

No.	Date	Description
1	07/03/2015	For Consultant Circulation
2	19/09/2015	DA Draft For Review
3	28/09/2015	DA Release

Ver: App'd  
Rev: 3  
Date: 28/09/2015



Urbanest



**AJ+C**  
ALLEN JACKSON CORRIE  
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ABN 53 003 782 250

Project  
**BUILDING W1  
STUDENT ACCOMMODATION**  
DARLING DRIVE, DARLING  
SQUARE, SYDNEY, NSW

Proj. No. 15028

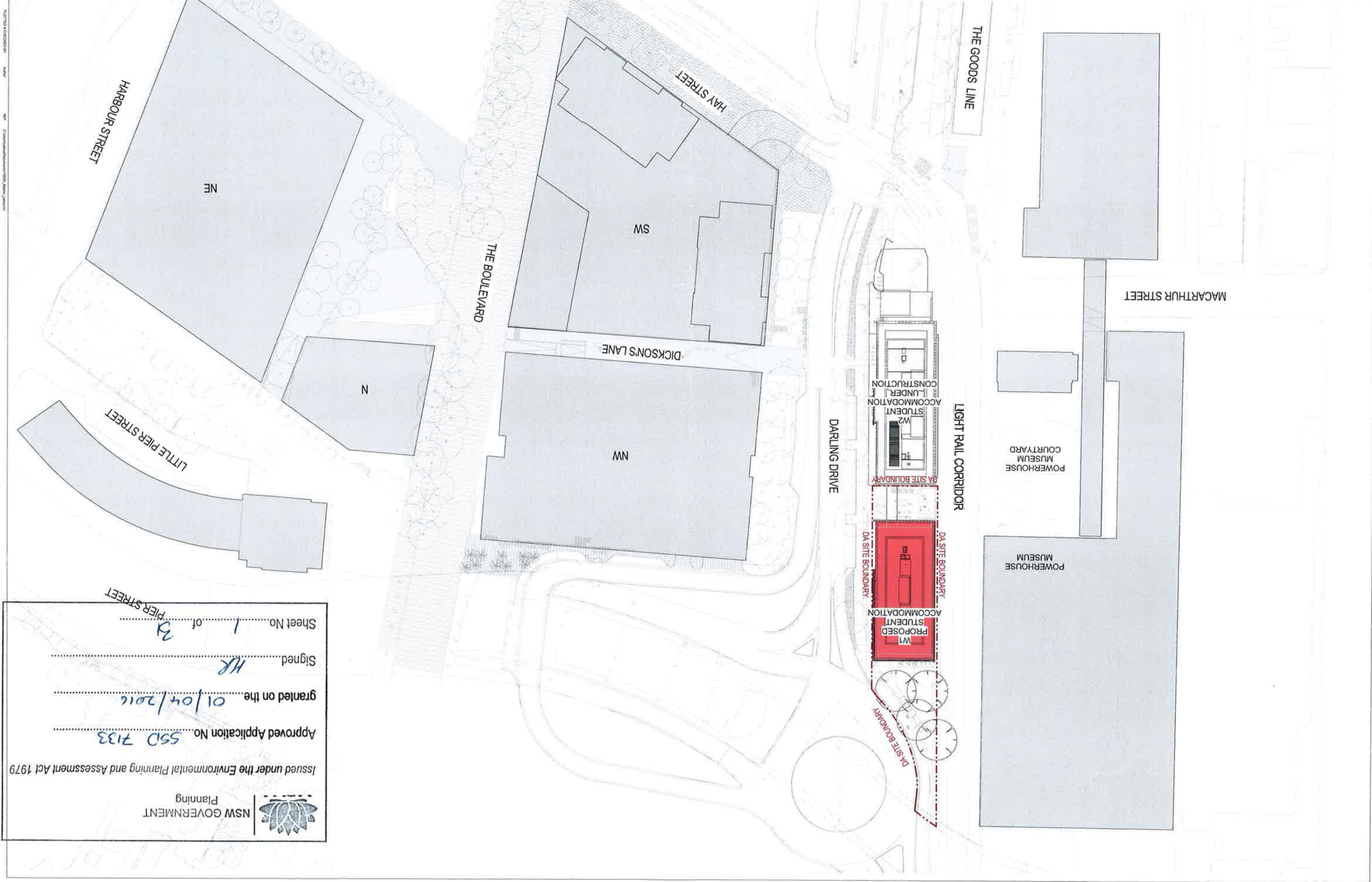
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Drawing Title  
**SITE PLAN**

Scale  
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Issue 3

Project Date: 28/09/2015 16:32:00  
Plotted & Plotted By: Author



NSW GOVERNMENT Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 7133** granted on the **01/04/2016**

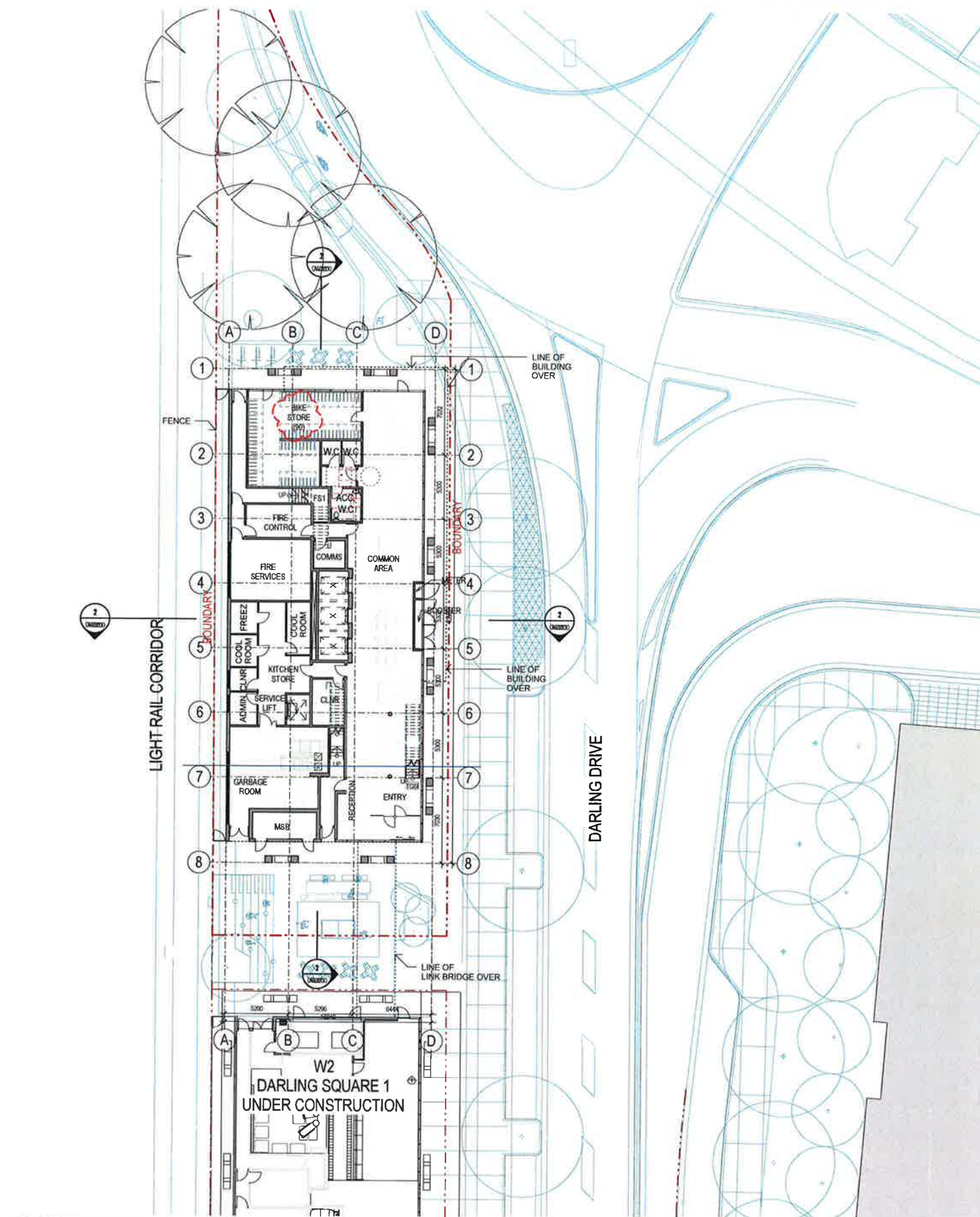
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Sheet No. **1** of **3**



