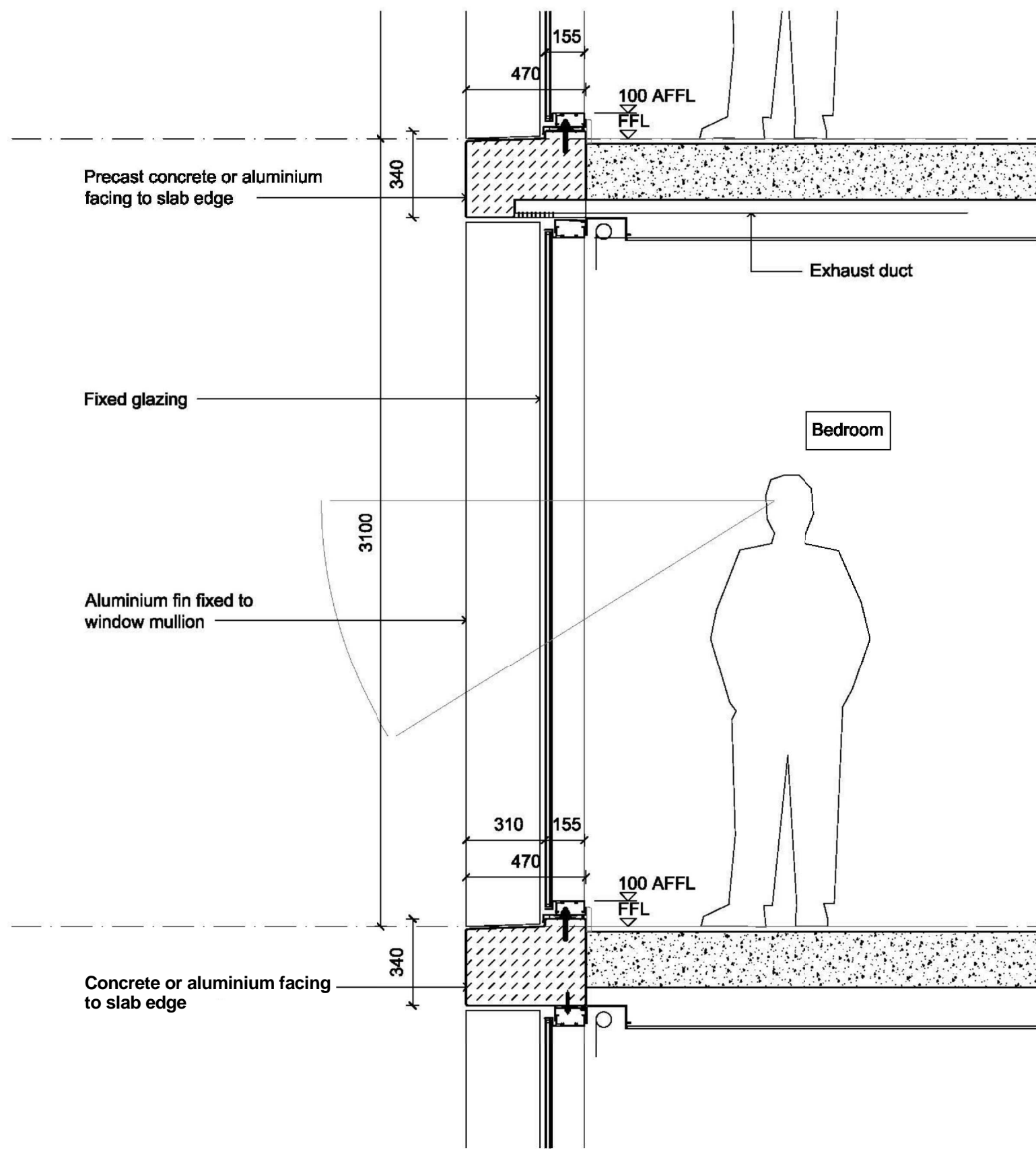


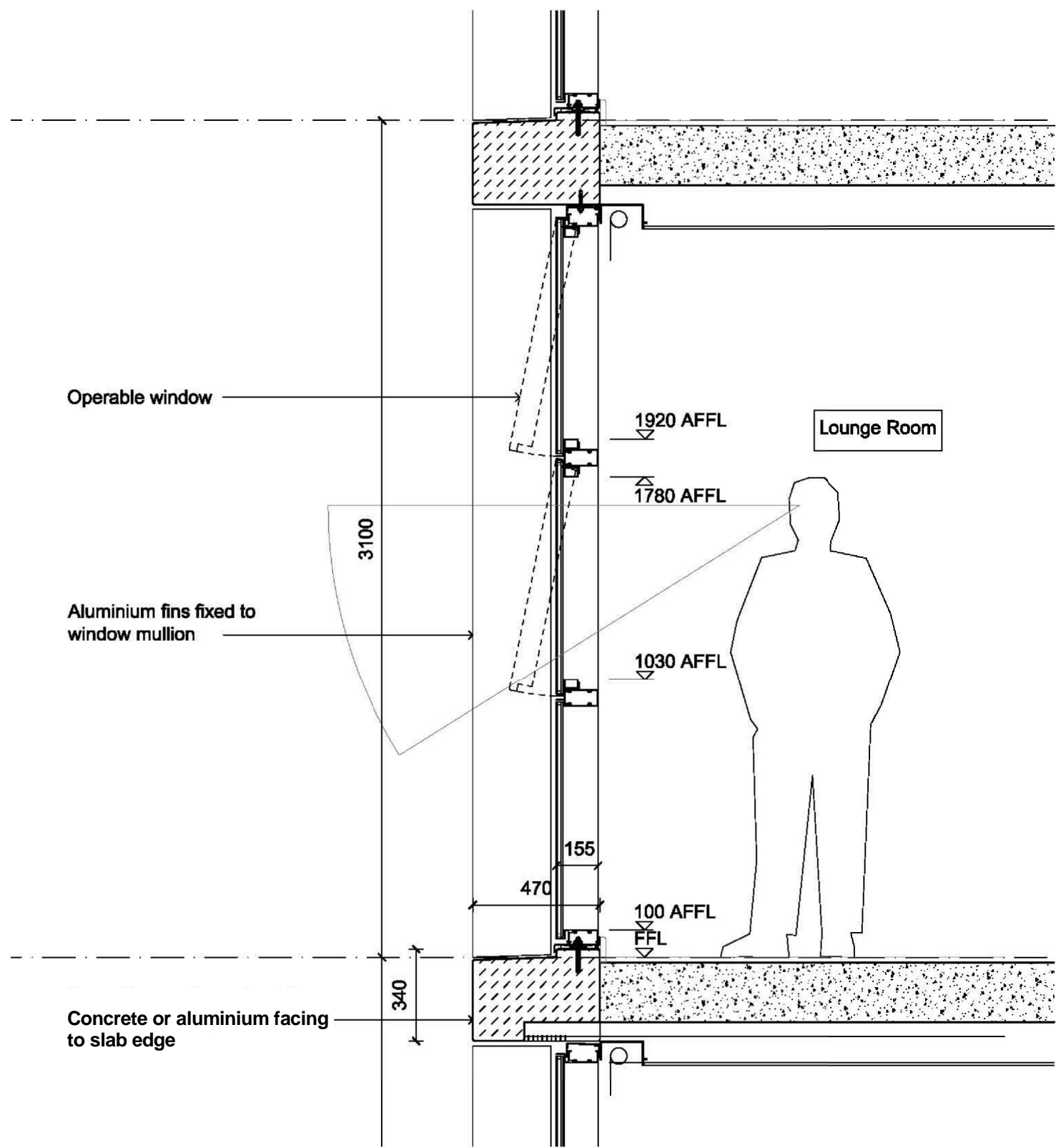
Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

