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ISSUES

Revisions to previous issue are either in **red** (additional/amended) or ~~striketrough~~ (deleted) text.

Issue	Date	Reason for Issue	Comment	Checked	Approved
1	09/08/16	Issue for Client review	Draft	NZ	
2	20/05/20	SSDA Issue	Draft for Information Only	VB	

**THE UNIVERSITY OF SYDNEY
DARLINGTON ROAD TERRACES
(14051)**

**9610
TERRACES EXTERNAL CONDITION
PROPOSED CONSERVATION SCHEDULE**

LEGEND


A visual façade inspection of the Darlington Road Terraces was conducted on 29/07/16 by AJ+C. There are 38 terraces in total, photographs of each terraces north façade and close ups to highlight their existing conditions and areas where repair work will be required.



Each terrace's façade have been scheduled with 10 key elements with their existing conditions, classified with either conditions A or B. Elements and conditions as follows:


Elements	Conditions A (Generally good)	Conditions B (Rectification work required)
1. Front fence, base and gate.	<ul style="list-style-type: none"> Allow for repaint only. Allow to remove all existing letter boxes. 	<ul style="list-style-type: none"> Repair crack in base, allow for patch and repaint. Allow to remove all existing letter boxes.
2. Entry path	<ul style="list-style-type: none"> Retain existing, allow for repaint where . 	<ul style="list-style-type: none"> Repair cracks and damaged pavers, allow for patch and repaint. Remove path, where noted on drawings.
3. Garden	<ul style="list-style-type: none"> Retain existing garden bed. Retain existing tree as advised by landscape architect. 	<ul style="list-style-type: none"> Remove concrete slab where noted on drawings for new garden bed. Remove existing tree as advised by landscape architect.
4. Porch	<ul style="list-style-type: none"> Retain existing, allow for repaint to existing concrete porch. 	<ul style="list-style-type: none"> Remove crack or damaged porch to match condition A.
5. Doors and Windows	<ul style="list-style-type: none"> Retain existing, allow for repaint. Extract below from CMP University Terrace – 124-131 Darlington Road by Tanner Architects, Issue A December 2008 Page 67 <p>Conservation of Windows and Doors 8.2 The fanlights should be returned to an operable state inclusive of installing appropriate hardware. 8.5 The security bars should be relocated to the interior side of the window and painted in a colour that reduces visibility from the street. TBC by CIS.</p>	<ul style="list-style-type: none"> Remove existing door, allow for new original to match.
6. External walls	<ul style="list-style-type: none"> Allow for removal of all existing electrical Distribution Board and overhead electrical connection and all associated components. (Retain existing electrical Distribution Board 	<ul style="list-style-type: none"> Allow for removal of all existing electrical Distribution Board and overhead electrical connection and all associated components. (Retain existing electrical Distribution Board and

	<p>and overhead electrical connection to terraces no. 86 and 87 only)</p> <ul style="list-style-type: none"> Allow for removal of all redundant conduits and cables and make good to match existing. Allow for removal of all gas meters and cap services below ground. (expect to terraces no. 86 and 87) Allow for removal of all signages. Allow for repaint to all walls, including parapets and chimneys. 	<p>overhead electrical connection to terraces no. 86 and 87 only)</p> <ul style="list-style-type: none"> Allow for removal of all redundant conduits and cables and make good to match existing. Allow for removal of all gas meters and cap services below ground. (expect to terraces no. 86 and 87) Allow for removal of all signages. Allow for repair crack in wall, patch and repaint, see each terraces comment for more detail. Allow for repaint all parapets and chimneys
7. Verandah	<ul style="list-style-type: none"> Retain existing, allow for repaint. 	<ul style="list-style-type: none"> Remove existing, allow for new to match. Paint finish
8. Balustrade	<ul style="list-style-type: none"> Retain existing cast iron lace balustrade. Raise height to meet compliance – refer to architect's detail. 	<ul style="list-style-type: none"> Remove existing and allow for new cast iron lace balustrade to match, paint finish.
9. Gutters and downpipes	<ul style="list-style-type: none"> Retain existing gutter, allow for new metal mesh gutter guard. Remove existing downpipe and allow for new downpipe to connect to kerb, where noted on drawings. 	<ul style="list-style-type: none"> Remove existing gutter, allow for new gutter and gutter guard. Remove existing downpipe and allow for new downpipe to connect to kerb, where noted on drawings.
10. Roof sheeting	<ul style="list-style-type: none"> Retain existing. 	<ul style="list-style-type: none"> Remove existing and replace with new corrugated roof sheeting.


