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**BATES**SMART™





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**Alternative energy**  
Not required by BASIX

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All drawings may not be reproduced or distributed without prior permission from the architect.

Given values are NFRC, total window values

Concrete roof - No insulation

Default Colour modelled

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

### Wall / floor insulation

Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

**Internal walls within units:**  
Plasterboard on studs - no insulation

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation **to selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

Concrete – R2.1 insulation to all units in level 7 with car park below  
Concrete – no insulation required between units

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms  
and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

Central gas-fired boiler with R 1.0 (~38mm) insulation to ringmain and supply risers.

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building  
(No rainwater tank required for BASIX compliance)

Client: Ecove

|             |          |
|-------------|----------|
| Drawing no. | Revision |
|-------------|----------|

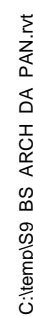
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### Notes - Construction General (BASIX)

#### Glazing

##### Doors / windows:

- Aluminium framed **single clear** glazing to internal windows that open to wintergardens  
U-Value: 6.6 (equal to or lower than)  
SHGC: 0.69 (+ or - 10%)

- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

##### Roof / ceiling insulation

**Roof:**  
Concrete roof - No insulation

Default Colour modelled

##### Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

##### Wall / floor insulation

###### External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

###### Internal walls within units:

Plasterboard on studs - no insulation

###### Inter-tenancy walls / corridor:

75mm hebel power panel plasterboard lined with R2.0 acoustic insulation to **selected units only (7.01 and 8.01)**

75mm hebel power panel plasterboard lined with R1.5 acoustic insulation to all other units.

###### Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

###### Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans

All 3 & 4 bed apartments tiled throughout

###### Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

###### Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building  
(No rainwater tank required for BASIX compliance)

###### Alternative energy

Not required by BASIX

|          |          |                         |         |         |
|----------|----------|-------------------------|---------|---------|
| B        | 20.07.16 | Amended DA Issue        | JS      | CP      |
| A        | 01.03.16 | Development Application | JS      | CP      |
| Revision | Date     | Description             | Initial | Checked |

Client: Ecove



## Site 9, Sydney Olympic Park 3 Olympic Boulevard

### General Arrangement Plan Level 20, 22, 24, 26



|             |                         |         |         |
|-------------|-------------------------|---------|---------|
| Status      | Development Application |         |         |
| Scale       | 1 : 100                 | @       | A1      |
| Drawn       | Author                  | Checked | Checker |
| Project No. | S11890                  |         |         |
| Plot Date   | 20/07/2016 3:01:17 PM   |         |         |
| Plot File   |                         |         |         |