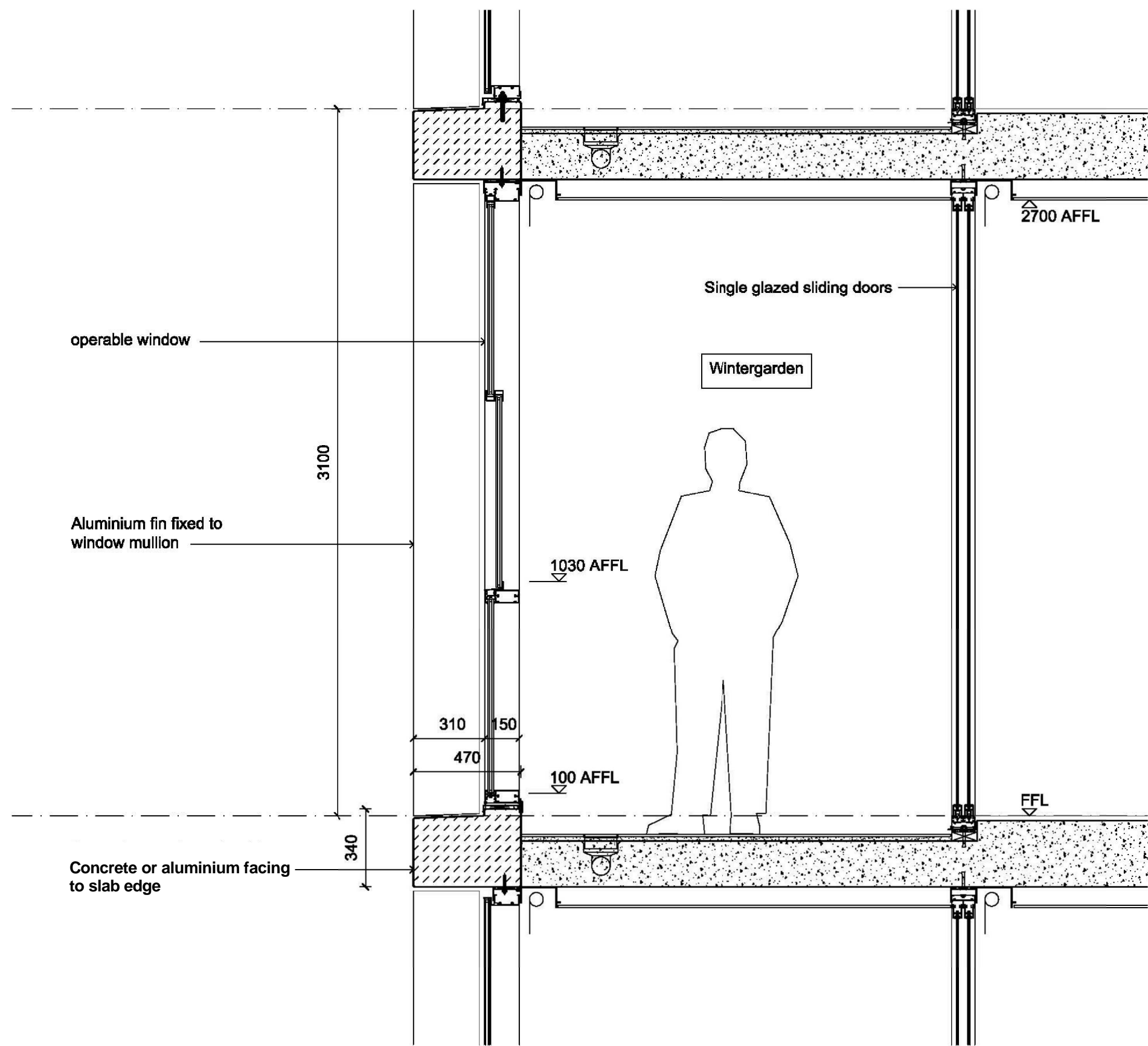
All drawings may not be reproduced or distributed without prior permission from the architect.



