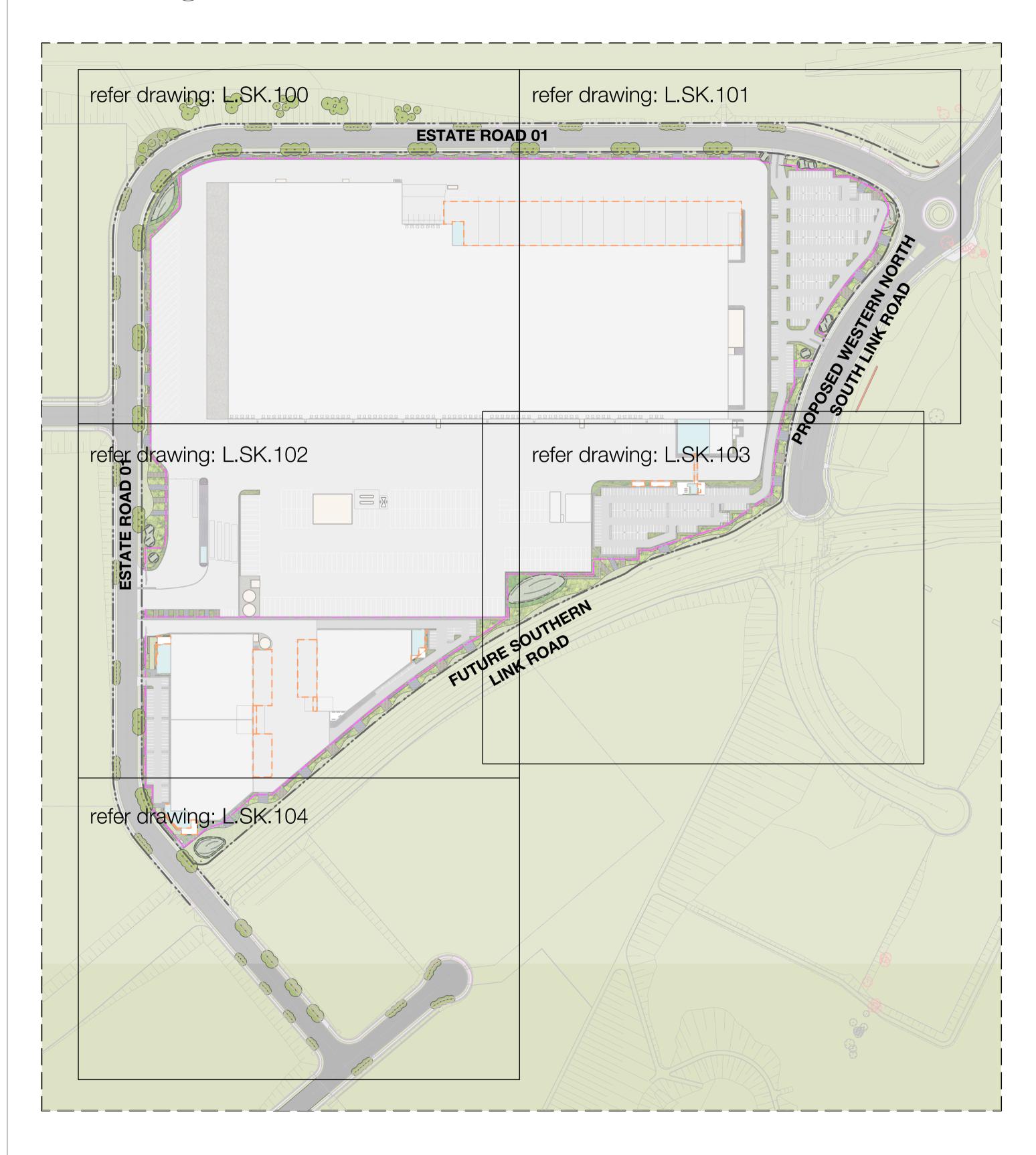
KEY MAP





LANDSCAPE ARCHITECTURE

Address Suite 8, 37-38 East Esplanade

Manly NSW 2095

e 02 9976 0750

nail office@scapedesign.com.a eb www.scapedesign.com.au

PROJECT

Oakdale West Estate, Precinct 1

PHASE

Development Application Landscape Drawing Set

18/10/19

Cover Sheet

Oakdale West, NSW

CLIENT

TRANSMITTAL

Goodman Property Services (AUST) PTY LTD

Date Dwg. Number Dwg. Name Revision L.SK.00 **Cover Sheet** 18/10/19 L.SK.01 18/10/19 Landscape Master Plan Planting Plan L.SK.02 18/10/19 L.SK.03 Planting Schedule 18/10/19 L.SK.04 18/10/19 Character & Materials L.SK.100 Landscape - Plan - Sheet 1 18/10/19 L.SK.101 Landscape - Plan - Sheet 2 18/10/19 L.SK.102 18/10/19 Landscape - Plan - Sheet 3 Landscape - Plan - Sheet 4 L.SK.103 18/10/19 L.SK.104 Landscape - Plan - Sheet 5 18/10/19 L.SK.105 Landscape - Detailed Plan - Sheet 1 18/10/19 Landscape - Detailed Plan - Sheet 2 L.SK.106 18/10/19 L.SK.200 Landscape - Sections - Sheet 1 18/10/19 Landscape - Sections - Sheet 2 L.SK.201 18/10/19 L.SK.202 Landscape - Sections - Sheet 3 18/10/19

