

LEGEND:

LEVELS DATUM IS AHD.

EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED.

- SGGP, SINGLE GRATED GULLY PIT

- SJP, SEALED JUNCTION PIT

- KIP, KERB INLET PIT

- DRAINAGE LINE

- EXISTING DRAINAGE LINE

- SUBSOIL LINE

- ROOFWATER LINE

- SIPHONIC LINE

- OVERLAND FLOW DIRECTION

- FINISHED PAVEMENT CONTOUR (MAJOR)
0.5m INTERVALS

- FINISHED PAVEMENT CONTOUR (MINOR)
0.1m INTERVALS

ISSUED FOR DEVELOPMENT APPROVAL

23.02.16

F

ARCHITECT

ISSUED FOR DEVELOPMENT APPROVAL

19.02.16

E

ISSUED FOR DEVELOPMENT APPROVAL

21.01.16

D

ISSUED FOR DEVELOPMENT APPROVAL

25.11.15

C

ISSUED FOR DEVELOPMENT APPROVAL

18.11.15

B

ISSUED FOR REVIEW

05.11.15

A

AMENDMENTS

DATE

ISSUE

CLIENT

LOGOS PROPERTY

SUITE 02, LEVEL 12

167 MACQUARIE STREET

SYDNEY NSW

PROJECT

PROPOSED DEVELOPMENT

32 YARRUNA STREET

PRESTONS NSW

CONSULTANT

COSTIN ROE CONSULTING PTY LTD

Consulting Engineers

Level 1, 8 Miranda Street

Miranda NSW 2225

Phone: (02) 9500 7900 Fax: (02) 9241 3781

email: mail@costinroe.com.au au ©

DESIGNED

PMW

SD

DATE

CHECKED

AI

SCALE

CAD REF

8753.11-DA44

DRAWING TITLE

STORMWATER DRAINAGE PLAN

SHEET 4

DRAWING No

C08753.11-DA44

ISSUE

F

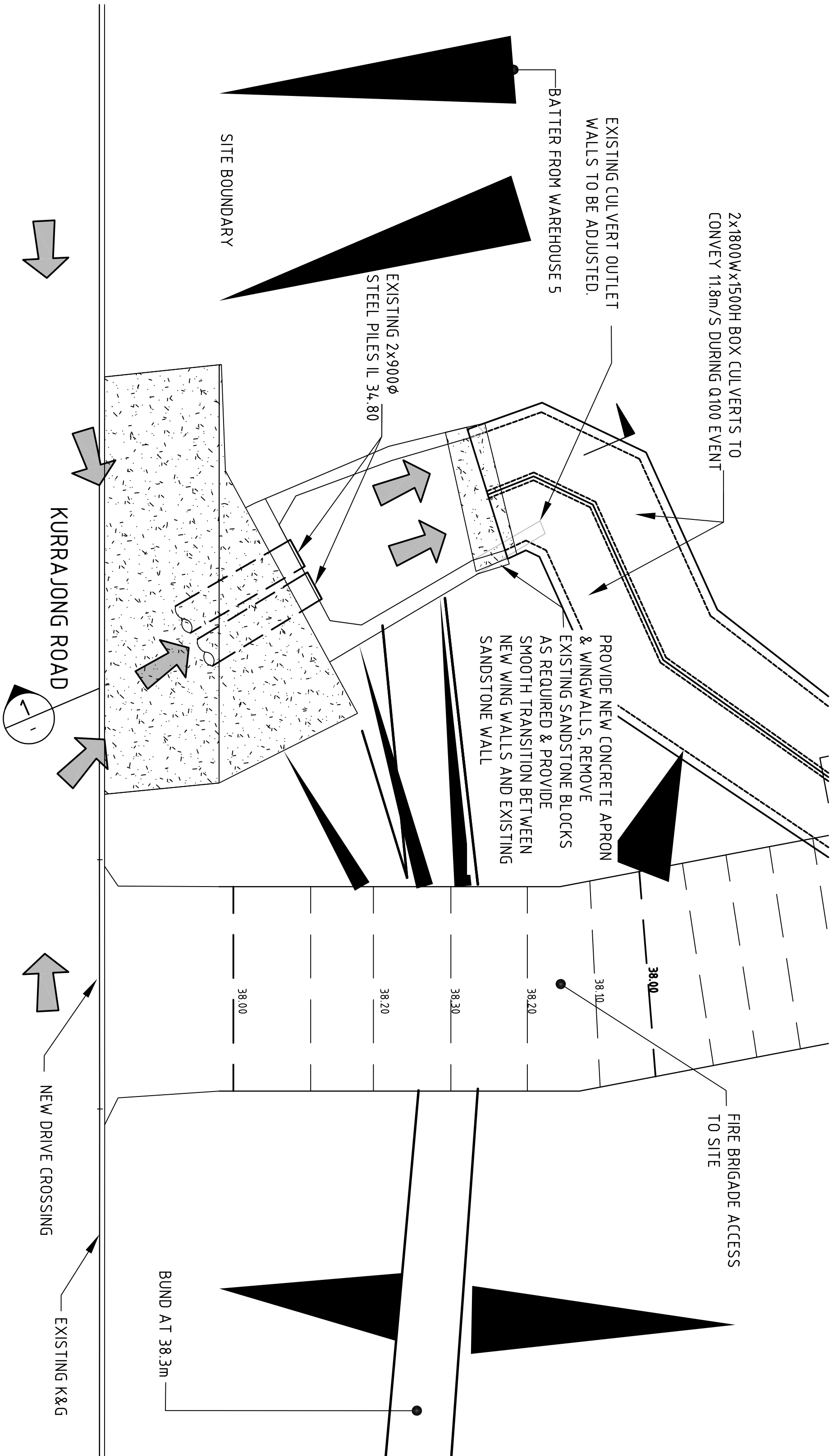
STORMWATER DRAINAGE PLAN SHEET 4

SCALE 1:500

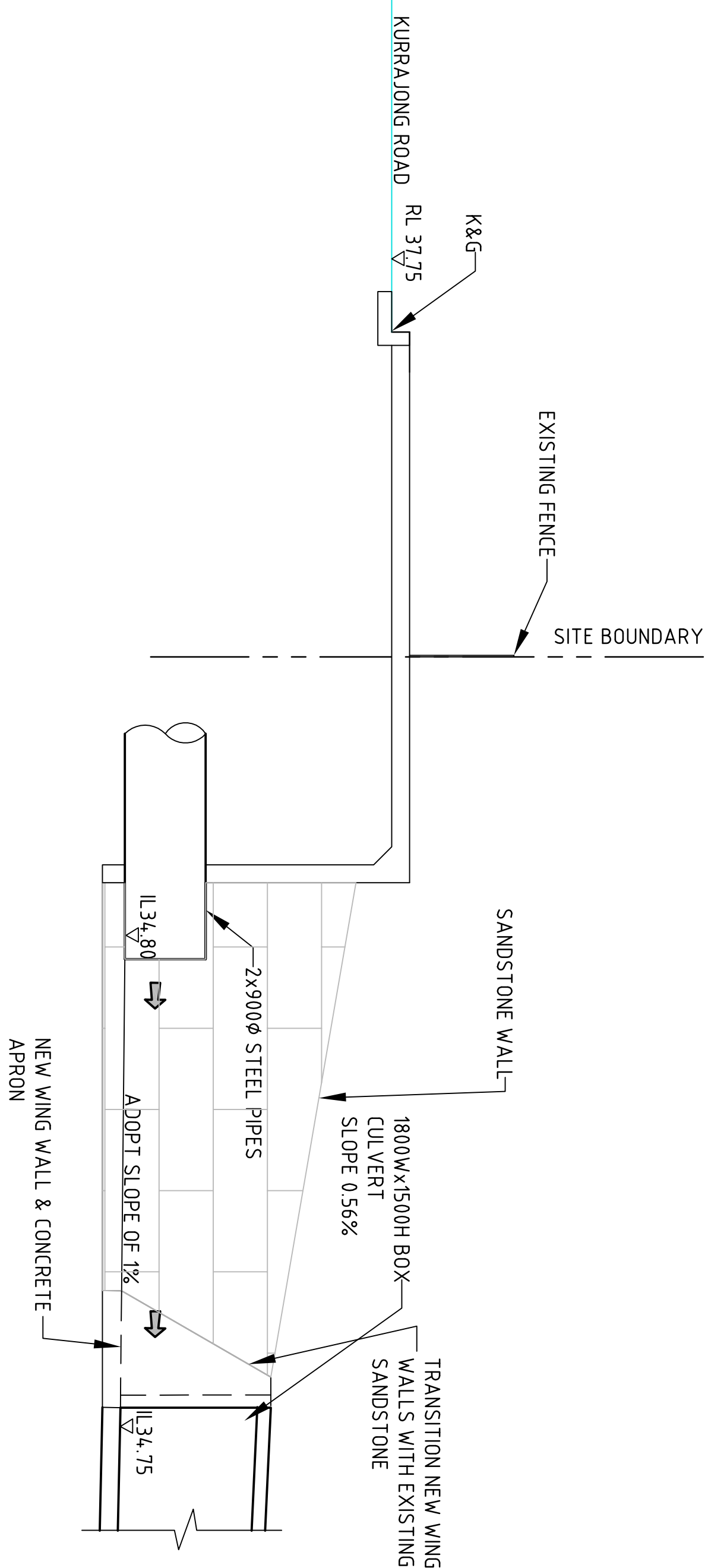
FOR DEVELOPMENT APPROVAL

COSTIN ROE CONSULTING

Value in Engineering and Management



KURRALONG ROAD CULVERT CONNECTION PLAN
SCALE 1:100



NOTE: ALL LEVELS ARE INDICATIVE & MAY BE SUBJECT
TO MINOR VARIATION TO SUIT DETAILED DESIGN.