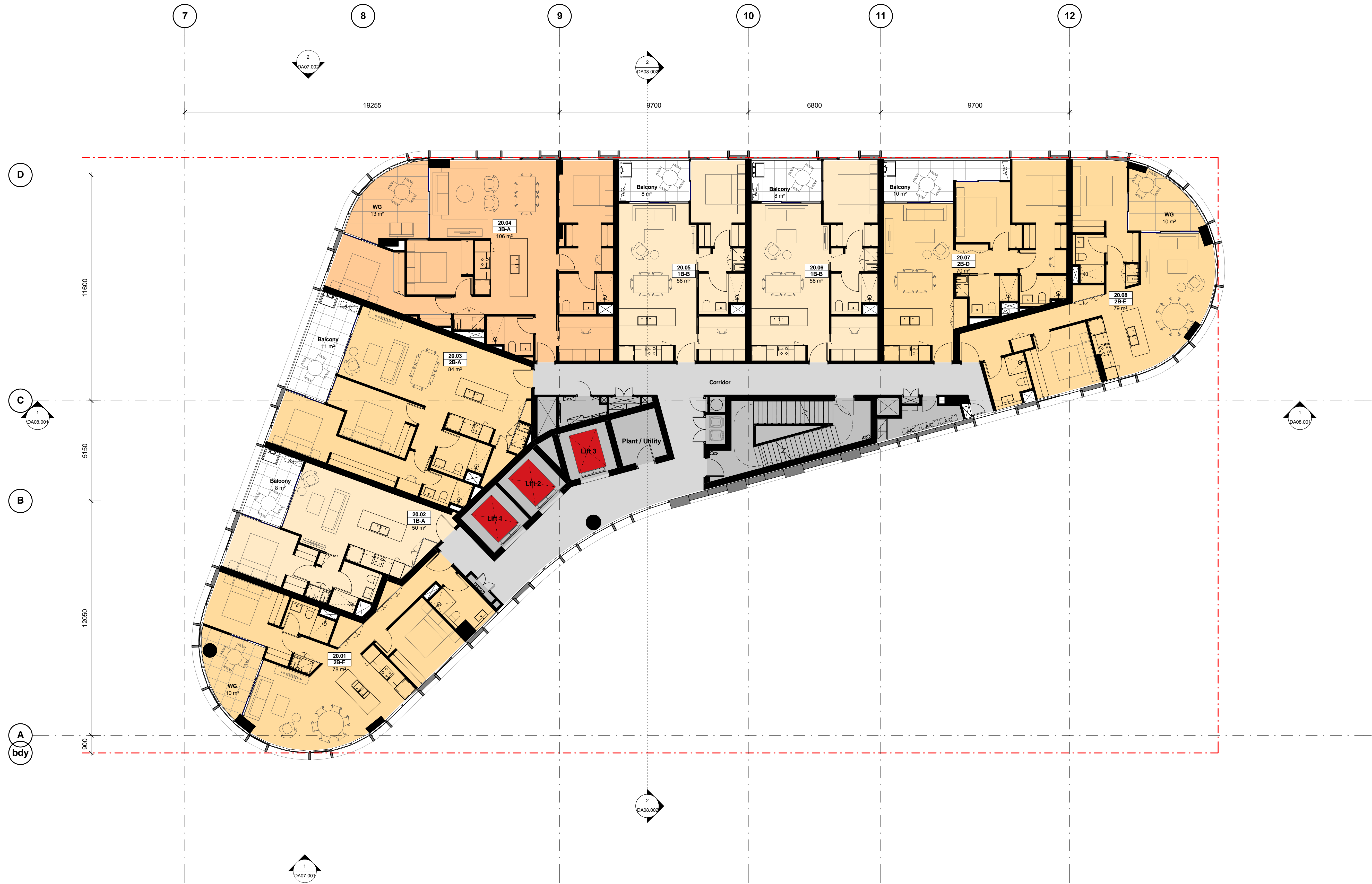
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| DA02.020    | B        |

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U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

##### Roof / ceiling insulation

**Roof:**  
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Default Colour modelled

##### Ceiling:

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(No rainwater tank required for BASIX compliance)

###### Alternative energy

Not required by BASIX

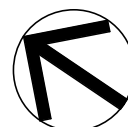
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| B        | 20.07.16 | Amended DA Issue        | JS      | CP      |
| A        | 01.03.16 | Development Application | JS      | CP      |
| Revision | Date     | Description             | Initial | Checked |

Client: Ecove



## Site 9, Sydney Olympic Park 3 Olympic Boulevard

### General Arrangement Plan Level 21, 23, 25



|             |                         |         |         |
|-------------|-------------------------|---------|---------|
| Status      | Development Application |         |         |
| Scale       | 1 : 100                 | @       | A1      |
| Drawn       | Author                  | Checked | Checker |
| Project No. | S11890                  |         |         |
| Plot Date   | 20/07/2016 3:01:39 PM   |         |         |
| Plot File   |                         |         |         |

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| Drawing no. | Revision |
| DA02.021    | B        |

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U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

##### Roof / ceiling insulation

**Roof:**  
Concrete roof - No insulation

Default Colour modelled

##### Ceiling:

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Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

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No colour nominated

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(No rainwater tank required for BASIX compliance)

###### Alternative energy

Not required by BASIX

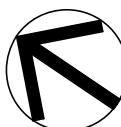
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| B        | 20.07.16 | Amended DA Issue        | JS      | CP      |
| A        | 01.03.16 | Development Application | JS      | CP      |
| Revision | Date     | Description             | Initial | Checked |

