SNACKBRANDS, LOT 7, FIRST ESTATE, MAMRE ROAD, ORCHARD HILLS CONCEPT STORMWATER MANAGEMENT

SITE WORKS - GENERAL

- 1. ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH LOCAL COUNCIL, AUSTRALIAN AND AUTHORITY STANDARDS.
- 2. ALL TRENCHING WORKS ARE TO BE RESTORED TO ORIGINAL CONDITION.
- 3. THE INTEGRITY OF ALL EXISTING AND NEW SERVICES IS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 4. ALL PLANS ARE TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTS, STRUCTURAL ENGINEERS AND OTHER CONSULTANT'S PLANS. ANY DISCREPANCIES ARE TO BE NOTIFIED TO THE ENGINEER FOR

SEDIMENT AND EROSION CONTROL

- 1. THE CONTRACTOR SHALL INSTIGATE ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH PENRITH CITY COUNCIL REQUIREMENTS AND THE "BLUE BOOK" (MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION, PRODUCED BY THE DEPARTMENT OF HOUSING). THESE MEASURES ARE TO BE REGULARLY INSPECTED AND
- 2. THE SEDIMENT & EROSION CONTROL PLAN PRESENTS CONCEPTS ONLY, THE CONTRACTOR SHALL AT ALL TIMES BE RESPONSIBLE FOR THE ESTABLISHMENT & MANAGEMENT OF A DETAILED SCHEME MEETING COUNCIL'S DESIGN, AND ALL OTHER REGULATORY AUTHORITY
- 3. WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
- a. INSTALL ALL TEMPORARY SEDIMENT FENCES AND BARRIER FENCES. WHERE FENCES ARE ADJACENT TO EACH OTHER THE SEDIMENT FENCE CAN BE INCORPORATED INTO THE BARRIER FENCE.
- b. CONSTRUCT TEMPORARY STABILISED SITE ACCESS. INCLUDING SHAKE DOWN AND WASH PAD.
- c. INSTALL SEDIMENT CONTROL MEASURES AS OUTLINED ON THESE SEDIMENT AND CONTROL PLANS (ONCE APPROVED)
- 4. THE CONTRACTOR SHALL UNDERTAKE SITE DEVELOPMENT WORKS SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF MINIMUM WORKABLE SIZE.
- 5. AT ALL TIMES AND IN PARTICULAR DURING WINDY AND DRY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL. TACIFIERS MAY BE USED TO CONTROL DUST DURING EXTENDED PERIODS OF DRY
- 6. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) SHALL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- 7. WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN STABILISED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED OUT.
- 8. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE STABILISED / REHABILITATED.
- 9. THE CONTRACTOR SHALL ALLOW FOR THE ESTABLISHMENT OF ANY OTHER EROSION PROTECTION MEASURES. (IF APPLICABLE).
- 10.THE CONTRACTOR SHALL REGULARLY INSPECT (MINIMUM TWICE PER WEEK) ALL EROSION AND SEDIMENT CONTROL MEASURES TO ENSURE THEY ARE OPERATING EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN REGULARLY AND AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
- 11. ACCEPTABLE RECEPTORS SHALL BE USED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER. WASTE FROM THESE RECEPTORS SHALL BE DISPOSED OF IN ACCORDANCE WITH REGULATORY AUTHORITY REQUIREMENTS. PAY ALL FEES AND PROVIDE EVIDENCE OF SAFE DISPOSAL.

SITE WORKS - ACCESS AND SAFETY

- 1. ALL WORKS ARE TO BE UNDERTAKEN IN A SAFE MANNER IN ACCORDANCE WITH ALL STATUTORY AND INDUSTRIAL RELATION
- 2. ACCESS TO ADJACENT BUILDINGS AND PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
- 3. WHERE NECESSARY SAFE PASSAGE SHALL BE PROVIDED FOR VEHICLES AND PEDESTRIANS THROUGH OR ADJACENT TO THE SITE

STORMWATER

- 1. ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE FOLLOWING AUSTRALIAN STANDARDS AS2032, AS3500 AND AS3725 AS
- 2. ALL PIPES LESS THAN OR EQUAL TO Ø300mm IN SIZE ARE TO BE SOLVENT WELD-JOINTED UPVC CLASS SN6 U.N.O.
- 3. ALL PIPES Ø375mm OR GREATER IN SIZE ARE TO BE MIN. CLASS 2 REINFORCED CONCRETE PIPE (RCP) WITH SPIGGOT AND SOCKETED JOINT OR VANTAGE PIPE PLUS (VPIPE+) FIBRE REINFORCED CONCRETE (FRC) WITH VANTAGE PIPE PLUS JOINT U.N.O.
- 4. ALL PIPES ARE TO BE LAID AT MIN. 1.0% GRADE U.N.O.
- 5. PIPE BEDDING IS TO BE HS2 UNDER ROADS AND TRAFFICKED AREAS AND SHALL BE H2 IN LANDSCAPED AND PEDESTRIAN TRAFFICKED AREAS U.N.O.
- 6. ALL PIPE BENDS AND JUNCTIONS ARE TO BE MADE WITH EITHER PURPOSE MADE FITTINGS OR STORMWATER DRAINAGE PITS.
- 7. MINIMUM COVER FROM THE OBVERT OF THE STORMWATER PIPE OF 300mm IS TO BE PROVIDED IN LANDSCAPED AREAS AND 600mm IN VEHICULAR TRAFFICKED AREAS U.N.O.
- 8. WHERE MINIMUM COVER CANNOT BE ACHIEVED CONCRETE ENCASEMENT OF THE AFFECTED PIPE IS MAY BE UNDERTAKEN WITH 20MPa CONCRETE WITH A MIN. COVER OF 150mm TO ALL SIDES OF THE PIPE. THE CONTRACTOR SHALL CONFIRM THIS REQUIREMENT WITH THE ENGINEER OR SUPERINTENDENT.
- 9. LAID PIPELINES ARE TO HAVE THE FOLLOWING CONSTRUCTED
- a. HORIZONTAL-1:300 ANGULAR DEVIATION FROM REQUIRED ALIGNMENT: b. VERTICAL-1:300 ANGULAR DEVIATION FROM REQUIRED ALIGNMENT.
- 10. ALL DRAINAGE PITS ARE TO BE CAST IN-SITU, PRECAST DRAINAGE PITS MAY BE USED WITH APPROVAL FROM THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A PRECAST PIT INSTALLATION WORK METHOD STATEMENT FOR ASSESSMENT BY THE ENGINEER FOR
- 11. DRAINAGE PIT COVERS ARE TO BE EITHER GALVANISED STEEL OR CAST IRON CLASS 'B' IN LANDSCAPED AND PEDESTRIAN TRAFFICKED AREAS AND CLASS 'D' IN ALL VEHICULAR TRAFFICKED AREAS U.N.O.
- 12. DRAINAGE PIT COVERS ARE TO BE 'HEELSAFE' TYPE IN ALL PEDESTRIAN TRAFFICKED AREAS U.N.O.

AND T-JUNCTIONS WHERE NO PITS ARE PRESENT.