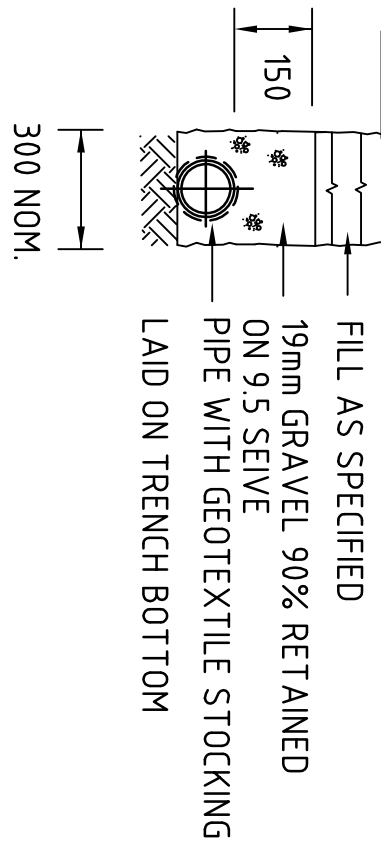
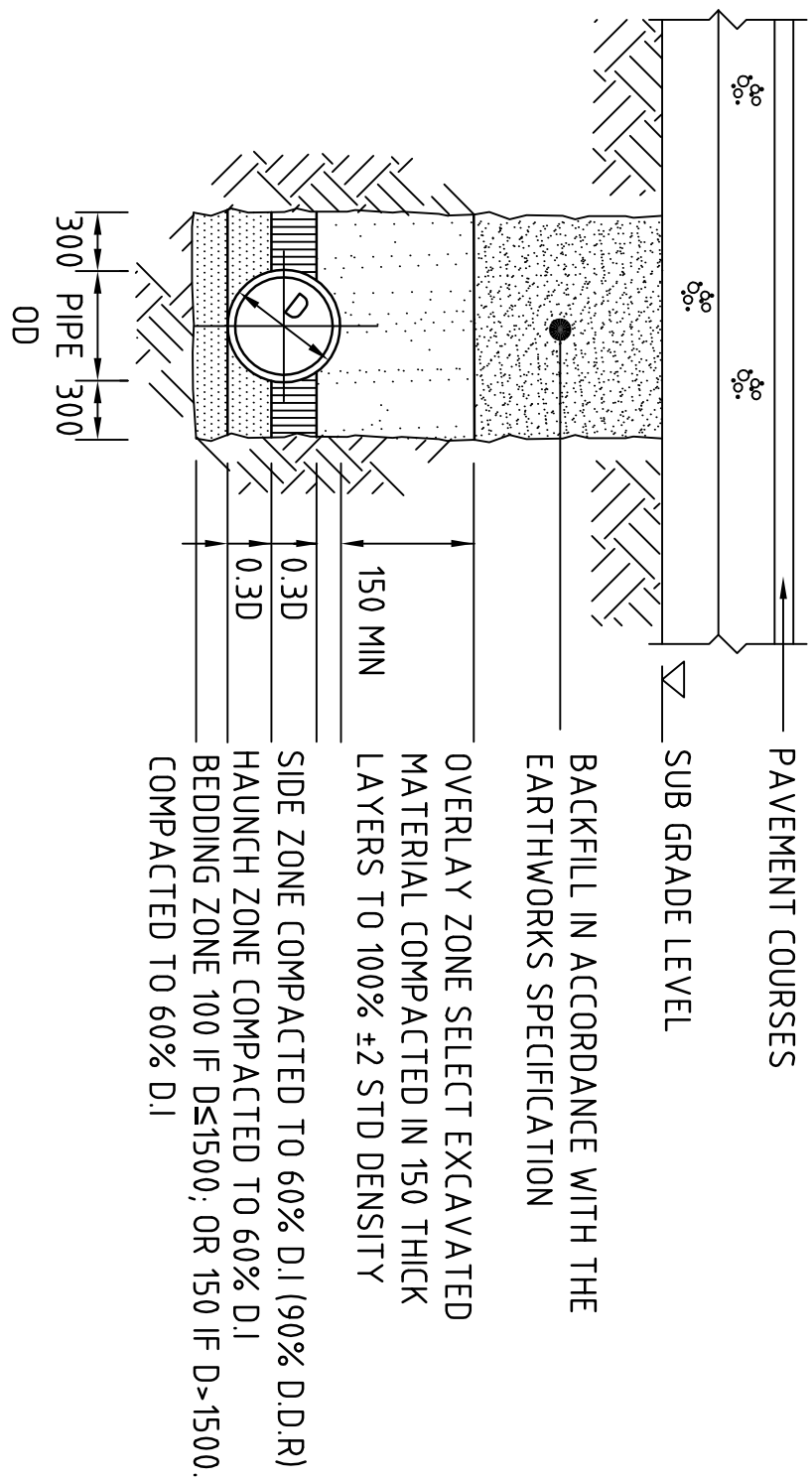
SCALE 1:50 AT A1 SIZE SHEET

SCALE 1:100 AT A1 SIZE SHEET

FOR DEVELOPMENT
APPROVAL

ARCHITECT				CLIENT				PROJECT				CONSULT AUSTRALIA			
ISSUED FOR DEVELOPMENT APPROVAL	19.02.16	D		LOGOS PROPERTY				PROPOSED DEVELOPMENT				Level 1, 8 Mindarie Street			
ISSUED FOR DEVELOPMENT APPROVAL	21.01.16	C		SUITE 02, LEVEL 12				32 YARRUNGA STREET				PRESTONS NSW			
ISSUED FOR DEVELOPMENT APPROVAL	25.11.15	B		167 MACQUARIE STREET				DESIGNED	IPSWIM	SD	DATE	CHECKED	SIZE	SCALE	
ISSUED FOR DEVELOPMENT APPROVAL	18.11.15	A		SYDNEY NSW				NW				AT			
AMENDMENTS	DATE	ISSUE						CDR REF:	8753-11-DA4.5						
Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 8 Mindarie Street Prestons NSW 2155 Tel: (02) 850 3780 Fax: (02) 850 3781 email: mail@costinroe.com.au ©															
DRAWING TITLE												KURRALONG ROAD CULVERT CONNECTION PLAN & SECTION			
DRAWING No												C08753-11-DA4.5			
												ISSUE			
												D			

