAN
A-001	LEGEND	A-102	LEVEL 1 PLAN
A-002	SITE ANALYSIS PLAN	A-103	LEVEL 2 PLAN
A- 050 DEMOLITION + CONSERVATION PLANS		A-104	LEVEL 3 PLAN
A-050	GROUND FLOOR DEMOLITION PLAN	A-105	ROOF PLAN
A-051	MEZZANINE DEMOLITION PLAN	A- 200 SECTIONS	
A-052	LEVEL 1 DEMOLITION PLAN	A-200	PIER 2_3 - CROSS SECTIONS - PROPOSED
A-053	LEVEL 2 DEMOLITION PLAN	A-201	PIER 2_3 - LONG SECTION - PROPOSED
A-054	ROOF DEMOLITION PLAN	A-202	WHARF 4_5 - CROSS SECTIONS - PROPOSED
A- 060 DEMOLITION + CONSERVATION SECTIONS		A-203	WHARF 4_5 - LONG SECTION - PROPOSED
A-060	PIER 2_3 - CROSS SECTIONS - DEMOLITION + CONSERVATION	A-204	SHORE SHEDS - SECTIONS - PROPOSED
A-061	PIER 2_3 - LONG SECTION GRID H - DEMOLITION + CONSERVATION	A- 300 ELEVATIONS	
A-062	WHARF 4_5 - CROSS SECTIONS - DEMOLITION + CONSERVATION	A-300	PIER 2_3 - EAST ELEVATION - PROPOSED
A-063	WHARF 4_5 - LONG SECTION - DEMOLITION + CONSERVATION	A-301	PIER 2_3 - WEST ELEVATION - PROPOSED
A-064	SHORE SHEDS - SECTIONS - DEMOLITION + CONSERVATION	A-302	WHARF 4_5 - EAST ELEVATION - PROPOSED
A- 070 DEMOLITION + CONSERVATION ELEVATIONS		A-303	WHARF 4_5 - WEST ELEVATION - PROPOSED
A-070	PIER 2_3 - EAST ELEVATION - DEMOLITION	A-304	PIER 2_3 + WHARF 4_5 - NORTH + SOUTH ELEVATIONS - PROPOSED
A-071	PIER 2_3 - WEST ELEVATION - DEMOLITION	A-305	SHORE SHEDS - SOUTH ELEVATION (HICKSON ROAD) - PROPOSED
A-072	WHARF 4_5 - EAST ELEVATION - DEMOLITION	A-306	SHORE SHEDS - NORTH ELEVATION - PROPOSED
A-073	WHARF 4_5 - WEST ELEVATION - DEMOLITION		
A-074	PIER 2_3 + WHARF 4_5 - NORTH + SOUTH ELEVATIONS - DEMOLITION		
A-075	SHORE SHEDS - SOUTH ELEVATION (HICKSON ROAD) - DEMOLITION		
A-076	SHORE SHEDS - NORTH ELEVATION - DEMOLITION		


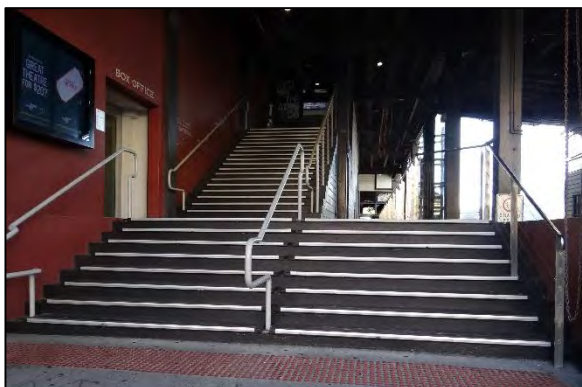
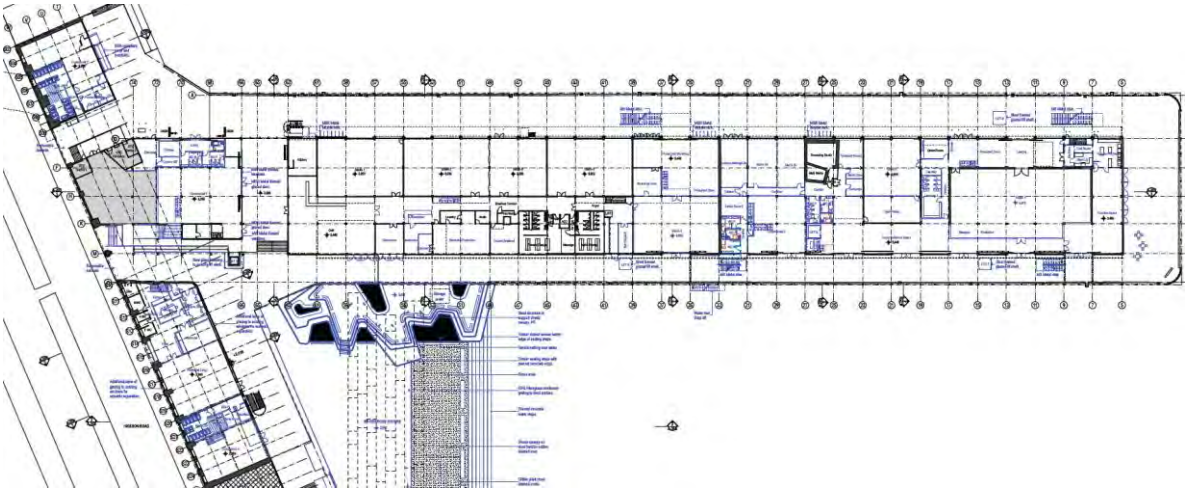
Accessibility Assessment

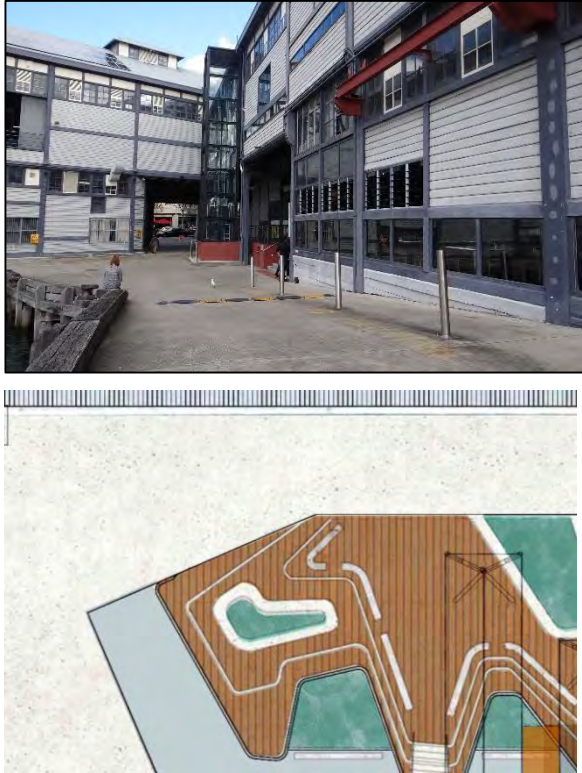
External Pathway Links & Building Entrances

BCA / DDA Access Code Review	Compliance
	
<p>Pier 2</p> <ol style="list-style-type: none"> 1. Principal Entry Access Points at the ground plane – Hickson Road provides appropriate on-grade access from Pier 1 and the public domain footpath to Pier 2 to readily satisfy Part D3.2 of the BCA and DDA Access Code. 2. While there is no on-site parking a managed drop-off zone on Hickson Road is essential for people with mobility impairments in conjunction with accessible parking within the on-street recessed area. 	<p>YES</p> <p>YES</p>
	

BCA / DDA Access Code Review	Compliance
<p>3. The new works propose to demolish the existing stairway to the breezeway, relocate the ramped entrance to shore shed archway and infill the loading dock and provide a new stairway.</p>	
	
<p>4. The new works propose the relocated 1:14 ramped entrance to the shore shed archway to facilitate a more prominent accessible entrance point to Pier 2. The 1:14 ramp shall provide a 2000mm minimum width of the ramp and will be detailed with handrails, intermediate rest landing and tactile ground surface indicators to comply with ASI428.1 and ASI428.4.1 to satisfy D3.2, D3.3, D3.8 of the BCA.</p> <p>5. The new stairway adjacent the in-fill loading dock area will incorporate handrails, stair profile, stairway nosings complying with ASI428.1 and tactile ground surface indicators complying with ASI428.4.1 to satisfy D3.3 and D3.8 of the BCA.</p>	 <p>YES</p> <p>YES</p>
<p>6. The remainder of Pier 2 proposes dock levelers, truck parking and a new stairway to a new gantry style balcony at the northern end of the Pier.</p> <p>7. The stairway undercroft will require hazard mitigation with suitable barriers, high visibility markings, highlight lighting or hazard warning tactile ground surface indicators.</p>	<p>YES Can Comply</p>