- 13. EXISTING STORMWATER PIT LOCATIONS AND INVERT LEVELS TO BE CONFIRMED PRIOR TO COMMENCING WORKS ON SITE. 14. PROVIDE CLEANING EYES (RODDING POINTS) TO PIPES AT ALL CORNERS
- 15. DOWN PIPES CONNECTED DIRECT TO PIPES TO BE CONNECTED AT 45° TO THE FLOW DIRECTION WITH A CLEANING EYE PROVIDED AT GROUND LEVEL.

FINISHED LEVELS

- 1. LEVELS BASED ON ESTATE INFRASTRUCTURE PLANS PREPARED BY COSTINROE CONSULTING, Ref: 12042.00 & SURVEY PREPARED BY BOXALL SURVEYORS Ref: 10116. THE CONTRACTOR SHALL VERIFY LEVELS PRIOR TO CONSTRUCTION COMMENCEMENT, ANY DISCREPANCIES SHALL BE NOTIFIED TO THE ENGINEER OR SUPERINTENDENT FOR CLARIFICATION.
- 2. FINISHED LEVELS SHOWN ARE CONCEPTUAL ONLY AND SUBJECT TO DETAILED DESIGN PRIOR TO CONSTRUCTION CERTIFICATE APPLICATION. FINAL FINISHED LEVELS TO BE +/- 0.5m FROM LEVELS SHOWN.
- 3. CARPARK & SERVICE AREA LAYOUT AND GRADES TO COMPLY WITH
- 4. DRIVEWAY LAYOUT AND DESIGN TO COMPLY WITH PENRITH CITY COUNCIL ACCESS DRIVEWAY DESIGN AND CONSTRUCTION SPECIFICATION. 5. ALL CONTOUR LINES & SPOT LEVELS INDICATE FINISHED PAVEMENT
- LEVELS U.N.O. ON PLAN. 6. PERMANENT BATTER SLOPES ARE TO HAVE A MAXIMUM GRADE OF
- 7. ALL FOOTPATHS ARE TO FALL AWAY FROM THE BUILDING AT 2.5% NOMINAL. GRADE.
- 8. ALL PAVEMENTS ARE TO BE SET AT 50mm BELOW THE FINISHED FLOOR LEVEL OF THE WAREHOUSE AND OFFICE AREAS.



LOCALITY PLAN NOT TO SCALE - SOURCE: NEARMAP

DRAWING SCHEDULE

DA1.01 COVER SHEET, LOCALITY PLAN AND DRAWING SCHEDULE

DA2.01 CONCEPT SEDIMENT AND EROSION CONTROL MANAGEMENT PLAN

DA2.02 CONCEPT SEDIMENT AND EROSION CONTROL DETAILS

DA4.02 CONCEPT PAVEMENT GRADING & STORMWATER DRAINAGE PLAN SHEET 2

DA4.03 CONCEPT PAVEMENT GRADING & STORMWATER DRAINAGE PLAN SHEET 3

DA4.04 CONCEPT PAVEMENT GRADING & STORMWATER DRAINAGE PLAN SHEET 4 DA4.05 CONCEPT PAVEMENT GRADING & STORMWATER DRAINAGE PLAN SHEET 5

DA5.11 CONCEPT TYPICAL SECTIONS SHEET 1

DA5.12 CONCEPT TYPICAL SECTIONS SHEET 2

SSD APPLICATION

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATION

DO NOT SCALE OFF THIS DRAWING. USE DIMENSIONS & ARCHITECTURAL DRAWINGS ONLY

COMPLETION OF THE QUALITY RECORD IS EVIDENCE THAT THE DESIGN AND DRAWING HAVE BEEN VERIFIED. <u>VERIFICATION</u>

COMPLETION OF THE DRAWING STATUS IS EVIDENCE THAT THE DESIGN HAS BEEN VERIFIED AS

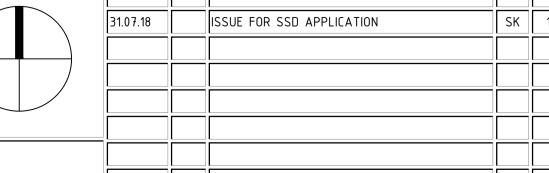
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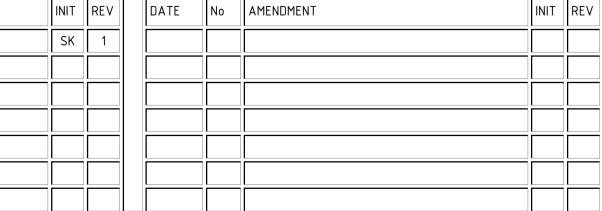
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AMENDMENT