Client: Ecove



## Site 9, Sydney Olympic Park 3 Olympic Boulevard

### General Arrangement Plan Level 28, 30, 32, 34



|             |                         |         |         |
|-------------|-------------------------|---------|---------|
| Status      | Development Application |         |         |
| Scale       | 1 : 100                 | @ A1    |         |
| Drawn       | Author                  | Checked | Checker |
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| Plot Date   | 20/07/2016 3:02:24 PM   |         |         |
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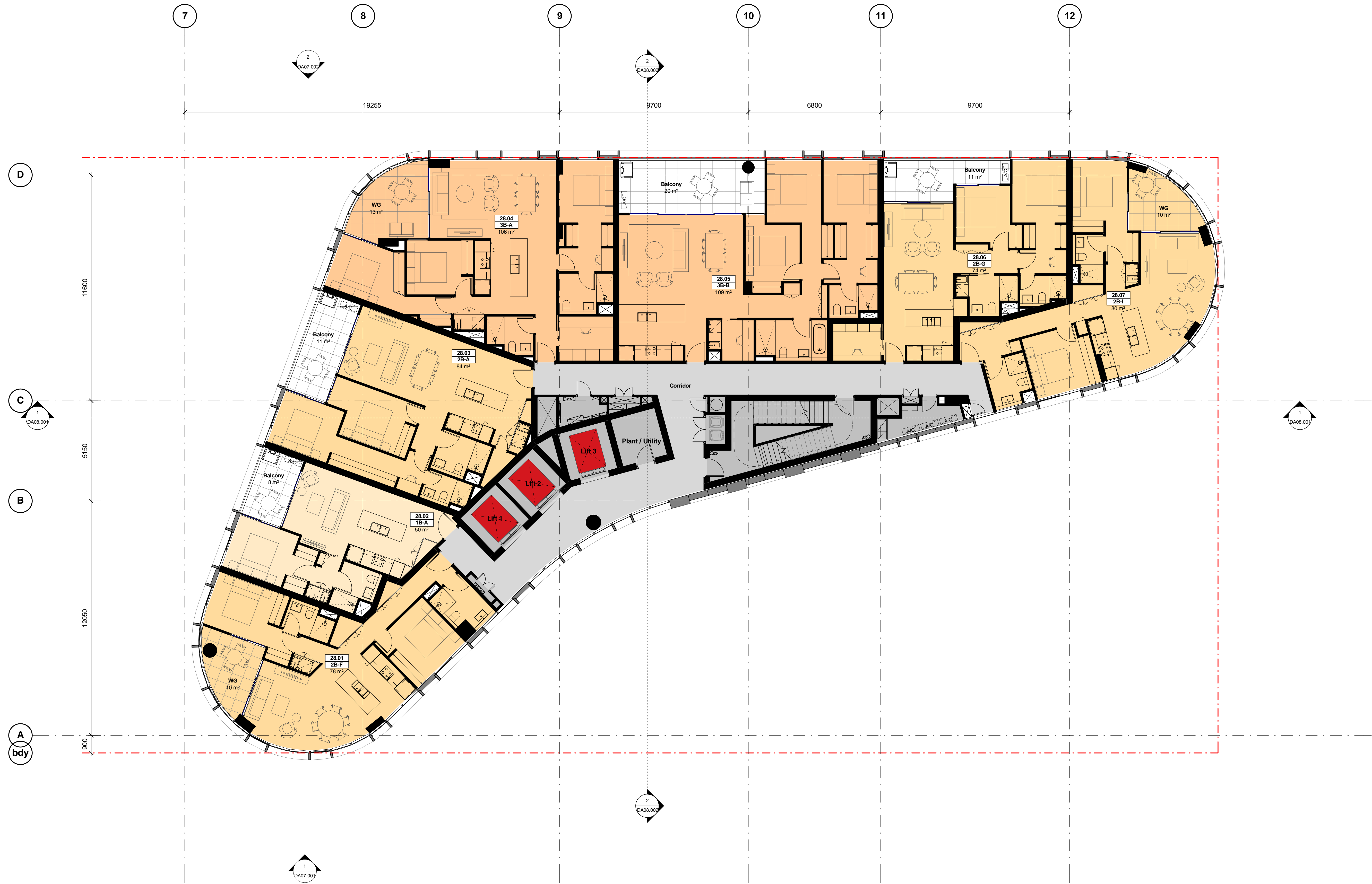
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| Drawing no. | Revision |
| DA02.028    | B        |

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- Aluminium framed **double clear** glazing to curtain walls & glazing to balcony edge.  
U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

##### Roof / ceiling insulation

**Roof:**  
Concrete roof - No insulation

Default Colour modelled

##### Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

Plasterboard ceiling - R2.0 bulk insulation to all units to top floor, balconies above & slot areas above to all other units.

