

5 November 2018

Project Strategy

Attention: Mr Stewart Johnson

PO Box 271

SUTHERLAND NSW 1499

Dear Sir

**Re: 585–649 Mamre Road, Orchard Hills
MOD5 Subdivision of Lot 7 & 9 to Lots 10, 11 & 12
Stormwater Drainage**

We provide this letter in relation to the proposed MOD5 for a subdivision of Lot 7 & 9 into Lots 10, 11 & 12. Specifically this letter reviews and confirms the effect of the proposed subdivision on the as approved and constructed drainage under SSD 7173.

Reference to enclosed drawing Co12042.00-C40 shows the designed and approved drainage catchments.

The modification of Lot 7 & 9 into Lots 10, 11 & 12 will require 3.32 Ha of Lot 10 to drain to the Cat9 discharge point located on the north-west corner of Lot 10. The southern 2.039 Ha of Lot 10 and the whole of Lot 11 will be required to discharge to the Cat7 discharge point located on Distribution Drive. An easement (and associated suitably sized in-ground drainage pipe) benefiting Lot 11 through Lot 10 will be required to be provided.

Refer **Enclosure 1** for existing estate subdivision lots, **Enclosure 2a** and **2b** for the proposed subdivision and **Enclosure 3** for the approved drainage catchment layouts.

It is noted that a slightly larger overall catchment drains to Cat7 than that in the original SSD 7173 designs. This has been reviewed and confirmed to operate as intended.

Given the above catchment layouts, and associated easements are provided, the proposed subdivision of the land will have negligible effect on the drainage and the system will operated generally as per the approved and constructed SSD7173 designs.

We trust the included information meets your current needs. Please contact the undersigned if further information is required.

Yours faithfully,

COSTIN ROE CONSULTING PTY LTD

A handwritten signature in black ink, appearing to read 'M. Wilson', with a stylized flourish at the end.

MARK WILSON MIEAust CPEng NER
Director

Encl. *Enclosure 1 – Existing Plan of Subdivision*
 Enclosure 2a & 2b – Proposed subdivision
 Enclosure 3 - Costin Roe Consulting drawing C40.