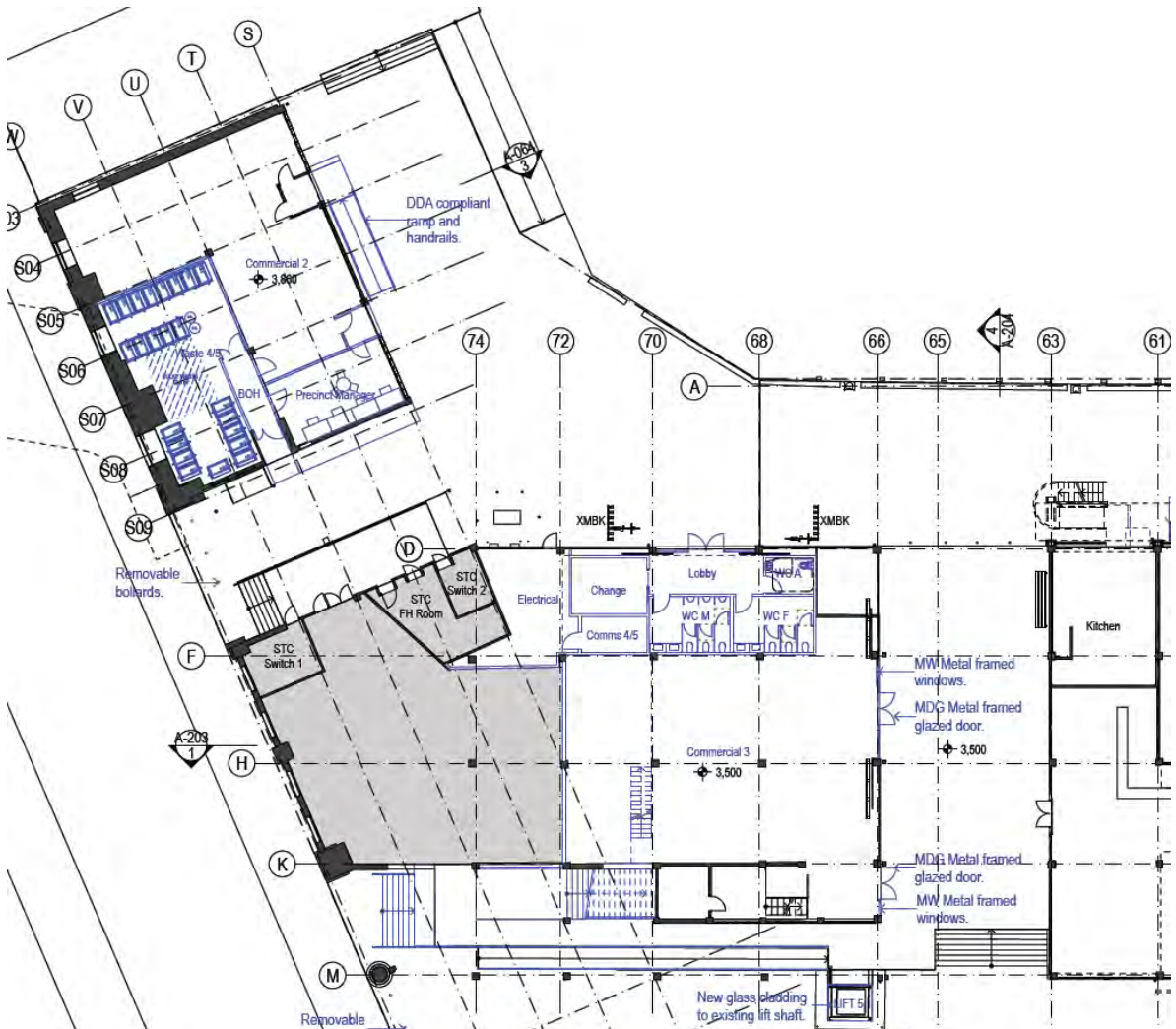
BCA / DDA Access Code Review	Compliance
	
<p>8. It is also noted that Pier 2 does not provide directional tactile indicators to identify the entrance to the ferry wharf and it is recommended that these be installed in accordance with ASI428.4.1 and the DDA Transport Standard.</p>	<p>YES Could comply</p>
<p>9. Details of the ramp and stairway handrails, stairway nosings and tactile ground surface indicators shall be confirmed at construction certificate stage in accordance with ASI428.1 and ASI428.4.1 to satisfy D3.3 and D3.8 of the BCA.</p> <p>10. Pier 2 Public Foyer Entrance - The forecourt area at the principal entry foyer doorways provide ample circulation spaces to comply with ASI428.1 to satisfy Part D3.2 of the BCA and DDA Access Code.</p> <p>11. Where glazed walls and doors are provided details of visibility strips shall be confirmed at construction certificate stage in accordance with ASI428.1 to satisfy Part D3.12 of the BCA and the DDA Access Code.</p>	<p>YES will comply</p> <p>YES</p> <p>YES will comply</p>
<p>Pier 3</p> <p>12. Pier 3 Hickson Road entrance is in effect a principal entrance as it provides direct access to the prominent entrances to the Pier 2 / 3 complex and must be upgraded to comply with ASI428.1 to the maximum extent possible.</p> <p>13. The upgrade works should establish a permanent pedestrian entry and single lane vehicular access with new removable bollards, resurfacing of the 1:14 ramp with P5 slip resistance, install 2 handrails and tactile ground surface indicators.</p>	<p>YES Could comply</p>
	

BCA / DDA Access Code Review	Compliance
<p>14. Pier 3 Public Entrances – The pier accessway and forecourt areas at the principal entry foyer doorways of the three main areas provide ample circulation spaces and auto sliding doors to comply with AS1428.1 to satisfy Part D3.2 of the BCA and DDA Access Code.</p> <p>15. Pier 3 proposes three (3) new stairways to new gantry style balconies along the Pier. The stairway undercrofts will require hazard mitigation with suitable barriers, high visibility markings, highlight lighting or hazard warning tactile ground surface indicators.</p> <p>16. Pier 3 proposes an external Lift (No 3) to provide independent to access to the ACO areas on level 1 and 2 which enables appropriate access to comply with D3.2 of the BCA.</p>	<p>YES</p> <p>YES Can Comply</p> <p>YES</p>
<p>Wharf 4</p> <p>17. Wharf 4 Hickson Road entrance is the existing principal entrance to The STC Wharf Theatre complex which provides direct access to the prominent entrances to the various performance spaces, café, commercial 3 area and offices.</p>	<p>YES</p>
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<p>18. The upgrade works propose to reduce the stair width to facilitate a 850mm width opening between the column and the stair to enable clear view of the</p>	<p>YES</p>

BCA / DDA Access Code Review	Compliance
<p>ramped accessway which enables a safer and more equitable pedestrian entry for people with physical disabilities that is independent of the vehicular access.</p> <p>19. The driveway upgrade will include replacement of the hazardous boom gate with removable bollards ensuring luminance contrast to the background paving and resurfacing of the accessway with an evenly graded P5 slip resistant surface.</p>	<p>YES Can Comply</p>
<p>20. Wharf 4 Accessways & Public Entrances – In addition to the ramped entrance to the existing Lift No. 5 the existing graded wharf access way will require some upgrade work to comply with the Affected Part requirements of the DDA Premises Standards.</p> <p>21. The new works shall include removal of speed humps and bollards and provide handrails complying with ASI428.1 and tactile ground surface indicators complying with ASI428.4.1 to satisfy D3.2, D3.3 and D3.8 of the BCA and DDA Premises Standards.</p>	
<p>22. The northern end of Wharf 4 provides level access to several principal entry foyer doorways to the Sydney Dance Company and Commercial 5 while the new lifts 6 and 7 provide direct entry to the Sydney Theatre Company on the upper levels to comply with ASI428.1 and satisfy Part D3.2 of the BCA and DDA Access Code.</p> <p>23. The plans propose new stairways to gantry style balconies align over the wharf which align with the lifts and overall the access for people with vision impairment can be appropriately managed with hazard warning indicators on stairway landings and suitable barriers to the undercroft areas as specified by ASI428.4.1.</p> <p>24. Details of the ramp and stairway handrails, stairway nosings and tactile ground surface indicators shall be confirmed at construction certificate stage in accordance with ASI428.1 and ASI428.4.1 to satisfy D3.3 and D3.8 of the BCA.</p>	<p>YES</p> <p>YES Can Comply</p> <p>YES Can Comply</p>

BCA / DDA Access Code Review	Compliance
<p>Wharf 5 & Shore Shed</p> <p>25. Wharf 5 Street Entrance is in effect another principal entrance as it provides direct access to the prominent accessways to the Wharf 4 / 5 complex and must be upgraded to comply with ASI428.1 to the maximum extent possible.</p> <p>26. The upgrade works should replace the hazardous boom gate with new removable bollards, resurfacing of the 1:14 ramp with P5 slip resistance, install at least one (1) handrail and tactile ground surface indicators to comply with ASI428 to satisfy Part D3.2 of the BCA. Ideally the garbage bins would be relocated to the western side of shore shed 5.</p> <p>27. The adjacent stairway should be upgraded to also comply with ASI428 to the maximum extent possible consistent with parts D3.3, D2.14 and D3.8 of the BCA.</p>	<p>YES Could comply</p>
	<p>28. The array of gas pipes, metres and valves provide a hazard form people with vision impairment and should include a screen as a more suitable barrier and hazard mitigation or ideally relocated.</p> <p>29. The accessway along Wharf 5 to various Studio entrances provides a good “shoreline” for people with vision impairment, except for the external</p>
	<p>Can Comply</p> <p>Can Comply</p>

BCA / DDA Access Code Review	Compliance
egress stair which requires a suitable barrier to mitigate hazards consistent with ASI428.4.1 and comply with Part D3.8 of the BCA.	
30. Shore Shed 5 contains a commercial no. 2 tenancy that proposes an external ramp to eliminate the two steps to comply with ASI428.1 and satisfy D3.2 of the BCA.	YES



BCA / DDA Access Code Review	Compliance
<p>31. While the stairway and adjacent ramp adjoining Commercial 2 provide reasonable access the condition of the tactile ground surface indicators, stair nosings, handrails and non-existent ramp kerbrails require a complete upgrade to comply with AS1428.1 and AS1428.4.1 to satisfy parts D3.3, D2.14 and D3.8 of the BCA.</p> <p>32. As the ramp is used more than the stairway it is recommended that the ramp width be increased to at least 2400mm to enable more convenient passing of pedestrians and wheelchair users.</p>	Can Comply

Waterfront Square & Shore Shed 3 / 4



<p>33. Shore Shed 3 / 4 consists of an existing restaurant, a commercial tenancy (4) which occupies the ground and mezzanine levels, the Choirs on the ground and mezzanine levels, an RMS office and STC props and workshop on the level 1 and 2 floors.</p>	
<p>34. The ground plane has a split level that has an approximate 1300mm change in levels between shore shed 3 @RL3.4 and shore shed 4 @RL2.1 and incorporates a stair and narrow ramp which provide reasonable access. However there are a non-compliant features that require upgrading to comply with AS1428.1 and AS1428.4.1 to satisfy parts D3.3, D2.14 and D3.8 of the BCA.</p>	Can Comply

BCA / DDA Access Code Review	Compliance
35. With respect to pedestrian movement in this area the plans propose to in-fill the water steps, increased the ramp width to 4000mm and extend the lower RL2.10 / 2.20 level to form the Waterfront Square. The eastern and western edges of Waterfront Square shall incorporate tiered areas to create an informal amphitheatre which facilitate elevated viewing opportunities.	YES
36. The Waterfront Square proposes pockets of netted material as informal "play elements" for children which can be bordered with kerbed edges to limit the probability for people with disabilities falling into the areas especially people with vision impairment and wheelchair users.	YES



37. To ensure an accessible and inclusive participation of people with disabilities further detailing of the Waterfront Square proposes;	YES
A) Edge protection to stop people in wheelchairs and prams rolling down stairs, into netting pits and into the harbor and people with vision impairment stepping off a top plinth, falling into a netted pit or the harbour. There are a mixture of treatments to mitigate the hazards;	YES
i) Include 100-125mm height kerbs to all netted pits and in a colour that has 30% luminance contrast to the grated deck and adjacent surface and in some areas, such as the wharf 4 edge, add a 400-450mm height seat plinth.	YES
ii) The stairway into the harbour requires a top seat raised 400-450mm above the general 2.100 level of the waterfront infill for the full length of the stair with 600mm gaps at suitable intervals of say 3-6 metres. Maybe there could be several removable sections for other Event reasons where level access is required at the 2.100 level and down.	YES
iii) The tiered wing areas also require a raised top seat wherever the step down is 400mm to distinguish between the 400mm step downs and defined stairway sections. The stairway sections can include a centre/double handrail rail of robust construction.	YES
iv) The top tier adjacent to the harbour requires a balustrade.	YES

BCA / DDA Access Code Review	Compliance
B) Handrails on both sides of defined stairways to the requirements of AS1428.1.	YES
C) Stairway nosings complying with AS1428.1 need to be applied to stairways, but not seat steps.	YES
D) Surfaces – The grating concept requires heelguard specification with some solid areas to accommodate tactile ground surface indicators at the defined stairways. R11/R12 Slip resistance is also to be included.	YES
E) An FM Hearing augmentation system (probably not a loop or infrared system) to comply with D3.7 of the BCA.	YES
38. Shore Shed 4 - The various tenancies on the ground floor of shore shed 4 have a 100mm step at the doorways which require modification to comply with the threshold ramp details of AS1428.1 to satisfy Part D3.2 of the BCA.	YES Can Comply



Parking & Setdown/Pickup

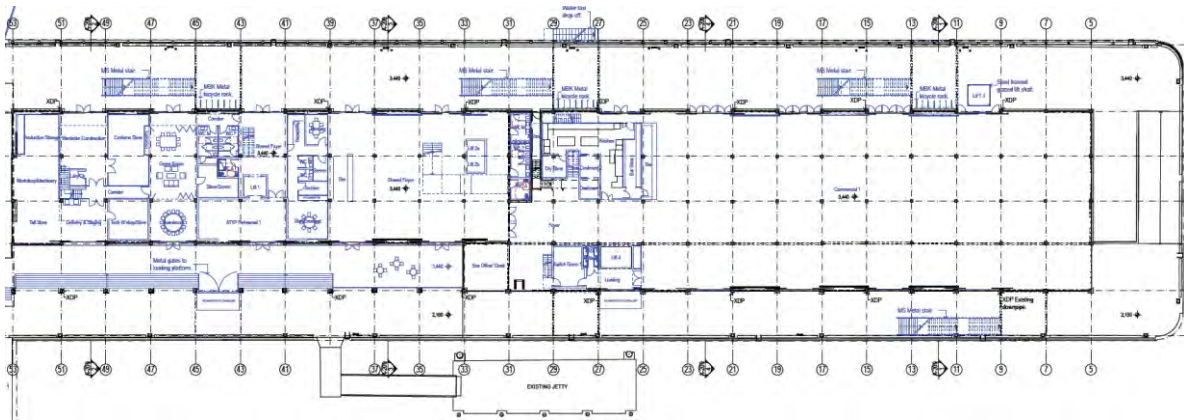
DDA Access	Compliance
39. While there is no onsite parking it is recommended that several accessible spaces on-street parking spaces are provided at the eastern side of each driveway / shore shed entrance to facilitate appropriate access for rear entry vehicles with ramps and hoists.	YES
40. The detailed parking layout can provide 2 X 3200mm width on-street accessible spaces with the footpath providing a 1600mm width shared area consistent with AS2890.6 to satisfy the intent of Part D3.5 of the BCA and the DDA Access Code.	YES

