

#### NORTHERN FUNCTION SPACE (COMMERCIAL 6)

At the northern end of the building is a 300m<sup>2</sup> full height function space with panoramic views of the precinct to the west, the harbour to the north and the Sydney Harbour Bridge to the east.

Access to the function space is via a lift on the western apron. The function space also has a balcony to the east with stairs accessing the apron of Pier 2/3.

This space has its own plating kitchen and access to toilets for guests.

#### ACO OFFICE

ACO's office is located at the northern end of Level 2 accessed via a new external lift and stair on the western facade or internally via the public lift and stairs.

The office space overhangs the northern function space and will require acoustic separation to limit disturbance from below during events.

It has a split level arrangement to accommodate the ceiling height required for the practice rooms below, requiring a new section of raised roof between the conserved lanterns above.

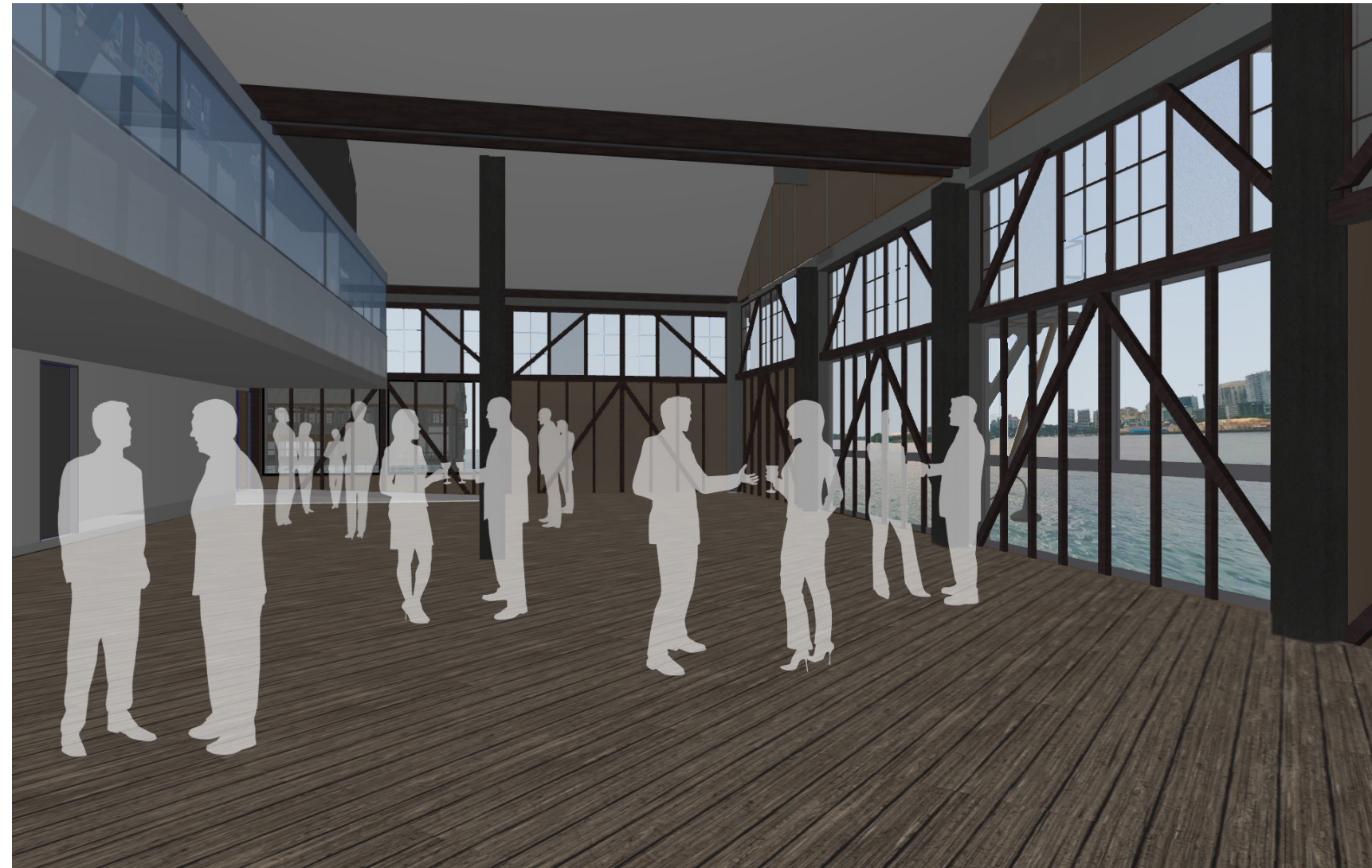


Figure 122 Northern Function Space



ACO AUDITORIUM AND REHEARSAL

A 300 seat auditorium is located in the northern half of the upper shed. A retractable seating bank is built into the space and combined with loose seats can be arranged to achieve a variety of seating configurations.