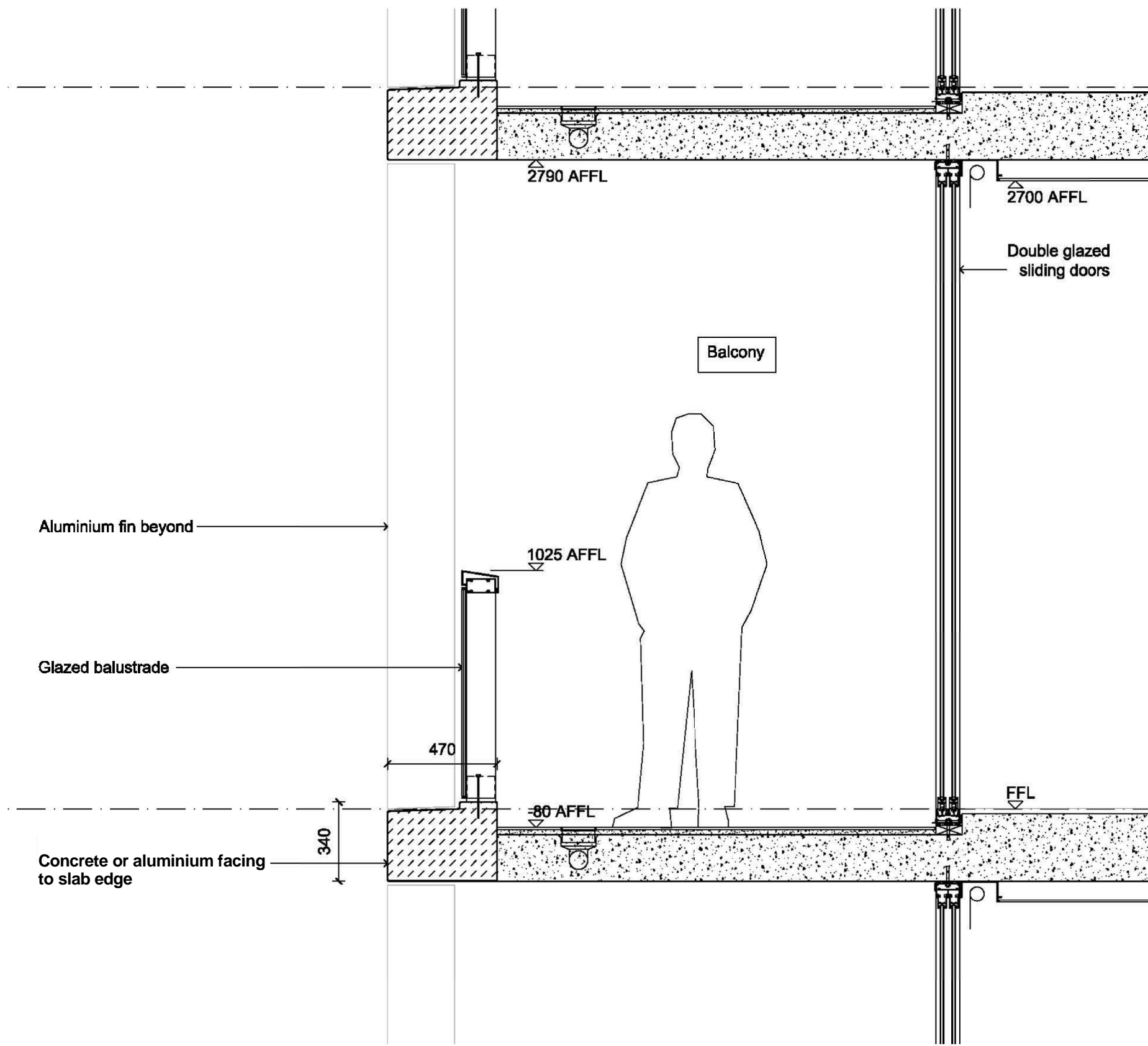
1 Condition 01 - Fixed Glazing
1 : 20



2 Condition 02 - Operable Window
1 : 20



3 Condition 03 - Penthouse Wintergarden
1 : 20



4 Condition 04 - Balcony
1 : 20

B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



Site 9, Sydney Olympic Park 3 Olympic Boulevard

Tower Facade Conditions 01-04 - Indicative Detail Sections

Status	Development Application
Scale	1 : 20 @ A1
Drawn	Author Checked Checker
Project No.	S11890
Plot Date	20/07/2016 3:14:19 PM
Plot File	

Drawing no.	Revision
DA10.001	B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email: mel@batesmart.com.au
http://www.batesmart.com.au

Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email: syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and of the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Notes - Construction General (BASIX)

Glazing
Doors / windows:
- Aluminium framed **single clear** glazing to internal windows that open to wintergardens
U-Value: 6.6 (equal to or lower than)
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.
U-Value: 4.4 (equal to or lower than)
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

Roof / ceiling insulation

Roof:
Concrete roof - No insulation

Default Colour modelled

Ceiling:
Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

Wall / floor insulation

External Wall:
Lightweight cladding to all external walls with R1.5 bulk insulation
No colour nominated

Internal walls within units:
Plasterboard on studs - no insulation

Inter-tenancy walls / corridor:
75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Floors:
Concrete - R2.1 insulation to all units in level 7 with car park below
Concrete - no insulation required between units

Floor coverings:
1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans
All 3 & 4 bed apartments tiled throughout