Internal Accessways

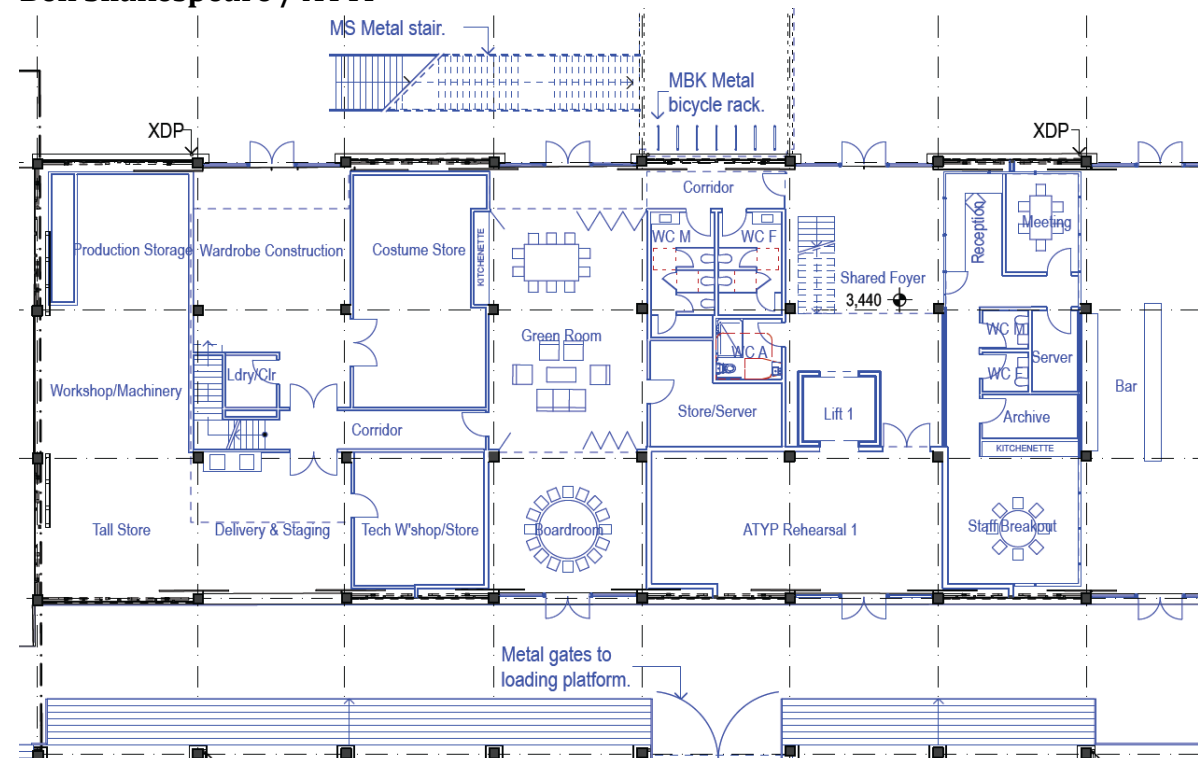
BCA / DDA Access Code Review

Compliance

Pier 2 / 3 Ground Floor Level



Bell Shakespeare / ATYP -



41. The foyer area adjoining Lift 1 provides adequate access and circulation spaces to approach various doorways and lift to comply with ASI428.1.
42. External doorways to the Green Room, Boardroom, ATYP Rehearsal 1 and Wardrobe also provide accessible entry / exits that will comply with ASI428.1.
43. The internal access corridors interconnecting the Green Room, Wardrobe, Shared Foyer 1, staff amenities and ATYP rehearsal provide 1600mm minimum width and 530mm minimum latchside clearance to the doors.

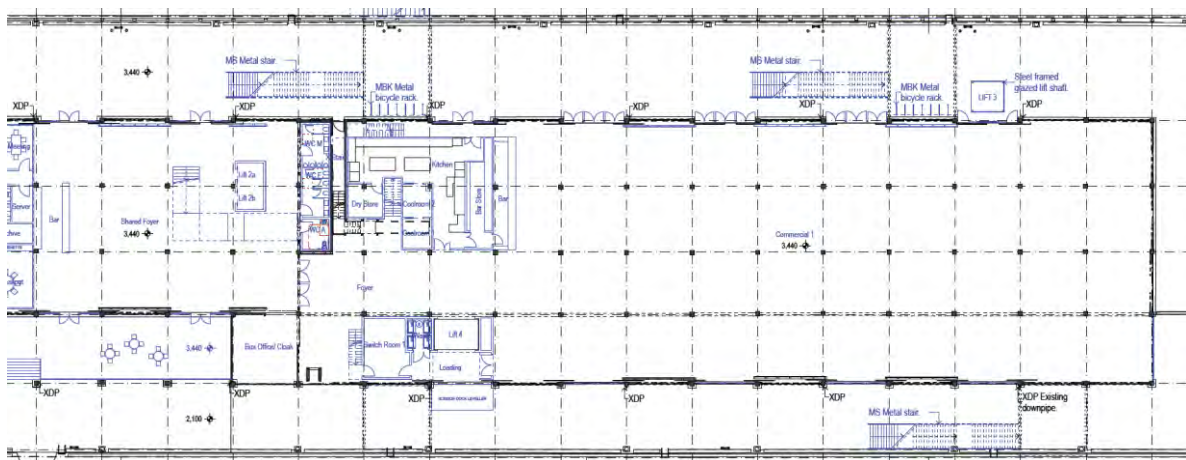
YES

YES

YES

BCA / DDA Access Code Review	Compliance
44. The remainder of the accessways and doorway circulation spaces will comply with ASI428.1.	ES
45. Sanitary facilities – The sanitary facilities include a unisex wheelchair accessible toilet and ambulant accessible male and female cubicles that comply with ASI428.1 to satisfy F2.4 of the BCA.	YES
46. However, to fully satisfy the DDA the plans should be amended to include a wheelchair accessible shower and locker.	YES
47. Stairways – The plans show several internal stairways in this area which require handrails on both sides with extensions at landings and other features as specified by ASI428.1 and ASI428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA.	YES Can Comply
48. Lift – The design shows a single lift No. 1 located centrally in the foyer area that will travel all four levels and provide a significant lift car of at least 2200mm X 2200mm to accommodate stage equipment and the like and will readily suit people using wheelchairs and facilitate high volume passenger movements.	YES
49. At levels 1 and 2 the design allows for movement of people to an alternate lift in the event of a breakdown while the mezzanine area of Bell Shakespeare is isolated from other fitout areas.	YES

Public Foyer, Commercial Tenancy 1 & Amenities

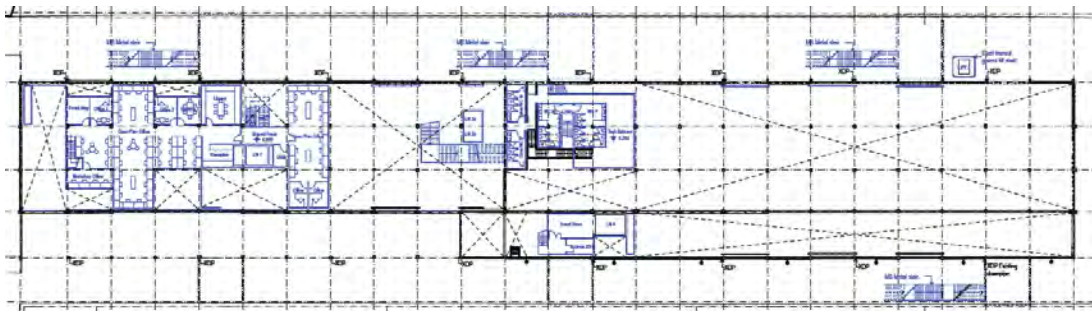


50. The large public foyer adjoining Lifts 2a and 2b proposes double door entrances that provides ample access and circulation spaces to approach various doorways and lifts to comply with ASI428.1.
51. Box Office & Cloaking are adjoining the shared foyer will achieve appropriate access complying with ASI428.1.
52. Commercial tenancy No. 1 proposes multiple external doorways that will provide appropriate access to comply with ASI428.1. The tenancy area proposes a large open plan area with double height void area with bar and kitchen facilities at the southern end and goods lift 4, loading dock and switch / plant room.

YES**YES****YES**

BCA / DDA Access Code Review	Compliance
53. Sanitary facilities – The sanitary facilities include a unisex wheelchair accessible toilet and ambulant accessible male and female cubicles that comply with AS1428.1 to satisfy F2.4 of the BCA.	YES
54. Stairways – The plans show a stairway in the large public foyer area and a stairway to the public sanitary facilities and stairway to an event store/lift 4 at the mezzanine level which require handrails on both sides with extensions at landings and other features as specified by AS1428.1 and AS1428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA.	YES
55. Lifts – The design shows two lifts No. 2a & 2b located centrally in the foyer area that will travel all three levels and provide a significant lift car of at least 2200mm X 1800mm to accommodate two people using wheelchairs and facilitate high volume passenger movements.	YES
56. At levels 1 and 2 the design allows for movement of people to an alternate lift in the event of a breakdown.	YES
57. Lift 3 is an external lift that will provide direct access to the ACO on levels 1 and 2. The lift will provide a significant lift car of at least 2600mm X 2800mm and easily accommodate two people using wheelchairs and facilitate high volume passenger movements.	YES
58. Lift 4 is essentially a goods lift in a back of house area and will travel all four levels and is the only lift serving the mezzanine commercial area.	

Pier 2 / 3 Mezzanine Floor Level

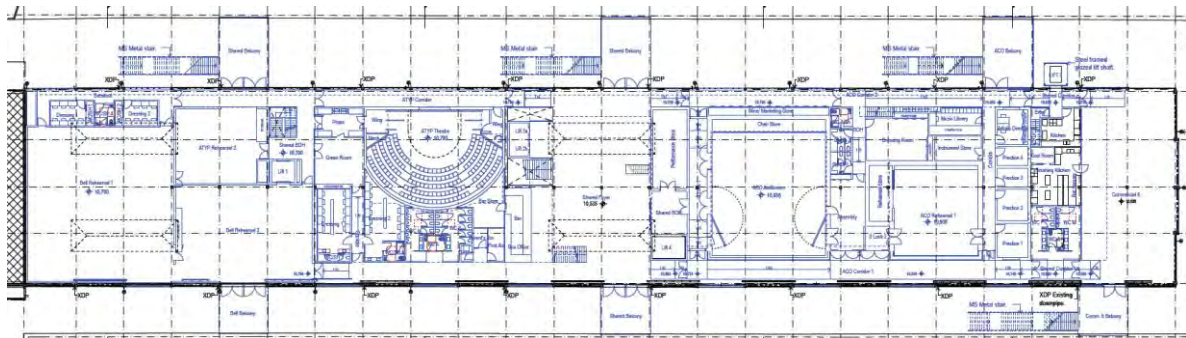


Bell Shakespeare –

59. The mezzanine level foyer / lift landing area provides 2700mm X 7800mm and facilitates ample access and circulation spaces to approach doorways, lift 1 and the stairway to comply with AS1428.1.	YES
60. Reception / Office/Library areas - The accessways and doorway circulation spaces to and within all rooms in accordance with AS1428.1.	YES
61. Stairways – The plans show several stairways in this area which require handrails on both sides with extensions at landings and other features as specified by AS1428.1 and AS1428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA.	YES Can Comply
62. Lift – The design shows a single lift No. 1 located centrally in the foyer area that will travel all four levels and provide a significant lift car of at least 2200mm X 2200mm to accommodate stage equipment and the like and will	YES