To achieve the required volume, the central valley is proposed to be replaced with a flat roof. Two storey posts are to be removed and the existing trusses are to be reinforced with steel members to achieve the required span.

The auditorium is proposed to have full height glazing for three bays on the eastern side providing expansive views of the Sydney Harbour Bridge as the backdrop to performances. The proposal to reinstate high level glazing along the upper level of the east facade will enhance these views from within the auditorium.

To the north of the auditorium there is a consolidated back of house area for performers, including dressing rooms, a green room and several practice rooms. The large rehearsal room also has expansive views toward the Sydney Harbour Bridge and doubles up as a function space. Extending the full height of the upper shed, this space requires the removal of a single column and associated truss reinforcement.

A plant room servicing the ACO is located between the outer ridges underneath the flat roof section.



Figure 123 ACO Auditorium

#### ATYP

ATYP will have a new purpose-designed theatre for an audience of 200 people. The theatre is acoustically separated and fully air-conditioned. It will have excellent sight lines and an intimate 'feel', with a fully equipped stage. The theatre is arranged in a semi-circular, thrust arrangement with a steep rake. This limits the distance required for children performers to project their voices and maximises a sense of intimacy and audience engagement.

Two columns are proposed to be removed to accommodate the theatre. The roof valley in this area will also be raised in order to house associated plant and allow for high-level technical theatre access.

Audience access to the ATYP theatre is via the upper level foyer space at Level 2. The theatre is supported by dressing rooms, a green room and production office.

ATYP also have their primary rehearsal space in the Upper Shed. The space will be used for full scale reproductions of the shows that will be performed in the theatre adjacent.



Figure 124 ATYP Theatre



BELL SHAKESPEARE

The southern end of the Upper Shed accommodates Bell Shakespeare’s two large rehearsal spaces. The spaces are sized such that Bell can undertake full-scale rehearsals for shows to be performed in the Drama Theatre and Playhouse at the Sydney Opera House.

While primarily for rehearsal purposes, Bell Shakespeare will also use their larger space to host performances for an audience of up to 300 people using a combination of retractable seating banks and loose seating. When used in this configuration, Bell will utilise their smaller rehearsal room as a foyer for pre-show functions.

Two columns are proposed to be removed in the southern large Bell rehearsal space, with a new beam under the existing valley.

The Bell rehearsal spaces are supported by dressing rooms, a production office and several technical control rooms.



Figure 125 Bell Shakespeare large Rehearsal Room.

- ACO
- ATYP
- BANGARRA
- BELL
- CHOIRS
- COMMERCIAL
- SDC
- SERVICES
- SHARED SPACES
- PUBLIC AMENITIES

### 5.3 WHARF 4/5 LOWER SHED

Wharf 4/5 currently accommodates Sydney Dance Company and Bangarra Dance Theatre in the Lower Shed, along with Sydney Theatre Company in the Upper Shed. Internal works to STC are the subject of a concurrent, but separate SSDA.

A new commercial tenancy is proposed at the centre of the Lower Shed. Public amenities and service rooms are located adjacent. Services upgrades are also proposed throughout the Wharf in order to meet current standards.