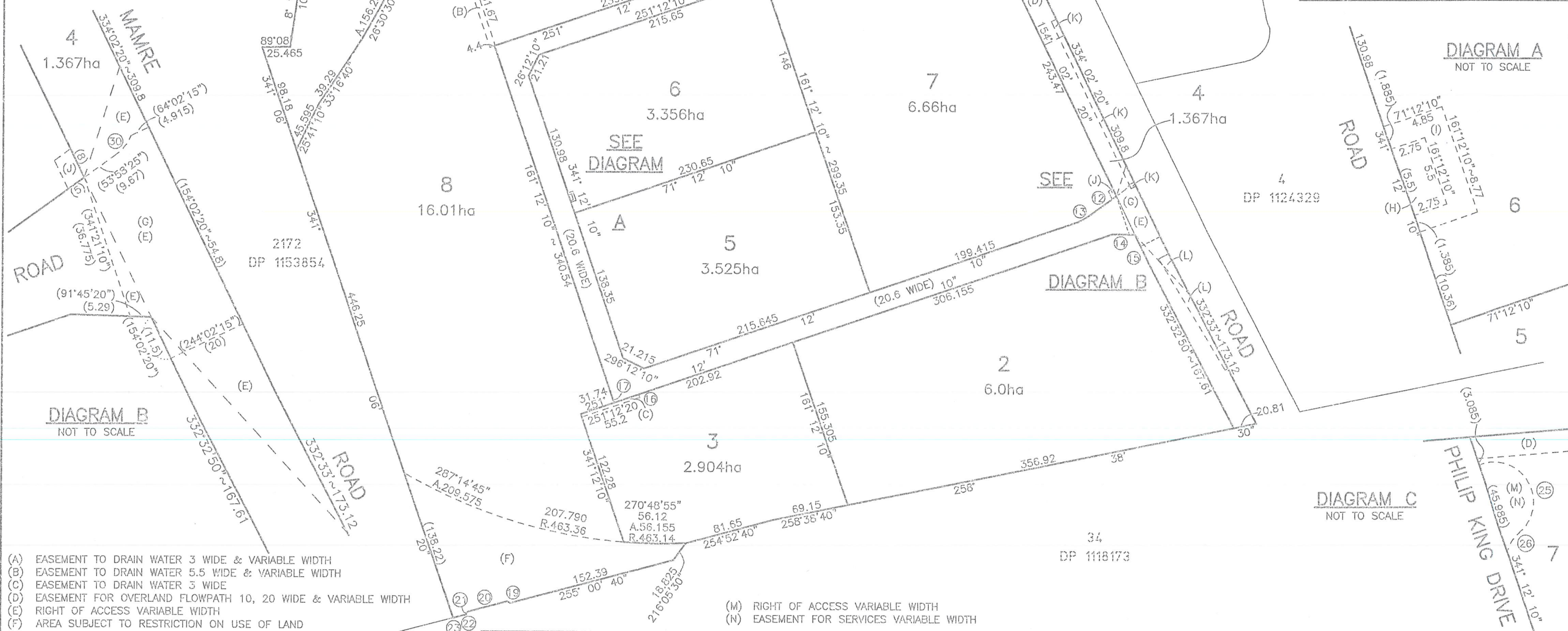
DETAIL PLAN

DP 1117418

JAMES ERSKINE
DRIVE

SCHEDULE OF SHORT LINE				
No.	BEARING	DISTANCE	ARC	RADIUS
1	107°18'30"	25.46		
2	107°18'30"	21.875		
3	199°53'30"	35.61	35.645	233.88
4	185°12'10"	83.84	84.3	233.89
5	264°36'50"	13.165		
6	264°36'50"	8.445		
7	353°15'30"	25.465	25.46	392.96
8	354°03'20"	30.595	30.605	396.46
9	129°11'00"	14.40		
10	106°01'30"	16.635		
11	85°13'10"	4.68		
12	233°58'20"	28.195		
13	240°35'40"	14.065	14.115	48.005
14	91°45'20"	20.205		
15	154°02'20"	28.95		
16	161°12'10"	3.0		
17	341°02'00"	4.685		
18	299°57'20"	3.04		
19	254°58'30"	37.18		
20	210°05'40"	3.005		
21	255°00'40"	6.415		
22	255°26'40"	5.435		
23	27°32'40"	20.135		
24	(148°21'05")	(35.71)	51.553	18.035
25	(33°39'15")	(10.02)	10.155	17.945

SCHEDULE OF SHORT LINE				
No.	BEARING	DISTANCE	ARC	RADIUS
30	38°24'15"	6.175	6.26	11.1



- (A) EASEMENT TO DRAIN WATER 3 WIDE & VARIABLE WIDTH
 (B) EASEMENT TO DRAIN WATER 5.5 WIDE & VARIABLE WIDTH
 (C) EASEMENT TO DRAIN WATER 3 WIDE
 (D) EASEMENT FOR OVERLAND FLOWPATH 10, 20 WIDE & VARIABLE WIDTH
 (E) RIGHT OF ACCESS VARIABLE WIDTH
 (F) AREA SUBJECT TO RESTRICTION ON USE OF LAND
 (G) EASEMENT FOR SERVICES & ACCESS (DP)
 (H) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
 (I) AREA AFFECTED BY RESTRICTION ON USE OF LAND
 (J) EASEMENT FOR BUSINESS IDENTIFICATION 5 WIDE
 (K) EASEMENT FOR OVERHEAD POWERLINES 5 WIDE
 (L) EASEMENT FOR OVERHEAD POWERLINES 10 WIDE & VARIABLE WIDTH