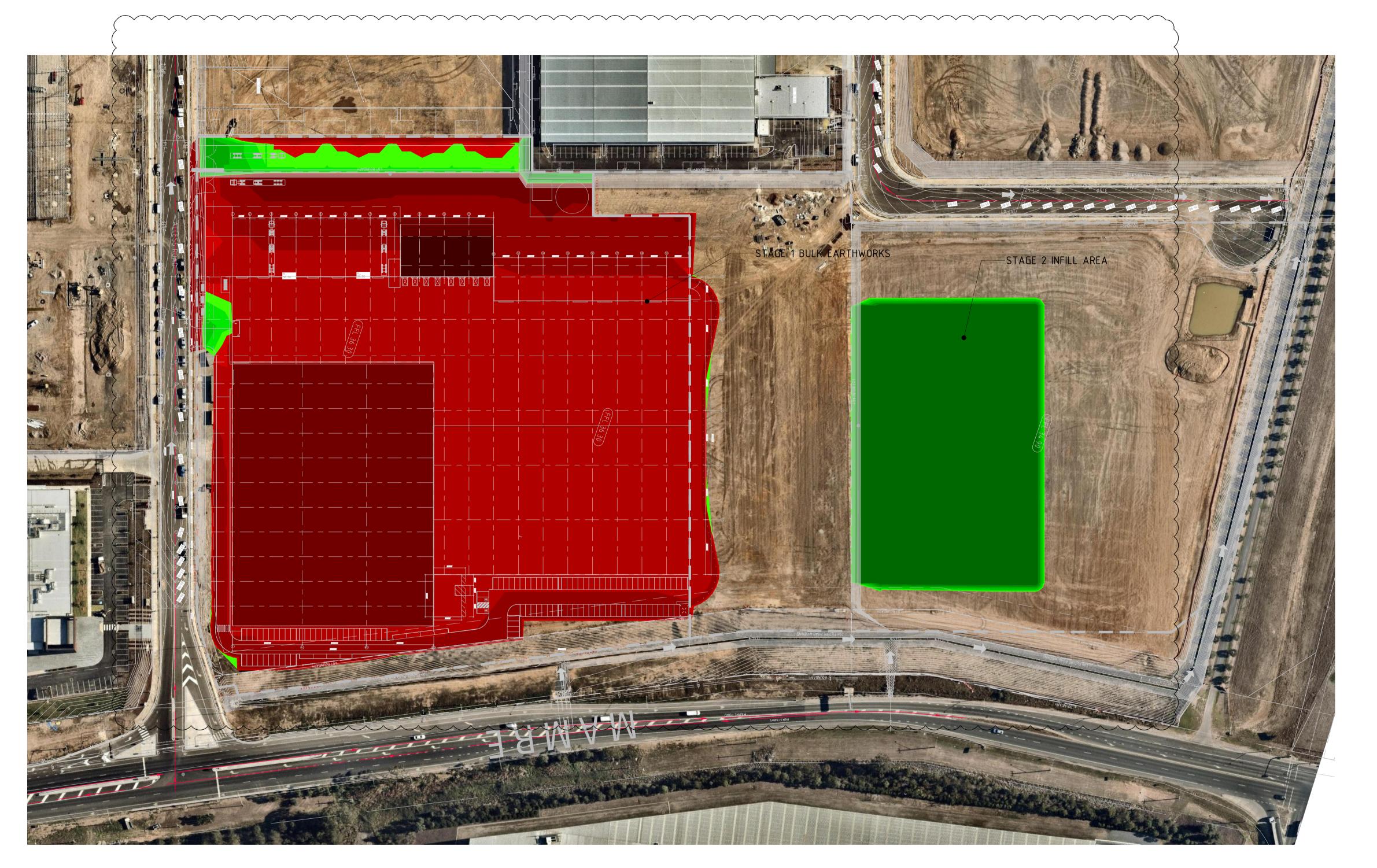


hansen yuncken

SNACKBRANDS, LOT 7, FIRST ESTATE, MAMRE ROAD. ORCHARD

SSD APPLICATION COVER SHEET, LOCALITY PLAN AND DRAWING SCHEDULE







NOTES

- 1. CUT TO FILL DEPTHS SHOWN ARE CONCEPTUAL ONLY AND BASED ON LEVELS SHOWN ON ESTATE INFRASTRUCTURE PLANS APPROVED UNDER SSD 15_7173 AS PREPARED PREPARED BY COSTINROE CONSULTING, REF: 12042.00.
- 2. VOLUMES DETAILED BELOW DO NOT TAKE INTO ACCOUNT BULKING & COMPACTION OF THE MATERIAL, DETAILED EXCAVATION FOR SERVICES TRENCHING & FOUNDATIONS AND BACKFILL FOR RETAINING WALL CONSTRUCTION.

STAGE 1:

CUT – 16,230m³ FILL – 430m³ EXPORT - 15,800m³

STAGE 2:

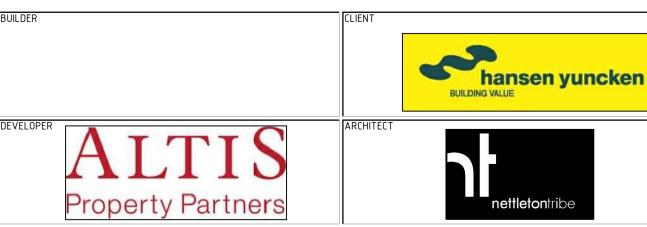
EXPORT OF 15,800m3 FROM STAGE 1 WORKS TO BE PLACED WITHIN STAGE 2 AREA

3. VOLUMES BASED ON THE FOLLOWING PAVEMENT THICKNESSES TAKEN FROM FINISHED SURFACE AS SHOWN ON DA4.01-DA4.05 PLANS.

HARDSTAND PAVEMENT AND SUBBASE= 280mm
CARPARKING PAVEMENT AND SUBBASE = 280mm
BUILDING SLAB AND SUBBASE = 260mm
HIGH BAY BUILDING PAD = 800mm