# ABBREVIATIONS

AWN	AWNING
AW	ALUMINIUM WINDOW
CONC	CONCRETE PAVING
CRP	CEMENT RENDER AND PAINT
CLP	CLADDING PANEL
COMMS	COMMS CUPBOARD
DP	DOWNPIPE
ELECT	ELECTRICAL SWITCHBOARD
EXG	EXISTING
F	FIXED GLAZING
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FSL	FINISHED STRUCTURAL LEVEL
GE	GARBAGE EXHAUST RISER
GL	GLAZING
GR	GRAB RAIL
H	HYDRANT
HR	HANDRAIL
LV	LOUVRE
LE	LAUNDRY EXHAUST RISER
MV	MECHANICAL VENT
OG	OPERABLE GLAZING
P	PAINT (FINISH)
PV	PAVING
SP	SPANDREL PANEL
SPR	STAIR PRESSURISATION RISER
SWP	STORMWATER PIT
TOW	TOP OF WALL
WCE	TOILET EXHAUST RISER



1 GROUND LEVEL PLAN  
1:200



Revisions		
No.	Date	Description
1	07.09.2015	For Consultant Coordination
2	15.09.2015	DA Draft For Review
3	28.09.2015	DA Review
4	22.01.2016	Modified DA Issue
5	09.02.2016	Modified DA Issue - Updated annotation

Ver	App'd
RC	
PV	
GM	
SN	



Client  
Urbanest



Architect



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ABN 53 003 782 250

Project  
BUILDING W1 STUDENT  
ACCOMMODATION  
DARLING DRIVE, DARLING  
SQUARE, SYDNEY, NSW

Proj. No. 15028

Drawing Title  
GROUND & FIRST FLOOR PLANS

Sheet Status  
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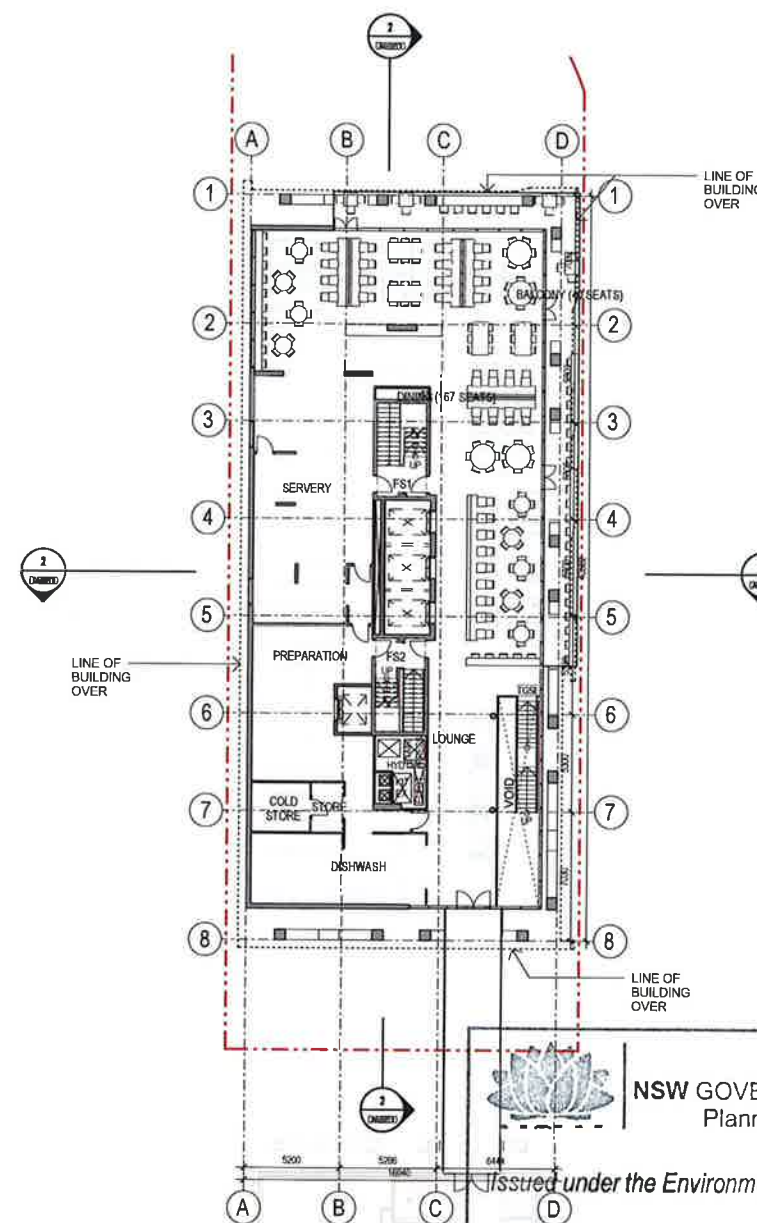
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Drawing No.  
DA2100