- Notes:**
- Refer to Landscape architects drawings and specification for retaining/ removal of existing trees and shrubs.
 - Refer to Hydraulic engineers drawings and specification for existing and proposed new downpipe and gutters. (Retain existing hose tap to front garden)
 - Refer to Structural engineers drawings and specification for wall crack repairs and strengthening of walls and balustrades.
 - Refer to Electrical engineers drawings and specification for removal of existing electrical distribution Board and overhead electrical connection.
 - Refer to Hazardous Materials Survey for location and method of removal of existing hazardous material.

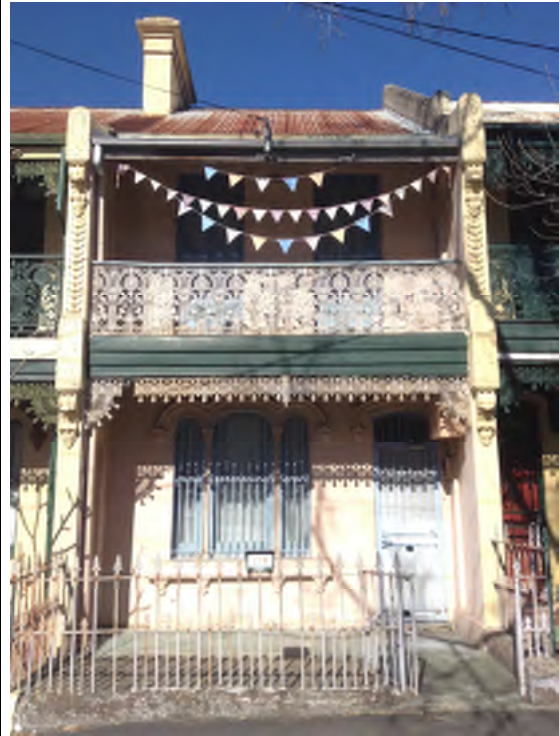
TERRACE NO.	ELEMENTS	CONDITIONS	COMMENTS	PHOTOS
131	1. Front fence + base and gate	B	Some finials on the fence are missing. Allow for replace to match.	
	2. Entry path	A		
	3. Garden	A		
	4. Porch	B		
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	A	Allow for removal of verandah gutter.	
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	A		



TERRACE NO.	PHOTOS	
131		

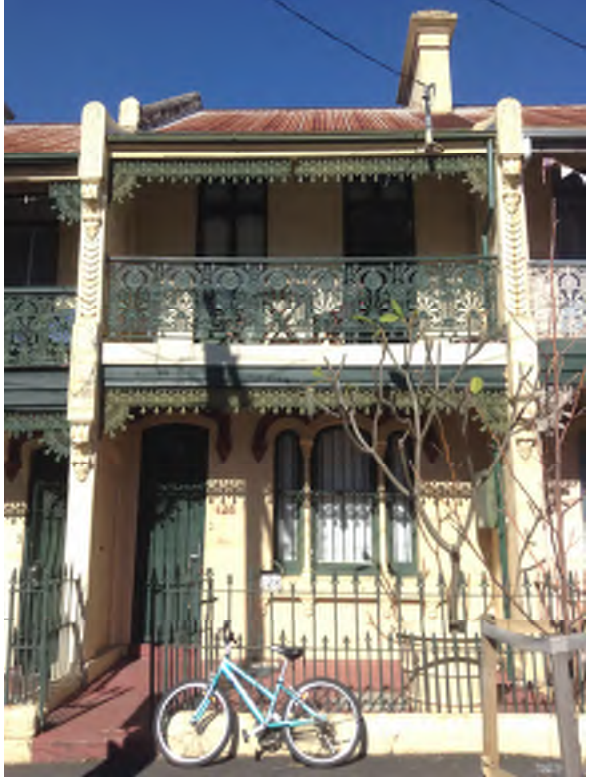
TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
130	1. Front fence + base and gate	A	Some finials on the fence are missing. Allow for replace to match.	
	2. Entry path	A		
	3. Garden	A		
	4. Porch	B		
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		



TERRACE NO.	PHOTOS
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TERRACE NO.	PHOTOS
130	



TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
129	1. Front fence + base and gate	B	Some mid vertical post with finials on the fence are missing. Gate missing latch. Allow for replace to match.	
	2. Entry path	A		
	3. Garden	B		
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