ECKED DATE	NORTH POINT	DATE	No	AMENDMENT	INIT	REV
PROVED DATE		17.08.18		ISSUED FOR SSD APPLICATION	MW	1
GE PLOT DATE		12.10.18		ISSUED FOR SSD APPLICATION	SK	2
October 12, 2018						
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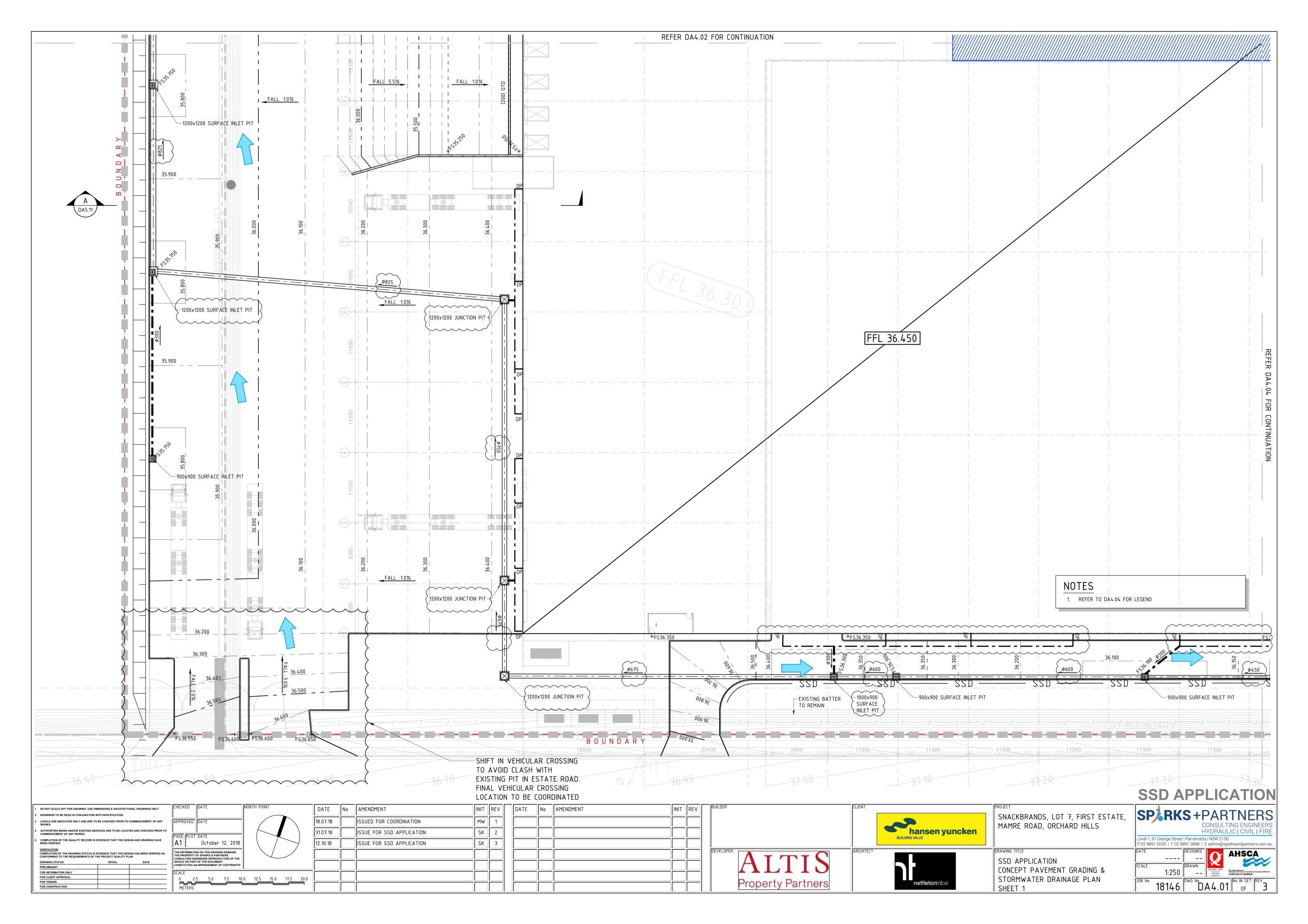
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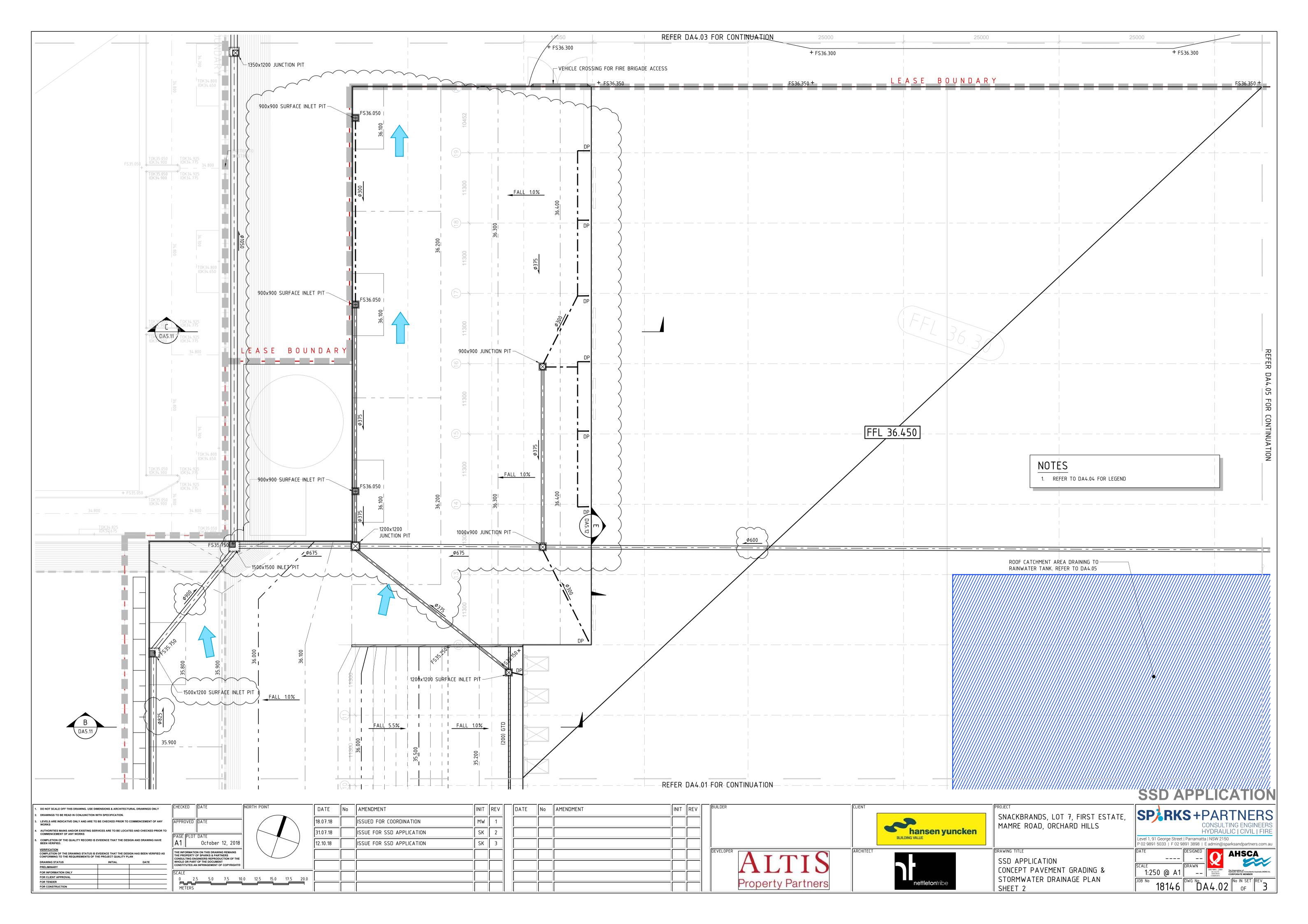
SPARKS + PARTNERS