CostinRoe Consulting
Value in Engineering and Management



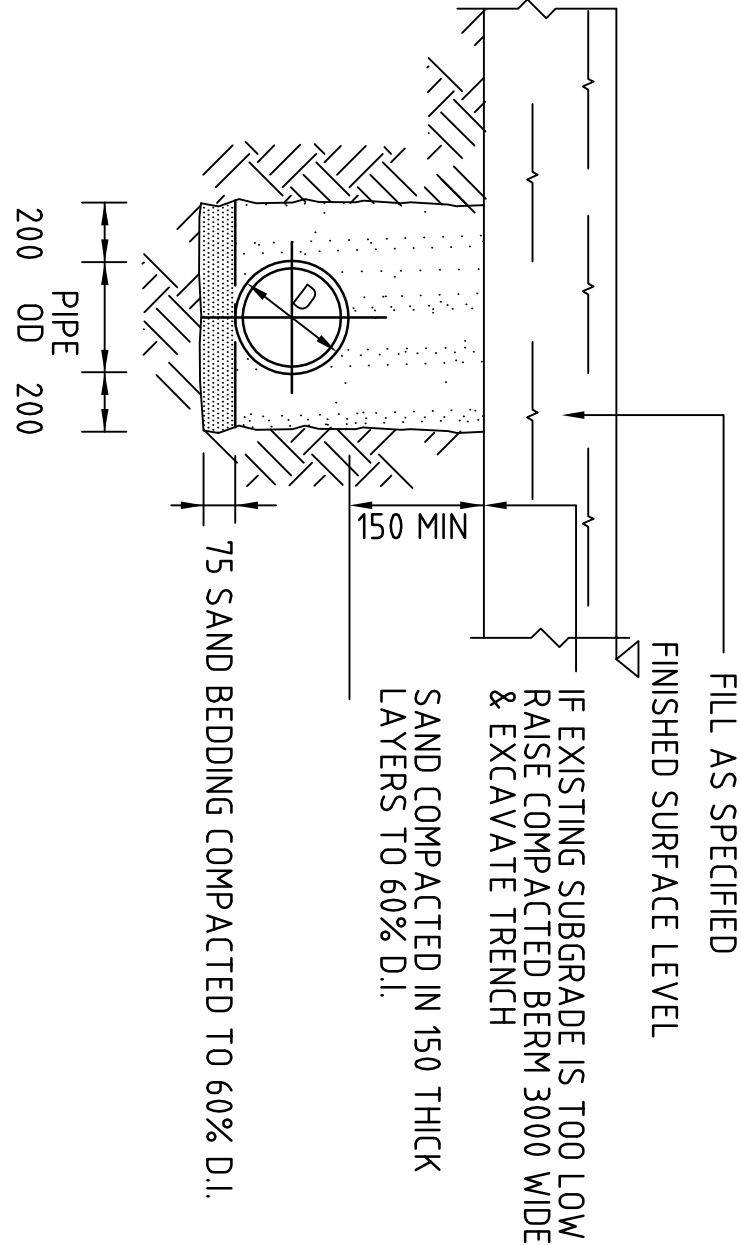
SUPPORT TO AG. DRAIN

TYPE HS2 SUPPORT TO CONCRETE PIPES UNDER PAVEMENT

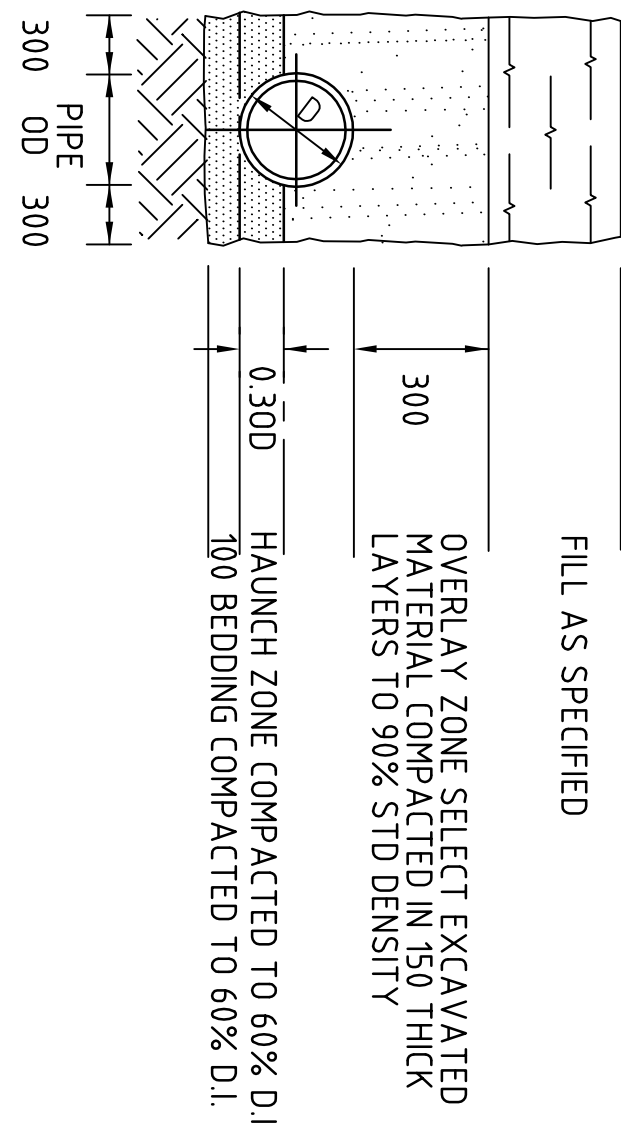
SIDE ZONE MATERIAL GRADING	
SIEVE SIZE	WEIGHT PASSING(%)
75	100
75	100 TO 50
2.36	100 TO 30
2.36	50 TO 15
0.60	25 TO 0
0.075	