- YES**

Pier 2 / 3 Level 1

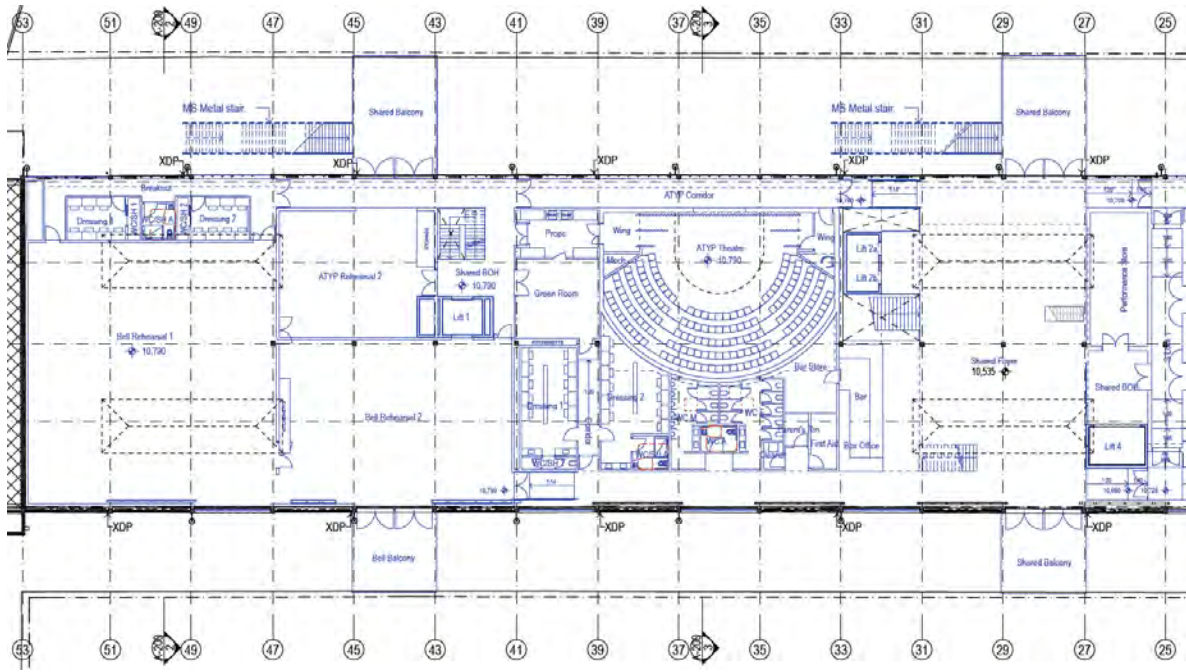


- YES**

BCA / DDA Access Code Review

Compliance

Bell Shakespeare / ATYP Level 1



70. **Lift & Foyer Accessways** - Bell Shakespeare / ATYP areas at the southern end provide adequate access from Lift 1 to circulate and approach various doorways to dressing rooms, sanitary facilities rehearsal areas, Green Room facilities and through the props room and sound lock to theatre stage level to comply with AS1428.1 and enable inclusive access.
71. **Bell Balcony** adjoins Bell Rehearsal 2 and will provide a level threshold through double doorways which will be detailed to comply with AS1428.1.
72. **Shared Foyer** - With respect to public access the main public foyer provides direct access from Lifts 2a/2b to the Box Office/Bar area, sanitary facilities and ramp to enter the theatre at the lower level and facilitate opportunities for wheelchair accessible seating spaces, although the wheelchair seating is proposed at the top tier of seating from Level 2.
73. **Shared Balcony** adjoining the foyer will provide a level threshold through double doorways which will be detailed to comply with AS1428.1.
74. **AYTP Auditorium Access** – The sound locks on each side of the auditorium enable access to potential wheelchair accessible seating in the front row to comply with Table D3.9 of the BCA and potentially the stage area, pending the various stage installations.
75. **Sanitary facilities (public)** – The sanitary facilities include a unisex wheelchair accessible toilet and ambulant accessible male and female cubicles that comply with AS1428.1 to satisfy F2.4 of the BCA.
76. **Sanitary facilities (performers)** – The sanitary facilities adjoining dressing rooms that include two (2) unisex wheelchair accessible toilet /

YES

YES

YES

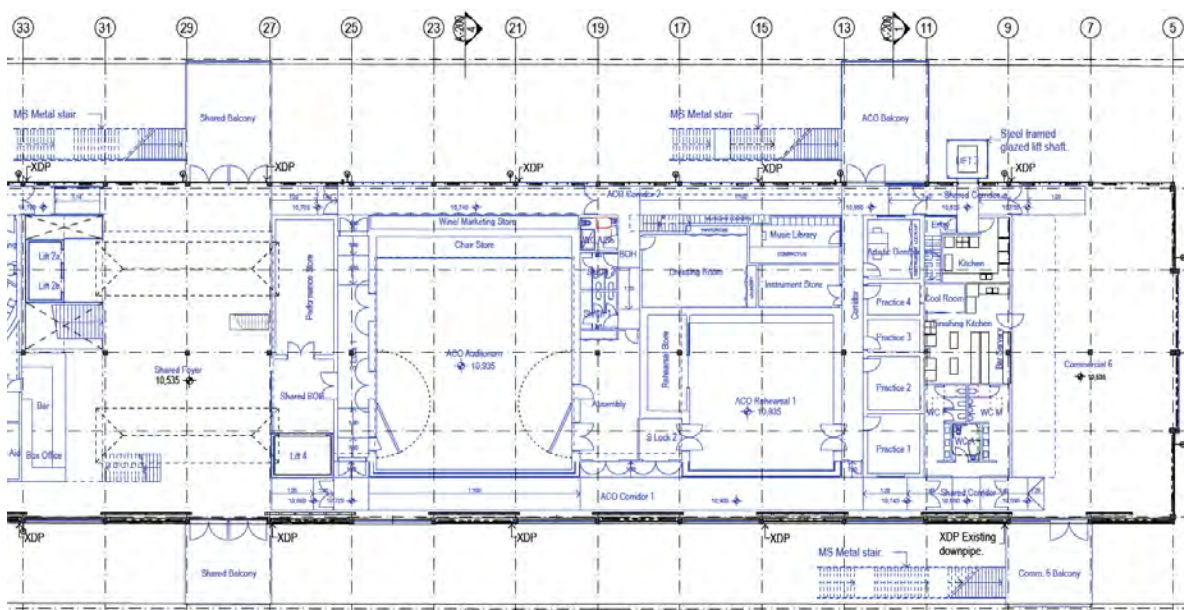
YES

YES

YES

YES

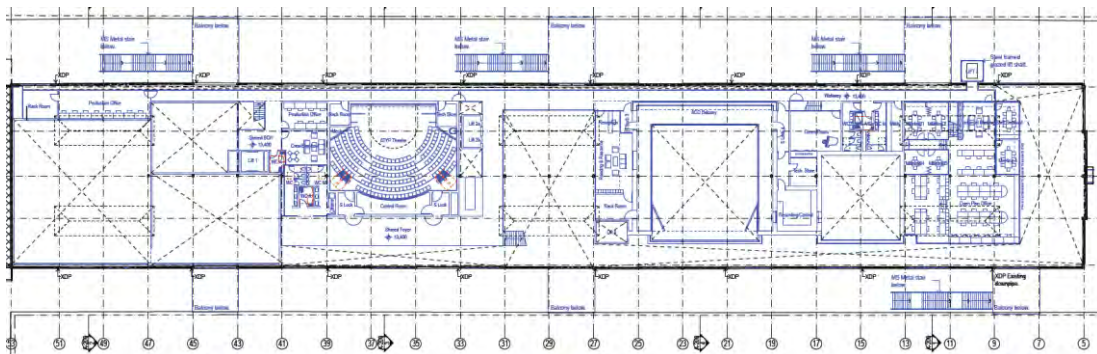
Australian Chamber Orchestra (ACO) & Commercial 6 on Level 1



Australian Chamber Orchestra (ACO) Level 1	
<p>78. Lifts 2a / 2b & Shared Foyer Accessways - The large shared public foyer area provides ample access and circulation spaces to approach various doorways to enter the ACO corridors 1 and 2 which facilitate entry to the ACO Auditorium and ACO Rehearsal facilities and Commercial No 6 in accordance with AS1428.1, albeit several doors along the western side may require automation due to graded doorway landings, especially adjoining Lift 3. Overall the access proposed to this level will ensure equitable and inclusive access that complies with the BCA and DDA.</p>	<p>YES</p>
<p>79. Shared Balconies adjoining the foyer will provide a level threshold through double doorways which will be detailed to comply with AS1428.1.</p>	<p>YES</p>
<p>80. Lift 3 and adjacent corridor 2 on the western side provides access to Commercial 6, ACO Rehearsal and Auditorium and associated Practice Rooms to ensure equitable access that will comply with AS1428.1 and readily satisfy Part D3.3 of the BCA and DDA, albeit several doors may require automation due to graded doorway landings, especially adjoining Lift 3.</p>	<p>YES</p>

BCA / DDA Access Code Review	Compliance
<p>81. ACO Balcony adjoining the western corridor 2 will provide a level threshold through double doorways with adequate circulation spaces which will be detailed to comply with ASI428.1 to satisfy D3.3 of the BCA.</p> <p>82. ACO Auditorium Access – The sound locks on each side of the auditorium enable access to a single floor level which facilitates wheelchair accessible seating to comply with Table D3.9 of the BCA and equitable access to the performance/stage area, pending the various stage installations.</p> <p>83. ACO Rehearsal Facilities – The plans illustrate corridor links around the Rehearsal Room that provide satisfactory doorway circulation spaces to enter the Rehearsal Room and facilitate continuous accessible paths of travel, Turning and Passing Areas that will comply with ASI428.1 and satisfy D3.3 of the BCA.</p> <p>84. ACO Practice Rooms, Library, Director & Instrument Store – The plans illustrate a 1600mm minimum width corridor which provides satisfactory doorway circulation spaces to enter the various rooms and facilitate continuous accessible paths of travel, Turning and Passing Areas that will comply with ASI428.1 and satisfy D3.3 of the BCA.</p> <p>85. ACO Dressing Room & Sanitary facilities – The plans show an accessible dressing room with ambulant sanitary facilities and a separate a unisex wheelchair accessible toilet and shower adjacent which comply with ASI428.1 to satisfy F2.4 of the BCA.</p> <p>86. Shared Sanitary facilities – The plans show a group of toilets that include ambulant sanitary facilities and a separate a unisex wheelchair accessible toilet adjacent to the Commercial Tenancy 6 area which comply with ASI428.1 to satisfy F2.4 of the BCA.</p> <p>87. Stairways – The plans show several internal stairways in the combined ACO/Commercial 6 area; two external balcony access stairs and two internal; which require handrails on both sides with extensions at landings and other features as specified by ASI428.1 and ASI428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA. At wharf level the undercroft areas that have less than 2000mm metres shall be required to include a barrier to prevent headroom hazards to satisfy D3.8 of the BCA.</p>	<p>YES</p> <p>YES</p> <p>YES</p> <p>YES</p> <p>YES</p> <p>YES</p> <p>YES Can Comply</p>
<p>Commercial 6</p> <p>88. Lift & Foyer Accessways - Commercial 6 area is directly accessible from the shared public corridor which is served by Lifts 2a/2b and Lift 3 to ensure equitable and inclusive access comply with parts D3.2 and D3.3 of the BCA.</p> <p>89. Commercial Balcony adjoining the eastern corridor 1 will provide a level threshold through double doorways with adequate circulation spaces which will be detailed to comply with ASI428.1 to satisfy D3.3 of the BCA.</p> <p>90. Internal Access - The area proposes an open plan space across a single floor level with level access to a new balcony, commercial kitchen and sanitary facilities in accordance with ASI428.1 and D3.3 of the BCA.</p>	<p>YES</p> <p>YES</p> <p>YES</p>