Central hot water system
Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

Reticulated alternative water
Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building
(No rainwater tank required for BASIX compliance)

Alternative energy
Not required by BASIX

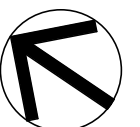
B	20.07.16	Amended DA Issue	JS	CP
A	01.03.16	Development Application	JS	CP
Revision	Date	Description	Initial	Checked

Client: Ecove



Site 9, Sydney Olympic Park
3 Olympic Boulevard

Shadow Diagrams
Winter Solstice June 21



Status	Development Application		
Scale	As indicated	@	A1
Drawn	JS	Checked	CP
Project No.	S11890		
Plot Date	20/07/2016 3:18:11 PM		
Plot File			

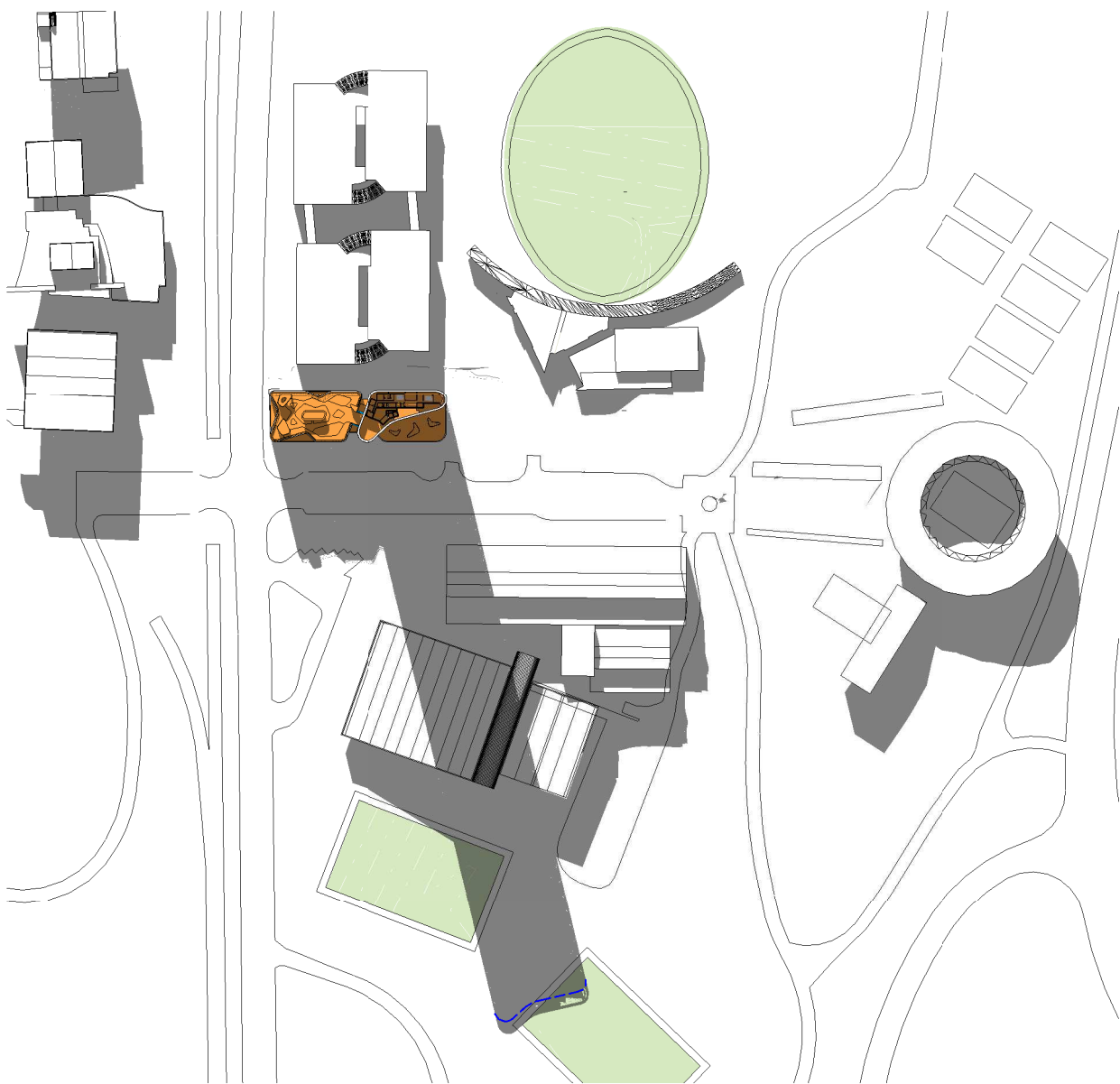
Drawing no.	Revision
DA50.001	B

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email: mel@batesmart.com.au
http://www.batesmart.com.au