TERRACE NO.	PHOTOS	
129		



TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
128	1. Front fence + base and gate	B	Some finials on the fence are missing. Allow for replace to match.	
	2. Entry path	A		
	3. Garden	B	Landscape architect to advise if existing tree in pot to be retained and replanted in new garden bed?	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	A		
	8. Balustrade	A	Some lace work missing, allow for replace to match.	
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		

TERRACE NO.	PHOTOS	
128	 A photograph showing the exterior of Terrace 128. The building features a yellow wall with a green mailbox mounted on it. The cornice is decorated with intricate green and gold patterns. A white planter is visible in the foreground, and a metal fence is in the background.	 A close-up photograph of the decorative cornice of Terrace 128. The cornice is painted green and features intricate, repeating patterns of stylized plants and flowers. The patterns are set against a gold background. The cornice is mounted on a yellow wall.


TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
127	1. Front fence + base and gate	A	Some finials on the fence are missing. Allow for replace to match.	
	2. Entry path	A		
	3. Garden	A		
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of crack in party wall between No.126. (see photo below)- refer to engineer's detail.	
	7. Verandah	A		
	8. Balustrade	A	Upper level lace work missing, allow for new to match.	
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		

TERRACE NO.	PHOTOS	
127		



TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
126	1. Front fence + base and gate	B	Some finials on the fence and mid vertical post are missing. Allow for replace to match.	
	2. Entry path	A		
	3. Garden	A	Allow for removal of 2 trees.	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of crack in party wall between No.127. (see photo below)- refer to engineer's detail.	
	7. Verandah	A		
	8. Balustrade	A	Ground level lace work missing, allow for replace to match.	
	9. Gutters and downpipes	B	All for new fascia board.	
	10. Roof sheeting	B		


TERRACE NO.	PHOTOS	
126		

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
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TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
125 *	1. Front fence + base and gate	B	Remove portion of existing fence and all associated components to allow for 850mm clear opening. Remove party fence between No. 124. Refer to drawing for detail.	
	2. Entry path	B	Remove existing path, to allow for new accessible path. Refer to drawing for detail.	
	3. Garden	B	Remove existing tree to allow for new accessible ramp path. Refer to drawing for detail.	
	4. Porch	B	Remove portion of porch to allow for wheel chair turning circle at gate. Refer to drawing for detail.	
	5. Doors and Windows	A	Allow for removal of wrought iron security door and replace for new wrought iron security door to match Terrace no. 124.	
	6. External walls	A	Remove A/C unit and handover to University for storage.	
	7. Verandah	A		
	8. Balustrade	A	Upper level lace work missing, allow for replace to match.	
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


*Common Area Terrace


TERRACE NO.	PHOTOS	
125		


TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
124 *	1. Front fence + base and gate	B	Block gate, allow for new accessible ramp path to continue through from Terrace No.125. Refer to drawing for detail.	
	2. Entry path	B	Remove existing path, allow for new accessible path to entry door. Refer to drawing for detail.	
	3. Garden	B	Allow for new accessible ramp path to continue through from Terrace No.125. Refer to drawing for detail.	
	4. Porch	B	Remove porch to allow for wheel chair turning circle at ramp landing to entry door. Refer to drawing for detail.	
	5. Doors and Windows	B	Remove front door + screen door and portion of existing wall to install new door and frame for wheel chair access. Refer to drawing for detail.	
	6. External walls	B	Remove portion of existing door, make good surround walls. Allow for repaint walls. Refer to drawing for detail.	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


*Common Area Terrace



TERRACE NO.	PHOTOS
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TERRACE NO.	PHOTOS
124	

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
123	1. Front fence + base and gate	A	Some finials on the fence are missing. Allow for replace to match.	
	2. Entry path	A		
	3. Garden	A		
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


TERRACE NO.	PHOTOS
123	 The table contains two photographs of Terrace 123. The left photograph shows a balcony with a green metal railing and a brick wall. The right photograph shows a close-up of a brick wall with a small arched opening and a utility meter.