Draft

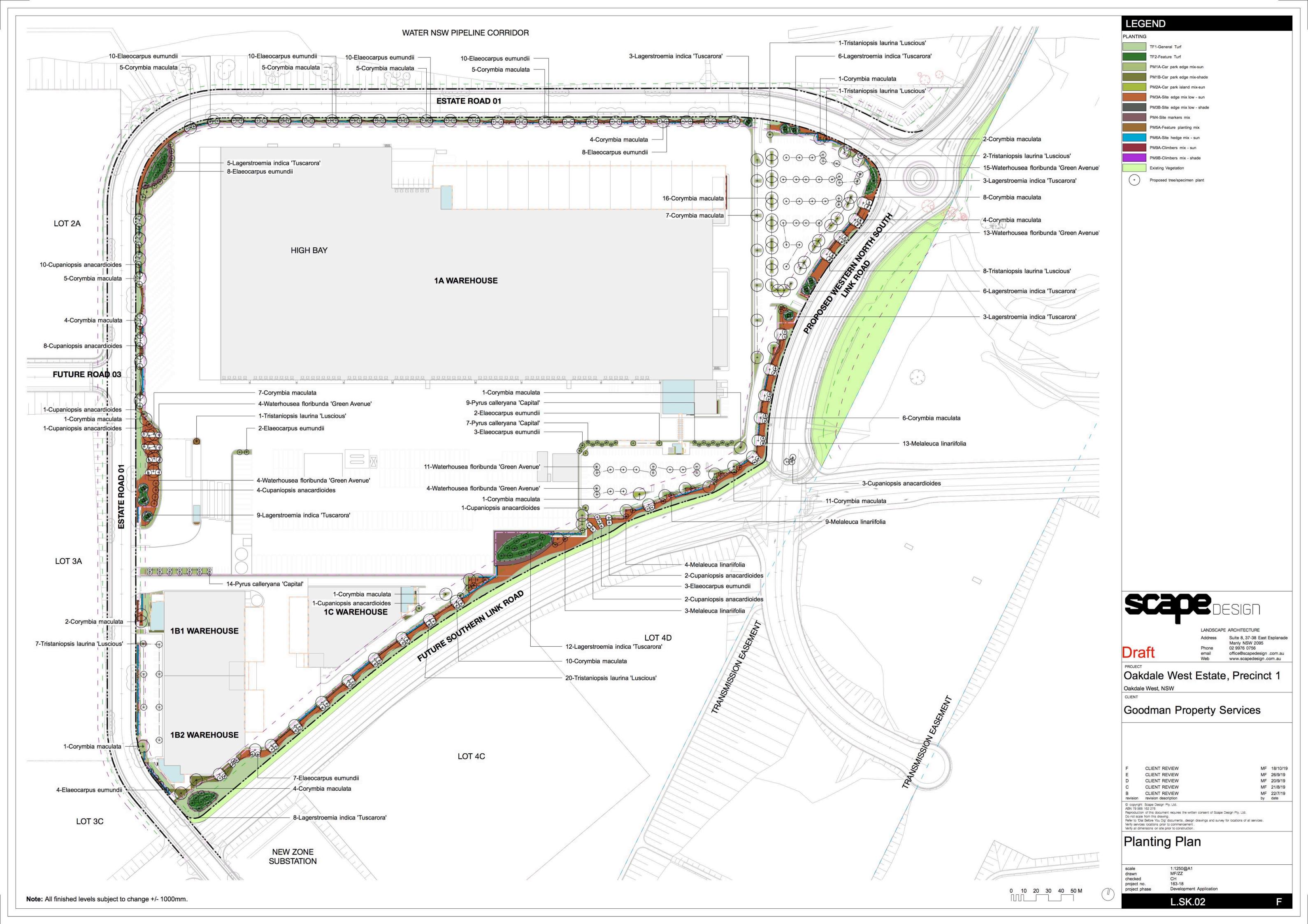
L.SK.203

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Landscape - Sections - Sheet 4

Verify services locations prior to commencement. Verify all dimensions on site prior to construction.





PLANTING SCHEDULE

Botanical Name	Common Name	Height (m)	Spread (m)	Pot Size	Rate (m2)	
Trees & Specimen Shrubs						
Corymbia maculata	Spotted Gum	30.0	10.0	100L	As Shown	
Cupaniopsis anacardioides	Tuckeroo	15.0	5.0	75L	As Shown	
Elaeocarpus eumundii	Eumundi Quandong	10.0	4.0	75L	As Shown	
Lagerstroemia indica 'Tuscarora'	Tuscarora Crepe Myrtle	6.0	4.5	200L	As Shown	
Melaleuca linariifolia	Snow-in-Summer	8.0	4.0	75L	As Shown	
Pyrus calleryana 'Capital'	Capital Flowering Pear	10.0	3.0	200L	As Shown	
Tristaniopsis laurina 'Luscious'	Water Gum	7.0	5.0	75L	As Shown	
Waterhousea floribunda 'Green Avenue'	Weeping Lilly Pilly	15.0	5.0	100L	As Shown	
PM1A - Car Park Edge Mix - Sun					Area =	4577 sq.m
Callistemon viminalis 'Little John'	Little John Bottlebrush	0.6	0.8	140mm	2	Manthald Telefacturals
Pennisetum alopecuroides 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1	
Trachelospermum jasminoides	Star Jasmine	0.9	0.3	140mm	2	
PM1B - Car Park Edge Mix - Shade					Area =	349 sq.m
Hibbertia scandens	Climbing Guinea-Flower	2.0	2.0	140mm	2	040 04.111
Pennisetum alopecuroides 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1	
Viola hederacea	Native Violet	0.5	0.5	140mm	2	
viola fiederacea	Native violet	0.1	0.2	14011111	2	
PM2A - Car Park Island Mix - Sun	0.1	0.0	4.5	110	Area =	366 sq.m
Gazania tomentosa	Silver Gazania	0.3	1.5	140mm	2	
Rhaphiolepis indica 'Snow Maiden'	Snow Maiden Indian Hawthorn	0.5	1.0	140mm	2	
PM3A - Site Edge Mix Low - Sun					Area =	4535 sq.m
Callistemon 'White Anzac'	Bottlebrush	1.0	1.0	140mm	2	
Gazania tomentosa	Silver Gazania	0.3	1.5	140mm	2	
Pennisetum alopecuroides 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1	
PM3B - Site Edge Mix Low - Shade					Area =	106 sq.m
Rhaphiolepis indica 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	1.0	1.0	140mm	2	
Trachelospermum jasminoides 'tricolor'	Tricolor Star Jasmine	0.5	1.0	140mm	2	
Viola hederacea	Native Violet	0.1	0.2	140mm	2	
PM4 - Site Markers Mix					Area =	711 sq.m
Nandina domestica 'Gulf Stream'	Dwarf Sacred Bamboo	0.8	0.8	140mm	2	a re retere
Pennisetum alopecuroides 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1	
PM5A - Feature Planting Mix					Area =	448 sq.m
Doryanthes excelsa	Gymea Lily	2.0	1.5	200mm	2	o oqiiii
Lorapetalum chinense rubrum 'China Pink'	Chinese Fringe Flower	1.5	1.5	200mm	2	
Photinia x fraseri 'Red Robin'	Red Robin	3.0	2.0	200mm	2	
PM6A - Site Hedge Mix - Sun					Area =	652 sq.m
Acmena smithii 'Hot Flush'	Lilly Pilly	2.0	1.0	300mm	2	002 34.111
				300mm		
Metrosideros thomasii	New Zealand Christmas Bush	4.0	4.0		2	
Rhaphiolepis indica 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	1.0	1.0	300mm	2	
Rhaphiolepis indica 'Snow Maiden'	Snow Maiden Indian Hawthorn	0.5	1.0	300mm	2	
PM9A - Climbers Mix - Sun	Oliver Live Co. Live Co.			200	Area =	34 sq.m
Hibbertia scandens	Climbing Guinea-Flower	2.0	2.0	300mm	2	
PM9B - Climbers Mix - Shade					Area =	8 sq.m
Trachelospermum jasminoides	Star Jasmine	0.9	0.3	300mm	2	
FF1 - General Turf					Area =	4120 sq.m
Stenotaphrum secundatum 'Sir Walter'	Sir Walter Buffalo			Turf Roll		weather constitution of the constitution of th
TF2 - Feature Turf (Planted)					Area =	1604 sq.m
Zoysia tenuifolia	No-Mow Grass/Velvet Grass			200mm	THE STATE OF THE S	.50, 54.11

Mass planting to be undertaken in large groupings of the same species to approval of landscape architect.
 Hedging species are to be set out in linear arrangements of same species to approval of landscape architect.

PLANTING PALETTE

Trees & Specimen Shrubs















PM1A - Car Park Edge Mix - Sun







PM1B - Car Park Edge Mix - Shade



PM3A - Site Edge Mix Low - Sun

PM3B - Site Edge Mix Low - Shade













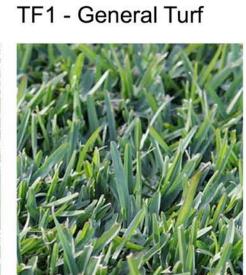
PM6A - Site Hedge Mix - Sun











TF2 - Feature Turf





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Oakdale West Estate, Precinct 1 Oakdale West, NSW

Goodman Property Services

CLIENT REVIEW MF 18/10/19 **CLIENT REVIEW** MF 26/9/19 MF 20/9/19 CLIENT REVIEW CLIENT REVIEW MF 21/8/19 MF 22/7/19 by date C CLIENT REVIEW revision revision description © copyright Scape Design Pty. Ltd.