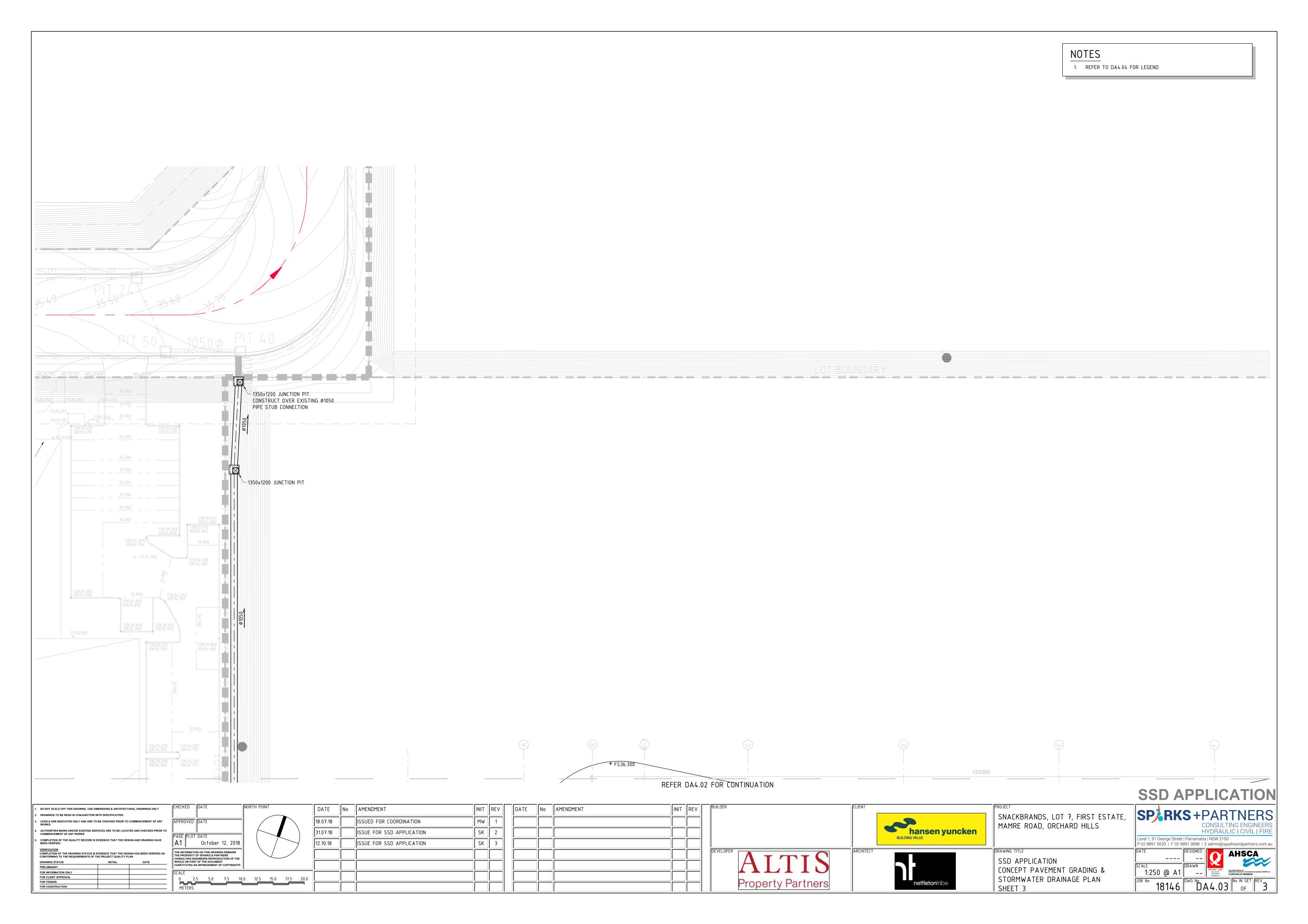
CONSULTING ENGINEERS
HYDRAULIC | CIVIL | FIRE

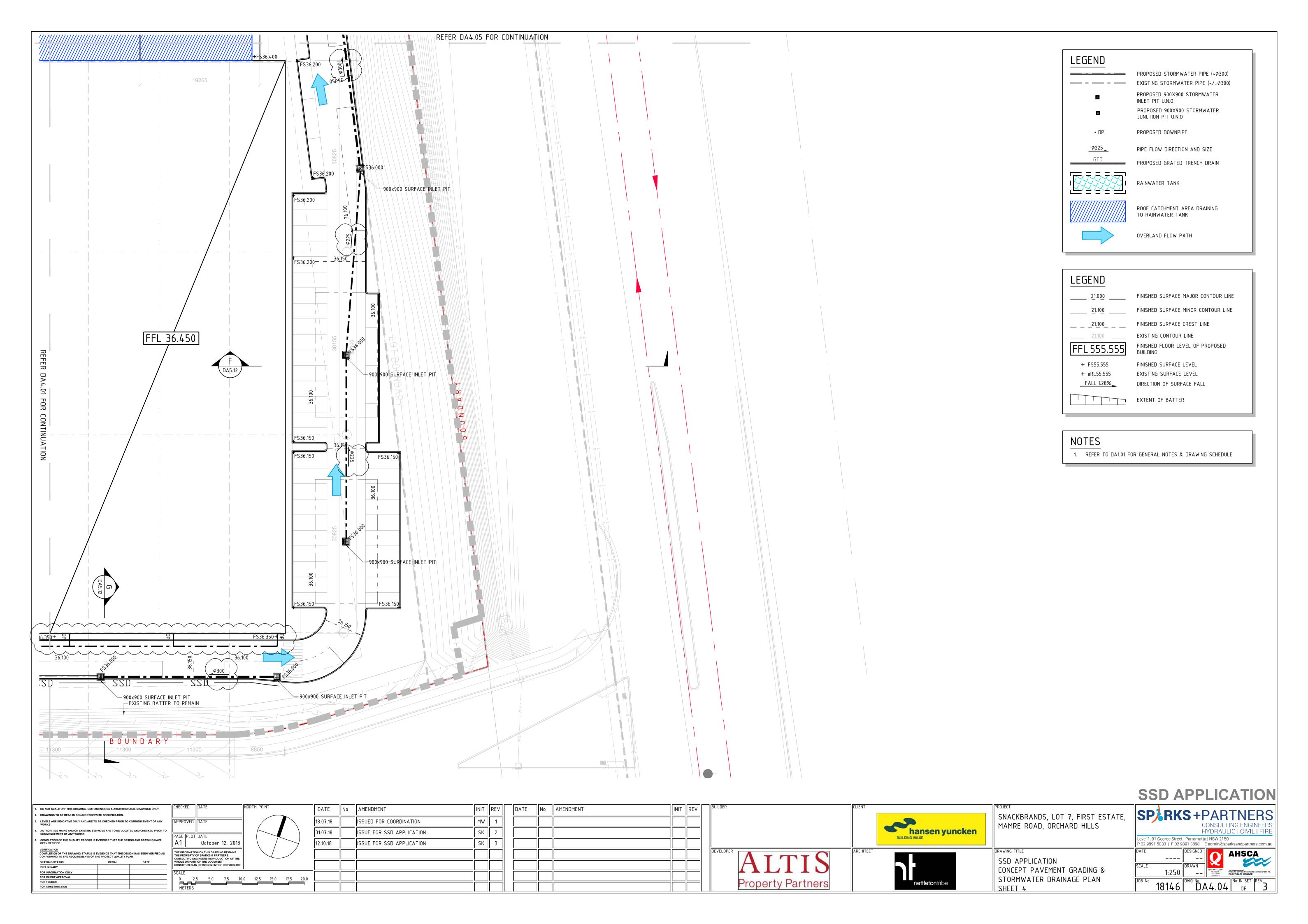
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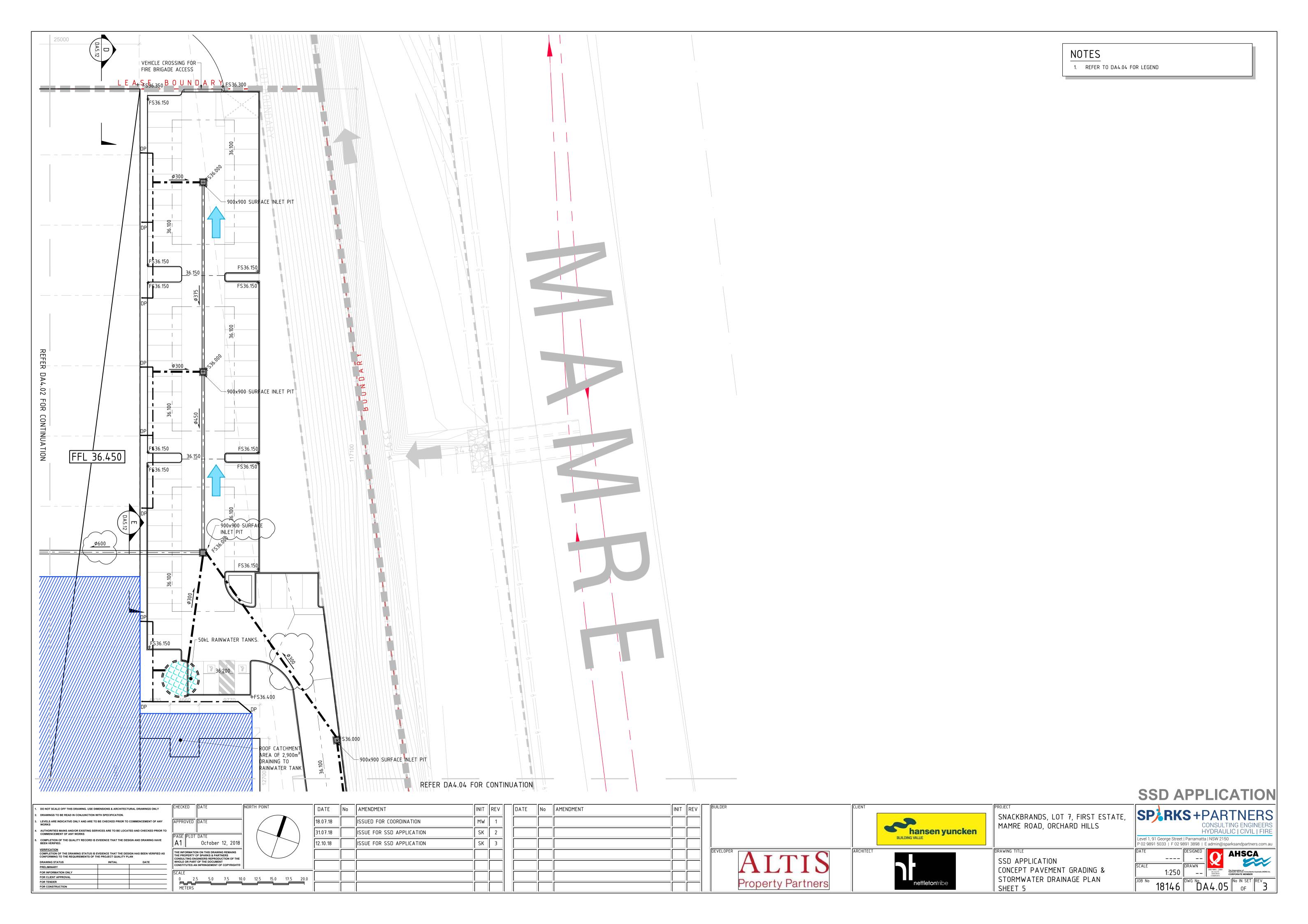
SSD APPLICATION CONCEPT BULK EARTHWORKS CUT TO FILL DEPTH PLAN