- (M) RIGHT OF ACCESS VARIABLE WIDTH
 (N) EASEMENT FOR SERVICES VARIABLE WIDTH

Surveyor: GREGORY K OXLEY
 LandPartners Limited
 PO BOX 1144 DUNDAS 2117
 Date of Survey :
 Surveyor's Ref : 73535.002

PLAN OF SUBDIVISION IN LOT 2171 DP1153854

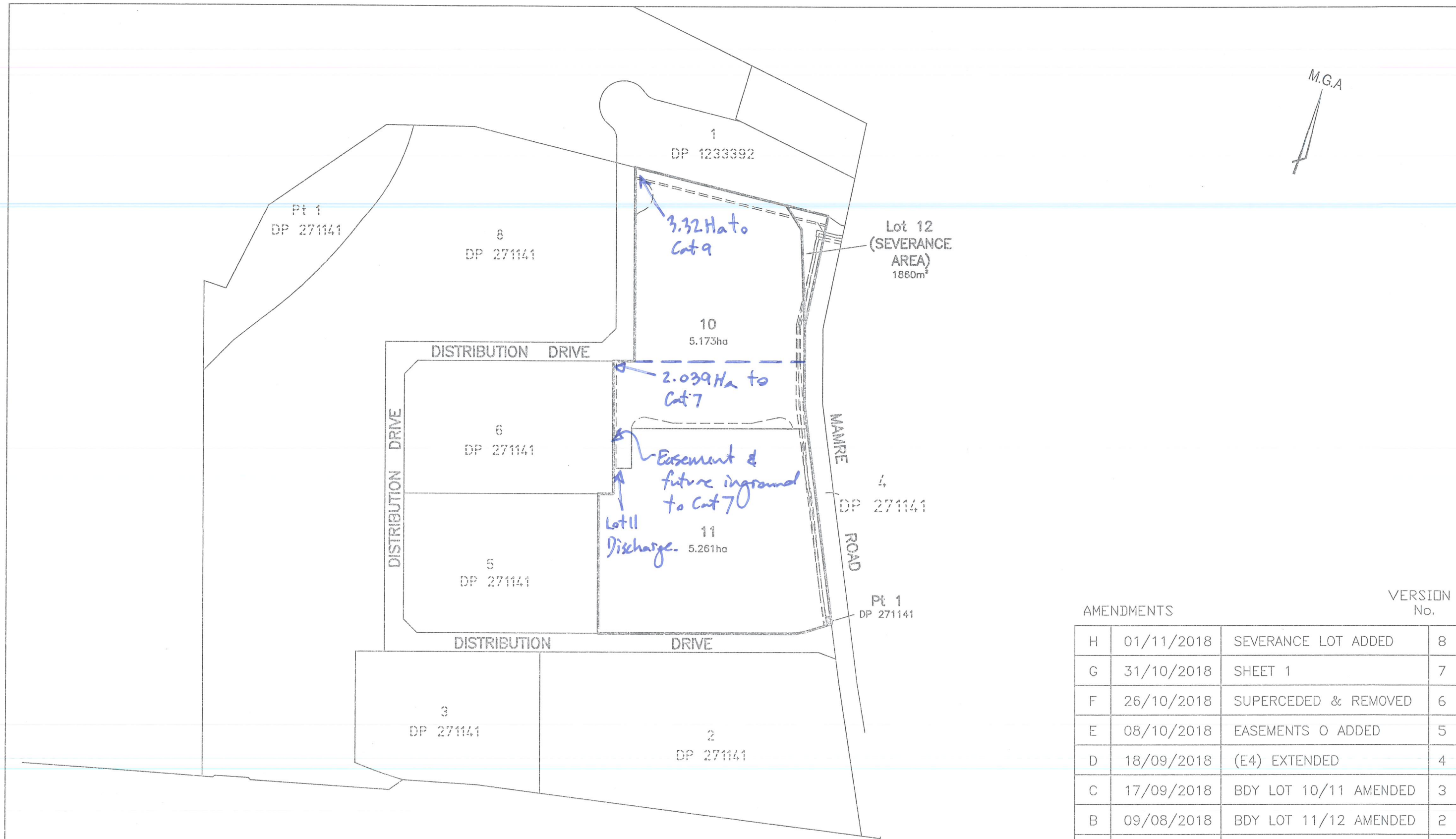
LGA: PENRITH
 Locality: ERSKINE PARK
 Subdivision No:
 Lengths are in metres. Reduction Ratio 1:2500