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Planting Schedule

NTS MF/ZZ scale drawn checked CH 163-18 **Development Application**

EXISTING SITE CHARACTER



Weathering steel



Mounding and grasses



Textured walling



Verge landscape



Jakob Rope Systems - 'Webnet ID'

GREEN WALL SYSTEM



Jakob Rope Systems - INOX Line Webnet with 'Webnet ID' plus border



Street frontage

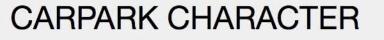


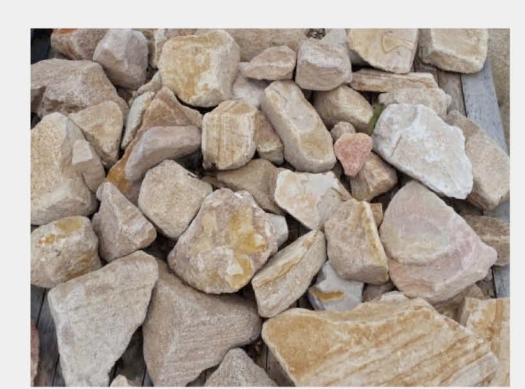
Signage and detailed planting at vehicle entries/exits



Hardwood sleeper mullions

ENTRY MARKERS CONCEPT





Sandstone ballast for internal road site edges



Resin bonded aggregate for internal roads adjacent to buildings and car park islands



Feature sandstone blocks at pedestrian nodes and driveway intersections

SITE MARKERS CONCEPT



CAR PARK PLANTING CONCEPT



Rigid gabion stone wall



1000mm wide tree pits with weathering steel edging



Mass planting bold texture and colour within native plant matrix



Feature trees



Green mounds



Weathering steel blades



Tree uplighting



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Oakdale West Estate, Precinct 1

Oakdale West, NSW

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revision description	MF by	22/7/19 date
CLIENT REVIEW		21/8/19
CLIENT REVIEW	MF	20/9/19
CLIENT REVIEW	MF	26/9/19
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Character & Materials











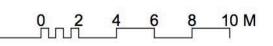


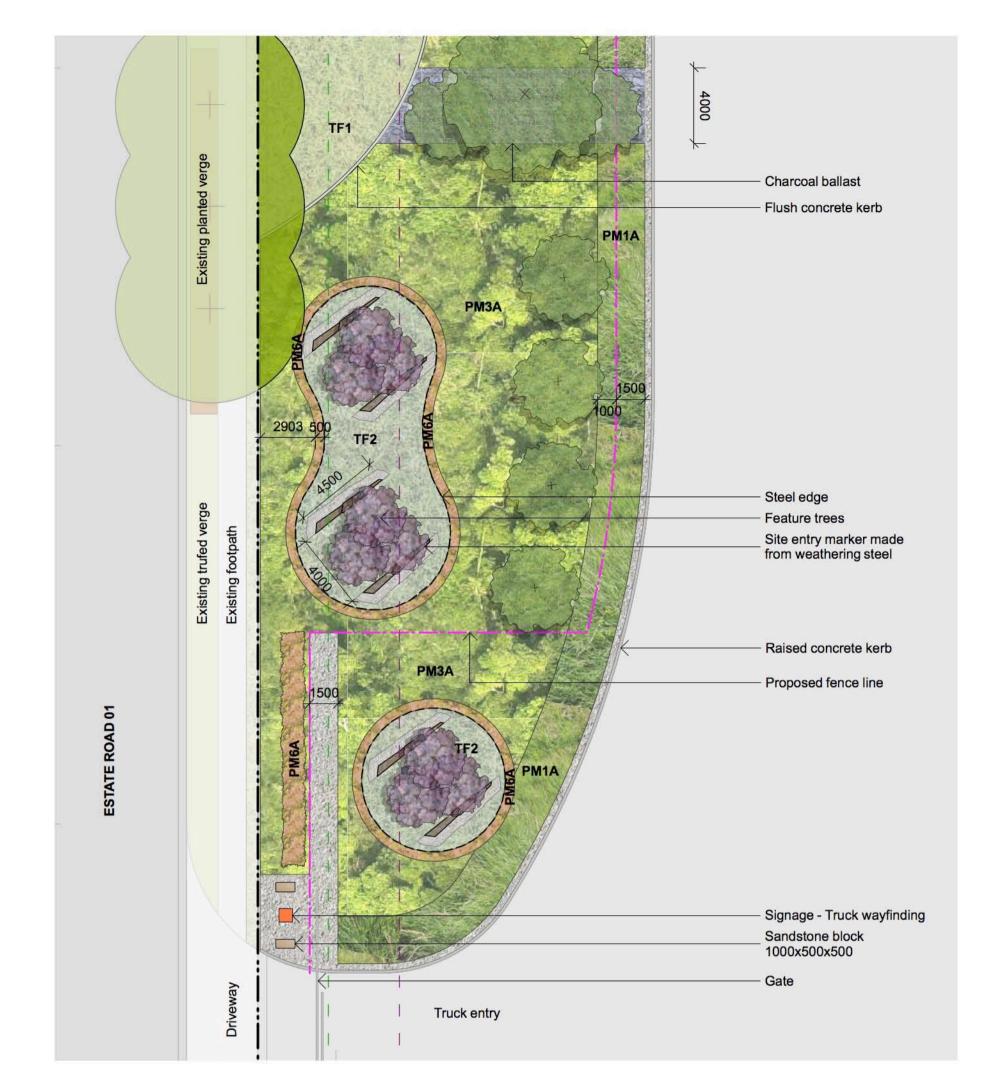
01 Northern Carpark - Entry Marker
Detail Plan - Scale 1:200 @ A1

0 2 4 6 8 10 M



Detail Plan - Scale 1:200 @ A1









Warehouse 1B1 - Entry Marker

Detail Plan - Scale 1:200 @ A1

LEGEND Temporary Recycled Aggregate 2 Fire Brigade Access Road Coarse Aggregate Asphaltic Concrete Truck entry/exit GENERAL Feature paving **FURNITURE & FITTINGS** Site Boundary Lot Boundary -38.90 - Existing Contour Line Proposed Bollards + FL 562.00 Finished Level Proposed Street Lighting Proposed Sleeper Mullion + FFL 562.00 Finished Floor Level + RL 562.00 Reduced Level Proposed Sandstone Block /// Bicycle rack - 20m Setback Building **PLANTING** - - Architecture Above TF1-General Turf TF2-Feature Turf Architecture Belov PM1A-Car park edge mix-sun PM1B-Car park edge mix-shade PM2A-Car park island mix-sun PM2B-Car park island mix-shade PM3A-Site edge mix - sun PREPERATION & GROUNDWORKS Services PM3B-Site edge mix - shade PM4-Site markers mix PM5A-Feature planting mix-sun WALLS & EDGES PM6A-Site hedge mix-sun PM9A-Climbers mix - sun PM9B-Climbers mix - shade Freestanding Gabion Wall Freestanding Insitu Wall Existing Tree to be Removed Refer ARBORISTS REPORT Existing Tree to be Transplanted/ original location Retaining Gabion Wall Existing Tree to be Transplanted/ new location Retaining Precast Wal Existing Tree to be Retained Proposed Tree - General KEY PLAN Suite 8, 37-38 East Esplanade Manly NSW 2095 02 9976 0756 office@scapedesign .com.au www.scapedesign .com.au Oakdale West Estate, Precinct 1 Oakdale West, NSW Goodman Property Services MF 18/10/19 CLIENT REVIEW MF 26/9/19 CLIENT REVIEW CLIENT REVIEW MF 19/9/19 CLIENT REVIEW MF 21/8/19 MF 22/7/19 by date CLIENT REVIEW ABN 79 508 102 276
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Verify all dimensions on site prior to construction. Landscape Detailed Plan