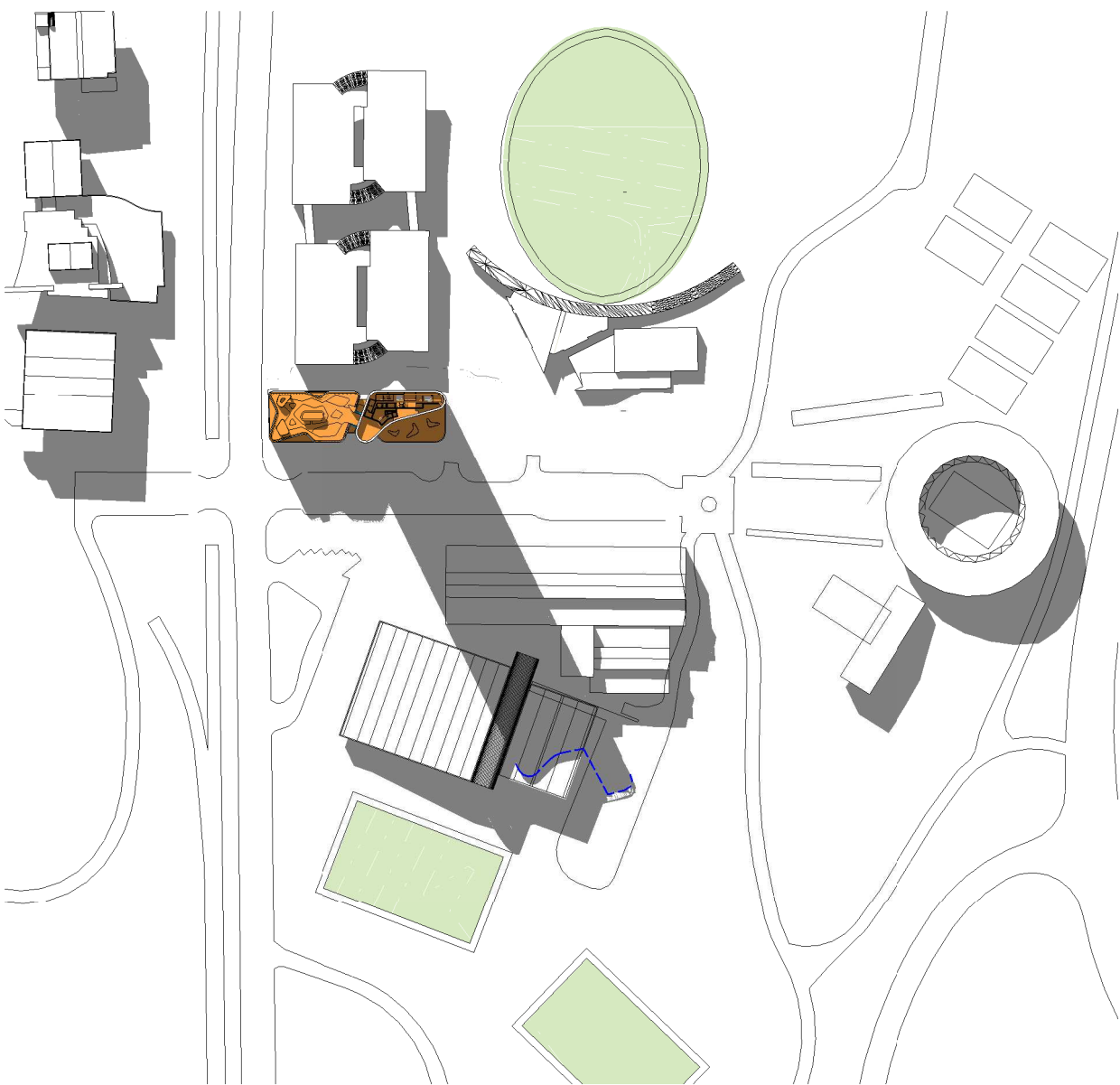
Sydney 43 Brisbane Street
Surry Hills NSW 2010 Australia
T 02 8354 5100 F 02 8354 5199
email: syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