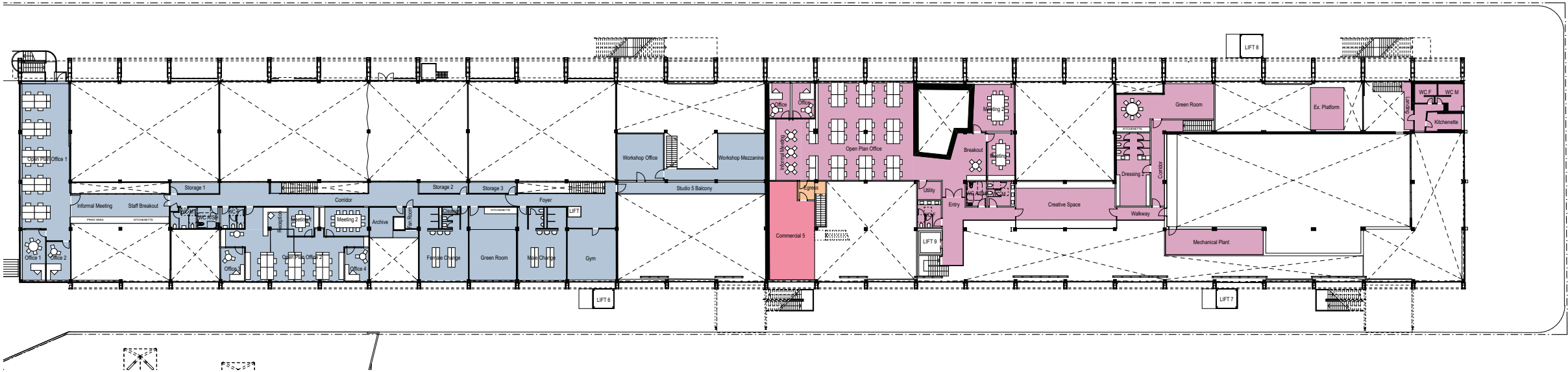


Figure 126 Wharf 4/5 Mezzanine plan

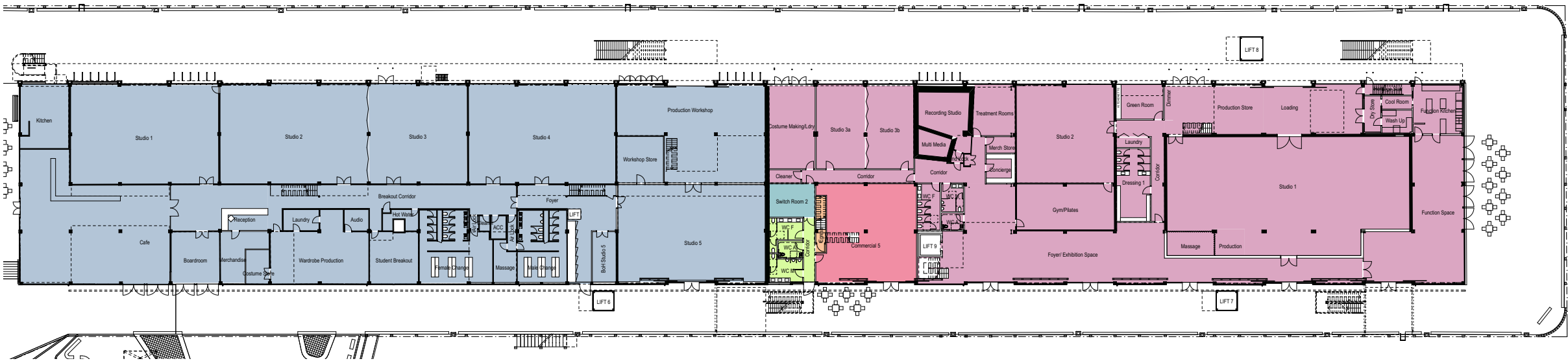


Figure 127 Wharf 4/5 Ground floor plan



BANGARRA

The design proposes an internal reconfiguration of Bangarra's tenancy to incorporate:

- New function space at the north end of the pier.
- Upgrade of Studio 1, the main rehearsal and performance space, to provide improved daylight and natural ventilation.
- Removal of a column in Studio 2 to improve usability.
- A new foyer and exhibition space along the eastern wharf frontage.
- Two multi-purpose studios for visiting artists with an operable wall to allow for use as a third rehearsal studio.
- Consolidated office space at mezzanine level.
- New services throughout the tenancy as required.