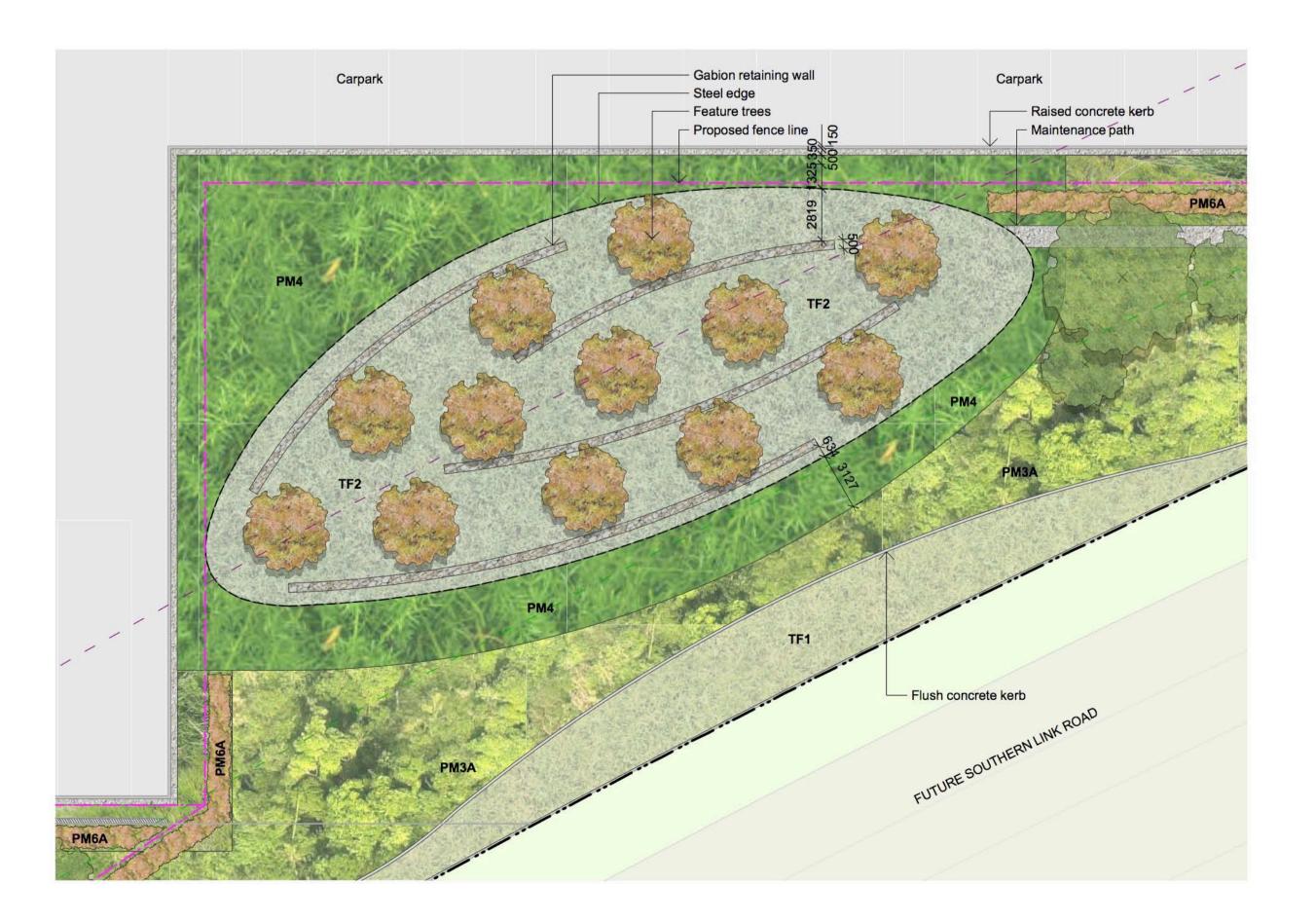
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checked CH
project no. 163-18
project phase Development Application

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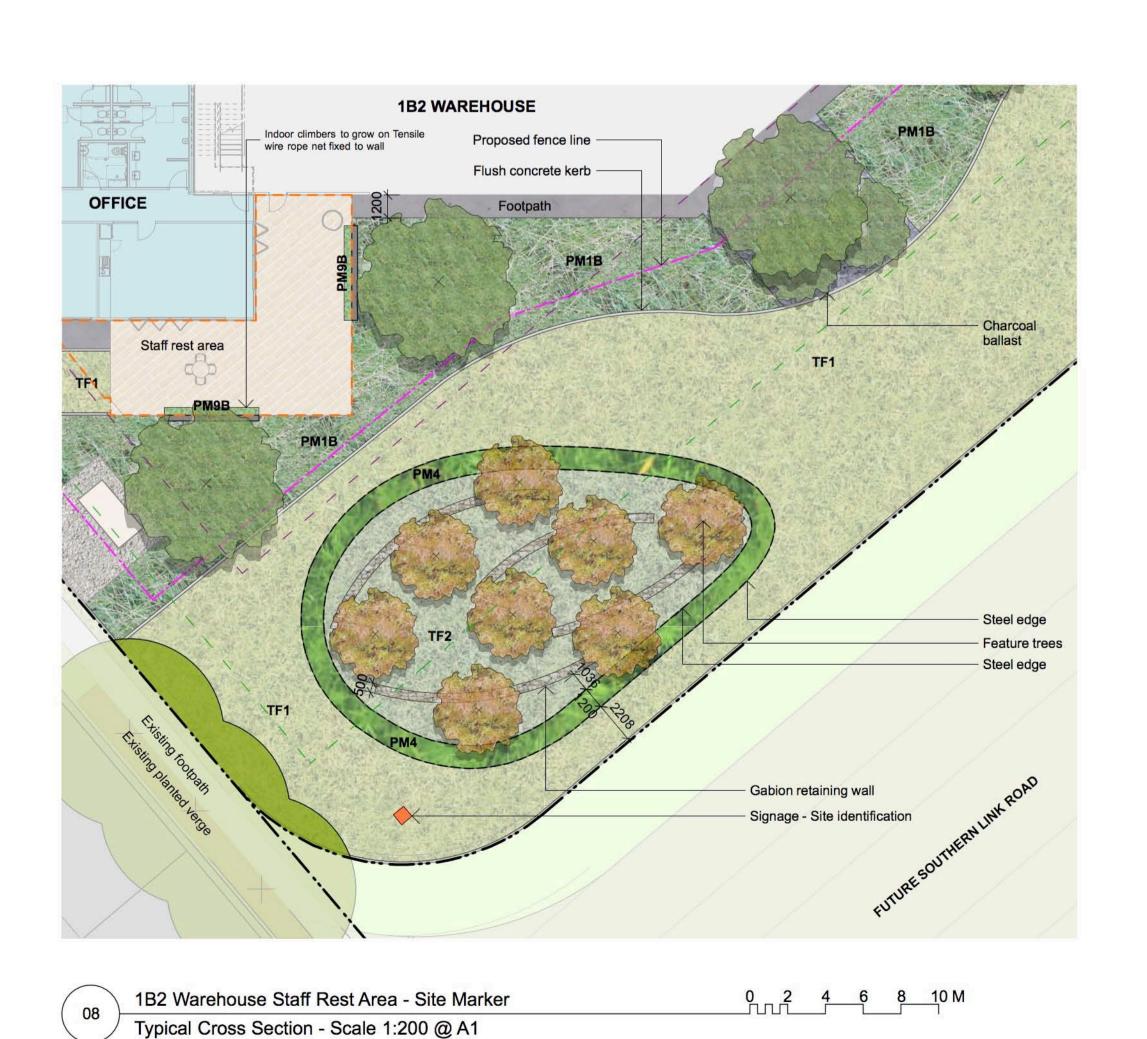