Registered

DRAFT

HO 120 130 140 150 160 170 180 190 200 210 220 230 240

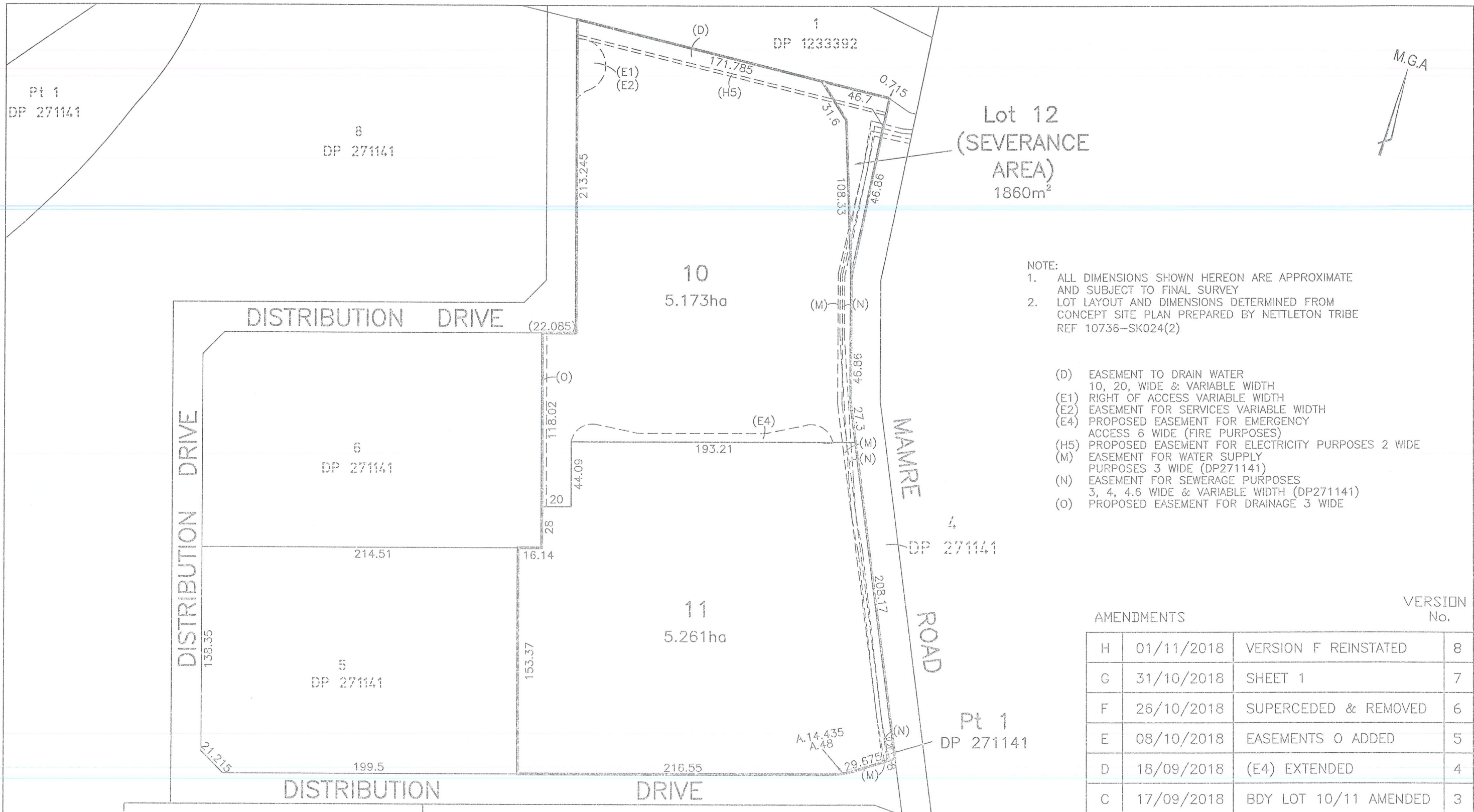
Enclosure 1 - Existing Layout.