Note: It has been assumed at DA stage that the area of all ceiling penetrations is less than 0.5% of the total ceiling area. If down lights are proposed at a later stage, BCA loss of insulation calculations will be required.

##### Wall / floor insulation

###### External Wall:

Lightweight cladding to all external walls with R1.5 bulk insulation  
No colour nominated

###### Internal walls within units:

Plasterboard on studs - no insulation

###### Inter-tenancy walls / corridor:

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###### Floors:

Concrete - R2.1 insulation to all units in level 7 with car park below

Concrete - no insulation required between units

###### Floor coverings:

1 & 2 bed apartments - tiles to wet areas, carpet to bedrooms and living areas as per plans  
All 3 & 4 bed apartments tiled throughout

###### Central hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ringmain and supply risers.

###### Reticulated alternative water

Alternative water supply available from Sydney Olympic Park Authority to be used for the irrigation of all landscaping & all toilets within the building  
(No rainwater tank required for BASIX compliance)

###### Alternative energy

Not required by BASIX

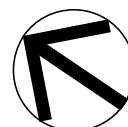
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| B        | 20.07.16 | Amended DA Issue        | JS      | CP      |
| A        | 01.03.16 | Development Application | JS      | CP      |
| Revision | Date     | Description             | Initial | Checked |

Client: Ecove



## Site 9, Sydney Olympic Park 3 Olympic Boulevard

### General Arrangement Plan Level 38



|             |                         |         |         |
|-------------|-------------------------|---------|---------|
| Status      | Development Application |         |         |
| Scale       | 1 : 100                 | @ A1    |         |
| Drawn       | Author                  | Checked | Checker |
| Project No. | S11890                  |         |         |
| Plot Date   | 20/07/2016 4:17:59 PM   |         |         |
| Plot File   |                         |         |         |

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| Drawing no. | Revision |
| DA02.038    | B        |

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#### Glazing

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U-Value: 4.4 (equal to or lower than)  
SHGC: 0.5 (+ or - 10%)

Given values are NFRC, total window values

#### Roof / ceiling insulation

**Roof:**  
Concrete roof - No insulation

Default Colour modelled

#### Ceiling:

Plasterboard ceiling - R3.0 bulk insulation to selected units (34.01 and 34.07) with balconies above.

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#### Wall / floor insulation

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##### Alternative energy

Not required by BASIX

|          |          |                         |         |         |
|----------|----------|-------------------------|---------|---------|
| B        | 20.07.16 | Amended DA Issue        | JS      | CP      |
| A        | 01.03.16 | Development Application | JS      | CP      |
| Revision | Date     | Description             | Initial | Checked |

Client: Ecove



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Site 9, Sydney Olympic Park  
3 Olympic Boulevard

General Arrangement Plan  
Level 39



|             |                         |         |         |
|-------------|-------------------------|---------|---------|
| Status      | Development Application |         |         |
| Scale       | 1 : 100                 | @ A1    |         |
| Drawn       | Author                  | Checked | Checker |
| Project No. | S11890                  |         |         |
| Plot Date   | 20/07/2016 4:18:09 PM   |         |         |
| Plot File   |                         |         |         |

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|-------------|----------|
| Drawing no. | Revision |
| DA02.039    | B        |