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
122	1. Front fence + base and gate	B	Remove rotten timber capping over fence. Allow for finials.	
	2. Entry path	B		
	3. Garden	A		
	4. Porch	B		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of crack in party wall between No.121, see photos below - refer to engineers detail.	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


TERRACE NO.	PHOTOS	
122		


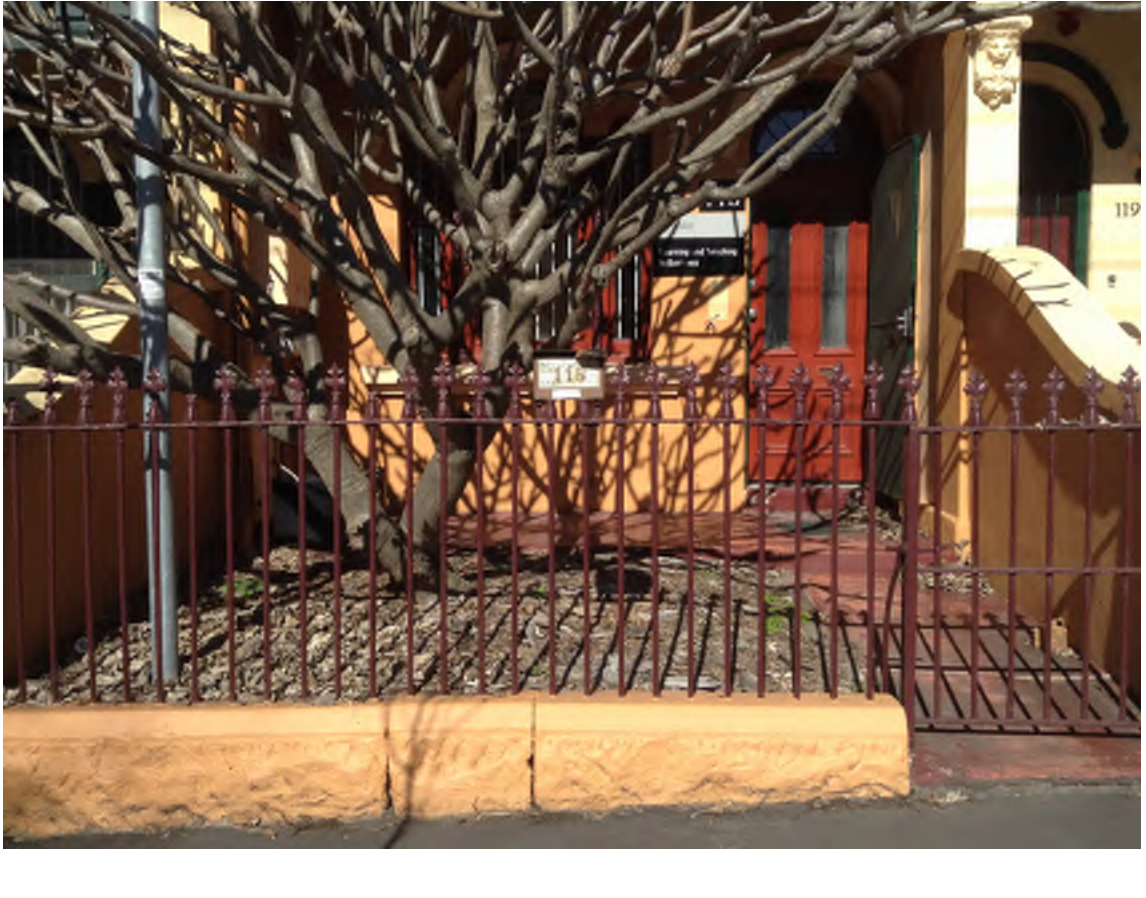
TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
121	1. Front fence + base and gate	B	Repair render to party wall between No. 122.	
	2. Entry path	A	Allow for removal of railing along ramp.	
	3. Garden	A		
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of crack in party wall between No.122. (see photo below – refer to engineer’s detail.	
	7. Verandah	B		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


TERRACE NO.	PHOTOS
121	



TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
119	1. Front fence + base and gate	A		
	2. Entry path	A		
	3. Garden	A		
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of party wall between No.118 + 120. (wall disjointed with the house- see photos below - refer to engineers detail)	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B	Allow for new fascia board.	
	10. Roof sheeting	B		


TERRACE NO.	PHOTOS	
119		

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
118	1. Front fence + base and gate	A		
	2. Entry path	A		
	3. Garden	A		
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of party wall between No.119. (wall disjointed with the house- refer to engineers detail)	
	7. Verandah	B		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		

TERRACE NO.	PHOTOS	
118		


TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
117	1. Front fence + base and gate	B		
	2. Entry path	B		
	3. Garden	A	Allow for lower garden bed level.	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		



TERRACE NO.	PHOTOS	
117		


TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
116	1. Front fence + base and gate	B	Allow to replace base wall and replace fence, retain gate. Allow for removal of finials for re-use on existing gate.	
	2. Entry path	B	Remove existing brick path and allow for new concrete slab.	
	3. Garden	A		
	4. Porch	B		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of low party wall between No.117. (crack between low wall and the house- see photo below - refer to engineers detail)	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		