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2 LEVEL 1  
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NSW GOVERNMENT  
Planning

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granted on the 01/04/2016

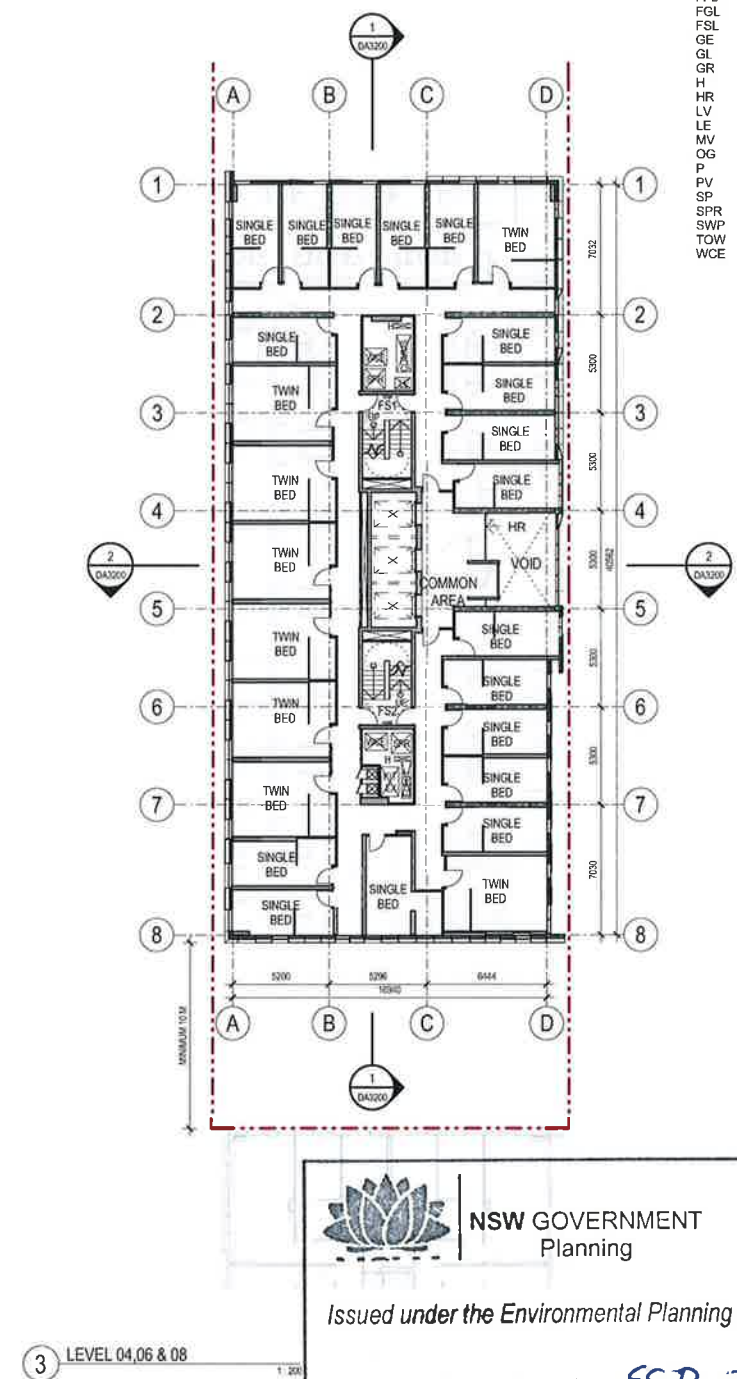
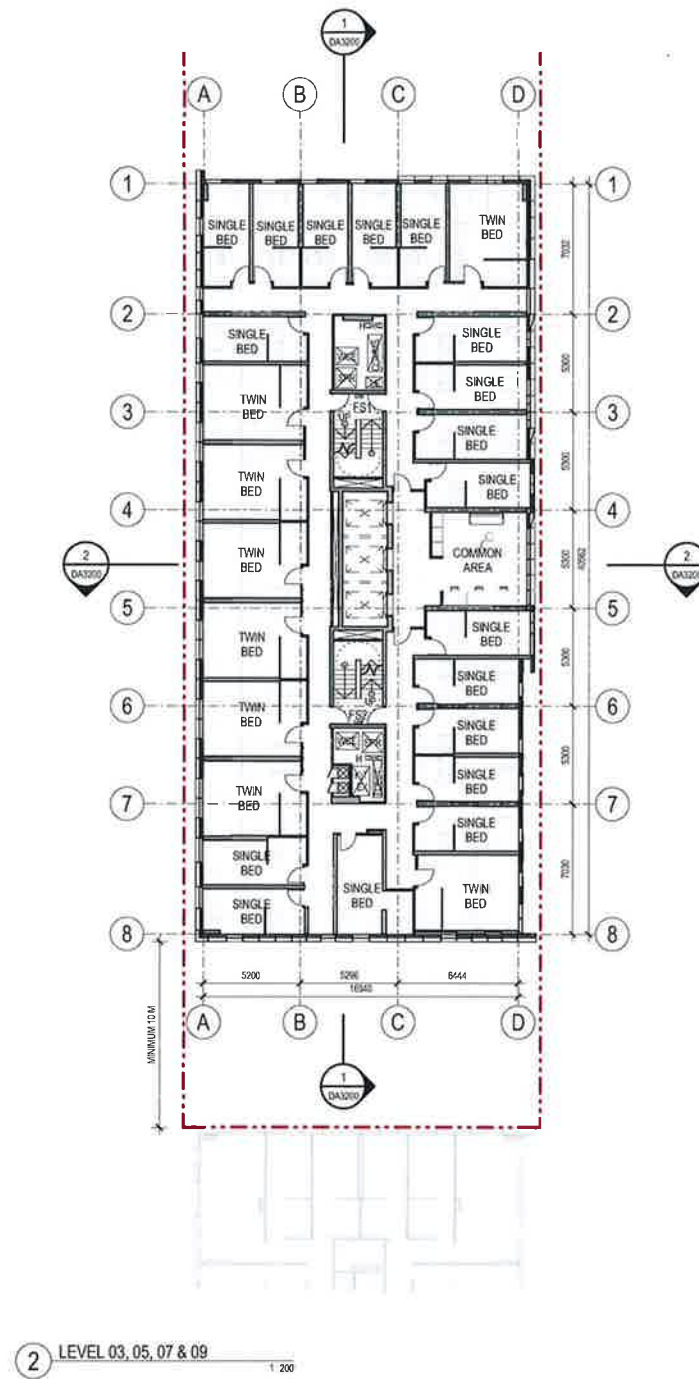
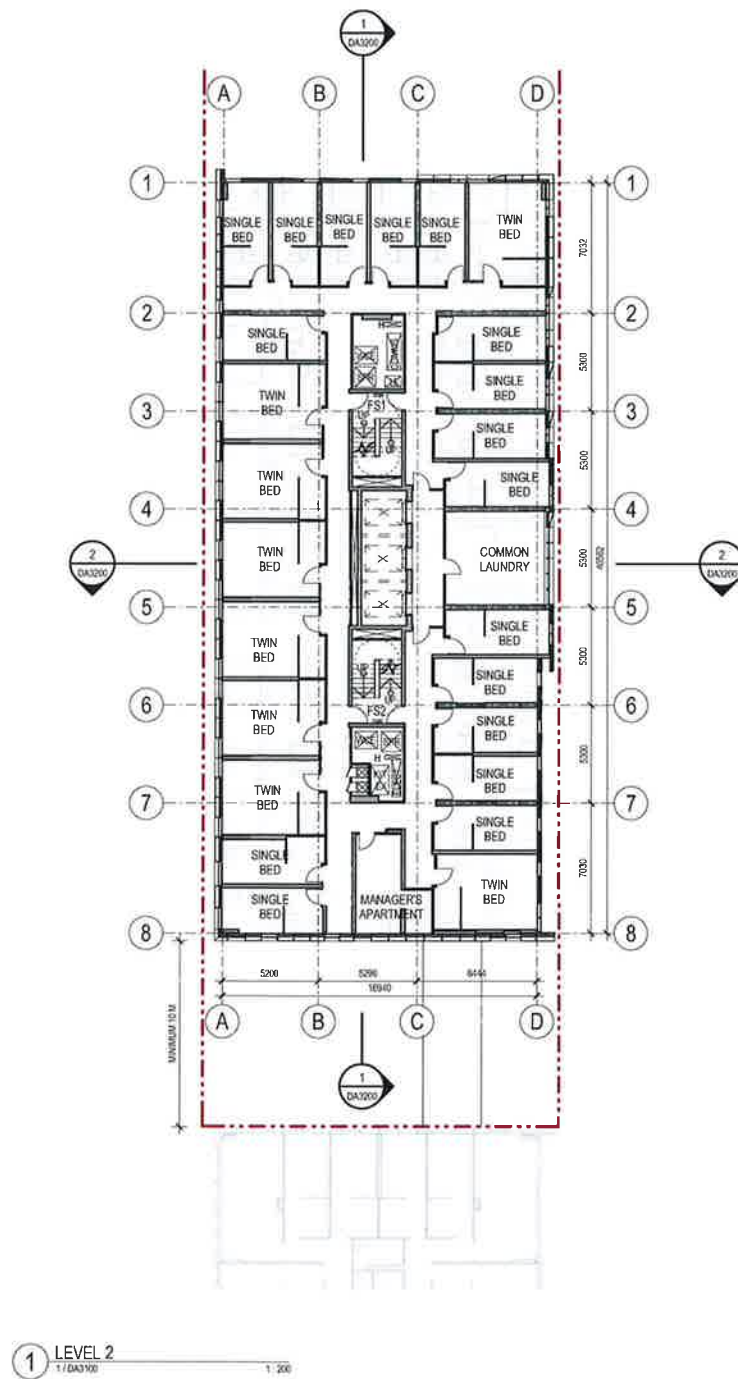
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Sheet No. 2 of 31



