

6.4 WHARF 4/5 WEST ELEVATION

The works proposed with the western facade of Wharf 4/5, associated with STC50, are:

- New steel framed egress stairs
- BCA upgrades to western balcony at Level 1 involving new steel framed balustrade
- New openings for egress doors and windows to central foyer
- Modification to southern curved stair to provide egress from SDC offices.

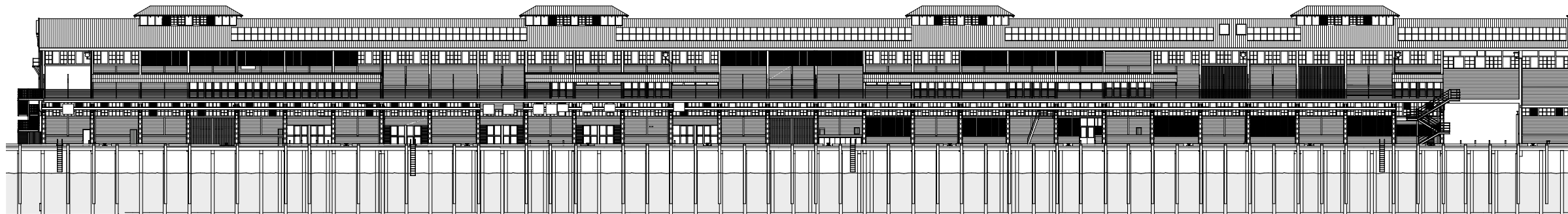


Figure 139 Existing West elevation Wharf 4/5.

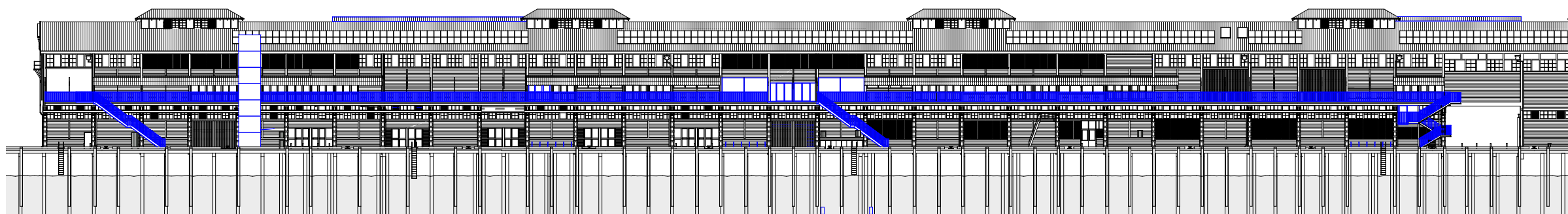


Figure 140 Proposed West elevation Wharf 4/5, (alterations shown in blue).

6.5 PIER 2/3 NORTH ELEVATION

In the end elevation of Pier 2/3, three new openings are proposed. At the upper level, the central two bays will be replaced with glazing, providing harbour views from the function space.



Figure 141 Existing north elevation Pier 2/3.

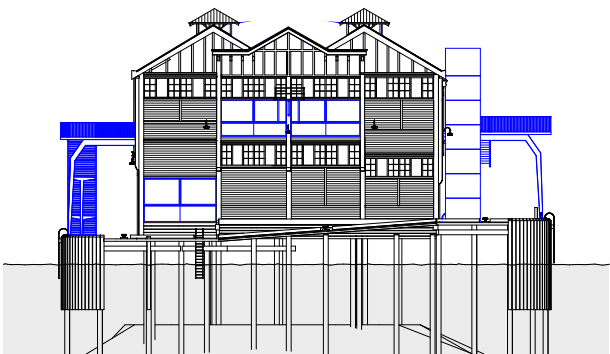


Figure 142 Proposed north elevation Pier 2/3, (alterations shown in blue).

6.6 WHARF 4/5 NORTH ELEVATION

The northern elevation of Wharf 4/5 has already been significantly altered at the upper level. The central bays at the lower level will be replaced with glazing to provide access to and outlook from Bangarra's function space.

At the lower level, the north eastern corner is opened up and replaced with glazing, reinterpreting the original building which was open in this corner.

The curved egress stairs and metal enclosure over the grease arrestor are proposed to be removed as part of the works and new BCA compliant stairs added to the eastern and western sides of the building.