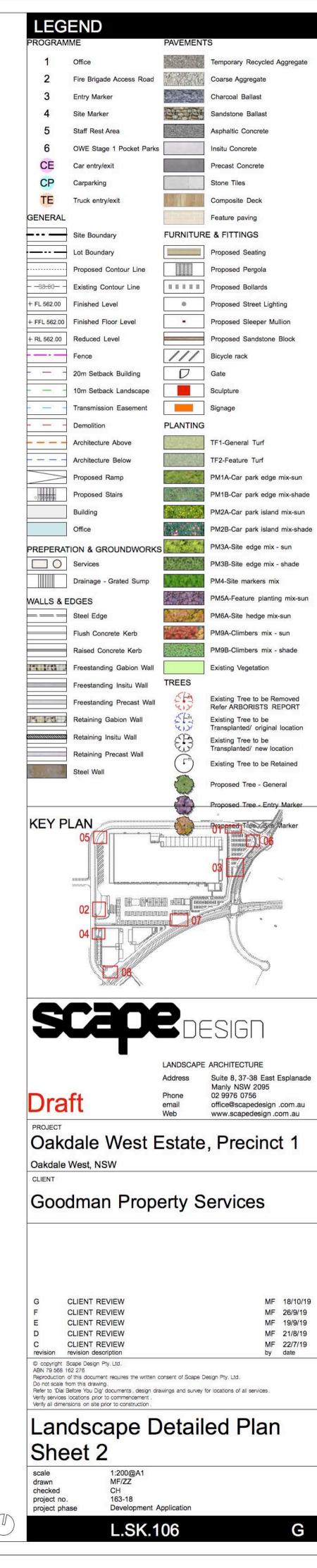


0 2 4 6 8 10 M Main Site Signage - Site Marker Detail Plan - Scale 1:200 @ A1



0 2 4 6 8 10 M





MF 18/10/19 MF 26/9/19

MF 19/9/19

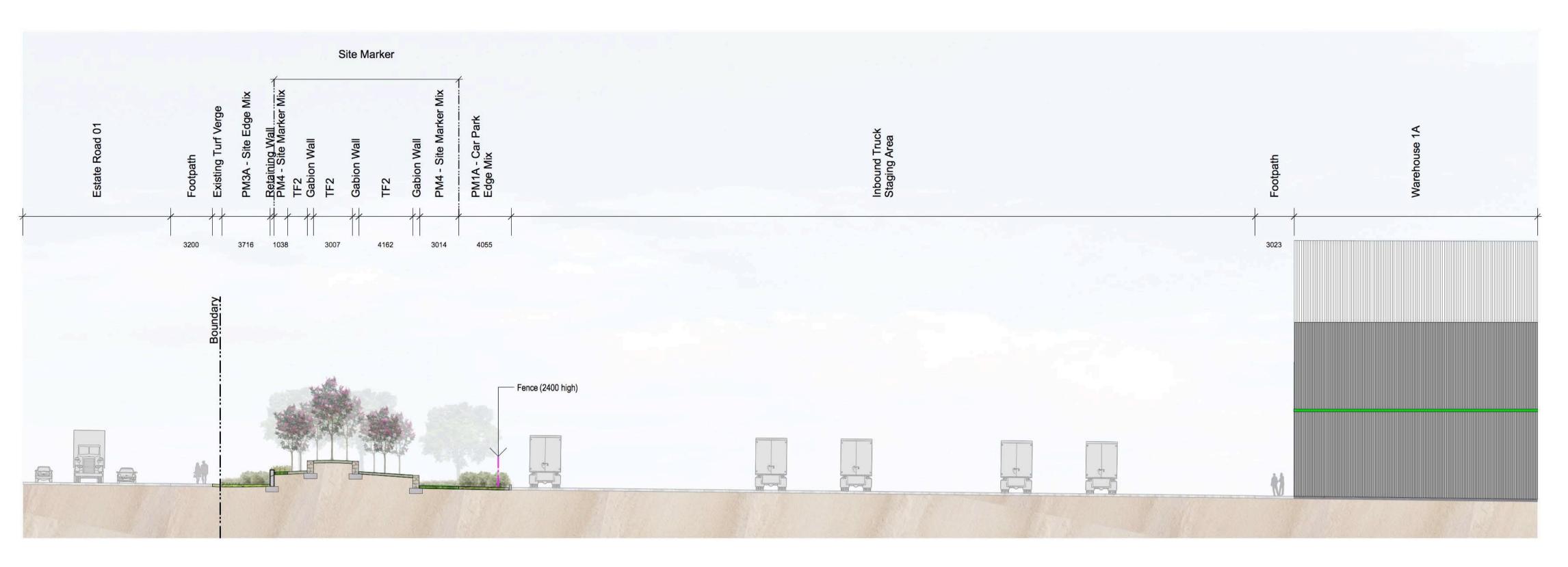
MF 21/8/19

MF 22/7/19 by date

1C Warehouse - Site Marker

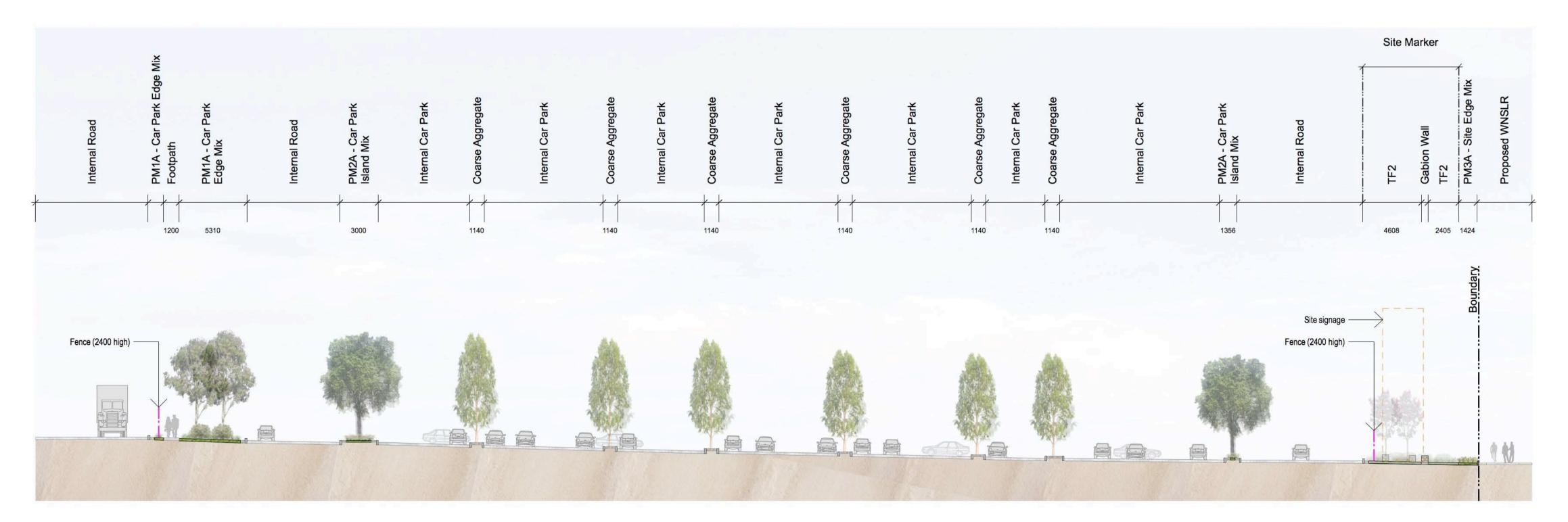
Detail Plan - Scale 1:200 @ A1

Detail Plan - Scale 1:200 @ A1



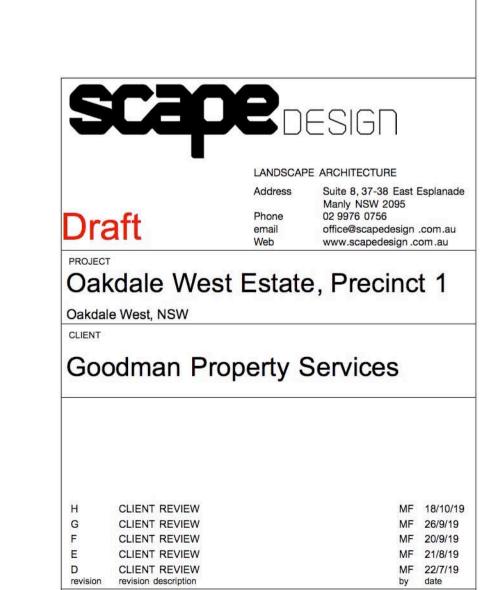
North-West Site Marker

Typical Cross Section - Scale 1:200 @ A1



Northern Employee Car Park

Typical Cross Section - Scale 1:200 @ A1