TERRACE NO.	PHOTOS
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TERRACE NO.	PHOTOS	
116		




TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
115	1. Front fence + base and gate	B	Some finials are missing, allow for replace to match.	
	2. Entry path	B	Allow for repair crack in garden bed wall along path way and step to porch.	
	3. Garden	A		
	4. Porch	B		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of low party wall between No.114. (crack between low wall and the house- refer to engineers detail)	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


TERRACE NO.	PHOTOS	
115	 A photograph showing a concrete terrace area. In the background, there is a doorway with a green door and a yellow wall. A low concrete wall runs along the right side of the terrace. The concrete shows signs of wear and discoloration. A shadow of the person taking the photo is visible in the foreground.	 A close-up photograph of the base of a concrete wall. The concrete is severely damaged, with large areas of peeling and cracking. A yellow pipe is visible running along the base of the wall. The ground in the foreground is dark asphalt with some white and orange markings.




TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
114	1. Front fence + base and gate	B	Some finials are missing, allow for replace to match.	
	2. Entry path	A		
	3. Garden	B	Allow to lower garden bed level.	
	4. Porch	B		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of low party wall between No.115. (crack between low wall and the house- see photo below- refer to engineers detail)	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


TERRACE NO.	PHOTOS	
114		

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
113	1. Front fence + base and gate	B	Some finials are missing, allow for replace to match.	
	2. Entry path	B		
	3. Garden	B	Allow to lower garden bed level.	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of low party wall between No.114. (crack between low wall and the house and up at the balustrade level - refer to engineers detail). Allow for patch above entry door and repaint all walls.	
	7. Verandah	A	Allow for new cover board below balustrade.	
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


TERRACE NO.	PHOTOS		
113			

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
112	1. Front fence + base and gate	B	Some finials are missing, allow for replace to match.	
	2. Entry path	A		
	3. Garden	A	Allow for removal of hedges.	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair crack in low party wall between No.113 & 111 – see photos below -refer to engineers detail).	
	7. Verandah	B	Remove existing verandah and allow to match adjoining neighbor (No 113)	
	8. Balustrade	B	Remove existing timber balustrade panels, install cast iron lace balustrade panels to match adjoining neighbour (No. 113) lace balustrade, raise height to meet compliance.	
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


TERRACE NO.	PHOTOS		
112			



TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
111	1. Front fence + base and gate	B	Some finials are missing, allow for replace to match.	
	2. Entry path	B	Remove existing ramp and allow for new concrete path. Refer to drawing for detail.	
	3. Garden	B	Remove existing ramp and allow for new garden bed. Refer to drawing for detail.	
	4. Porch	B	Remove existing ramp and allow for new concrete porch. Refer to drawing for detail.	
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair crack in low party wall between No.113 & 111 –see photos below - refer to engineers detail).	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


TERRACE NO.	PHOTOS		
111			



TERRACE NO.	ITEMS	CONDITIONS	COMMENTS	PHOTOS
110	1. Front fence + base and gate	B	Some finials are missing, allow for replace to match.	
	2. Entry path	A	Remove tactile indicator tiles, allow to patch and repaint.	
	3. Garden	A		
	4. Porch	B	Remove tactile indicator tiles and allow to patch and paint finish.	
	5. Doors and Windows	A		
	6. External walls	B	Allow to extend party (low level) wall between No.111. see photo below – refer to engineer’s detail.	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		

TERRACE NO.	PHOTOS	
110	 A photograph showing a concrete walkway leading to a building entrance. The walkway is bordered by a low concrete curb on the left and a white wall on the right. In the background, there is a window with a red step leading up to it.	 A photograph showing a green metal fence with a white pillar, situated next to a building entrance. The fence is partially obscured by dense green foliage. A concrete walkway is visible in the foreground.


TERRACE NO.	ITEMS	CONDITIONS	COMMENTS	PHOTOS
109	1. Front fence + base and gate	B	Some finials are missing, allow for replace to match.	
	2. Entry path	B		
	3. Garden	A	Allow for removal of bottle brush tree, retain frangipani.	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair of low party wall between No.110. (crack between low wall and the house – see photos below - refer to engineers detail).	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


TERRACE NO.	PHOTOS	
109		


TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
108	1. Front fence + base and gate	B	Some finials and vertical rods are missing. Allow for replace to match.	
	2. Entry path	B		
	3. Garden	A		
	4. Porch	A		
	5. Doors and Windows	B		
	6. External walls	B	Allow for repair crack in low party wall between No.109 – see photos below - refer to engineers detail). Remove wall railing.	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		