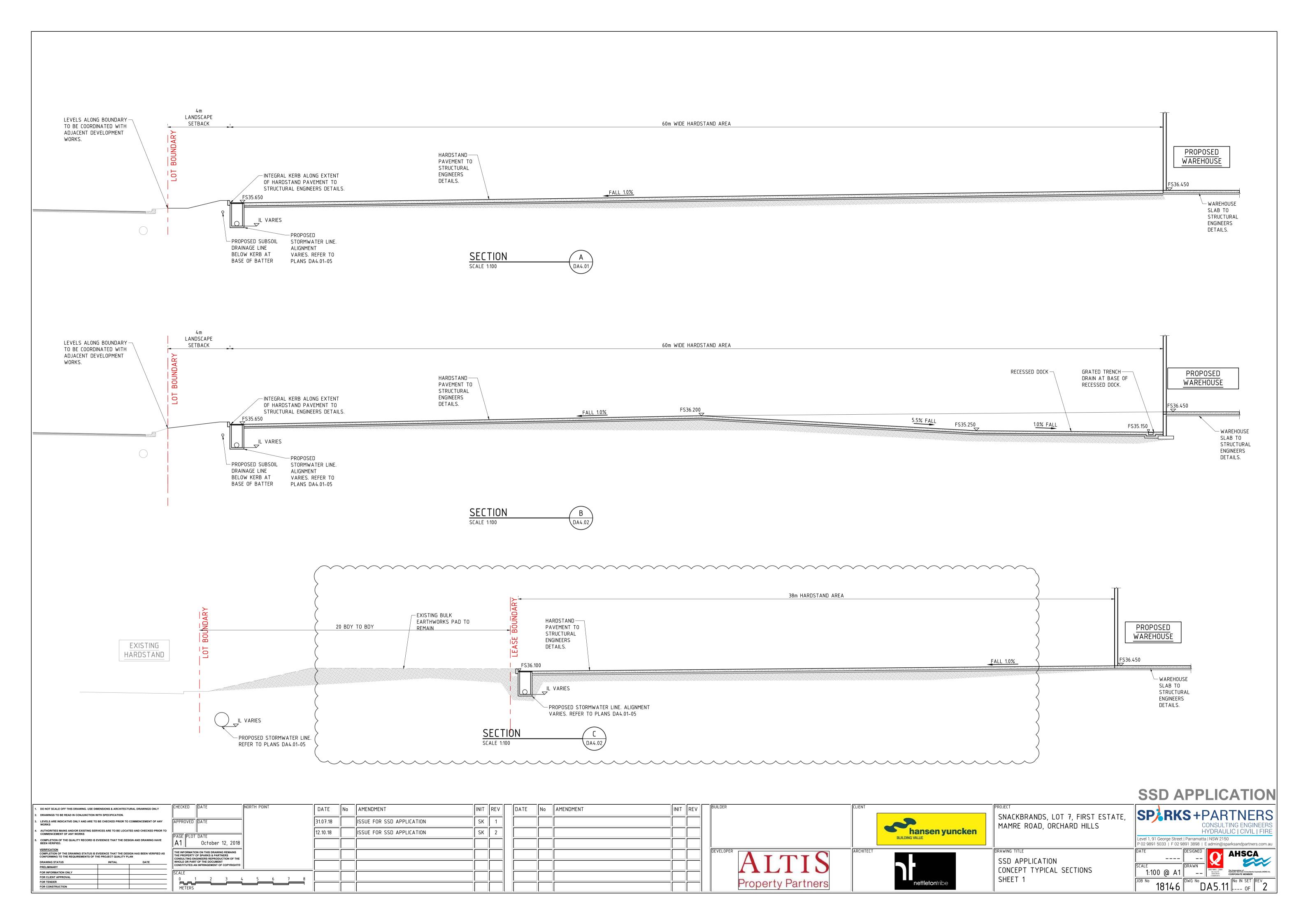


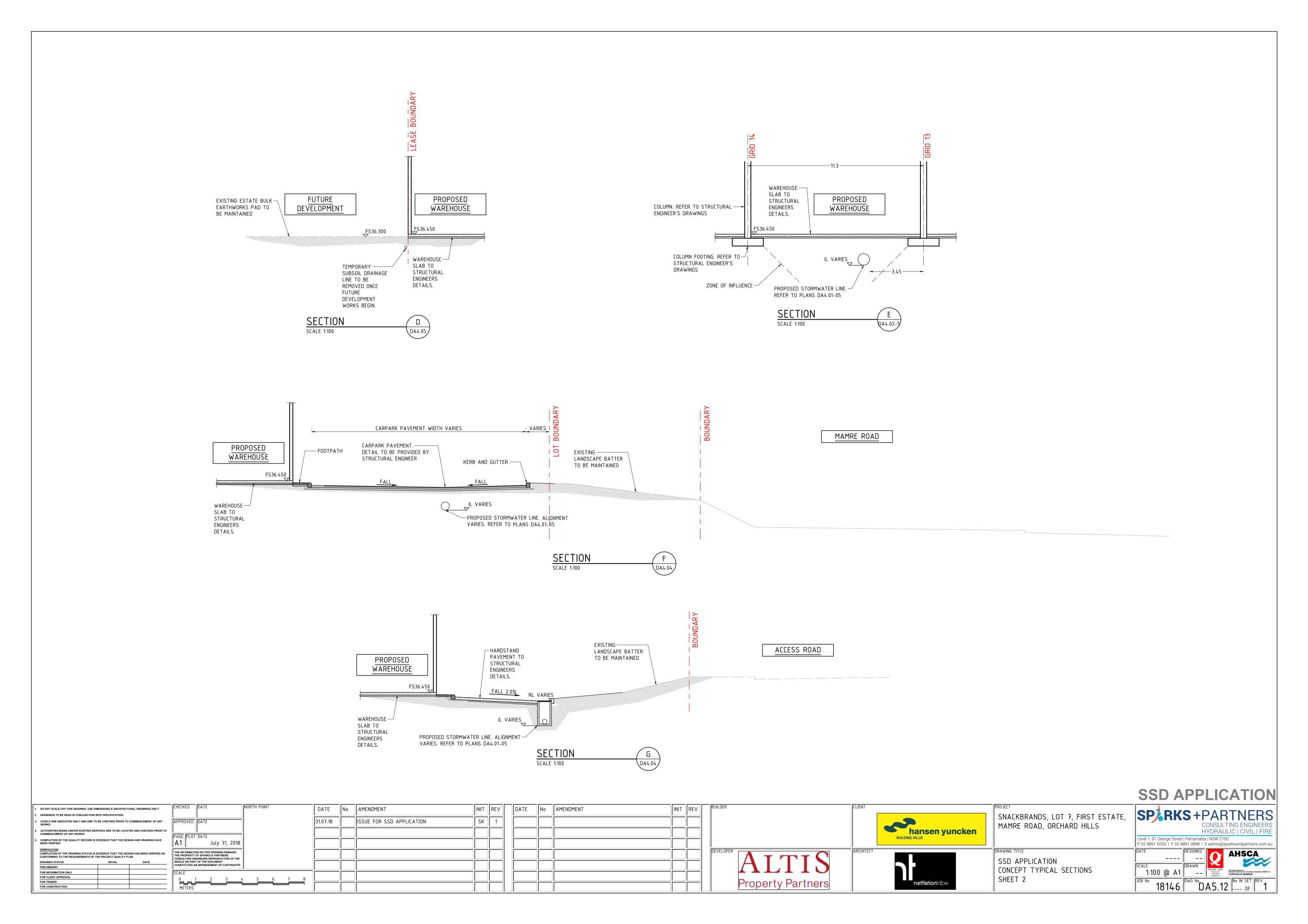


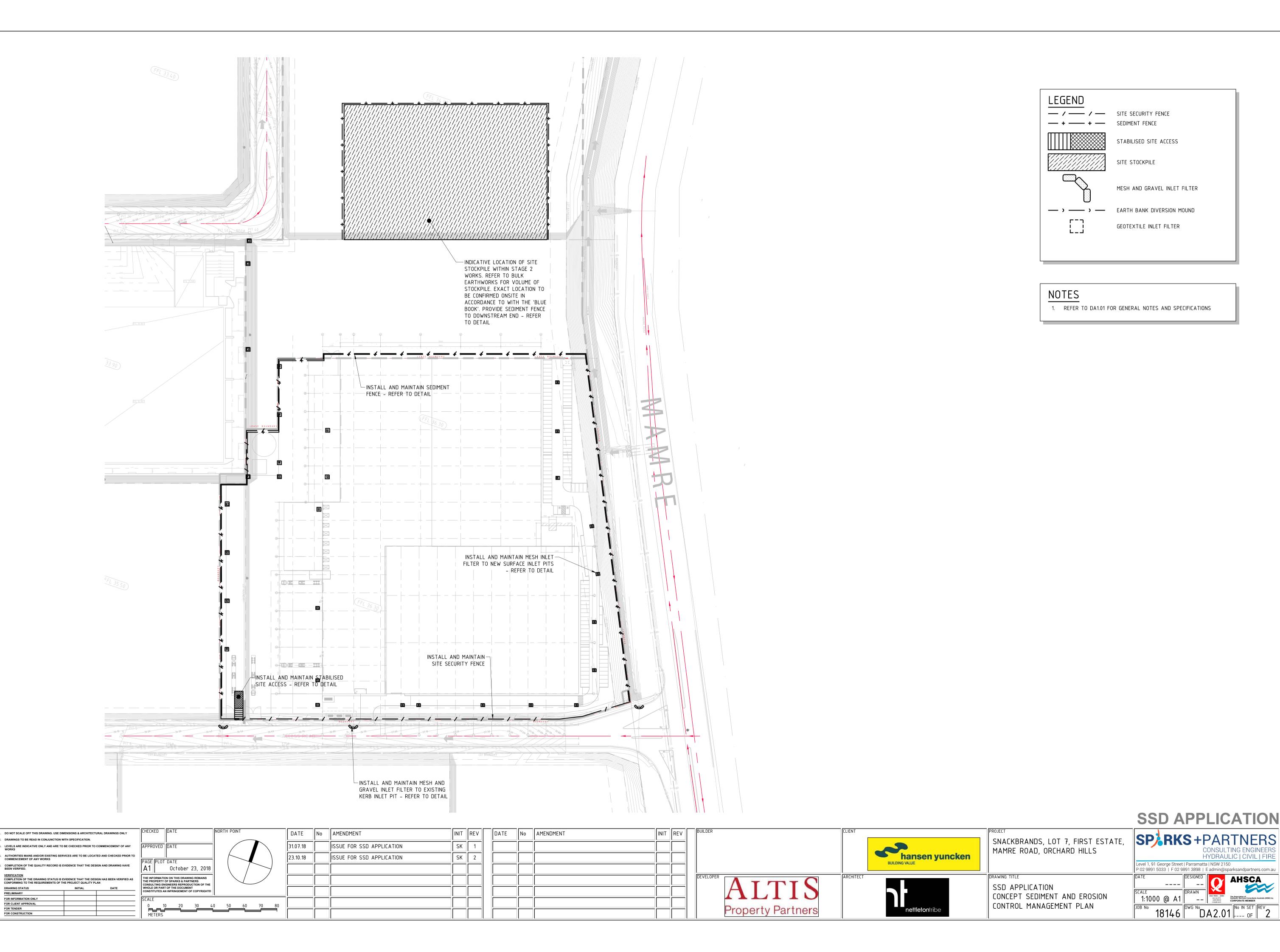












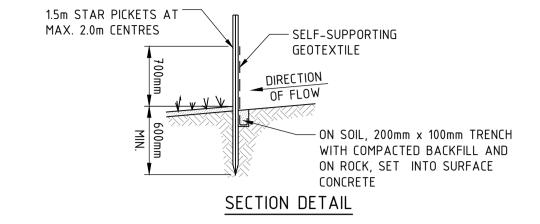
SSD APPLICATION

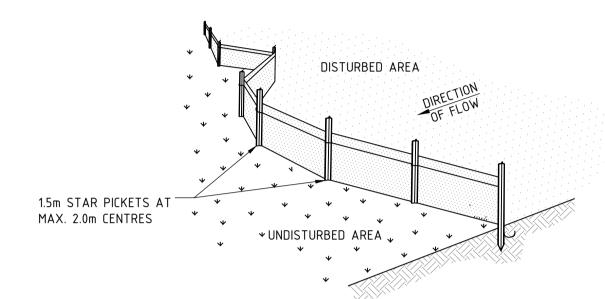
Level 1, 91 George Street | Parramatta | NSW 2150 P 02 9891 5033 | F 02 9891 3898 | E admin@sparksandpartners.com.au