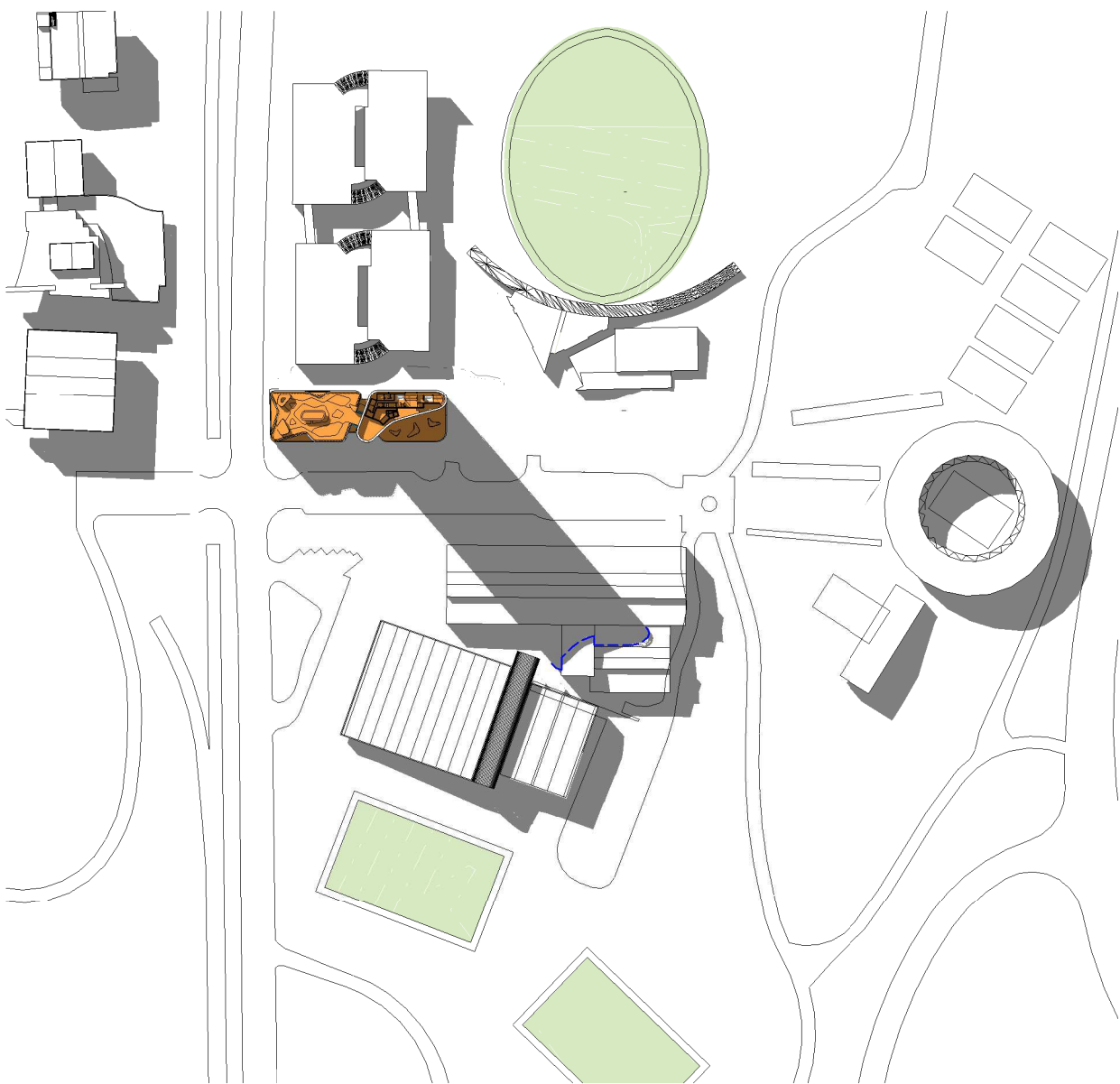
BATESSMART™



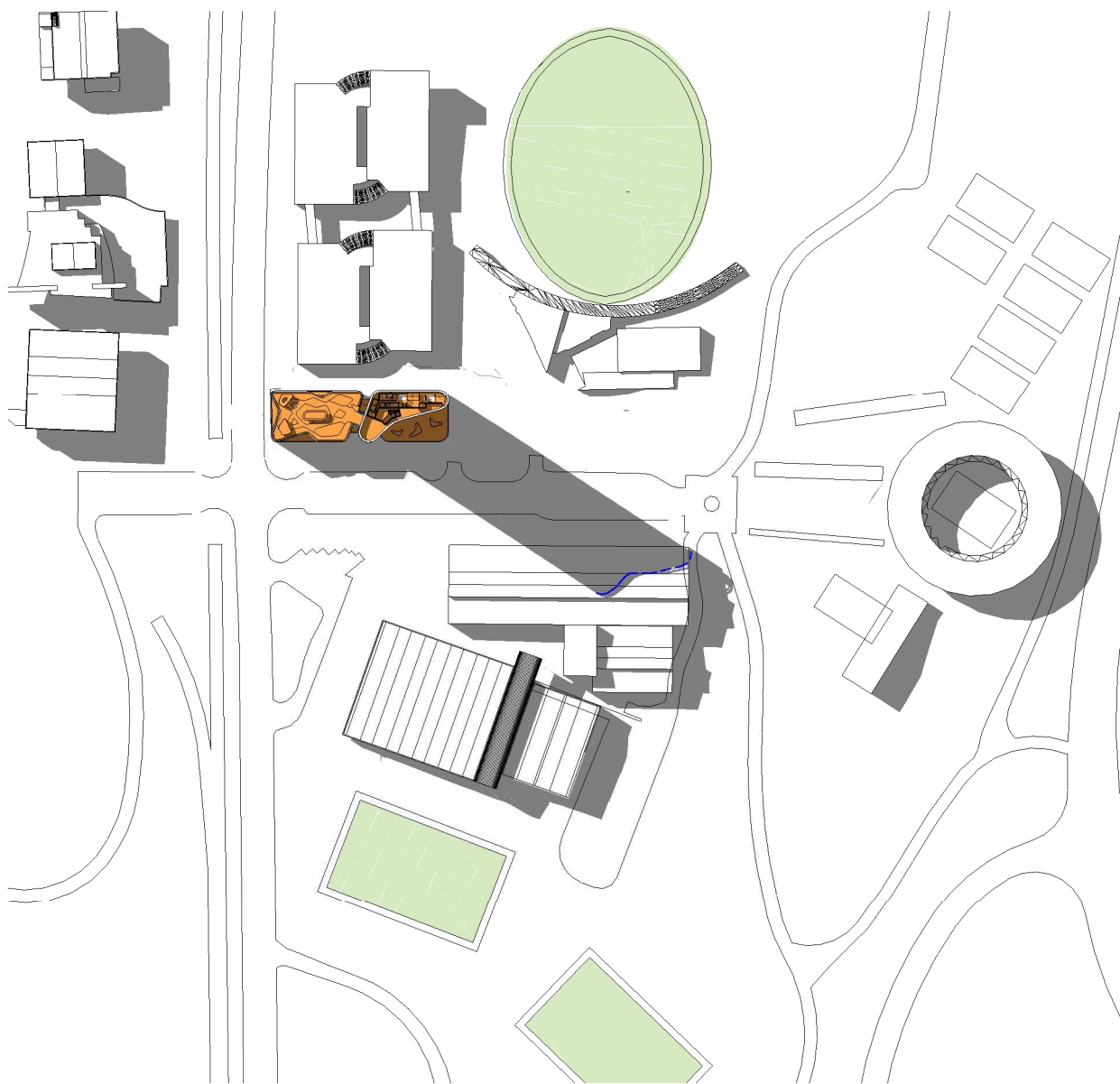
1 June 21st, 9am
1 : 4000



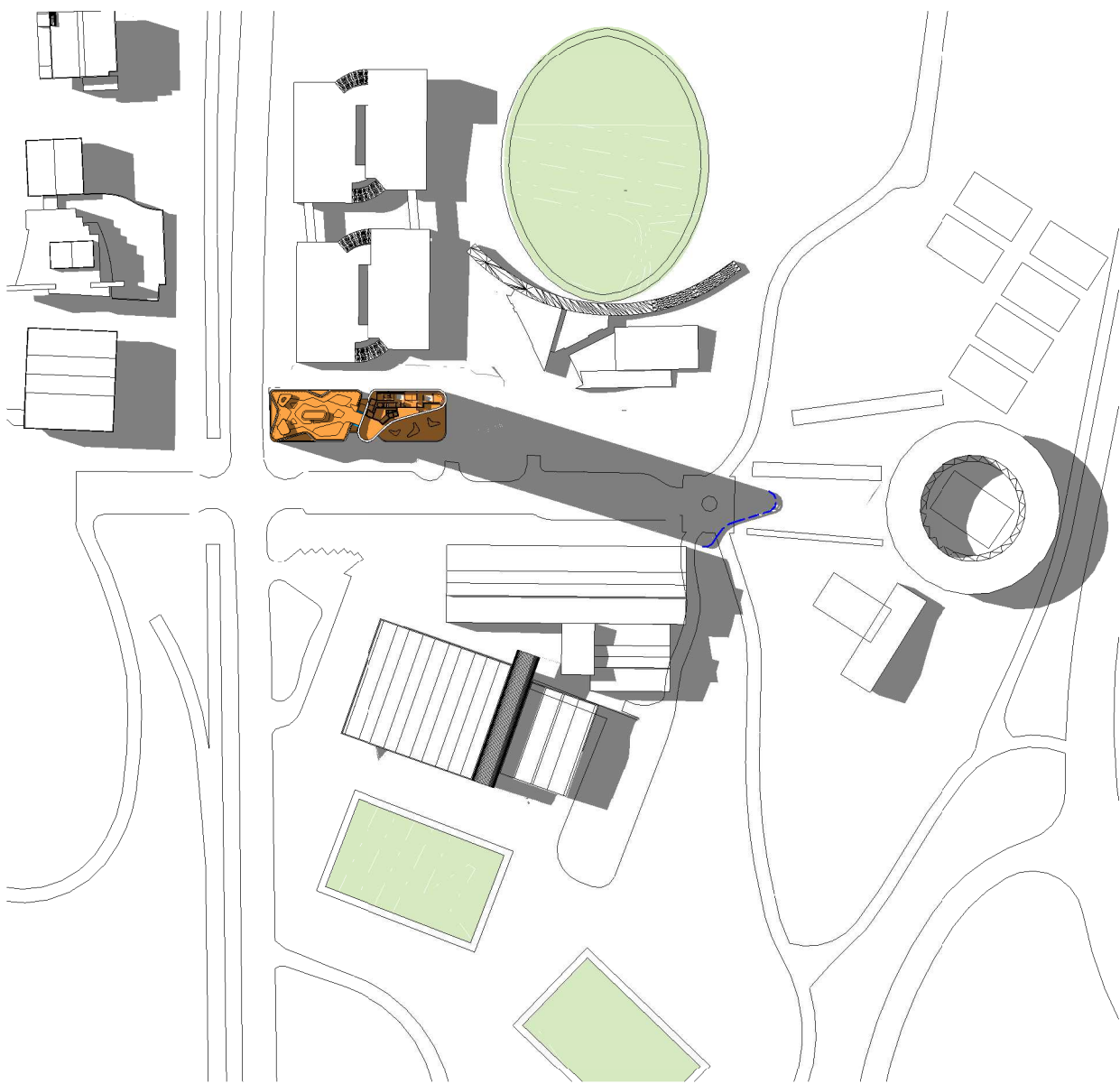