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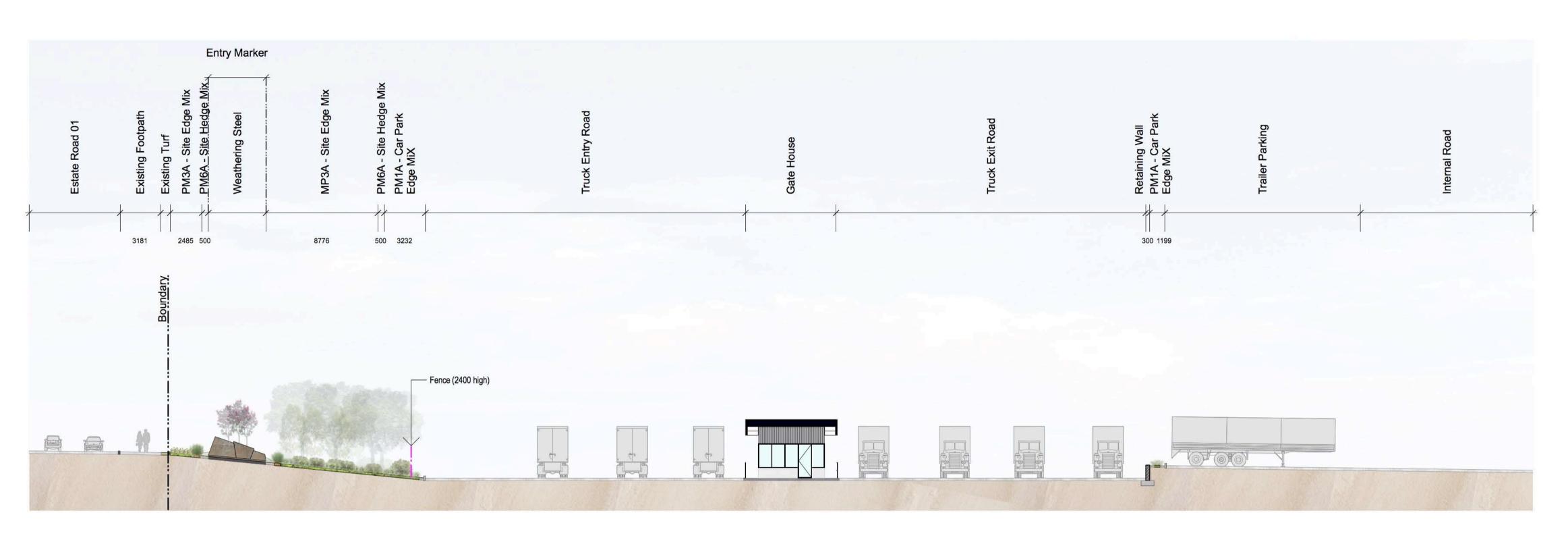
CH 163-18 Development Application

Landscape Sections

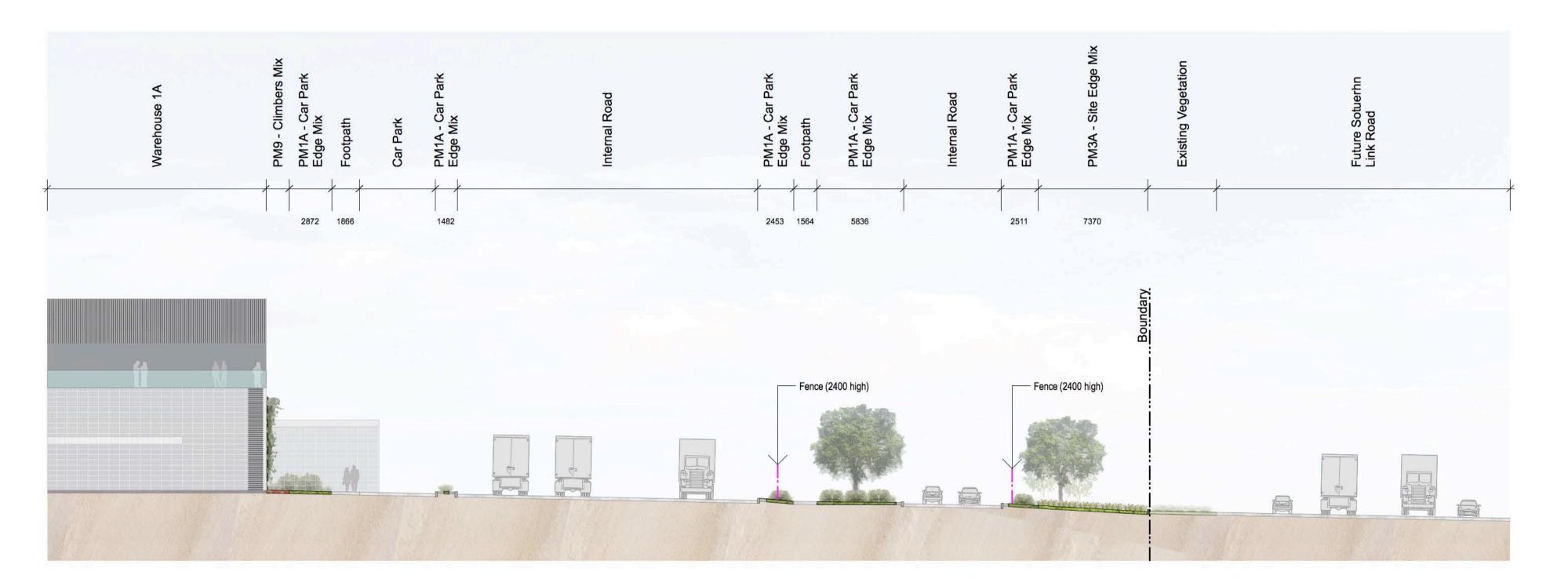
1:200@A1 MF/ZZ

Sheet 1

scale drawn checked project no. project phase



0 2 4 6 8 10 M Truck Entry Marker - Estate Road 01 Typical Cross Section - Scale 1:200 @ A1



0 2 4 6 8 10 M Green Wall Typical Cross Section - Scale 1:200 @ A1

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Landscape Sections Sheet 2

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scale drawn checked project no. project phase 1:200@A1 MF/ZZ CH 163-18 Development Application