TERRACE NO.	PHOTOS	
108		

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
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TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
107	1. Front fence + base and gate	B	Some finials are missing, allow for replace to match.	
	2. Entry path	B		
	3. Garden	A	Allow to lower garden bed level.	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair crack in low party wall between No.108 + 106- see photo below - refer to engineers detail).	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


TERRACE NO.	PHOTOS
107	

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
106	1. Front fence + base and gate	B	Some finials are missing, allow for replace to match.	
	2. Entry path	B		
	3. Garden	A	Remove hedge, retain frangipani	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


TERRACE NO.	PHOTOS	
106		

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
105	1. Front fence + base and gate	B		
	2. Entry path	A		
	3. Garden	A		
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair crack in low party wall between No.106 + 104- see photos below - refer to engineers detail).	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		

TERRACE NO.	PHOTOS	
105		


TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
104	1. Front fence + base and gate	B		
	2. Entry path	A		
	3. Garden	B	Allow for removal of existing tree as advised by landscape architect.	
	4. Porch	B		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair crack in low party wall between No.105 + 104- refer to engineers detail).	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		

TERRACE NO.	PHOTOS	
104	 A photograph showing a narrow terrace area. The ground is covered with brown mulch and scattered white plastic waste. A bright yellow circle is drawn on the mulch in the foreground. To the right is a light-colored wall with a blue mesh fence on top. A grey container is visible in the background.	 A photograph of a terrace area with a red-painted concrete surface. A blue mesh fence runs along the right side. The shadow of a person taking the photo is cast on the red surface. There is some debris on the ground.



TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
103 *	1. Front fence + base and gate	B	Remove portion of existing fence and all associated components to allow for 850mm clear opening. Remove party fence between No. 102. Refer to drawing for detail.	
	2. Entry path	B	Remove existing path, refer to drawing for new accessible path.	
	3. Garden	B	Allow for new accessible path. Refer to drawing for detail.	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair crack in party wall between No.104 – see photo below -refer to engineers detail).	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


*Common Area Terrace

TERRACE NO.	PHOTOS
103	



TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
102 *	1. Front fence + base and gate	B	Block gate, allow for new accessible ramp path to continue through from Terrace No.103. Refer to drawing for detail.	
	2. Entry path	B	Remove existing path, allow for new accessible path to entry door. Refer drawing for new path.	
	3. Garden	B	Allow for new accessible path. Refer to drawing for detail.	
	4. Porch	B	Allow for new accessible path. Refer to drawing for detail. Allow to replace tessellated tiles.	
	5. Doors and Windows	B	Remove front door + screen door and portion of existing wall to install new door and frame for wheel chair access. Refer drawing for detail.	
	6. External walls	B	Remove portion of existing door, make good surround walls. Allow for re-render to north wall and repaint.	
	7. Verandah	A	Allow for new cover boards.	
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


*Common Area Terrace



TERRACE NO.	PHOTOS	
102		


TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
101 *	1. Front fence + base and gate	B	Remove portion of existing fence and all associated components to allow for 850mm clear opening	
	2. Entry path	B	Remove and store existing pavers and rope edging strip for reuse. refer to drawing for new accessible path.	
	3. Garden	B	Allow for new accessible path, refer to drawing for detail.	
	4. Porch	B	Allow for new accessible path, refer to drawing for detail.	
	5. Doors and Windows	B	Remove front door + screen door and portion of existing wall to install new door and frame for wheel chair access.	
	6. External walls	B	Allow for repair crack in party wall between No.100 - refer to engineers detail). Allow for repaint all walls.	
	7. Verandah	A	Allow for new cover boards to match.	
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