# ABBREVIATIONS

AWN	AWNING
AW	ALUMINIUM WINDOW
CONC	CONCRETE PAVING
CRP	CEMENT RENDER AND PAINT
CLP	CLADDING PANEL
COMMS	COMMS CUPBOARD
DP	DOWNSIDE
ELECT	ELECTRICAL SWITCHBOARD
EXG	EXISTING
F	FIXED GLAZING
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FSL	FINISHED STRUCTURAL LEVEL
GE	GARAGE EXHAUST RISER
GL	GLAZING
GR	GRAB RAIL
H	HYDRANT
HR	HANDRAIL
LV	LOUVRE
LE	LAUNDRY EXHAUST RISER
MV	MECHANICAL VENT
OG	OPERABLE GLAZING
P	PAINT (FINISH)
PV	PAVING
SP	SPANDREL PANEL
SPR	STAIR PRESSURISATION RISER
SWP	STORMWATER PIT
TOW	TOP OF WALL
WCE	TOILET EXHAUST RISER



NSW GOVERNMENT  
Planning

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Approved Application No. SSD 7133

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Sheet No. 3 of 31



Revisions	Date	Description
1	07/08/2015	For Consultant's Coordination
2	15/09/2015	DA Draft For Review
3	20/09/2015	DA Review

Ver	App'd
RC	PT
PT	PT



Key

Client  
Urbanest



Architect



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ABN 53 003 782 250

Project

BUILDING W1  
STUDENT ACCOMMODATION  
DARLING DRIVE, DARLING  
SQUARE, SYDNEY, NSW

Proj. No. 15028

Drawing Title

TYPICAL FLOOR PLANS (LEVEL 2,  
3, 4, 5, 6, 7, 8 & 9)