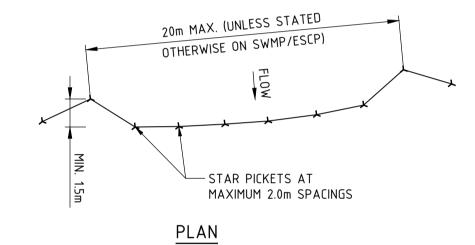
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HYDRAULIC | CIVIL | FIRE

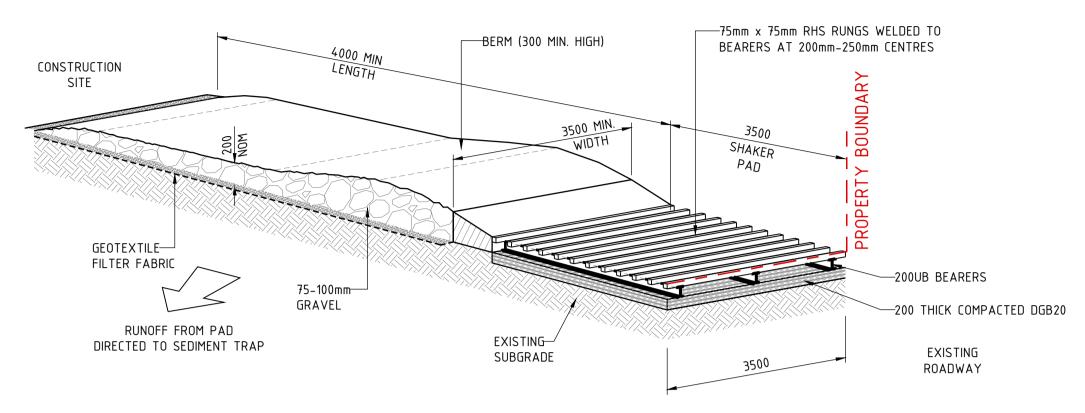






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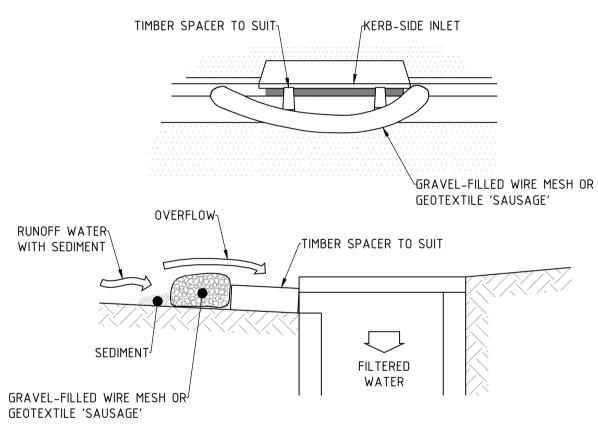
- 1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO
- 50L/s IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT. 2. CUT A 200mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
- 3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.0m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
- 4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
- 5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
- BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



STABILISED SITE ACCESS NOT TO SCALE

MAINTENANCE

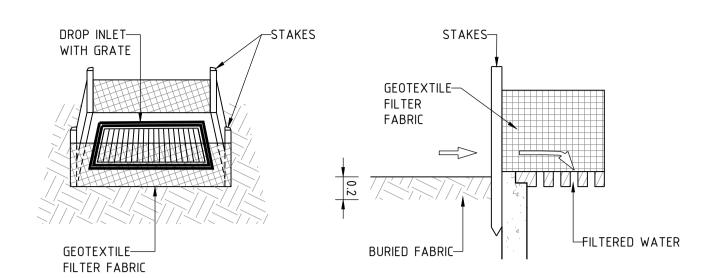
- THE TEMPORARY ACCESS SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY,
- THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.
- INSTALL BARRIER ON EITHER SIDE OF SHAKER PAD TO ENSURE VEHICLES ARE GUIDED ON TO THE PAD.
- INVERT OF SHAKER PAD TO BE DRAINED VIA AGRICULTURAL PIPE WRAPPED IN GEOTEXTILE FABRIC.



MESH AND GRAVEL INLET FILTER

NOTES:

- 1. THIS PRACTICE ONLY TO BE USED WHERE SPECIFIED IN AN APPROVED
- INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
- 3. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
- 4. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
- PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100-mm SPACE BETWEEN IT AND THE KERB INLET . MAINTAIN THE OPENING WITH SPACE BLOCKS.
- FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

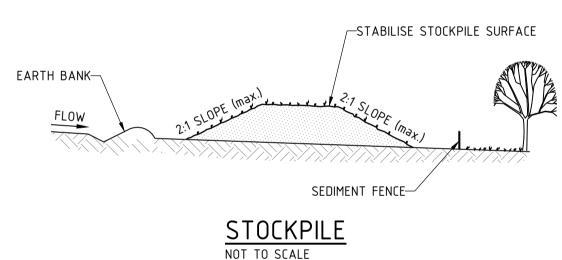


GEOTEXTILE INLET FILTER DROP INLET SEDIMENT TRAP NOT TO SCALE

NOTES:

OVER THE GEOTEXTILE.

- FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
- 2. CUT A 200mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
- DRIVE 1.0m LONG STAR PICKETS INTO GROUND AT THE FOUR CORNERS OF PIT WALLS. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
- FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
- 5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY



NOTES:

- 1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION.
- CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
- WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT. 4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
- 5. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.

SSD APPLICATION

DATE No AMENDMENT INIT REV DO NOT SCALE OFF THIS DRAWING. USE DIMENSIONS & ARCHITECTURAL DRAWINGS ONLY DATE AMENDMENT **SPARKS**+PARTNERS DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATION. SNACKBRANDS, LOT 7, FIRST ESTATE, ISSUE FOR SSD APPLICATION MAMRE ROAD, ORCHARD HILLS CONSULTING ENGINEERS hansen yuncken HYDRAULIC | CIVIL | FIRE AUTHORITIES MAINS AND/OR EXISTING SERVICES ARE TO BE LOCATED AND CHECKED PRIOR TO COMMENCEMENT OF ANY WORKS PAGE PLOT DATE BUILDING VALUE Level 1, 91 George Street | Parramatta | NSW 2150 COMPLETION OF THE QUALITY RECORD IS EVIDENCE THAT THE DESIGN AND DRAWING HAVE BEEN VERIFIED. July 31, 2018 P 02 9891 5033 | F 02 9891 3898 | E admin@sparksandpartners.com.au <u>VERIFICATION</u>

COMPLETION OF THE DRAWING STATUS IS EVIDENCE THAT THE DESIGN HAS BEEN VERIFIED AS CONFORMING TO THE REQUIREMENTS OF THE PROJECT QUALITY PLAN THE INFORMATION ON THIS DRAWING REMAINS
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WHOLE OR PART OF THE DOCUMENT
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