AMENDMENTS			VERSION No.
H	01/11/2018	SEVERANCE LOT ADDED	8
G	31/10/2018	SHEET 1	7
F	26/10/2018	SUPERCEDED & REMOVED	6
E	08/10/2018	EASEMENTS O ADDED	5
D	18/09/2018	(E4) EXTENDED	4
C	17/09/2018	BDY LOT 10/11 AMENDED	3
B	09/08/2018	BDY LOT 11/12 AMENDED	2
A	24/07/2018	FOR COMMENT	1

NOTES:	L.G.A.	 	JOB TITLE	PLAN OF PROPOSED SUBDIVISION LOTS 7 & 9 DP271141 ERSKINE PARK	Plan No.: 73535.007 VER 8
	CLIENT				
	ALTIS	Sydney Office Level 2, 23-29 South St Rydalmere NSW 2116 PO Box 1144 Dundas NSW 2117 t 61 2 9685 2000 e sydney@landpartners.com.au www.landpartners.com.au	Reduction Ratio: 1: 4000	Date of Survey: N/A	Surveyor: GK0 Drawn By: SHL
Sheet 1 of 2					

Enclosure 2a - Proposed Subdivision -



- NOTE:
- ALL DIMENSIONS SHOWN HEREON ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY
 - LOT LAYOUT AND DIMENSIONS DETERMINED FROM CONCEPT SITE PLAN PREPARED BY NETTLETON TRIBE REF 10736-SK024(2)
- (D) EASEMENT TO DRAIN WATER 10, 20, WIDE & VARIABLE WIDTH
(E1) RIGHT OF ACCESS VARIABLE WIDTH
(E2) EASEMENT FOR SERVICES VARIABLE WIDTH
(E4) PROPOSED EASEMENT FOR EMERGENCY ACCESS 6 WIDE (FIRE PURPOSES)
(H5) PROPOSED EASEMENT FOR ELECTRICITY PURPOSES 2 WIDE
(M) EASEMENT FOR WATER SUPPLY PURPOSES 3 WIDE (DP271141)
(N) EASEMENT FOR SEWERAGE PURPOSES 3, 4, 4.6 WIDE & VARIABLE WIDTH (DP271141)
(O) PROPOSED EASEMENT FOR DRAINAGE 3 WIDE

AMENDMENTS				VERSION No.
H	01/11/2018	VERSION F REINSTATED		8
G	31/10/2018	SHEET 1		7
F	26/10/2018	SUPERCEDED & REMOVED		6
E	08/10/2018	EASEMENTS O ADDED		5
D	18/09/2018	(E4) EXTENDED		4
C	17/09/2018	BDY LOT 10/11 AMENDED		3
B	09/08/2018	BDY LOT 11/12 AMENDED		2
A	24/07/2018	FOR COMMENT		1

NOTES:

L.G.A. PENRITH

CLIENT ALTIS



Sydney Office
Level 2, 23-29 South St
Rydalmere NSW 2116

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Dundas NSW 2117

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ISO 9001:2005
FS 535063

JOB TITLE

PLAN OF PROPOSED SUBDIVISION
LOTS 7 & 9 DP271141
ERSKINE PARK

Reduction Ratio:
1:2500

Date of Survey:
N/A

Surveyor: GKO

Drawn By: SHL

Plan No.:

73535.007
VER 8

Sheet 2 of 2

Enclosure 2b - Proposed subdivision