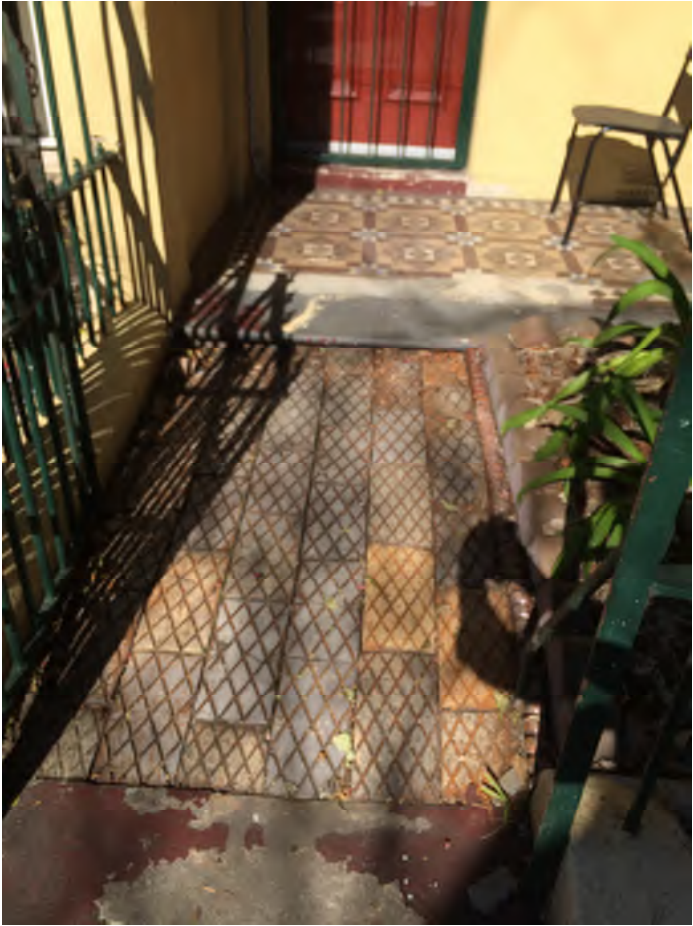
*Admin Terrace


TERRACE NO.	PHOTOS	
101		


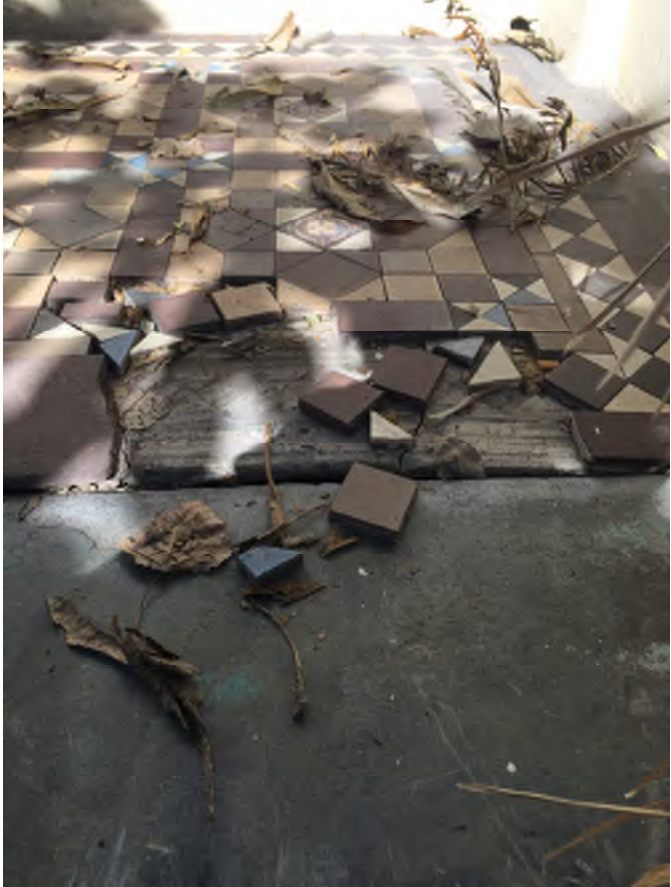
TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
100	1. Front fence + base and gate	B		
	2. Entry path	B		
	3. Garden	B	Allow for removal of existing tree as advised by landscape architect.	
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	B	Allow for new cover boards to match.	
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		


TERRACE NO.	PHOTOS	
100		

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
99	1. Front fence + base and gate	A		
	2. Entry path	A		
	3. Garden	A		
	4. Porch	A	Tessellated tiles to existing porch.	
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair crack in party wall between No.98 - refer to engineers detail).	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


TERRACE NO.	PHOTOS	
99		



TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
98	1. Front fence + base and gate	A		
	2. Entry path	A		
	3. Garden	A		
	4. Porch	B	Allow to replace and fix down any loose tessellated tiles.	
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


TERRACE NO.	PHOTOS	
98		

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
96	1. Front fence + base and gate	A		
	2. Entry path	B		
	3. Garden	B		
	4. Porch	B	Allow to replace and fix down any loose tessellated tiles.	
	5. Doors and Windows	A		
	6. External walls	A		
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		