BCA / DDA Access Code Review	Compliance
91. Sanitary facilities – The sanitary facilities include a unisex wheelchair accessible toilet and ambulant accessible male and female cubicles that comply with AS1428.1 to satisfy F2.4 of the BCA.	YES
92. Stairways – The plans show several internal stairways in the combined ACO/Commercial 6 area; two external balcony access stairs and two internal; which require handrails on both sides with extensions at landings and other features as specified by AS1428.1 and AS1428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA.	Can Comply
93. At wharf level the undercroft areas that have less than 2000mm metres shall be required to include a barrier to prevent headroom hazards to satisfy D3.8 of the BCA.	Can Comply

BCA / DDA Access Code Review	Compliance
Pier 2 / 3 Level 2 	

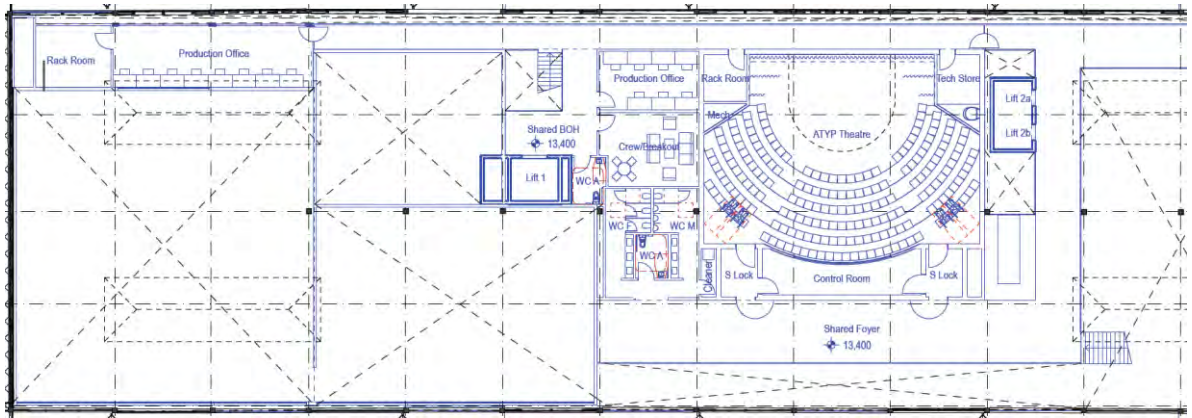
94. Level 2 proposes the upper levels of the ATYP Auditorium, ACO Auditorium balcony, various offices and sanitary facilities with a shared public foyer and corridor accessways that interconnect with Lifts 2a/2b to facilitate ease of movement for the public. Lift 1 also enables access to this level and includes controlled staff accessways within the Bell Shakespeare area and Lift 3 to the ACO to ensure equitable and inclusive access that complies with the BCA and DDA.

YES**AYTP Level 2**

95. **Lift & Foyer Accessways** – The ATYP areas at the southern end provide adequate access from Lift 1 to circulate within back-of-house office areas with a corridor link to the public foyer areas, sanitary facilities and the AYTP auditorium.
96. With respect to public access the main public foyer provides direct access from Lifts 2a/2b to enter the theatre at the upper level and facilitate opportunities for wheelchair accessible seating spaces.
97. **Auditorium Access** – The sound locks on each side of the auditorium enable access to wheelchair accessible seating in the back row to comply with Table D3.9 of the BCA.

YES**YES****YES**

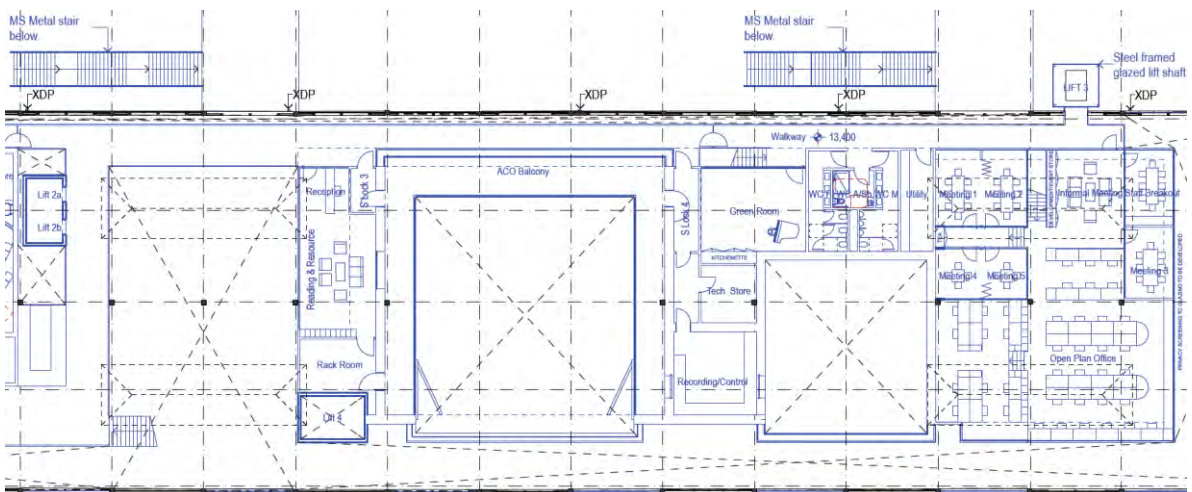
BCA / DDA Access Code Review	Compliance
98. The western corridor proposes 1600mm minimum width to facilitate Turning with several T-junctions to enable Passing in accordance with ASI428.1 and D3.3 of the BCA.	YES



99. **Sanitary facilities** – The public sanitary facilities include a unisex wheelchair accessible toilet and ambulant accessible male and female cubicles while the staff have access to a unisex accessible toilet adjoining Lift 1 that complies with ASI428.1 to satisfy F2.4 of the BCA.

YES

Australian Chamber Orchestra (ACO) Level 2



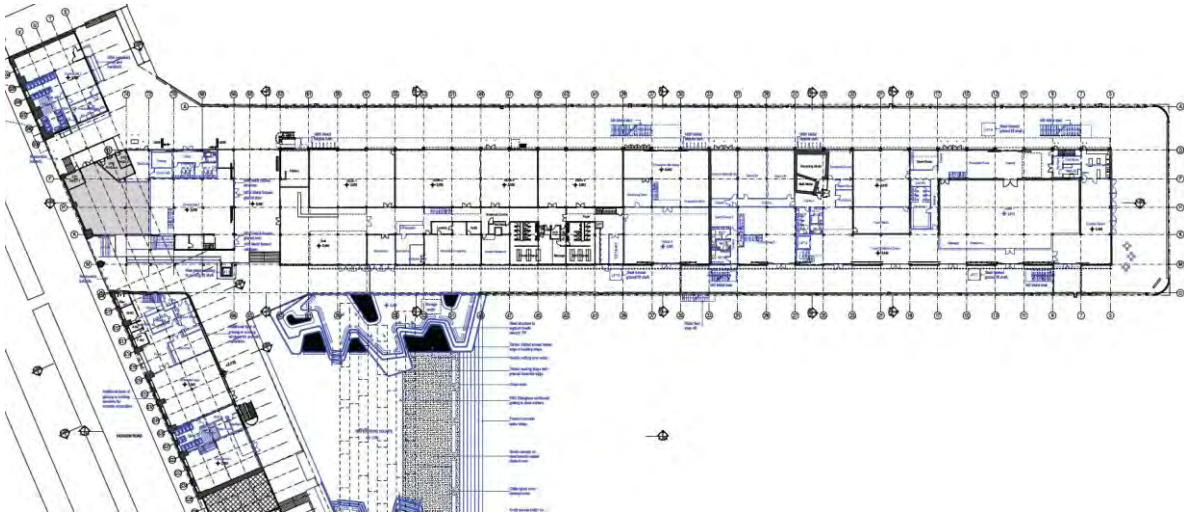
100. **Lift & Foyer Accessways** - The main public foyer incorporates Lifts 2a/2b and provides ample access and circulation spaces to approach various doorways to enter the ACO auditorium in accordance with ASI428.1.

YES

101. Lift 3 and adjacent stairways provide alternate public access to Level 2 to access western corridor which facilitates level walkways to the ACO Auditorium, Green Room, associated back-of-house facilities, offices and meeting room to ensure equitable access that will comply with ASI428.1 and readily satisfy Part D3.3 of the BCA and DDA. The western corridor proposes 1600mm minimum width to facilitate Turning with several T-

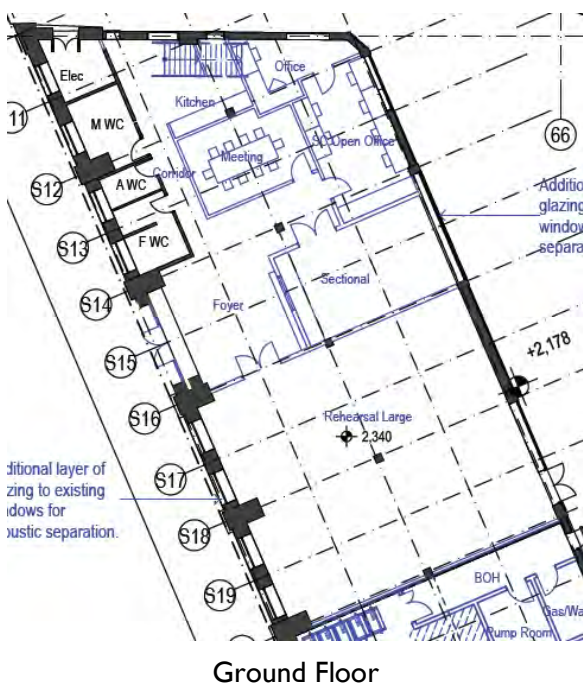
YES

BCA / DDA Access Code Review	Compliance
junctions to enable Passing in accordance with ASI428.1 and D3.3 of the BCA.	YES
102. ACO Offices & Meeting Room Access – The level 2 plans illustrate an office entry adjacent to Lift 3 with direct access to several meetings room and open plan workstation areas in a manner that provides continuous accessible paths of travel that will comply with ASI428.1 and satisfy D3.3 of the BCA.	YES
103. The ACO Office Area is split level due to the required ceiling heights within the acoustically insulated performance areas and practice rooms on the level below. Subsequently the office accommodation and small meeting rooms provided in this area is not wheelchair accessible. Nonetheless the majority of the office accommodation is accessible and can easily facilitate equitable access to employment and meeting areas to satisfy the performance requirements of the BCA and DDA.	YES
104. ACO Auditorium Access / Recording/Control Room – The sound locks 3 and 4 on each side of the ACO Auditorium enable access to the balcony areas to comply with ASI428.1 and D3.3 of the BCA. Sound Lock 4 also facilitates accessible corridor and doorway circulation spaces to enter the Recording Control Room to satisfy ASI428.1 and D3.3 of the BCA.	YES
105. ACO Sanitary facilities – The plans show male and female ambulant sanitary facilities and a unisex wheelchair accessible toilet that will comply with ASI428.1 and F2.4 of the BCA.	YES Can Comply
106. ACO Stairways – The plans show several stairways which require handrails on both sides with extensions at landings and other features as specified by ASI428.1 and ASI428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA.	