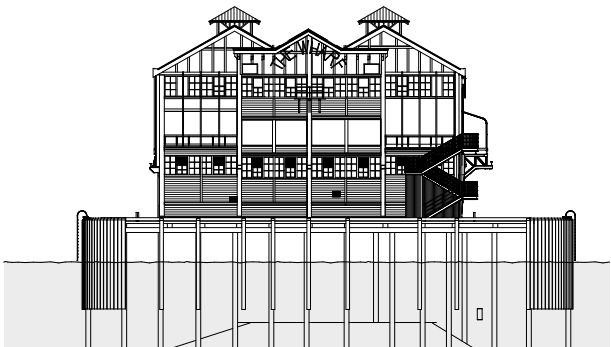


Figure 143 Existing north elevation Wharf 4/5.

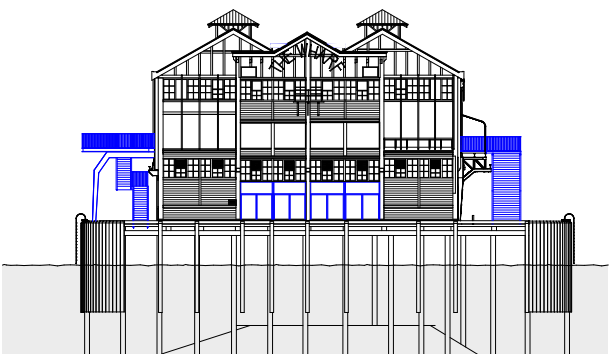


Figure 144 Proposed north elevation Wharf 4/5, (alterations shown in blue).

6.7 SHORE SHEDS SOUTH ELEVATION

The significant brick and stone facades to Hickson Road will be conserved. New work is limited to the reconstruction of the entry stairs to Wharf 4/5, and removal of the existing roller shutter and construction of a new glass entry to the Choirs tenancy in the 4/5 Shore Shed. New gateway identification and tenant and precinct signage is proposed to be developed in accordance with the Signage and Wayfinding Strategy.

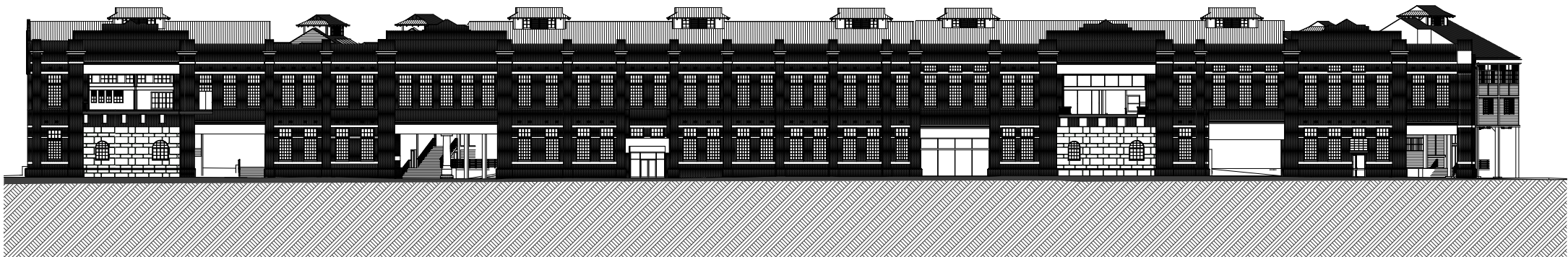


Figure 145 Existing Hickson Road south elevation Shore Sheds.

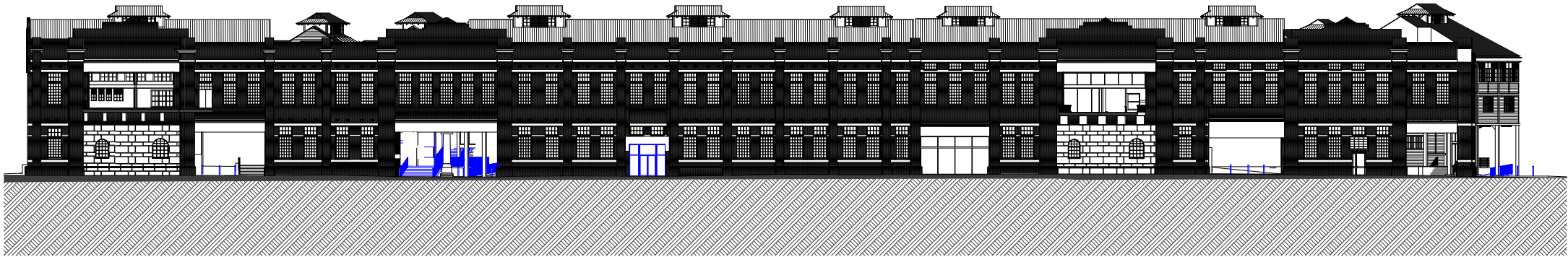


Figure 146 Proposed Hickson Road south elevation Shore Sheds, (alterations shown in blue).