TERRACE NO.	PHOTOS	
96		

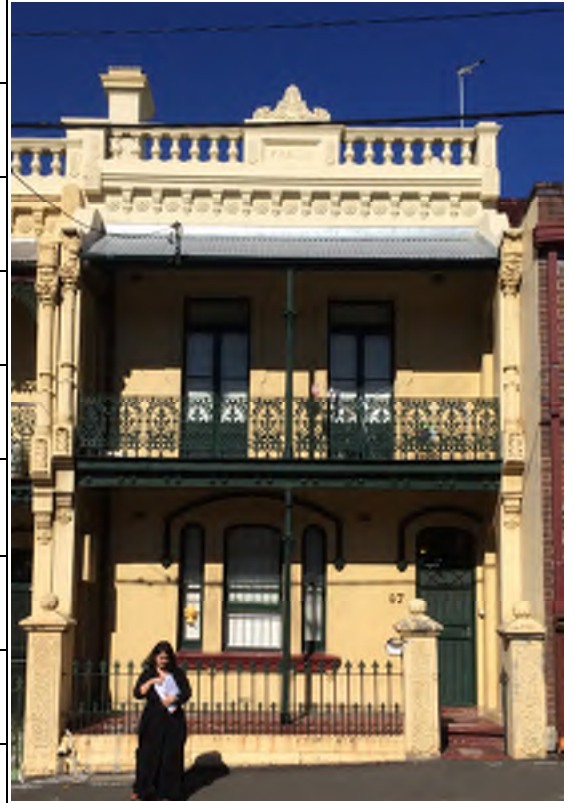
TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
95	1. Front fence + base and gate	B	Allow for repair to damaged fence and base wall between No. 96.	
	2. Entry path	A		
	3. Garden	A		
	4. Porch	A		
	5. Doors and Windows	A		
	6. External walls	B	Allow for repair damaged party wall and decorative moulding between No. 96. – refer to engineer's detail.	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	B		
	10. Roof sheeting	B		



TERRACE NO.	PHOTOS	
95	 A photograph showing a concrete drainage channel or gutter system. A green downspout pipe is attached to the left side of the channel. The area is cluttered with dry leaves and some green plants. A metal railing is visible in the background.	 A photograph of a concrete walkway or landing area. The concrete surface is heavily stained and has significant peeling paint, showing a dark grey base. A metal railing is on the left side. The area is partially shaded by a building overhang.


TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
94 *	1. Front fence + base and gate	B	Remove portion of existing fence and all associated components to allow for 850mm clear opening. Refer to drawing for detail.	
	2. Entry path	B	Remove existing path, refer to drawing for new accessible path.	
	3. Garden	A	Allow for new accessible path. Refer to drawing for detail.	
	4. Porch	B	Tessellated tiles to existing porch. Allow for new accessible path. Refer to drawing for detail. TBC with Heritage if new access path require to reuse tessellated tiles?	
	5. Doors and Windows	B	Remove front door + screen door and portion of existing wall to install new door and frame for wheel chair access. Refer drawing for detail	
	6. External walls	B	Remove portion of existing door, make good surround walls.	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		

*Common Area Terrace

TERRACE NO	PHOTOS
94	 The table contains two photographs of Terrace 94. The left photograph shows a long, narrow garden bed filled with green plants, bordered by a tiled path with a geometric pattern of red, blue, and white tiles. A yellow wall and a window with a red ledge are visible in the background. The right photograph is a close-up of the tiled path, showing a green door and a green metal fence in the foreground.

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
87	1. Front fence + base and gate	A		
	2. Entry path	A		
	3. Garden	-	No new garden to front façade.	
	4. Porch	B		
	5. Doors and Windows	A		
	6. External walls	B	Repair crack in low party wall between 86.	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		

TERRACE NO	PHOTOS	
87	 A photograph showing a red-painted terrace floor with a black metal railing. The railing has decorative finials. The floor shows signs of wear and peeling paint. A yellow wall with a window is visible in the background.	 A close-up photograph of a red-painted terrace floor with a black metal railing. The railing has decorative finials. The floor shows signs of wear and peeling paint. A green door is visible in the background.

TERRACE NO.	ELEMENT	CONDITIONS	COMMENTS	PHOTOS
86	1. Front fence + base and gate	A		
	2. Entry path	A		
	3. Garden	-	No new garden to front façade.	
	4. Porch	B		
	5. Doors and Windows	A		
	6. External walls	B	Repair crack in low party wall between 87.	
	7. Verandah	A		
	8. Balustrade	A		
	9. Gutters and downpipes	A		
	10. Roof sheeting	A		

TERRACE NO	PHOTOS
86	