Sheet Status

NOT FOR CONSTRUCTION

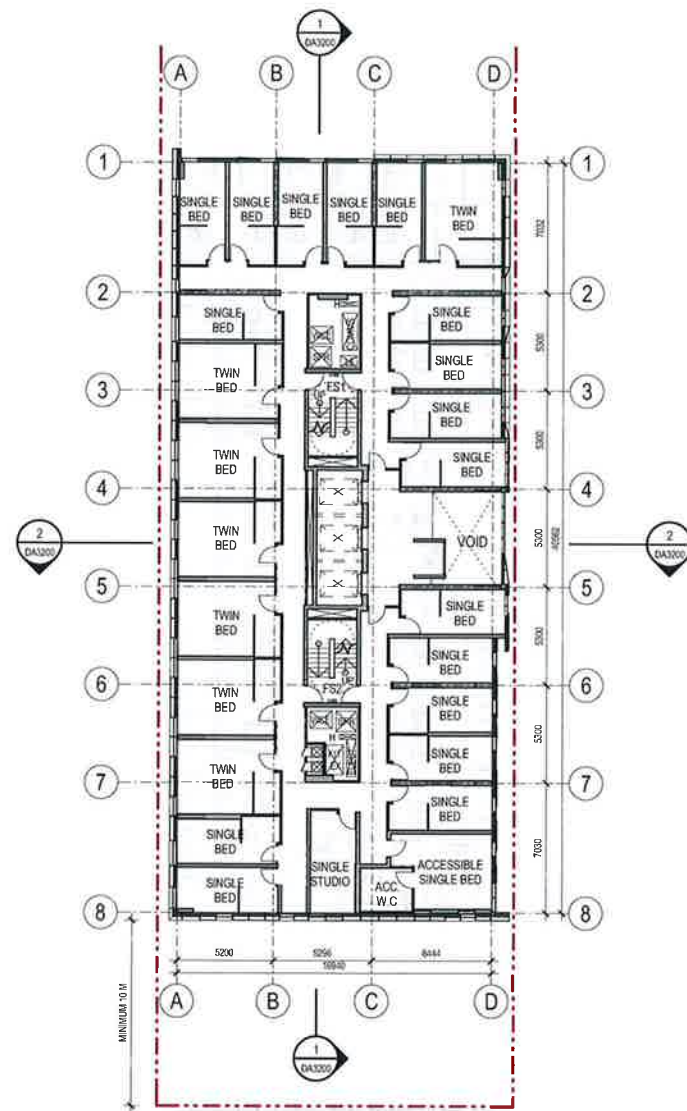
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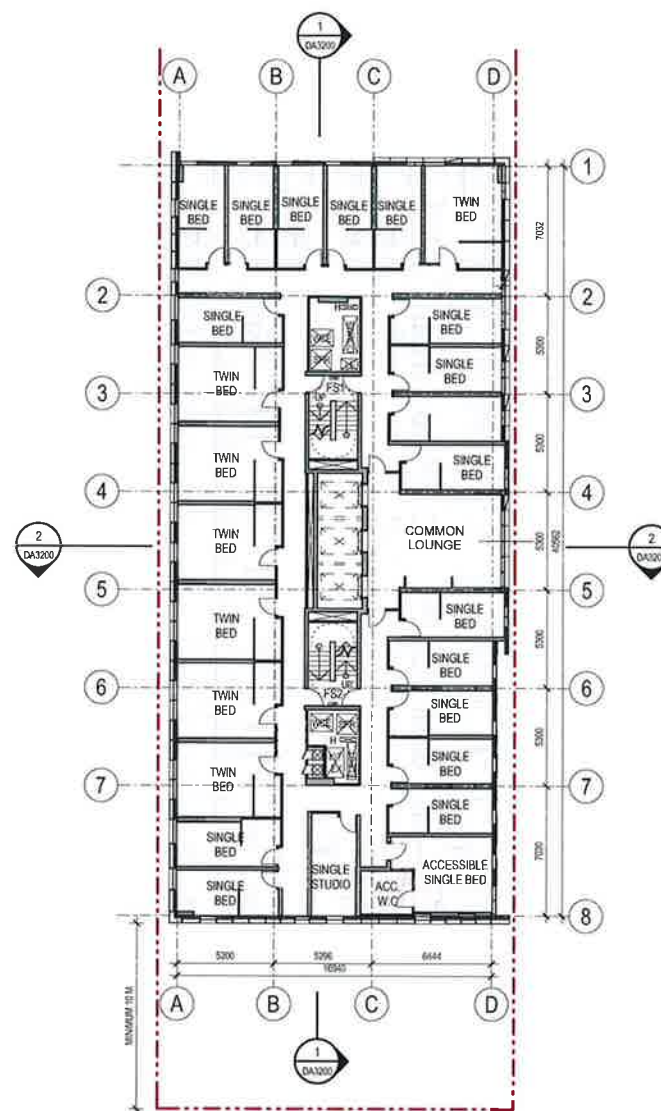


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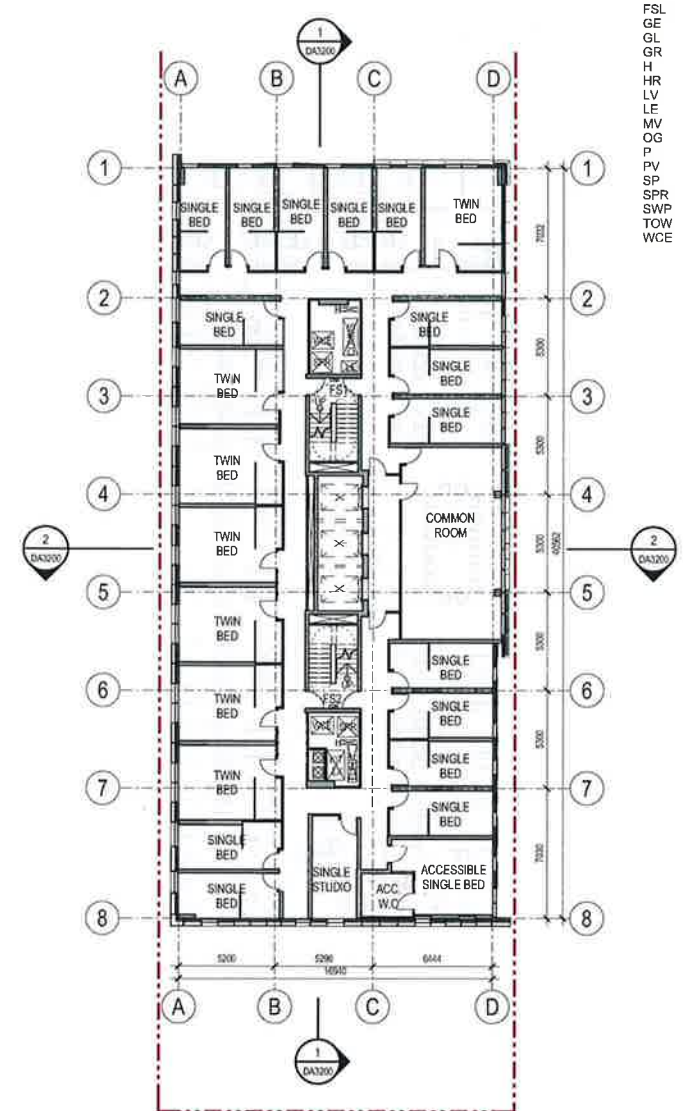
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AW	ALUMINIUM WINDOW
CONC	CONCRETE PAVING
CRP	CEMENT RENDER AND PAINT
CLP	CLADDING PANEL
COMMS	COMMS CUPBOARD
DP	DOWNPIPE
ELECT	ELECTRICAL SWITCHBOARD
EXG	EXISTING
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FFL	FINISHED FLOOR LEVEL
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GE	GARBAGE EXHAUST RISER
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P	PAINT (FINISH)
PV	PAVING
SP	SPANDREL PANEL
SPR	STAIR PRESSURISATION RISER
SWP	STORMWATER PIT
TOW	TOP OF WALL
WCE	TOILET EXHAUST RISER



1 LEVEL 10, 12, 14, 16, 18 & 20



2 LEVEL 11, 13, 15, 17 & 19



3 LEVEL 21



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granted on the 01/04/2016

Signed MR

Sheet No. 4 of 31



Revisions	No.	Date	Description	Ver	App'd
1	07.09.2015	For Consultant Coordination	RC		
2	15.09.2015	DA Draft For Review	PR		
3	29.09.2015	DA Review	PR		