2 June 21st, 10am
1 : 4000



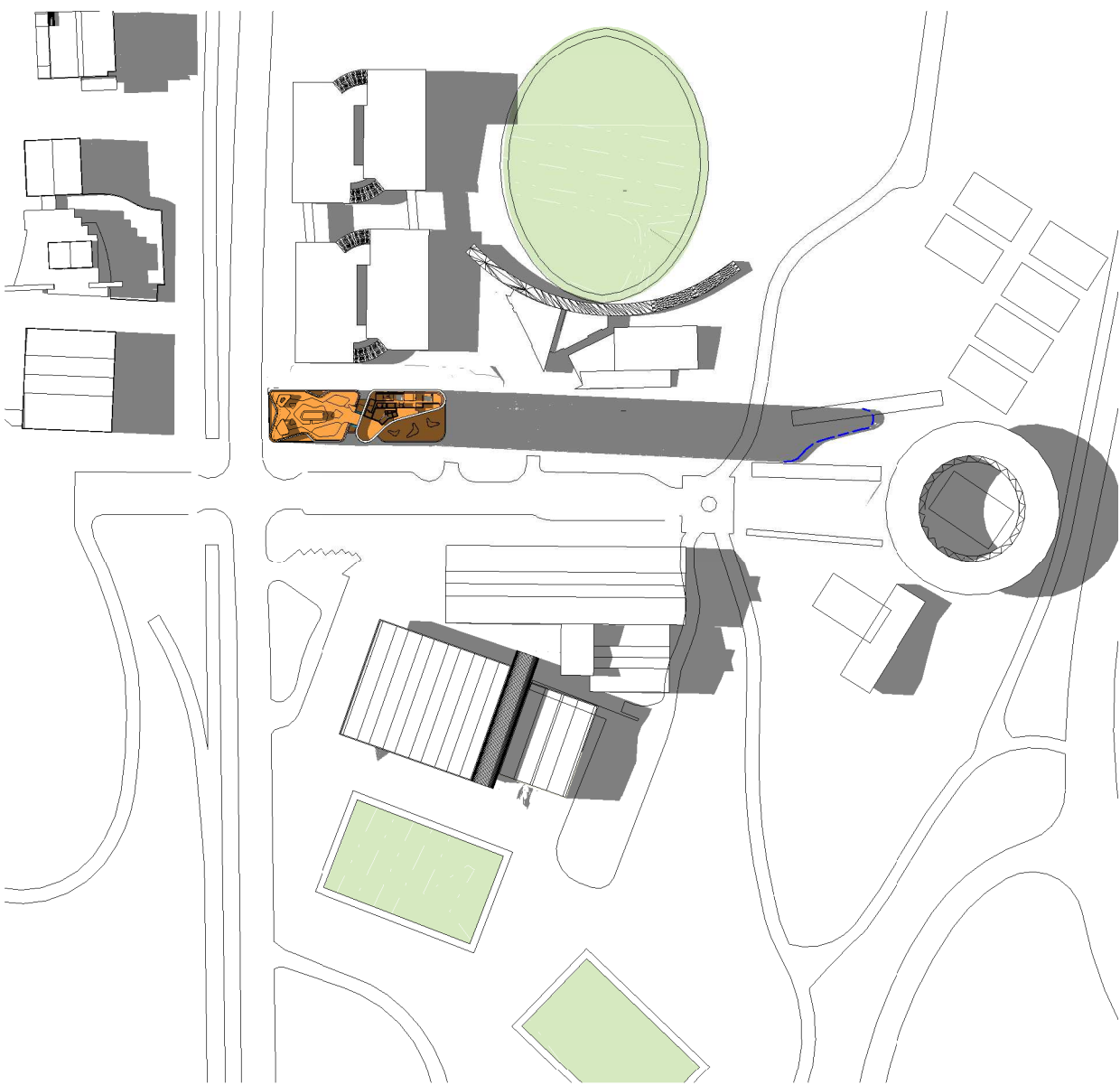
3 June 21st, 11am
1 : 4000



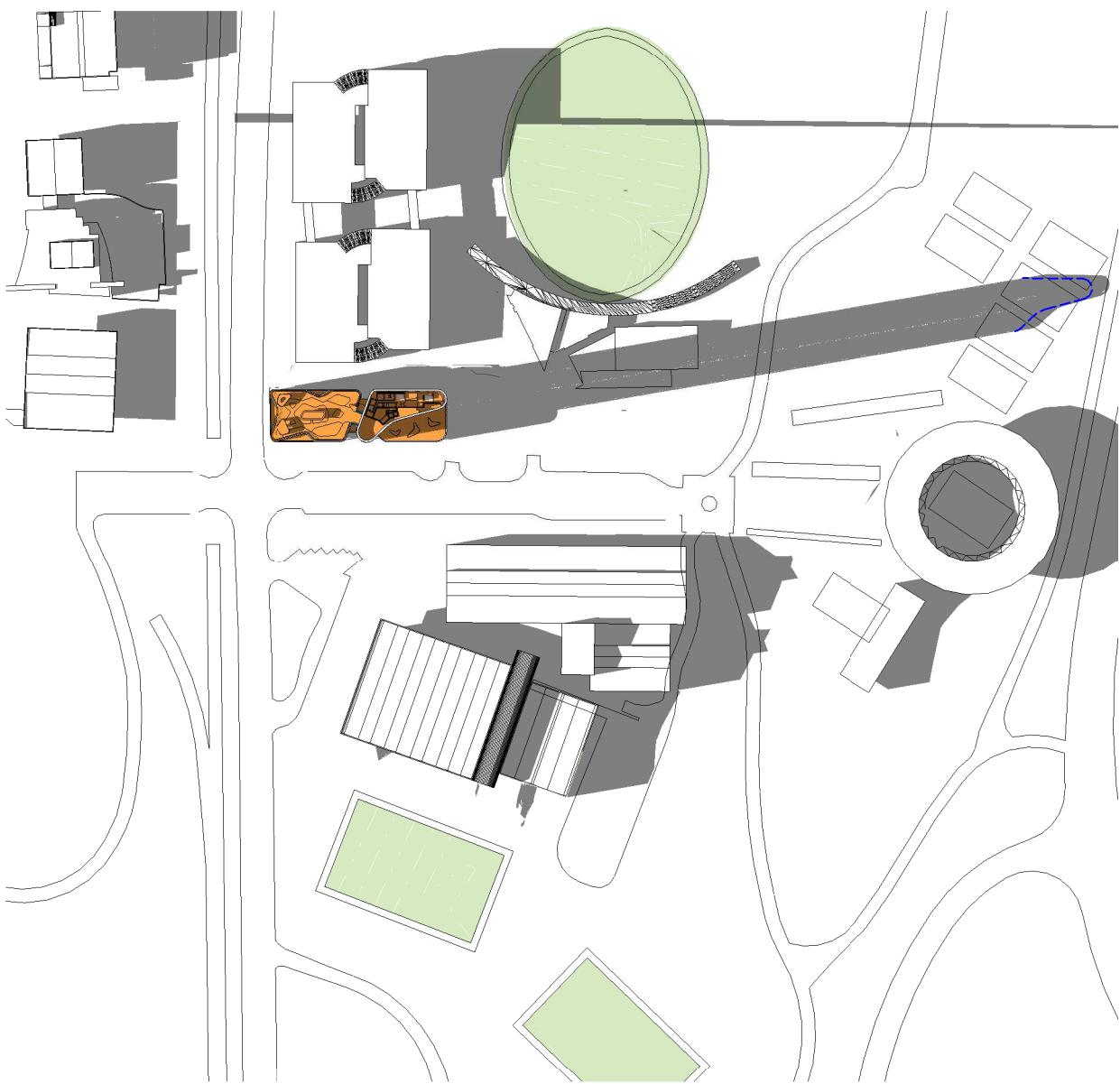
4 June 21st, 12pm
1 : 4000



5 June 21st, 1pm
1 : 4000



6 June 21st, 2pm
1 : 4000



7 June 21st, 3pm
1 : 4000

Extent of overshadowing at 122 metres