Wharf 4 / 5 Ground Floor Level including shore shed areas

107. The scope of new works associated with this review of wharf 4 / 5 and shore shed areas include alterations and additions to the;

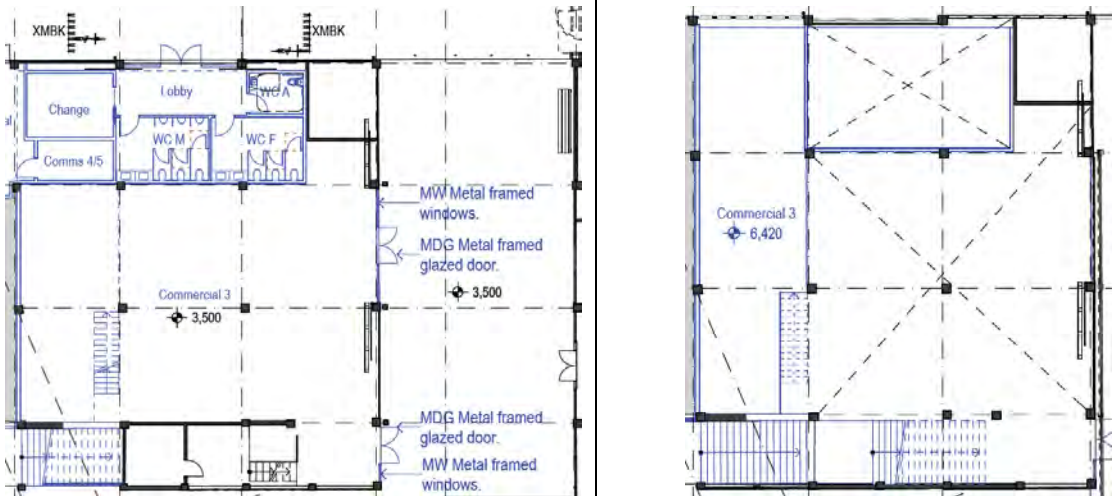

- a) Sydney Philharmonia
- b) Commercial tenancies, 2, 3, 4 and 5
- c) Sydney Dance Company on the ground floor and mezzanine levels of wharf 4 / 5.
- d) External lifts and stairs to the Sydney Theatre Company

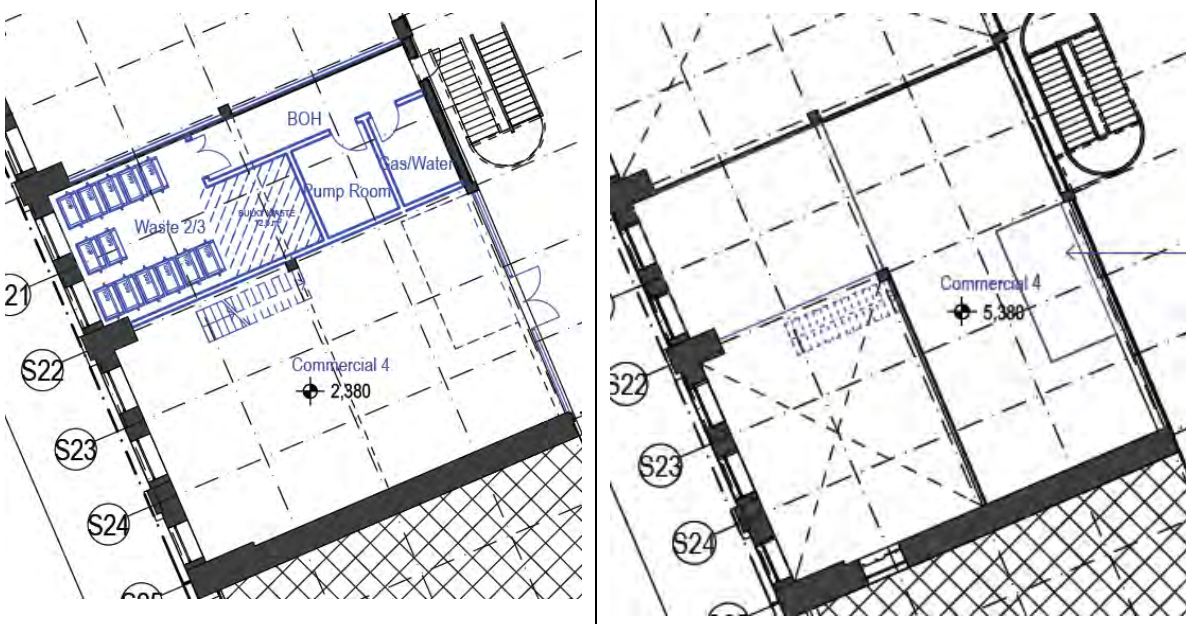
Sydney Philharmonia -

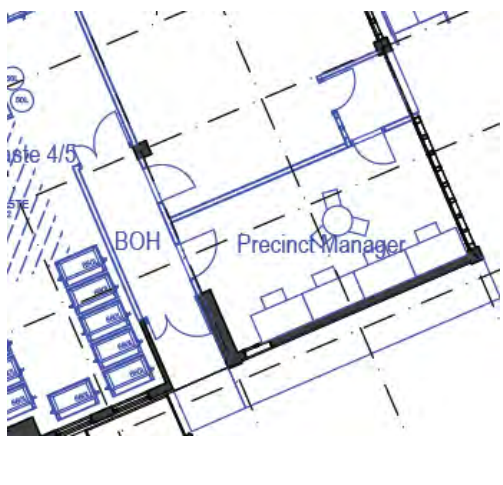
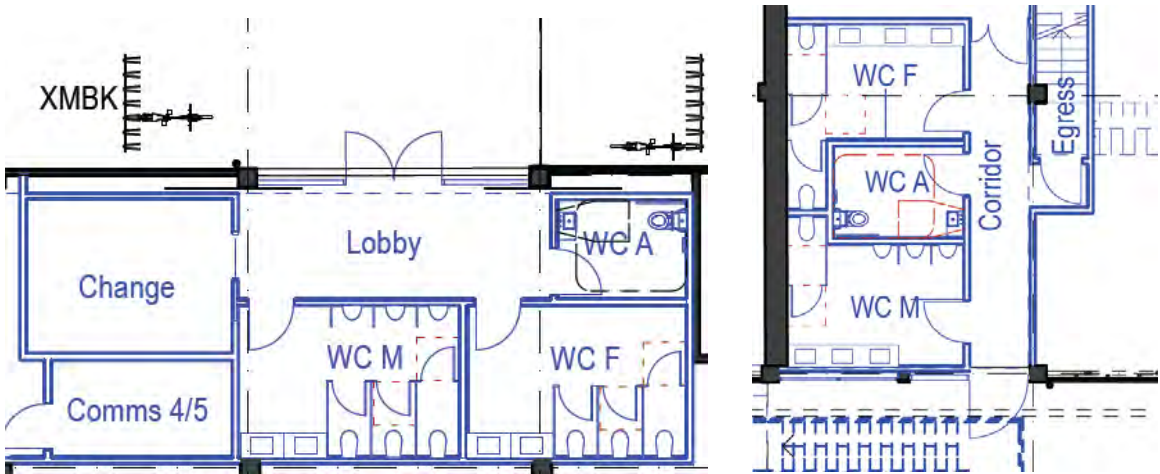
108. The foyer entrance provides adequate door circulation space to approach the entry doorways while the active door leaf shall be upgraded to 920mm minimum to achieve 850mm minimum clear opening width, door hardware

**Can
Comply**

BCA / DDA Access Code Review	Compliance
<p>and threshold ramp detailing to comply with AS1428.1 to satisfy D3.2 of the BCA and DDA Premises Standards.</p> <p>109. External doorways to the Rehearsal Room has a 100mm step which be modified to include a threshold ramp and landing that will comply with AS1428.1. The doors shall ensure the active door leaf shall be 920mm minimum to achieve 850mm minimum clear opening width and door hardware to comply with AS1428.1 to satisfy D3.3 of the BCA.</p> <p>110. The internal foyer area and access corridors throughout the ground floor provide doorway circulation spaces, Turning and Passing Areas in appropriate locations that comply with AS1428.1 to satisfy D3.3 of the BCA to approach, enter and exit the offices, meeting room and rehearsal room.</p> <p>111. Sanitary facilities – The existing sanitary facilities include a unisex wheelchair accessible toilet and consistent with section 4.5 of the DDA Premises Standards provides a concession for facilities constructed prior to 2011 to remain the size of AS1428.1 (2001) and simply upgrade the fixtures to comply with AS1428.1 (2009).</p> <p>112. Mezzanine Floor Access – The plans propose stairway access as the only means to access the mezzanine level and no lift, which does not comply with the deemed to satisfy requirements of Part D3 of the BCA. However, there are options for a performance based solutions to satisfy the performance requirements of DPI of the BCA, including the future installation of a stairway platform lift on the 1500mm width stairway currently shown on the plans.</p> <p>113. Stairways – The plans show an internal stairway to the mezzanine level which requires handrails on both sides with extensions at landings and other features as specified by AS1428.1 and AS1428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA.</p>	<p>Can Comply</p> <p>YES</p> <p>Can Comply</p> <p>Can Comply</p> <p>YES Can Comply</p>
<p>Commercial Tenancy 2</p> <p>114. Commercial 2 tenancy plan proposes a new external ramp and raised doorway landing to eliminate the two steps and will be required to install an entrance door complying with AS1428.1 to satisfy D3.2 of the BCA and DDA Premises Standards.</p> <p>115. The open plan layout of the tenancy is across a single floor level and will comply with AS1428.1 to satisfy D3.3 of the BCA.</p>	<p>YES Can Comply</p> <p>YES</p>
<p>Commercial Tenancy 3</p> <p>116. Commercial 3 tenancy proposes new entrance doorways that provide ample circulation spaces while the detailing of the doorways will require 920mm doors, lever door handles, threshold ramps, doorway luminance contrast and glazing makings complying with AS1428.1 to satisfy D3.2 of the BCA and DDA Premises Standards.</p>	<p>YES Can Comply</p>

BCA / DDA Access Code Review	Compliance
I17. The open plan layout of the tenancy on the ground floor is across a single floor level and will comply with AS1428.1 to satisfy D3.3 of the BCA.	YES
	
I18. Mezzanine & Lower Ground Floor Access – The plans propose stairway access as the only means to access the mezzanine and lower ground floor levels and no lift, which do not comply with the deemed to satisfy requirements of Part D3 of the BCA. However, the areas are relatively small at less than 100 sq metres and there are options for performance based solutions to satisfy the performance requirements of DPI of the BCA, including the future installation of a stairway platform lifts on a 1500mm width stairway or a management plan.	YES Can Comply
I19. Stairways – The plans show internal stairways to a lower level and upper mezzanine level which require handrails on both sides with extensions at landings and other features as specified by AS1428.1 and AS1428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA.	 <p><i>Stairway to lower ground floor office adjoining the entry foyer</i></p>
Commercial Tenancy 4 I20. Commercial 4 tenancy proposes a new entrance doorway that provide ample circulation spaces and will be detailed with a 1500mm X 2100mm minimum level landing at the doorway, threshold ramps, 920mm doors providing 850mm minimum clear opening for the first active door, lever door handles, doorway luminance contrast and glazing makings complying with AS1428.1 to satisfy D3.2 of the BCA and DDA Premises Standards.	YES Can Comply