Client  
Urbanest



Architect



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ABN 53 003 782 250

Project

BUILDING W1  
STUDENT ACCOMMODATION  
DARLING DRIVE, DARLING  
SQUARE, SYDNEY, NSW

Proj. No. 15026

Drawing Title

TYPICAL FLOOR PLANS (LEVEL  
10, 11, 12, 13, 14, 15, 16, 17, 18, 19,  
20 & 21)

Sheet Status

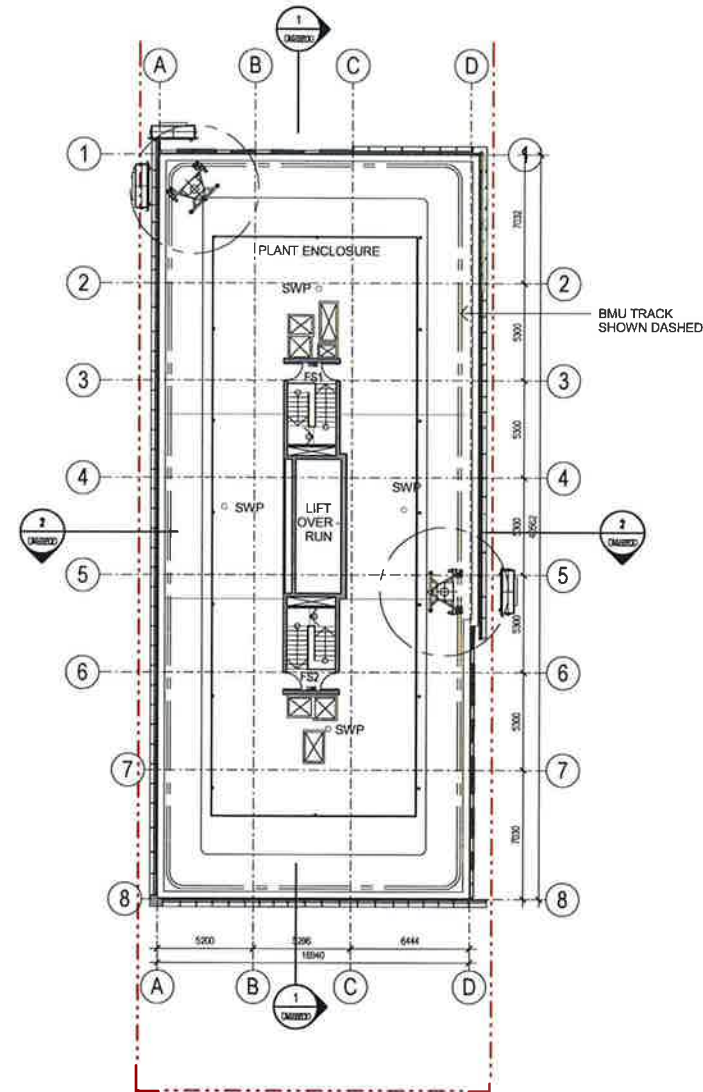
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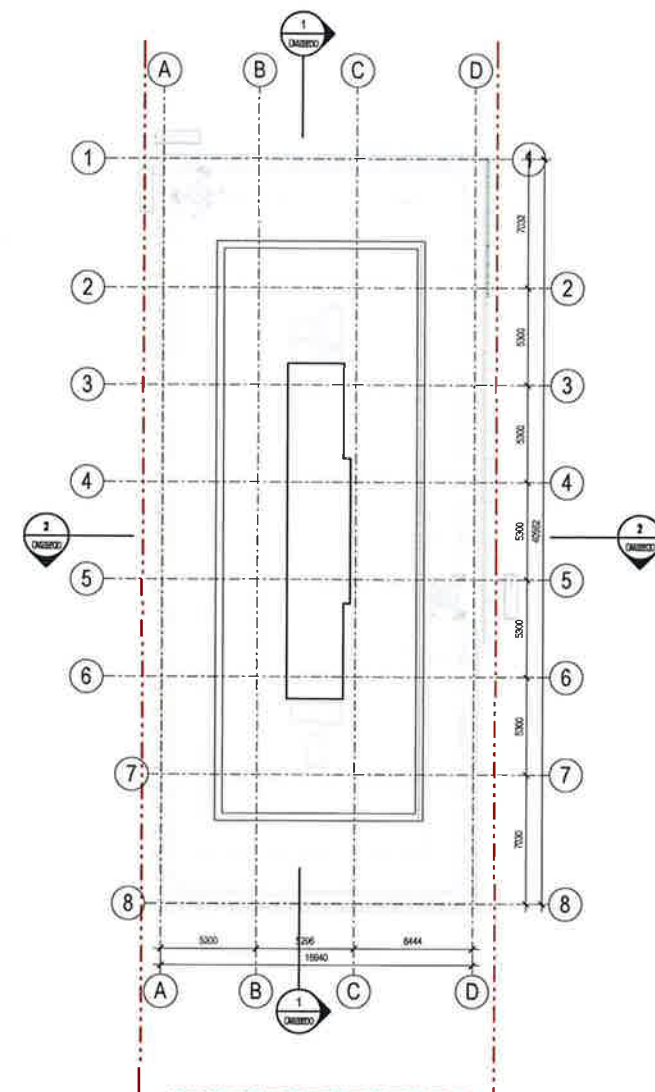


# ABBREVIATIONS

AWN	AWNING
AW	ALUMINIUM WINDOW
CONC	CONCRETE PAVING
CRP	CEMENT RENDER AND PAINT
CLP	CLADDING PANEL
COMMS	COMMS CUPBOARD
DP	DOWNSPIPE
ELECT	ELECTRICAL SWITCHBOARD
EXG	EXISTING
F	FIXED GLAZING
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FSL	FINISHED STRUCTURAL LEVEL
GE	GARBAGE EXHAUST RISER
GL	GLAZING
GR	GRAB RAIL
H	HYDRANT
HR	HANDRAIL
LV	LOUVRE
LE	LAUNDRY EXHAUST RISER
MV	MECHANICAL VENT
OG	OPERABLE GLAZING
P	PAINT (FINISH)
PV	PAVING
SP	SPANDREL PANEL
SPR	STAIR PRESSURISATION RISER
SWP	STORMWATER PIT
TOW	TOP OF WALL
WCE	TOILET EXHAUST RISER



1 LEVEL 22 ROOF 1:200



2 UPPER ROOF 1:200



NSW GOVERNMENT  
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No SSD 7133

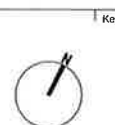
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Signed HYK