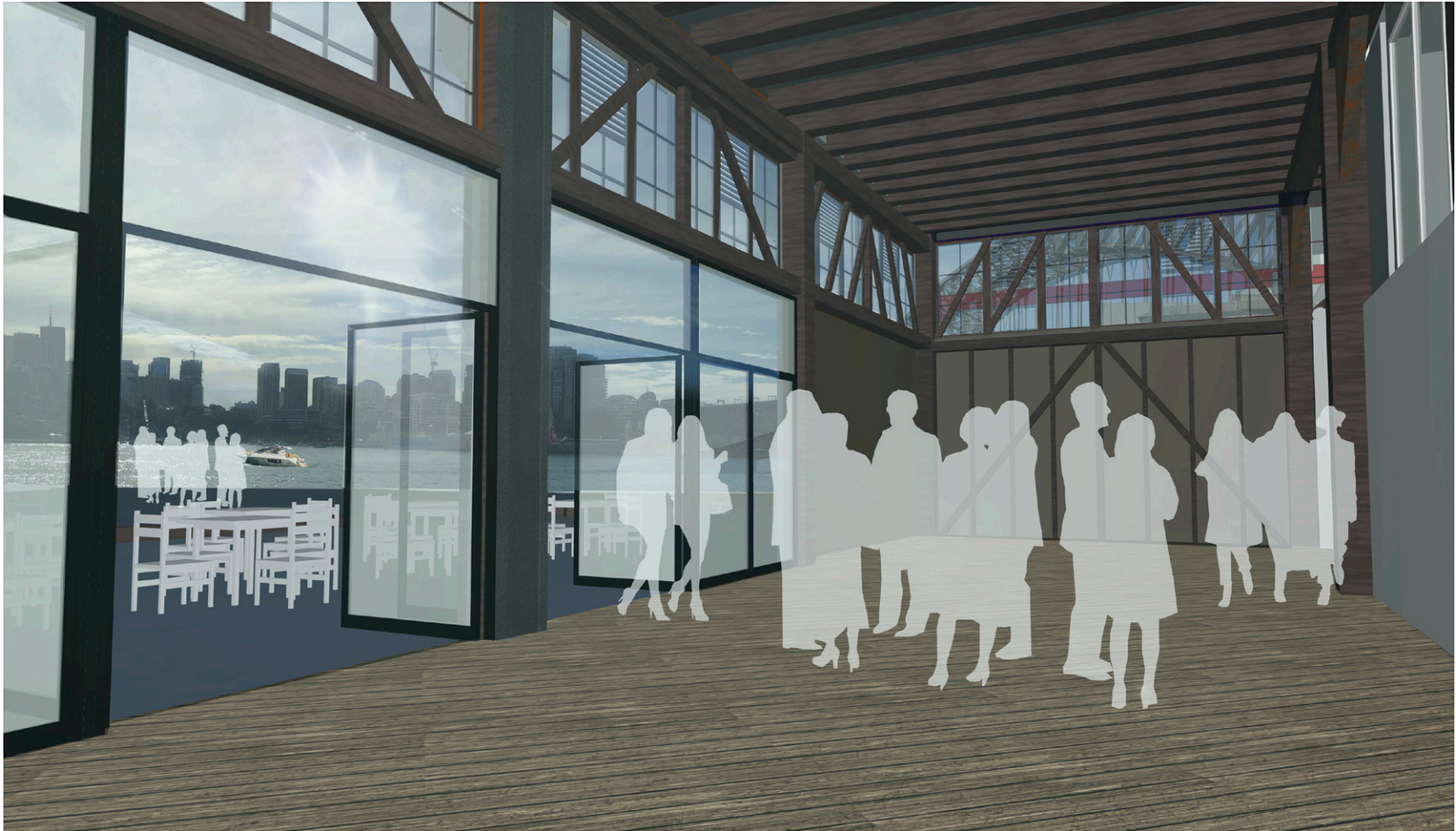


Figure 128 Bangarra Northern Function Space.

#### SYDNEY DANCE COMPANY

Upgrades to Sydney Dance Company's tenancy include:

- Upgraded reception area and retail outlet.
- Subdivision of existing workshop and removal of two existing columns to create an additional studio, Studio 5. The studio will be a multi-purpose space for rehearsal, small performances and functions.
- New glazing alongside the existing cafe, allowing the eastern facade to open up to the Waterfront Square.
- Reconfigured open plan office space at the mezzanine level.
- The public and patrons of the Sydney Dance Company cafe will be provided with additional public toilet facilities such that access to SDC amenities can be restricted for security.
- New services throughout the tenancy as required.



Figure 129 Sydney Dance Company, Studio 5.



#### 5.4 WHARF 4/5 UPPER SHED

##### SYDNEY THEATRE COMPANY

The internal refurbishment and fitout of the STC leasehold is the subject of a separate, concurrent SSDA. Works proposed as part of this SSDA are generally limited to those associated with external modifications and/or major structural interventions to the original fabric of the wharf. Externally these works include the following:

- External refurbishment of the building.
- New lifts and stairs for access and egress.
- New gantry balconies associated with the new stairs.
- Modifications to the existing roof and roof plant platforms.
- Modifications to the existing external stairs and balconies to comply with current codes.
- Modifications to the existing openings that were introduced during the previous renovation of the building.
- New openings and glazing to the west of the building for egress and natural light.

Internal works included in this SSDA are as follows:

- Removal of nine timber columns.
- Reinstatement of three timber columns that were removed during the previous renovation of the building.
- Reinforcement of several existing timber trusses to account for the removal of columns and increased loading for high-level, technical theatre access.
- Supplementary steel beams and columns to support modifications to existing roof.



Figure 130 Sydney Theatre Company, STC50 interior perspective by Doug and Wolf