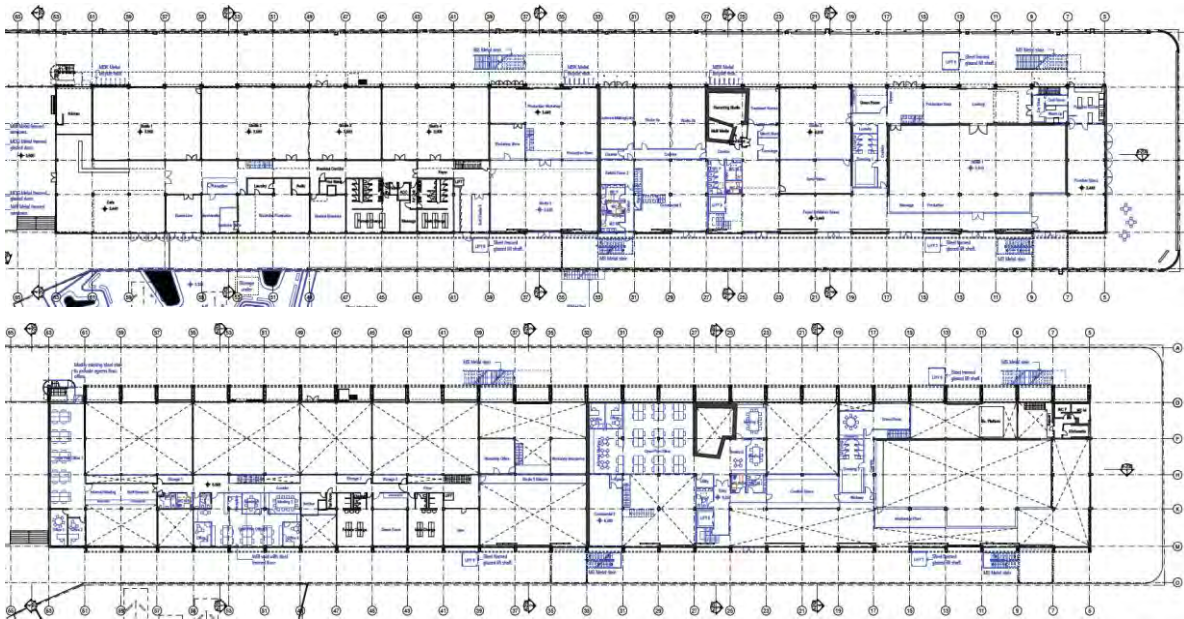
BCA / DDA Access Code Review	Compliance
	
<p>121. The open plan layout of the tenancy on the ground floor is across a single floor level and will comply with AS1428.1 to satisfy D3.3 of the BCA.</p> <p>122. Mezzanine Floor Access – The plans propose stairway access as the only means to access the mezzanine level and no lift, which does not comply with the deemed to satisfy requirements of Part D3 of the BCA. However, there are options for a performance based solutions to satisfy the performance requirements of DPI of the BCA, including the potential for a future installation of a stairway platform lift on a 1500mm width stairway or management plan.</p>	<p>YES</p> <p>YES Can Comply</p>
<p>123. The waste storage room and utilities adjoining Commercial 4 are areas exempted by clause D3.4 of the BCA and DDA Access Code due to the use and potential health hazard to people with disabilities.</p>	<p>N/a</p>
<p>Commercial Tenancy 5</p> <p>124. Commercial 5 tenancy proposes a new entrance doorway within an existing wall opening that provides ample circulation spaces while the detailing of the doorways will require 920mm doors, lever door handles, threshold ramps, doorway luminance contrast and glazing makings complying with AS1428.1 to satisfy D3.2 of the BCA and DDA Premises Standards.</p> <p>125. The open plan layout of the tenancy on the ground floor is across a single floor level and will comply with AS1428.1 to satisfy D3.3 of the BCA.</p>	<p>YES Can Comply</p> <p>YES</p>

BCA / DDA Access Code Review	Compliance
<p>Precinct Management Office</p> <p>126. This new office shall include a raised 1000mm minimum clear width walkway adjoining the driveway that enables level access to a 1600mm minimum width corridor with doorway circulation spaces that facilitates access into the office in accordance with AS1428.1 to satisfy D3.2 of the BCA.</p>	 <p>YES</p>
<p>Common Area Public Toilets</p> <p>127. Common Area Public Toilets – The plans propose two groups that include a unisex wheelchair accessible toilet, male and female ambulant accessible toilet in accordance with AS1428.1 to satisfy F2.4 of the BCA, subject to the external door on the Wharf 4 airlock provide 530mm latchside clearance internally.</p>	<p>YES Can comply</p>
 <p style="text-align: center;">Wharf 5 Wharf 4</p>	

BCA / DDA Access Code Review

Compliance

Sydney Dance Company & Bangarra Dance Theatre



128. The plans propose a range of alterations and additions to the ground floor and mezzanine levels of wharf 4/5 which are to be occupied by the Sydney Dance Company and Bangarra Dance Theatre.
129. Sydney Dance – The alterations to the ground floor consist of; reconfiguration the reception area and workshop areas to create a new Studio 5 and relocation of the café stairway. Additional stairway access to the mezzanine level which proposes reconfigured open plan office accommodation and new sanitary facilities, including a wheelchair accessible bathroom, in the same location. There is no proposed upgrade of the existing platform hoist to access the mezzanine level.
130. Bangarra – The alterations to the ground floor consist of; partial reconfiguration of Studio 1, the adjoining Function Room with the installation of a commercial kitchen, an adjacent exhibition space and loading dock to adjoin wharf 5. The plans also indicate relocation of office accommodation to the mezzanine level with the installation of a lift (No. 9) to create a new Studio 3 and two groups of sanitary facilities and various back of house facilities.
131. Floor coverings in many areas are to be removed to expose the original timber flooring.

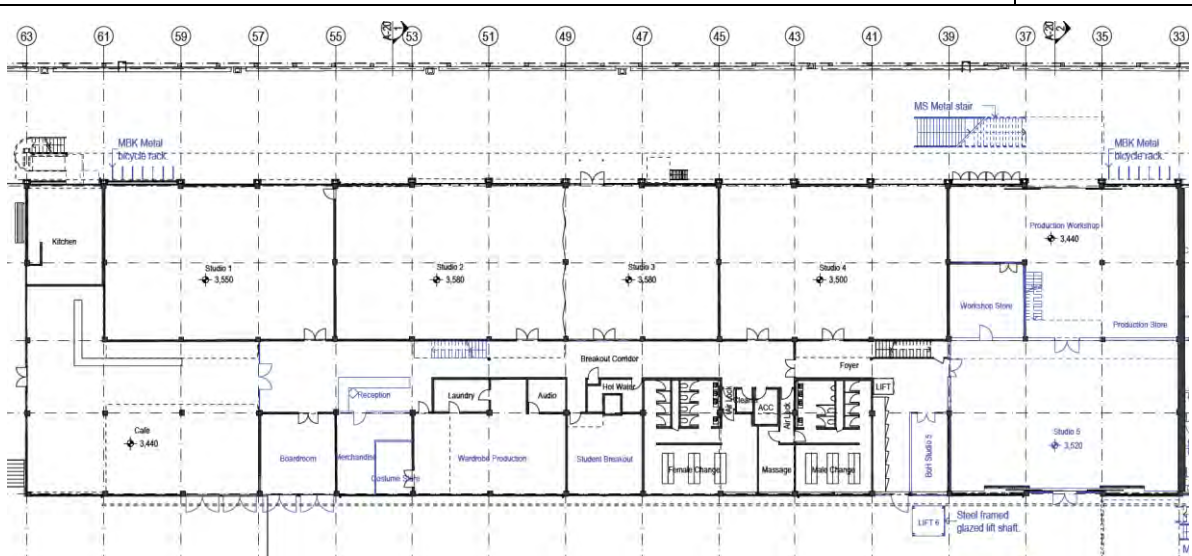
Sydney Dance Company (SDC)

132. **Ground Floor** - The plans propose the existing internal café stair will be removed and a new double doorway entrance to the SDC reception areas which provides appropriate circulation spaces to comply with AS1428.1 and D3.3 of the BCA. Studio 5 indicates an external doorway

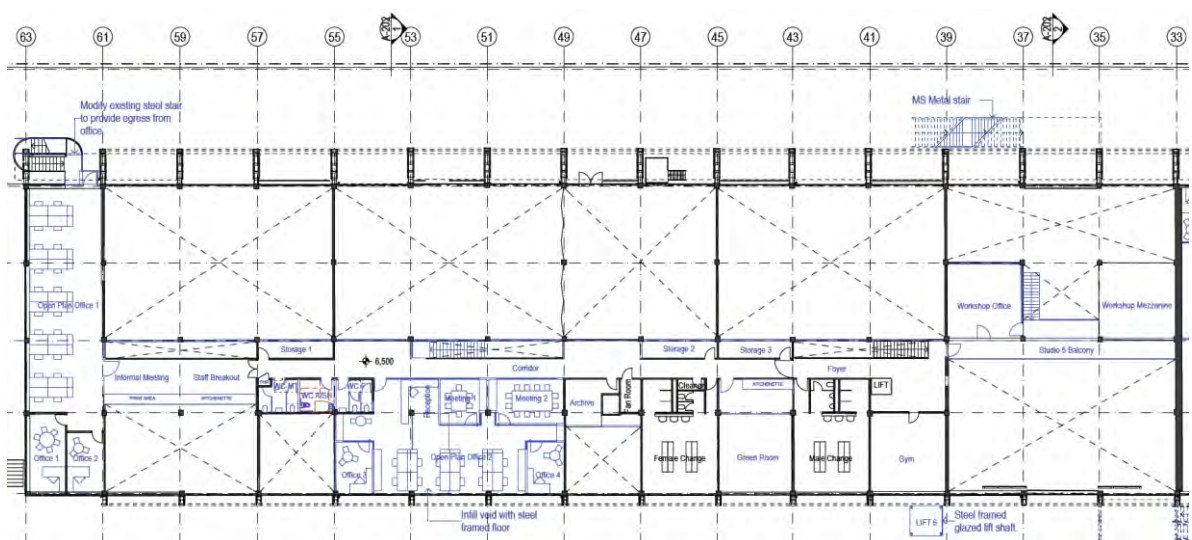
YES

Can
Comply

BCA / DDA Access Code Review	Compliance
<p>and the adjacent foyer show an external door which must be detailed to comply with ASI428.1 including circulation spaces.</p> <p>133. The new Merchandise room and reduced Costume Store can provide appropriate access subject to the entry door into the Wardrobe Production being re-installed as a 920mm door with 530mm latchside clearance.</p> <p>134. The new partitions and doorways adjoining Studio 5 and the Workshop provide appropriate access and circulation spaces to comply with ASI428.1 and D3.3 of the BCA.</p>	<p>YES can comply</p> <p>YES</p>



Ground Floor



Mezzanine Level

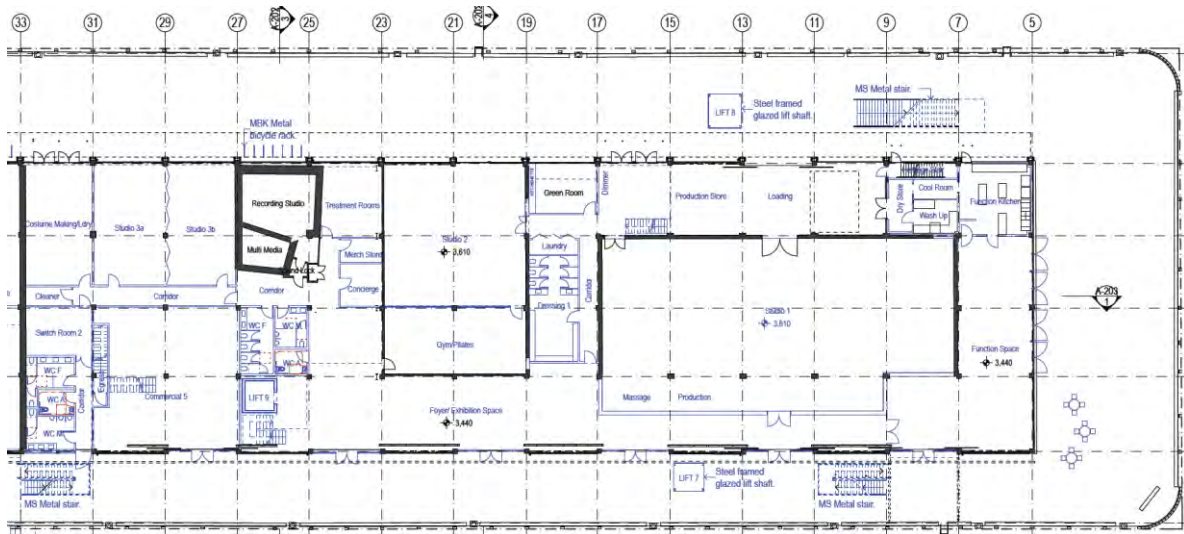
135. The ground floor plans indicate refurbished sanitary facilities which include a unisex wheelchair accessible toilet and while the size may not comply with ASI428.1 (2009) section 4.5 of the DDA Premises