Sheet No 5 of 31



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1	07/09/2015	For Consultant Coordination	RC	
2	15/09/2015	DA Draft For Review	PV	
3	20/09/2015	DA Review	PV	
4	22/01/2016	Modified DA Issue	GM	



Client  
Urbanest



Architect



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Project

BUILDING W1  
STUDENT ACCOMMODATION  
DARLING DRIVE, DARLING  
SQUARE, SYDNEY, NSW

Proj No 15028

Drawing Title

LEVEL 22 & UPPER ROOF LEVELS

Sheet Status

NOT FOR CONSTRUCTION

Scale

As indicated  
@A1

Drawing No

DA2103

Issue

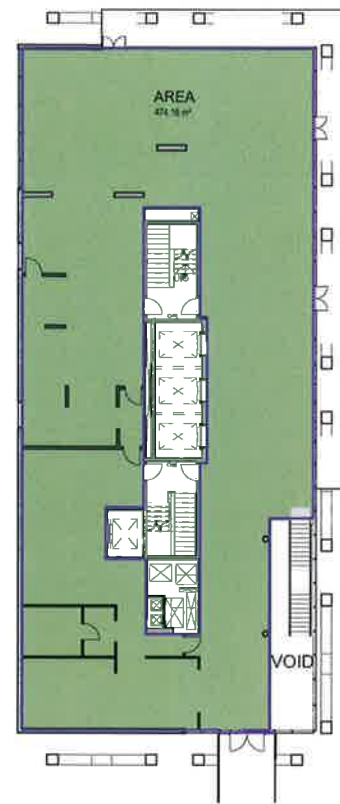
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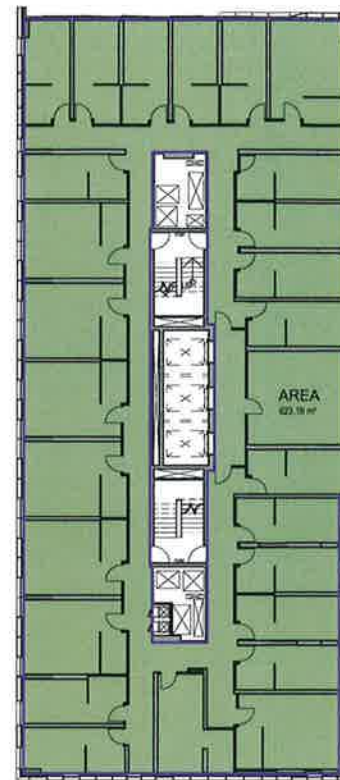




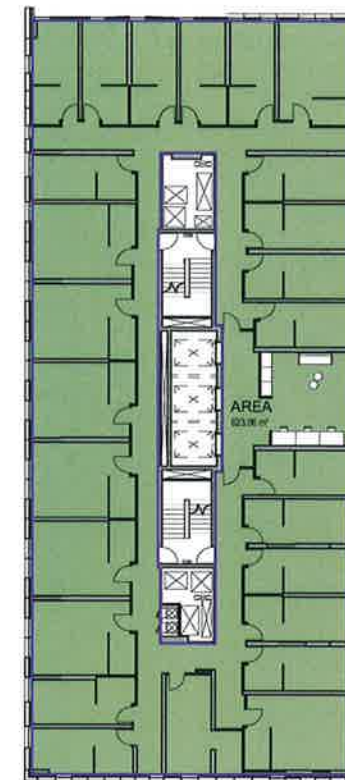
1 GROUND LEVEL (GFA) 1:200



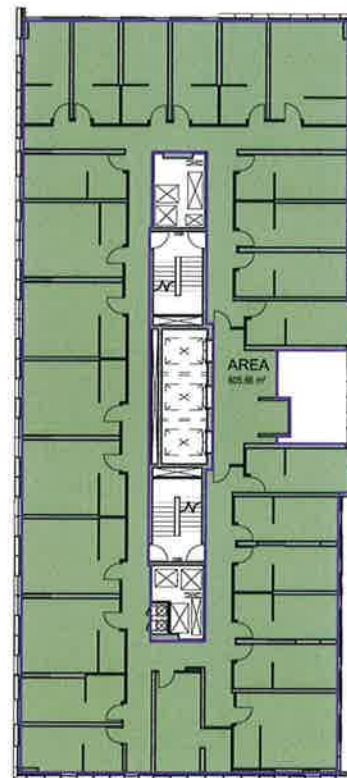
2 LEVEL 1 (GFA) 1:200



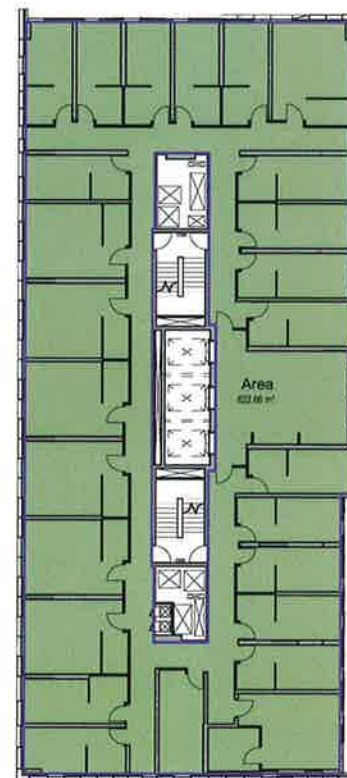
3 LEVEL 2 (GFA) 1:200



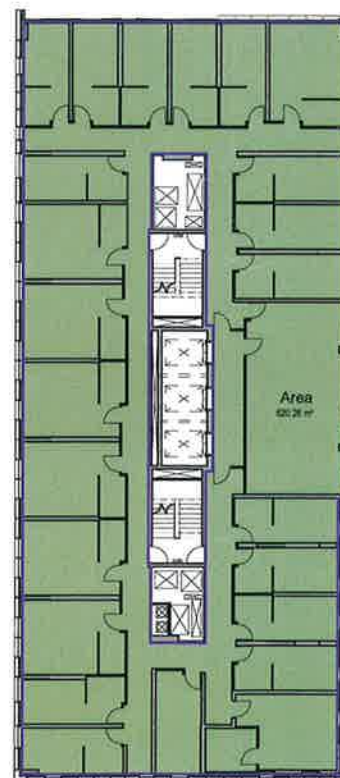
4 LEVEL 03,05,07 & 09 1:200



5 LEVEL 04,06, 08, 10,12, 14, 16, 18 & 20 1:200



6 LEVEL 11, 13, 15, 17 & 19 1:200



8 LEVEL 21 1:200

GROSS FLOOR AREA (GFA)		
LEVEL	AREA	Comments
GROUND LEVEL	435 m²	
LEVEL 1	474 m²	
LEVEL 2	623 m²	
LEVEL 3	623 m²	
LEVEL 4	606 m²	
LEVEL 5	623 m²	
LEVEL 6	606 m²	
LEVEL 7	623 m²	
LEVEL 8	606 m²	
LEVEL 9	623 m²	
LEVEL 10	606 m²	
LEVEL 11	623 m²	
LEVEL 12	606 m²	
LEVEL 13	623 m²	
LEVEL 14	606 m²	
LEVEL 15	623 m²	
LEVEL 16	606 m²	
LEVEL 17	623 m²	
LEVEL 18	606 m²	
LEVEL 19	623 m²	
LEVEL 20	606 m²	
LEVEL 21	620 m²	
TOTAL AREA	13209 m²	