SELECT FILL MATERIAL IN ACCORDANCE WITH TABLE 1 AS 3725

BEDDING & HAUNCH MATERIAL GRADING	
SIEVE SIZE	WEIGHT PASSING(%)
19	100
2.36	100 TO 50
0.60	90 TO 20
0.30	60 TO 10
0.15	25 TO 0
0.075	10 TO 0



SUPPORT TO UPVC PIPES



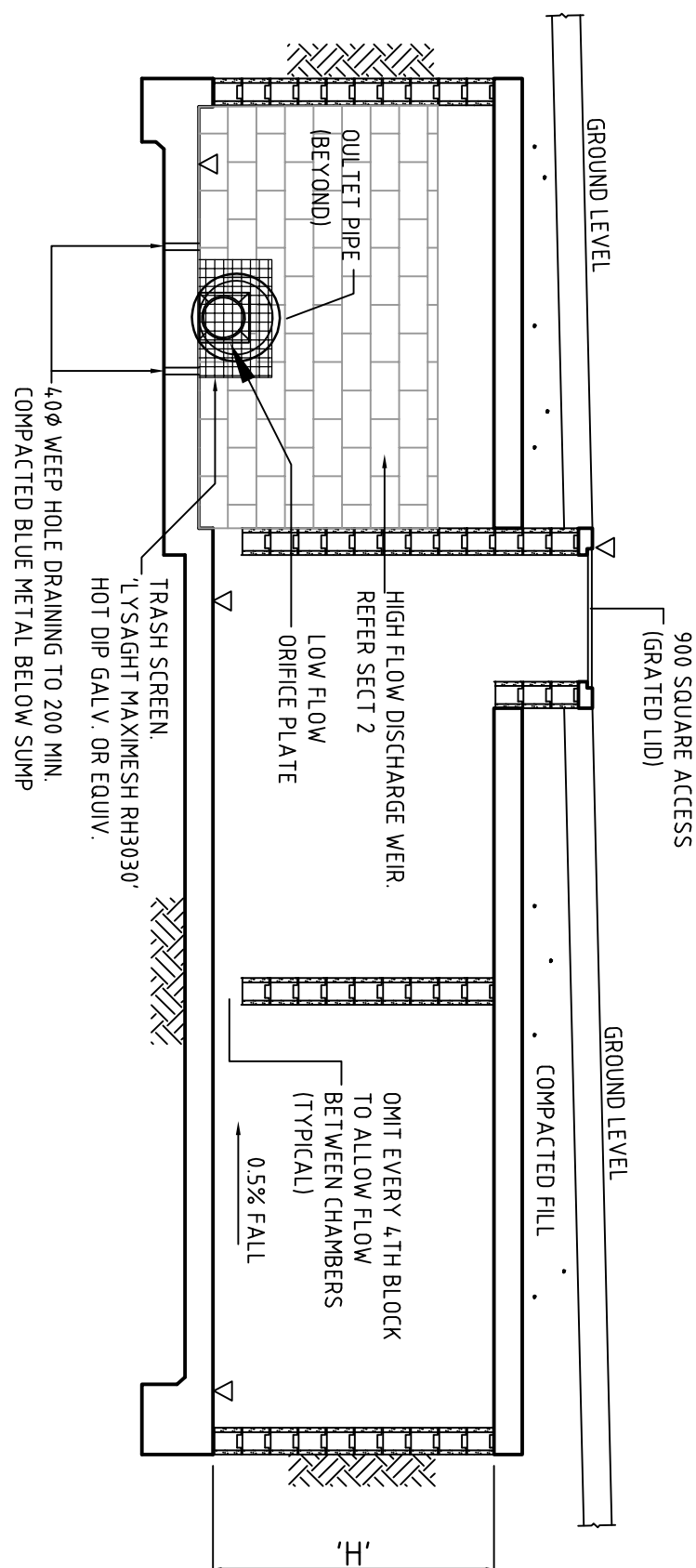
TYPE H1 SUPPORT TO

CONCRETE PIPES AT LANDSCAPED AREAS

PIPE LAYING DETAILS

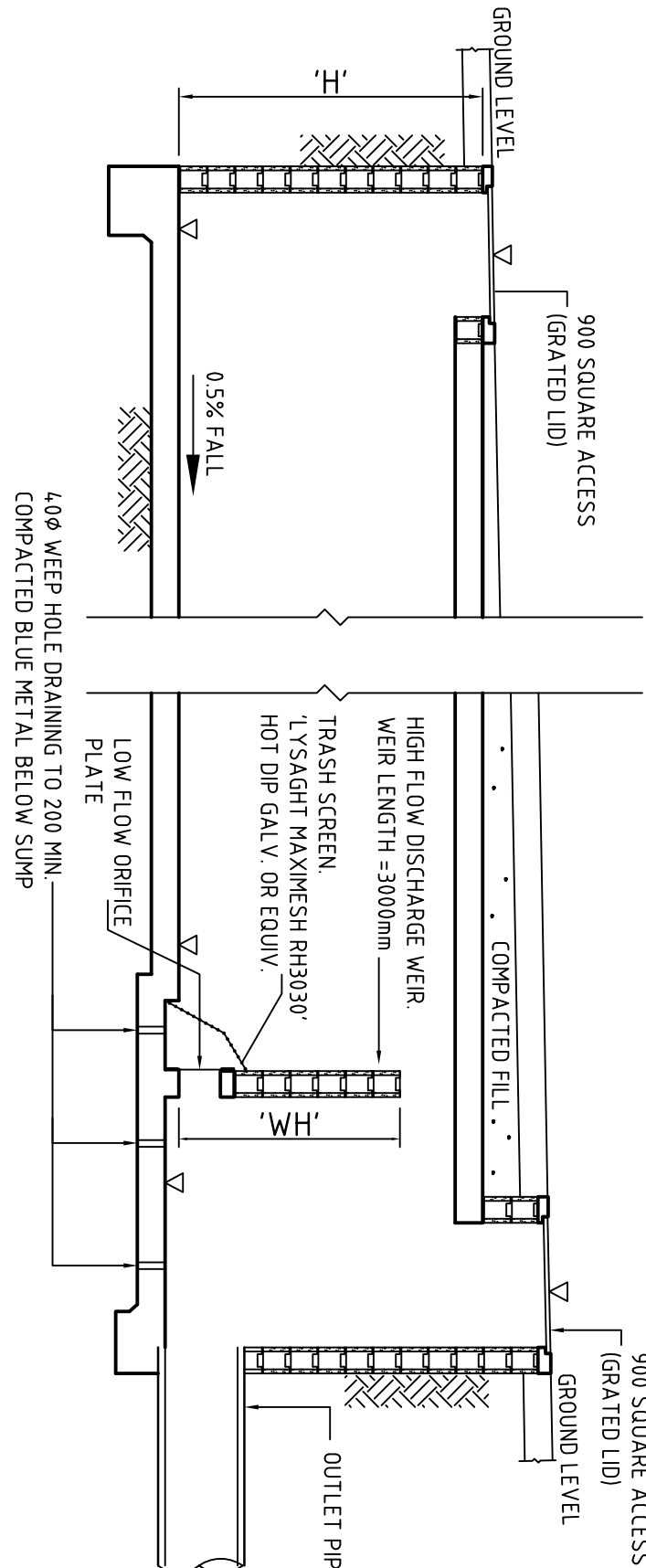
SCALE 1:20

OSD TANK VOLUMES	
OSD	VOLUME(m3)
OSD A	1100
OSD B	750
OSD C	260
OSD D	130
OSD E	220
OSD F	240
OSD G	275
OSD H	1300

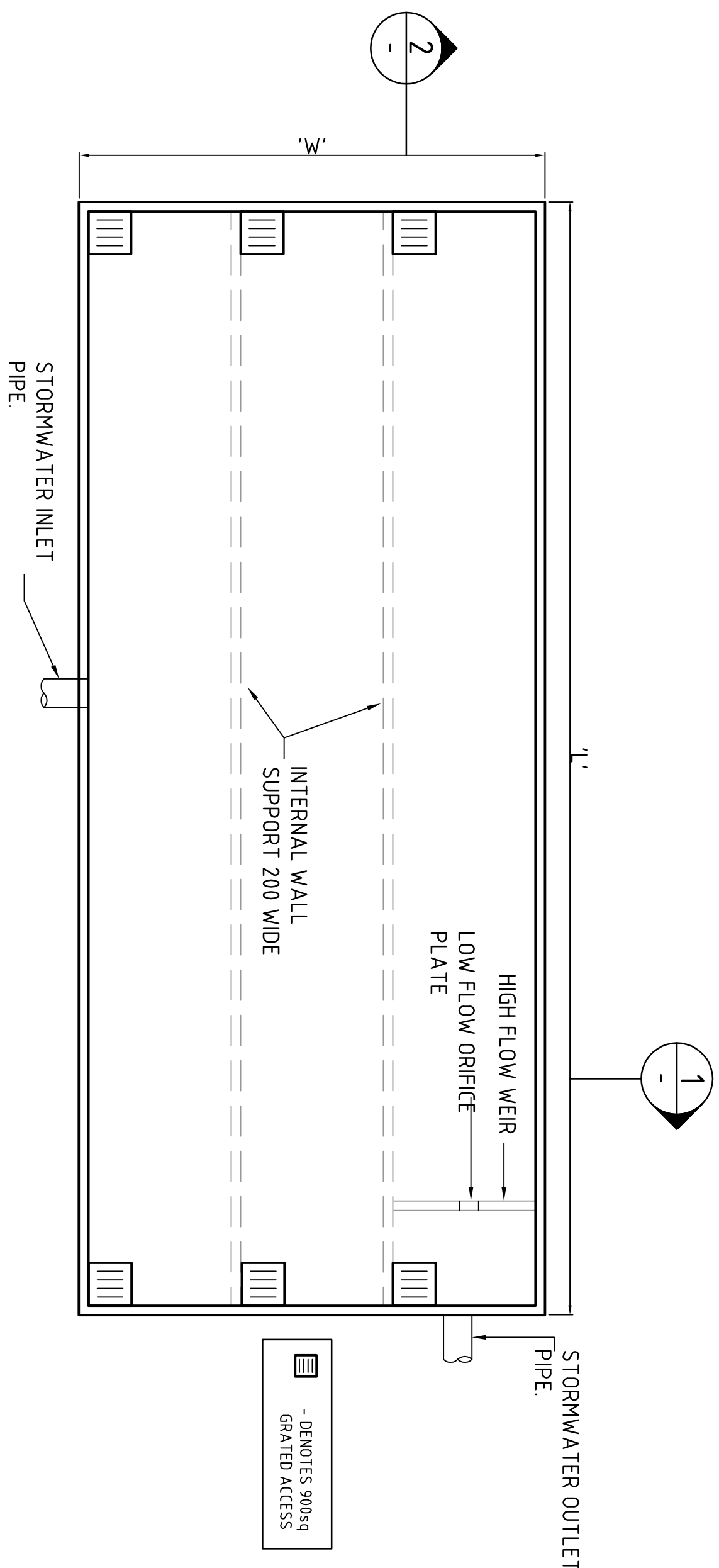