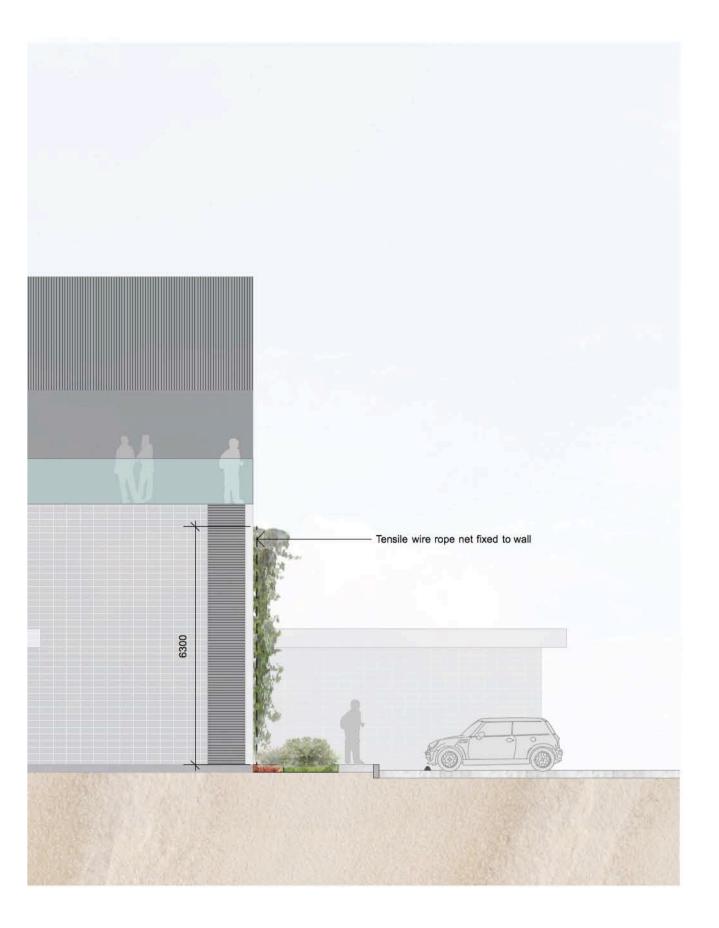
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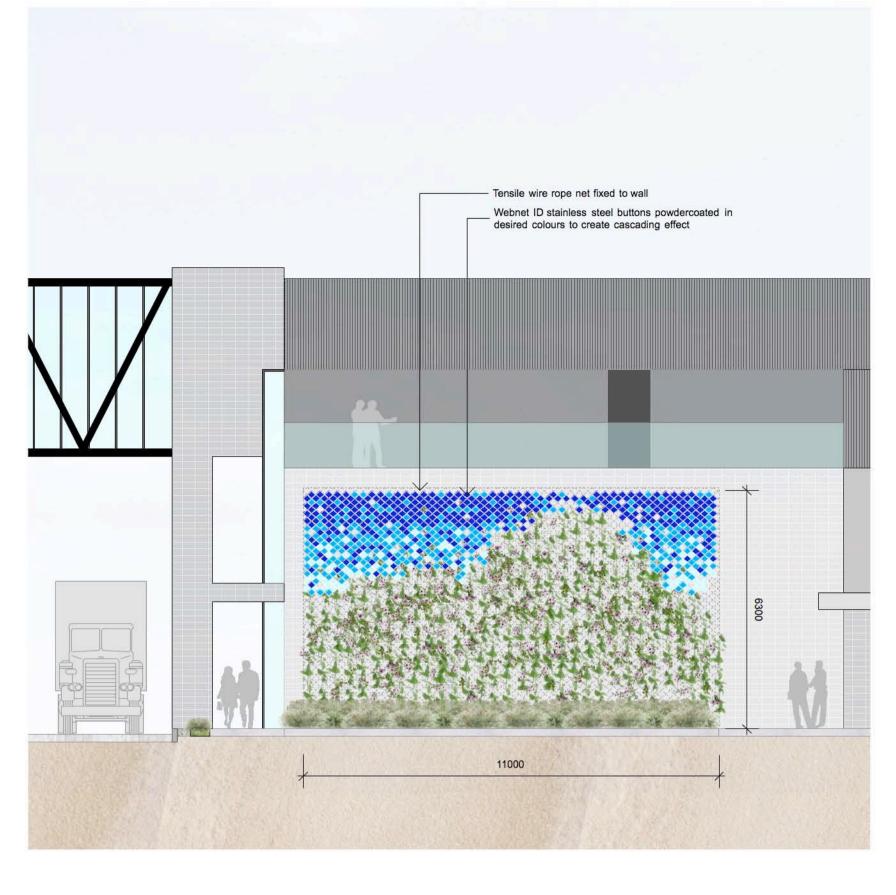
CLIENT REVIEW

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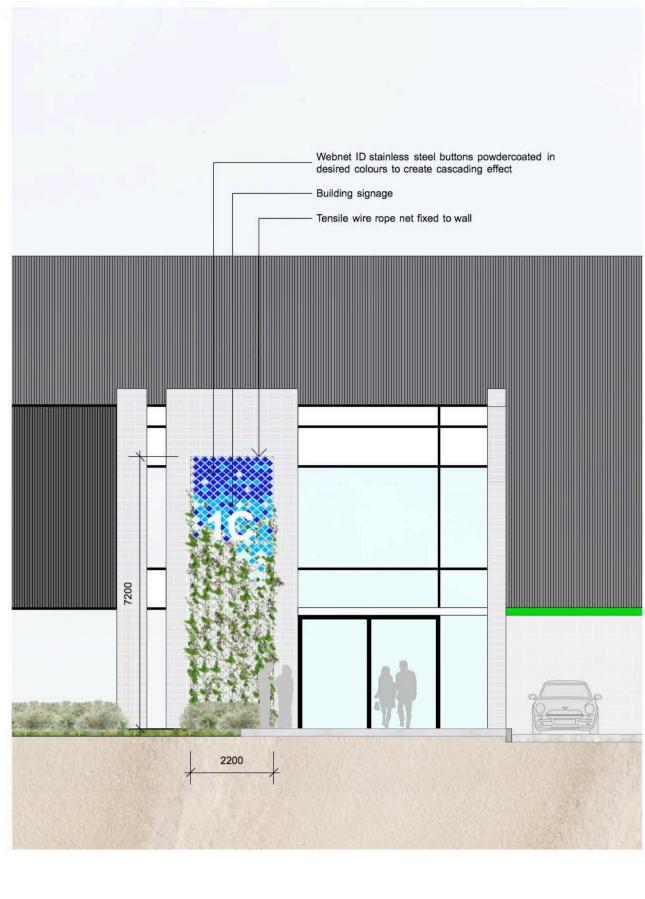
MF 21/8/19

MF 22/7/19 by date









Green Wall Type A - Office 1A Wall - Profile 0 1 2 3 4 5 M Typical Elevaton - Scale 1:100 @ A1

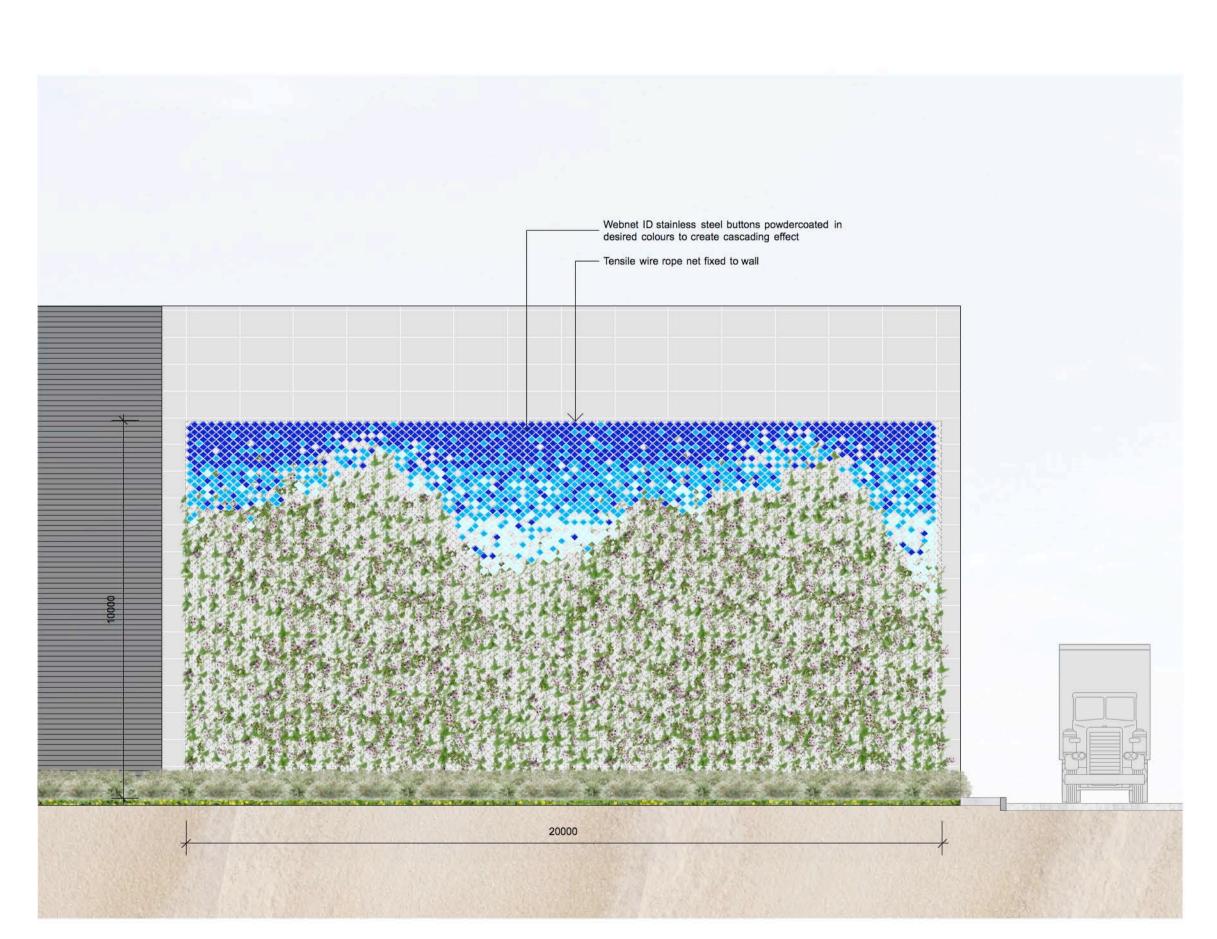
Green Wall Type A - Office 1A Wall Typical Elevaton - Scale 1:100 @ A1