YES

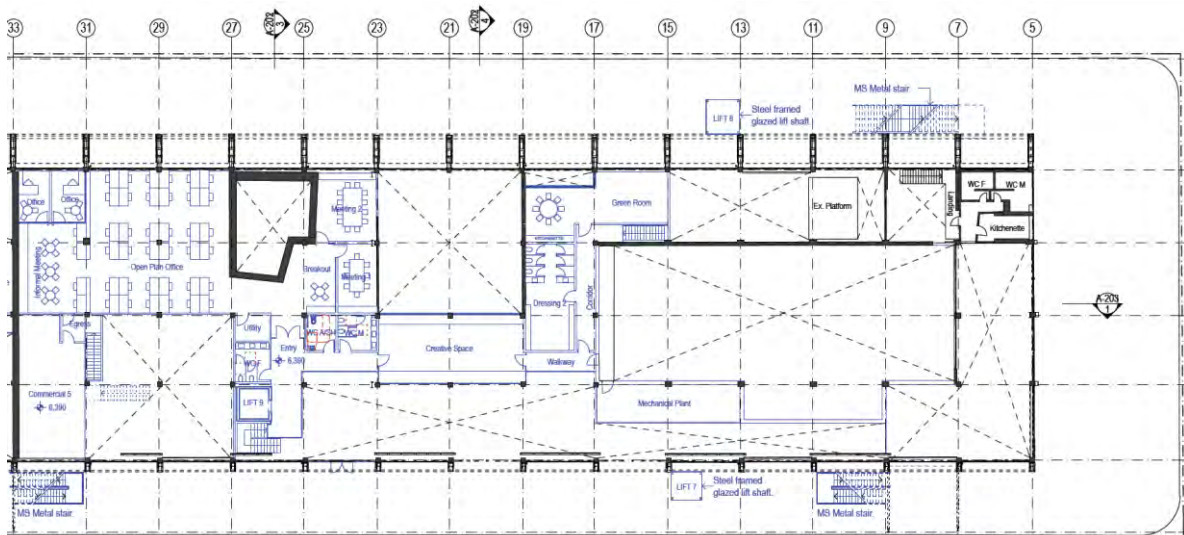
BCA / DDA Access Code Review	Compliance
<p>Standards provides a concession for facilities constructed prior to 2011 to remain the size of AS1428.1 (2001) and simply upgrade the fixtures to comply with AS1428.1 (2009).</p> <p>136. Stairways – The plans show several stairways to access the mezzanine level which require handrails on both sides with extensions at landings and other features as specified by AS1428.1 and AS1428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA including barriers around the stairway undercrofts where the headroom is less than 2000mm.</p> <p>137. Lift Access – The existing platform hoist is to be retained.</p> <p>138. Mezzanine Level - The mezzanine floor plan illustrates reconfigured Office accommodation, new sanitary facilities, Studio 5 balcony, adjacent Workshop offices and several storage areas.</p> <p>139. The access paths to and within these areas will comply with AS1428.1 subject to the Studio balcony being increased to 1600mm to achieve 530mm latchside clearance, the foyer door adjoining Stage 3 removed or automated and the double doors to the staff breakout being modified to provide a 920mm active door.</p> <p>140. The plans propose a group new toilets that includes a unisex wheelchair accessible toilet and shower, male and female ambulant accessible toilet in accordance with AS1428.1 to satisfy F2.4 of the BCA,</p>	<p>YES Can Comply</p> <p>YES Can Comply</p> <p>YES</p>
<p>Bangarra Dance Theatre</p> <p>141. Ground Floor - The plans multiple double doorways along the external façade of wharf 4 which enable entry to the Main Foyer and Exhibition Space and the northern Function Room which provide appropriate circulation spaces and can be detailed with accessible thresholds, doors and other features complying with AS1428.1 to facilitate equitable access to enter these areas and satisfy D3.2 of the BCA.</p> <p>142. The Main Foyer and adjoining corridors provide 1600mm minimum width, 1800mm X 2000mm Passing Areas in appropriate locations and direct access to the new lift to comply with AS1428.1. The doorway to the corridor adjoining the dressing rooms and Studio 3 corridor will require a minor adjustment to ensure 530mm latchside clearances while the stairway adjacent to the double doorway will require a 900mm minimum setback from the doorway to accommodate handrails and tactile indicators.</p> <p>143. Lifts – The design shows a new lift No. 9 located centrally in the main foyer area that will travel to the mezzanine level and provide a significant lift car of at least 2000mm X 1800mm to accommodate two people using wheelchairs and facilitate high volume passenger movements.</p>	<p>YES</p> <p>YES Can Comply</p> <p>YES</p>

BCA / DDA Access Code Review

Compliance



Ground Floor Plan



Mezzanine level

144. **Mezzanine Level** - The corridor accessways throughout the mezzanine level propose 1600mm–2000mm width to approach doorways to enter rooms in accordance with AS1428.1 to satisfy D3.3 of the BCA.
145. **Sanitary facilities** – There are sanitary facilities on both levels which include a unisex wheelchair accessible toilet and ambulant accessible male and female cubicles that comply with AS1428.1 to satisfy F2.4 of the BCA.
146. **Stairways** – The plans show several stairways to access the mezzanine level which require handrails on both sides with extensions at landings and other features as specified by AS1428.1 and AS1428.4.1 to satisfy D3.3, D2.14 and D3.8 of the BCA.

YES

YES

YES can
Comply

Lifts

BCA / DDA Access Code Review	Compliance
147. The development proposes several new lifts that will facilitate equitable and inclusive access to all the overwhelming majority of floor space within the overall adaptive reuse and redevelopment project to satisfy the intent and performance objective of DPI of the BCA.	YES
148. The area where lift access is not provided are generally plant and equipment rooms, rigging lofts, some back-of-house areas and the small mezzanine spaces within Commercial Tenancies 3, 4 and 5.	YES
149. With respect to the vacant Commercial tenancies 3, 4 and 5 there areas can enable equitable access to the potential range of services and activities pending the fitout of these spaces and operational management plans to satisfy the performance requirements of DPI of the BCA.	YES Can Comply
150. With respect to the size and specification of lifts all new lifts 1, 2a, 2b, 3, 6, 7 and 9 will all exceed 1400mm X 1600mm lift cars while most lifts will easily exceed the minimum size.	YES
151. Lifts 4 and 8 are generally Goods Lifts, although they can readily be specified to be combined goods/passenger lifts which can provide as benefit in terms of back up in the event of the primary lifts experiencing a breakdown.	YES
152. Lift 5 is an existing lift adjoining wharf 4 and shall be the subject of maintenance and refurbishment to ensure ongoing compliance with clause E3.6 of the BCA.	YES
153. In accordance with Part E3.6 of the BCA the Lift Specification will confirm that the lifts shall provide control panels with tactile and Braille, handrails and in-car voice announcements and other features as required by AS1735.12 and Table E3.6 to satisfy clause E3.6 of the BCA.	YES Can Comply

Accessible Sanitary Facilities

BCA / DDA Access Code Review	Compliance
154. The plans show many new groups of sanitary facilities throughout various parts of the precinct with almost every group of facilities incorporating a unisex accessible sanitary facility, male and female ambulant accessible cubicles, which easily complies with the minimum requirements of clause F2.4 of the BCA and DDA Access Code in terms of quantity and locations.	YES
155. The general sizes, doorways access ad layouts indicate compliance with AS1428.1 while further detailing at the documentation stage shall ensure the fittings and fixtures also comply with AS1428.1 to fully satisfy clause F2.4 of the BCA and DDA Access Code.	YES Can Comply

BCA / DDA Access Code Review	Compliance
156. With respect to existing facilities being retained there are two unisex accessible toilets; one within the Sydney Dance Company and one within Sydney Philharmonia that generally comply with ASI428.1 (2001) which are the subject of minor refurbishment. These facilities shall satisfy the concession provisions of section 4.5 of the DFDS Premises Standards relating to the ongoing use of existing accessible toilets.	YES

Wayfinding & Identification – Braille and tactile signage

BCA / DDA Access Code Review	Compliance
157. In accordance with clause D3.6 and Specification D3.6 of the BCA the construction documentation plans shall confirm the provision of raised tactile and Braille signage for all sanitary facilities, FIRE EXIT doors and the hearing augmentation system within the auditorium.	YES Can Comply

Hearing Augmentation

BCA / DDA Access Code Review	Compliance
158. In accordance with clause D3.7 of the BCA the construction documentation shall confirm the provision of an assistive listening system within every auditoria, room or area that provides in-built amplification of audio announcements.	YES Can Comply
159. The systems shall be either an audio induction loop, infrared or FM system as appropriate to each space.	YES Can Comply
160. The installations shall also incorporate raised tactile and Braille signage to identify the seating area that provides the hearing augmentation system and the type of systems installed.	YES Can Comply
161. Emergency warning alarms shall provide appropriate audio and visual alarms consistent with ASI670.4 and ASI428.5.	YES Can Comply

Tactile ground surface indicators

BCA / DDA Access Code Review	Compliance
162. In accordance with clause D3.8 of the BCA and DDA Access Code the ramp and stairway landings and stairway undercrofts shall incorporate tactile ground surface indicators as specified by ASI428.4.1, which will be confirmed at the construction documentation phase.	YES Can Comply

Wheelchair Accessible seating spaces

BCA / DDA Access Code Review	Compliance
163. Auditoria – The auditoria within Pier 2/3, Wharf 4/5 and Waterfront Square will provide the appropriate number and location of wheelchair seating spaces within each event venue to comply table D3.9 of the BCA and DDA Access Code in terms of quantity, distribution and location adjacent to companion seating.	YES
164. With respect to spatial layout and access requirements of AS1428.1 the spaces and provision of removable seating will be confirmed at the construction documentation phase as illustrated in AS1428.1.	YES Can Comply

Glazing Markings

BCA / DDA Access Code Review	Compliance
165. With respect to requirements for glazing markings on walls and doors the construction documentation shall confirm appropriate provision in accordance with AS1428.1 to satisfy clause D3.12 of the BCA.	YES Can Comply

Furniture, Fixtures and Fitments

BCA / DDA Access Code Review	Compliance
166. Box Office / Beverage Bar Counters – Consistent with the DDA and AS1428.2 the detailing of the counters will incorporate wheelchair accessible sections in accordance with the specifications of AS1428.2.	YES Can Comply

Appendix A – Statement of Expertise



CONSULTANCY PROFILE & STATEMENT OF EXPERTISE

Accessibility Solutions consultancy offers a range of services to provide advice for clients to develop new and modify existing buildings, facilities and services to be accessible to people with disabilities to comply with legislation and regulations relevant to people with disabilities.

Relevant legislation and regulations that underpins advice includes the Disability Discrimination Act (DDA) Building Code of Australia, Australian Standards 1428, DDA Premises Standards, DDA Transport Standard, State Environment Planning Policy Housing for Seniors or People With a Disability (SEPP HS) / Seniors Living Policy, SEPP 65 –Apartment Design Guide and various local government Development Control Plans.

The scope of services provided by Accessibility Solutions includes:

- Plan Appraisals and design advice
- Access Reports for development applications and construction certificates
- Expert Reports for Court evidence
- Access Auditing of existing buildings, facilities, transport conveyances and infrastructure
- Policy and document reviews and development of Disability Action Plans
- Staff training in access auditing

The services consider issues concerning people with all types of disability including; physical; vision; hearing, intellectual and other cognitive impairments that may affect access for people with a disability consistent with the Disability Discrimination Act.

As principal consultant Mark Relf has considerable experience and expertise in a wide range of access related projects and is an accredited member of the Association of Consultants in Access Australia for the purposes of providing advice concerning access to the built environment and services for people with disabilities.

His expertise has been gained over 20 years working in management and advocacy roles within the disability sector and since 1994 providing advice to clients on access issues. Mark also participates on various key committees concerning access for people with disabilities. His qualifications and affiliations are:

- Accredited Member of the Association of Consultants in Access Australia.
- Member, Standards Australia ME/64 Committee responsible for the AS1428 suite and AS4299 – Adaptable Housing.
- Former Member, NSW Heritage Office's – Fire, Access and Services Advisory Panel 2000-2014.