SECTION 1:50 1: TYPICAL THRU' TANK

NOTE: SEE DWG DA4.1, DA4.2, DA4.3 & DA4.4 FOR THE LOCATIONS OF STORMWATER DETENTIONS A-I.

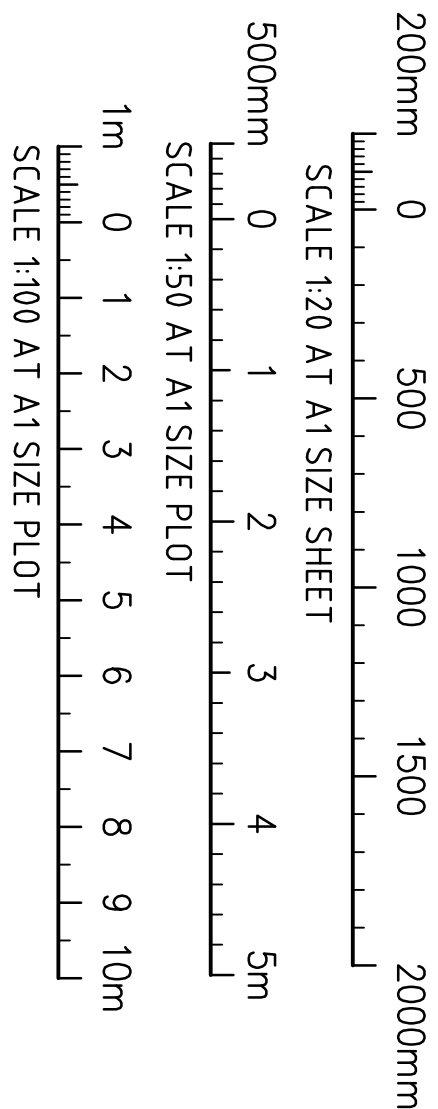


SECTION 1:50 2: TYPICAL THRU' TANK




TYPICAL OSD TANK PLAN

SCALE 1:100



FOR DEVELOPMENT
APPROVAL

				ARCHITECT			
				CLIENT			
				LOGOS PROPERTY			
				SUITE 02, LEVEL 12			
ISSUED FOR DEVELOPMENT APPROVAL				19.02.16		C	
ISSUED FOR DEVELOPMENT APPROVAL				18.11.15		B	
ISSUED FOR REVIEW				05.11.15		A	
AMENDMENTS				DATE		ISSUE	
				SYDNEY NSW			
				167 MACQUARIE STREET			
				SYDNEY NSW			
				PROJECT			
				PROPOSED DEVELOPMENT			
				32 YARRUNGA STREET			
				PRESTONS NSW			
							
				Consult Australia			
				Costin Roe Consulting Pty Ltd.			
				Consulting Engineers			
				Level 1, 8 Windarra Street			
				Wahga Bay, Sydney NSW 2000			
				Tel: (02) 9551-7899 Fax: (02) 9241-9731			
				email: mail@costinroe.com.au @			
				AEC 002 006 446			

LEGEND:

LEVELS DATUM IS AHD.

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- SGGP, SINGLE GRATED GULLY PIT