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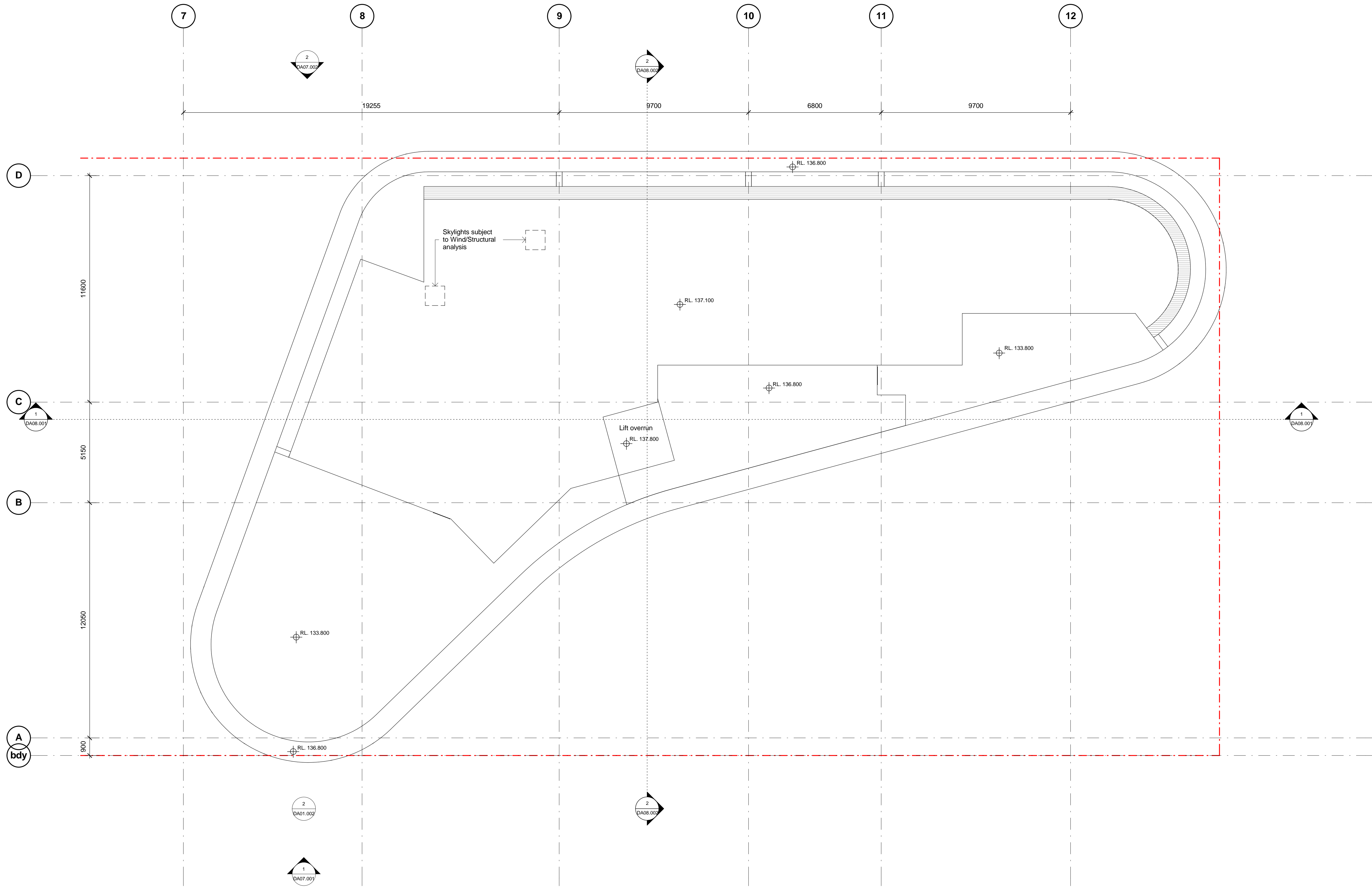
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###### Alternative energy

Not required by BASIX

| Revision | Date     | Description      | Initial | Checked |
|----------|----------|------------------|---------|---------|
| A        | 20.07.16 | Amended DA Issue | JS      | CP      |

Client: Ecove

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ecove®

Site 9, Sydney Olympic Park  
3 Olympic Boulevard

General Arrangement Plan  
Roof Plan



|             |                         |         |         |
|-------------|-------------------------|---------|---------|
| Status      | Development Application |         |         |
| Scale       | 1 : 100                 | @       | A1      |
| Drawn       | Author                  | Checked | Checker |
| Project No. | S11890                  |         |         |
| Plot Date   | 20/07/2016 3:03:20 PM   |         |         |
| Plot File   |                         |         |         |

| Drawing no. | Revision |
|-------------|----------|
| DA02.040    | A        |

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