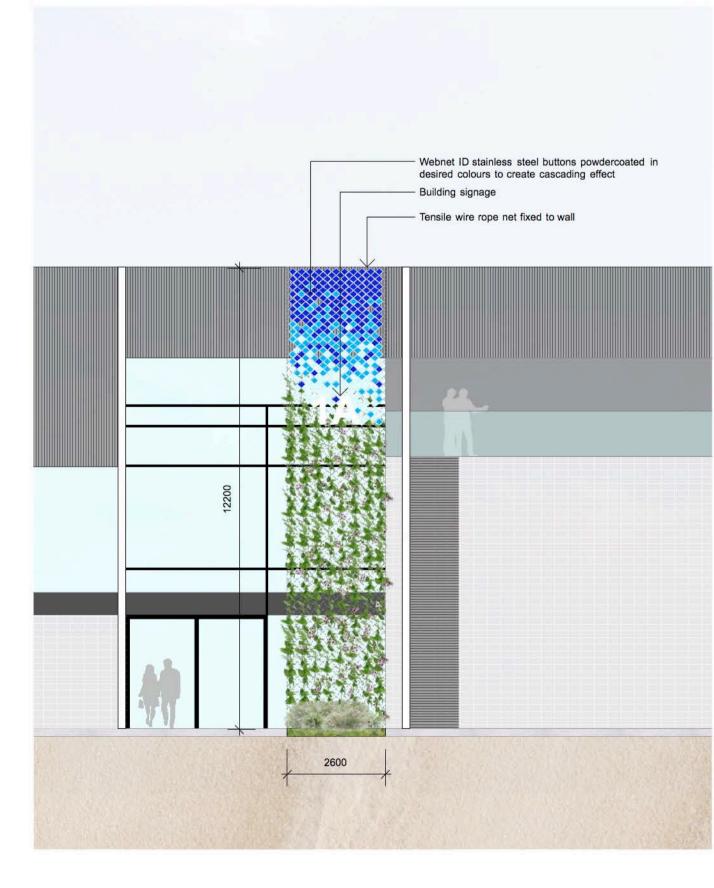
0 1 2 3 4 5 M

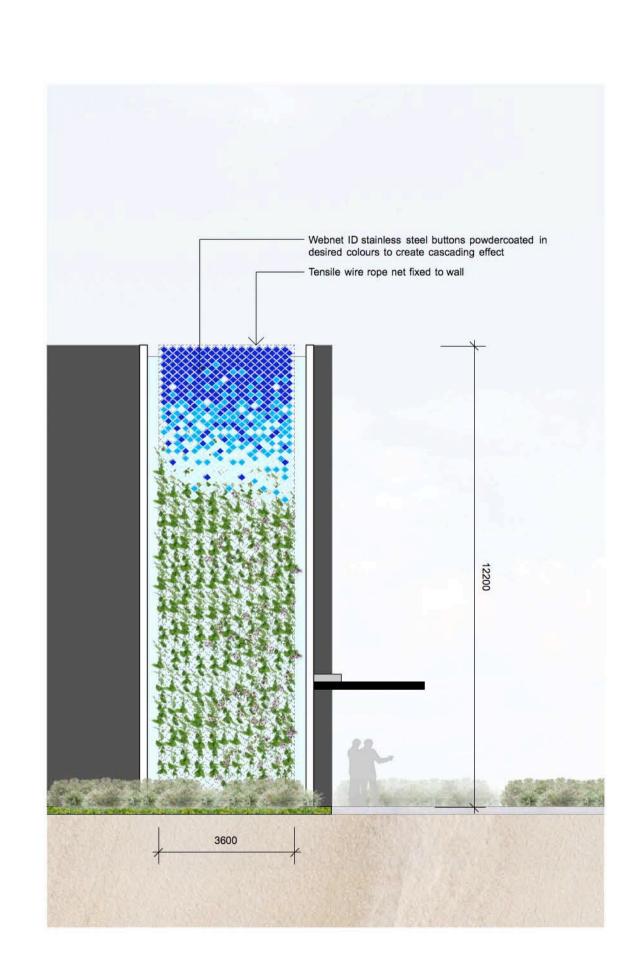
Typical Elevaton - Scale 1:100 @ A1

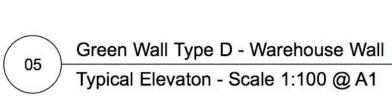
Green Wall Type C - Office Entrance 0 1 2 3 4 5 M Typical Elevaton - Scale 1:100 @ A1

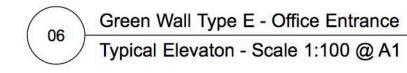
KEY PLAN

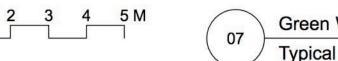


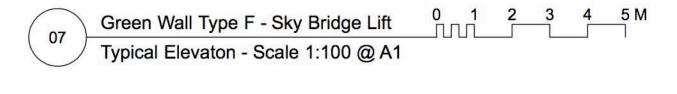


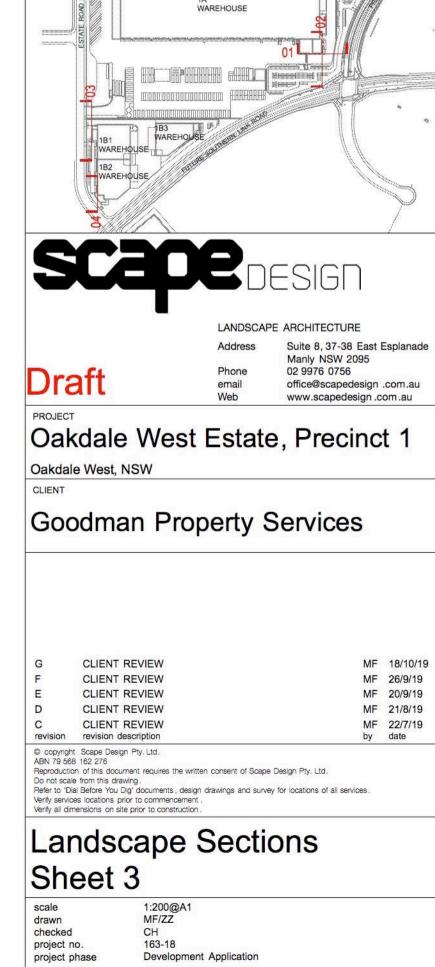












Development Application