- SJP, SEALED JUNCTION PIT

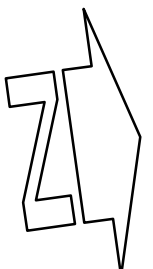
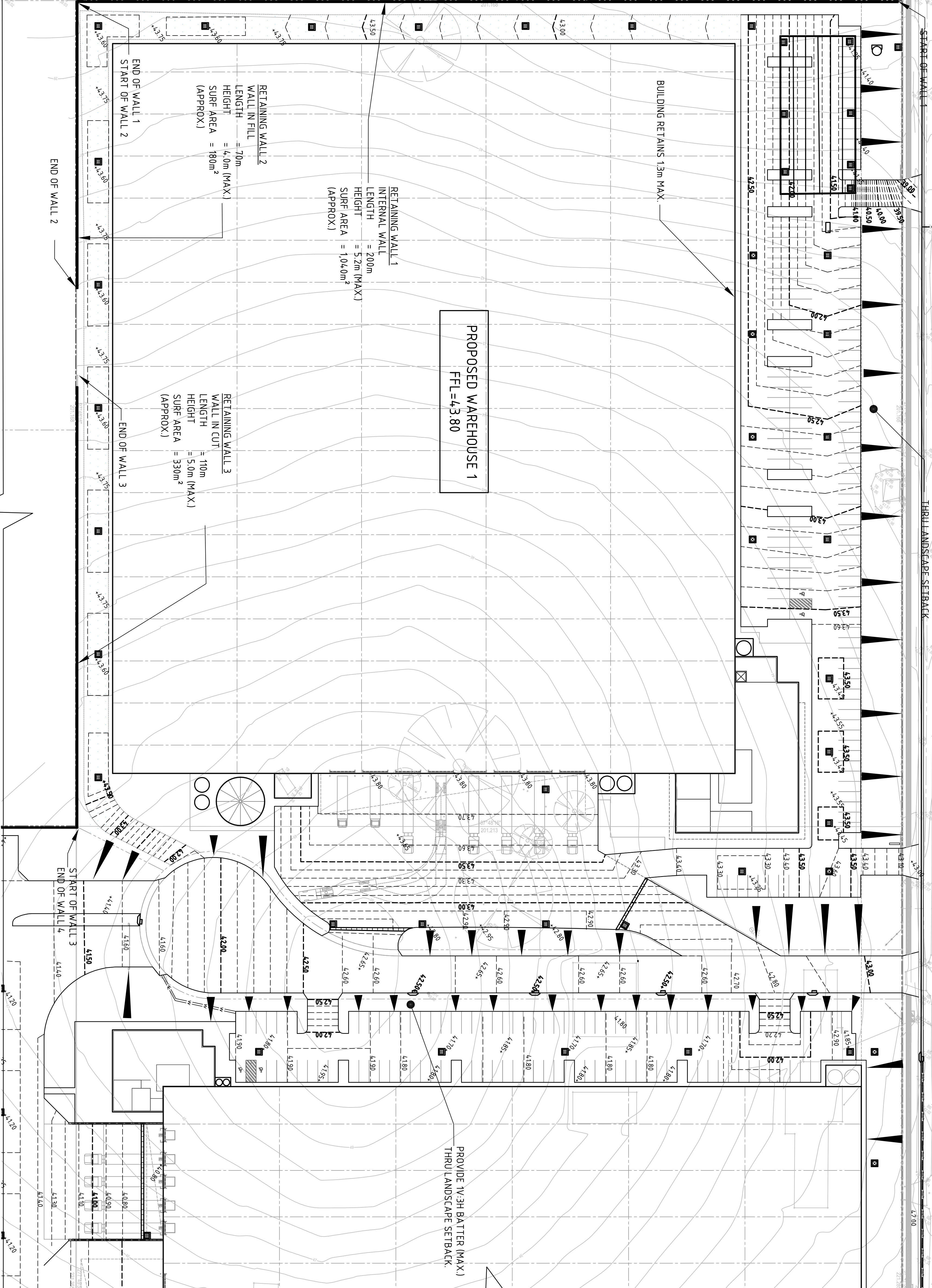
- K/P, KERB INLET PIT

- 50.00 - FINISHED PAVEMENT CONTOUR (MAJOR) 0.5m INTERVALS

- 50.00 - FINISHED PAVEMENT CONTOUR (MINOR) 0.1m INTERVALS

FINISHED LEVELS PLAN NOTES:

1. LEVELS DATUM IS AHD.
2. ALL CONTOUR LINES & SPOT LEVELS INDICATE FINISHED PAVEMENT LEVELS UNO. ON PLAN.
3. THE MAJOR CONTOUR INTERVAL IS 0.5m
4. THE MINOR CONTOUR INTERVAL IS 0.1m.
5. MINIMUM PAVEMENT GRADE IS TO BE 1:100 (1%).
6. MAXIMUM PAVEMENT GRADE IS TO BE 1:20 (5%) IN CARPARKING AREAS AND 1:25 (4%) ELSEWHERE.
7. MAXIMUM RAMP GRADES ARE TO BE 1:12 (8.3%) UNO. ON PLAN
8. PROVIDE MINIMUM 3.0m LONG TRANSITION WHERE CHANGES GRADE EXCEED 1:20 (5%).
9. PERMANENT BATTER SLOPES ARE TO HAVE A MAXIMUM GRADE OF 1V:3H.
10. ALL BATTER SLOPE WITH GRADES AT OR EXCEEDING 1V:6H ARE TO BE TURED IMMEDIATELY OR APPROPRIATE EROSION CONTROL IS TO BE PROVIDED TO THE SATISFACTION OF THE ENGINEER.
11. THE ACCESS ROAD TO THE HARSTAND AREA IS TO HAVE A CROSSFALL OF 2% AS INDICATED ON PLAN.
12. ALL FOOTPATHS ARE TO FALL AWAY FROM THE BUILDING AT 2.5% NOMINAL GRADE.
13. ALL PAVEMENTS ARE TO BE SET AT 50mm BELOW THE FINISHED FLOOR LEVEL OF THE WAREHOUSE AND OFFICE AREAS.



FINISHED LEVELS SHEET 1
SCALE 1:500

FOR DEVELOPMENT
APPROVAL

NOTE: ALL LEVELS ARE INDICATIVE & MAY BE SUBJECT TO MINOR VARIATION TO SUIT DETAILED DESIGN.

5m 0 10 20 30 40 50m

SCALE 1:500 AT A1 SIZE SHEET

ISSUED FOR DEVELOPMENT APPROVAL	23.02.16	G
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ARCHITECT

CLIENT
LOGOS PROPERTY
SUITE 02, LEVEL 12
167 MACQUARIE STREET
SYDNEY NSW

PROJECT
PROPOSED DEVELOPMENT
32 YARRUNGA STREET
PRESTONS NSW

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DRAWING TITLE
FINISHED LEVELS PLAN
SHEET 1

DRAWING No
C08753.11-DA50

ISSUE
G