NSW GOVERNMENT  
Planning

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Approved Application No. SSD 3133

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Sheet No. 6 of 31



Revisions	No	Date	Description
1	07.05.2015	For Consultant Coordination	
2	15.09.2015	DA Draft For Review	
3	26.09.2015	DA Review	

Var	App'd
RC	
PV	
PR	



Client  
Urbanest



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ALLEN JACK+COTTER

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ABN 53 003 782 250

Project  
BUILDING W1  
STUDENT ACCOMMODATION  
DARLING DRIVE, DARLING  
SQUARE, SYDNEY, NSW

Proj No. 15028

Drawing Title  
AREA PLANS

Sheet Status  
NOT FOR CONSTRUCTION

Scale  
1:200 @A1

Drawing No.  
DA2701

3



AWN	AWNING
CONC	CONCRETE PAVING
CLP	CEMENT, STAINER AND PAINT
COMMS	COMMS CURBROAD
DP	DOWNPIPE
ELECT	ELECTRICAL SWITCHBOARD
ENG	ENGINE
FEL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FSL	FINISHED STRUCTURAL LEVEL
GIE	GARAGE EXHAUST RISER
GR	GRAVEL
H	HYDRANT
HR	HANDRAIL
LV	LOUVER
ME	MECHANICAL EXHAUST RISER
OG	OPERABLE GLAZING
P	PAINT (FINISH)
PV	PAVING
SPR	SPRINKLER PANEL
SWP	STORMWATER PUMP
TOW	TOWEL EXHAUST RISER
WCE	TOILET EXHAUST RISER



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granted on the 01/04/2016

Sheet No 7 of 31

Scale	Drawing No
As indicated	DA31
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urbanest

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**Project**  
**BUILDING W1**  
**STUDENT ACCOMMODATION**  
**DARLING DRIVE, DARLING**  
**SQUARE, SYDNEY, NSW**

Drawing Title  
NORTH & EAST ELEVATIONS

NOT FOR CONSTRUCTION

Scale 1 Drawing No  
As indicated DA31

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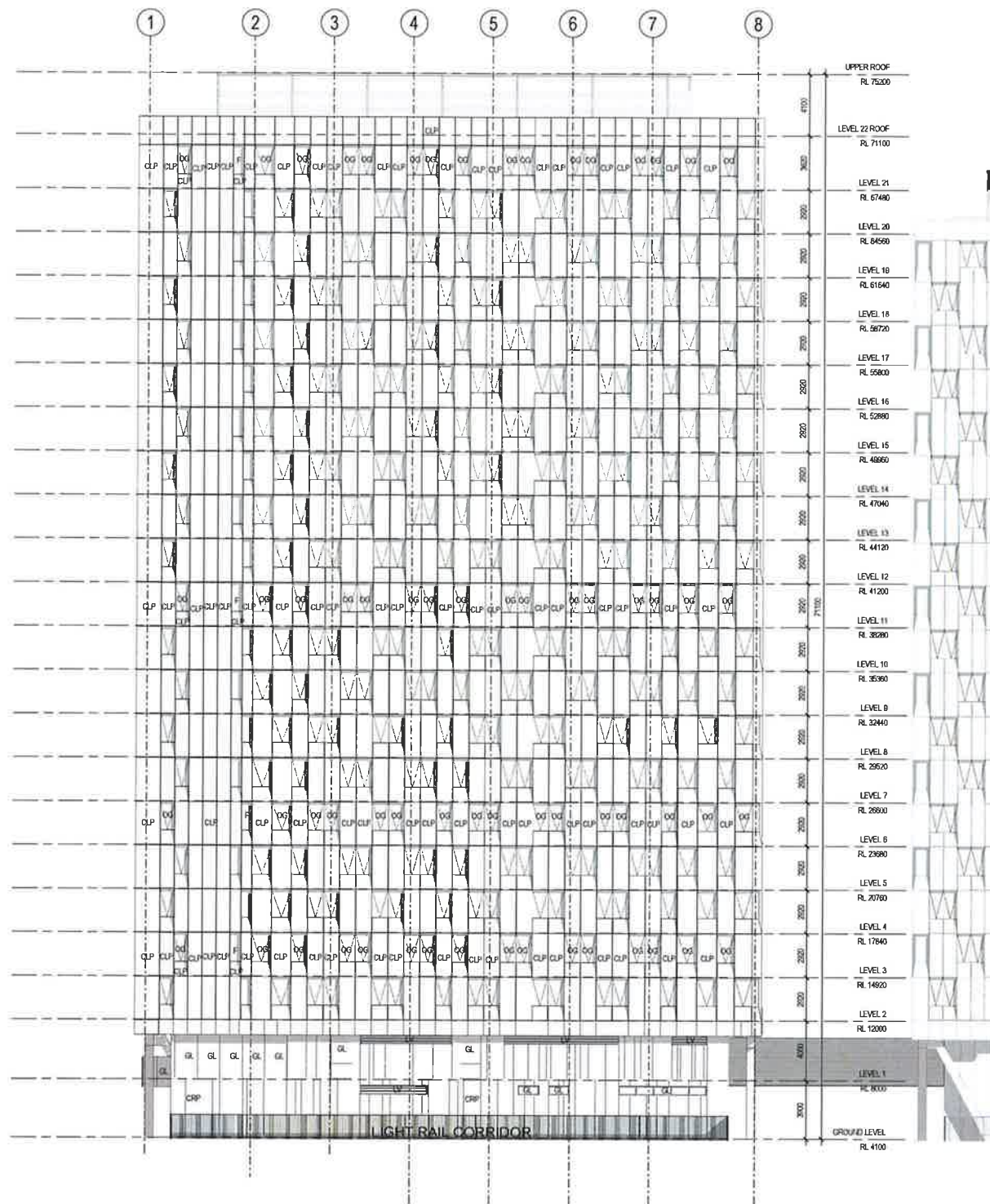
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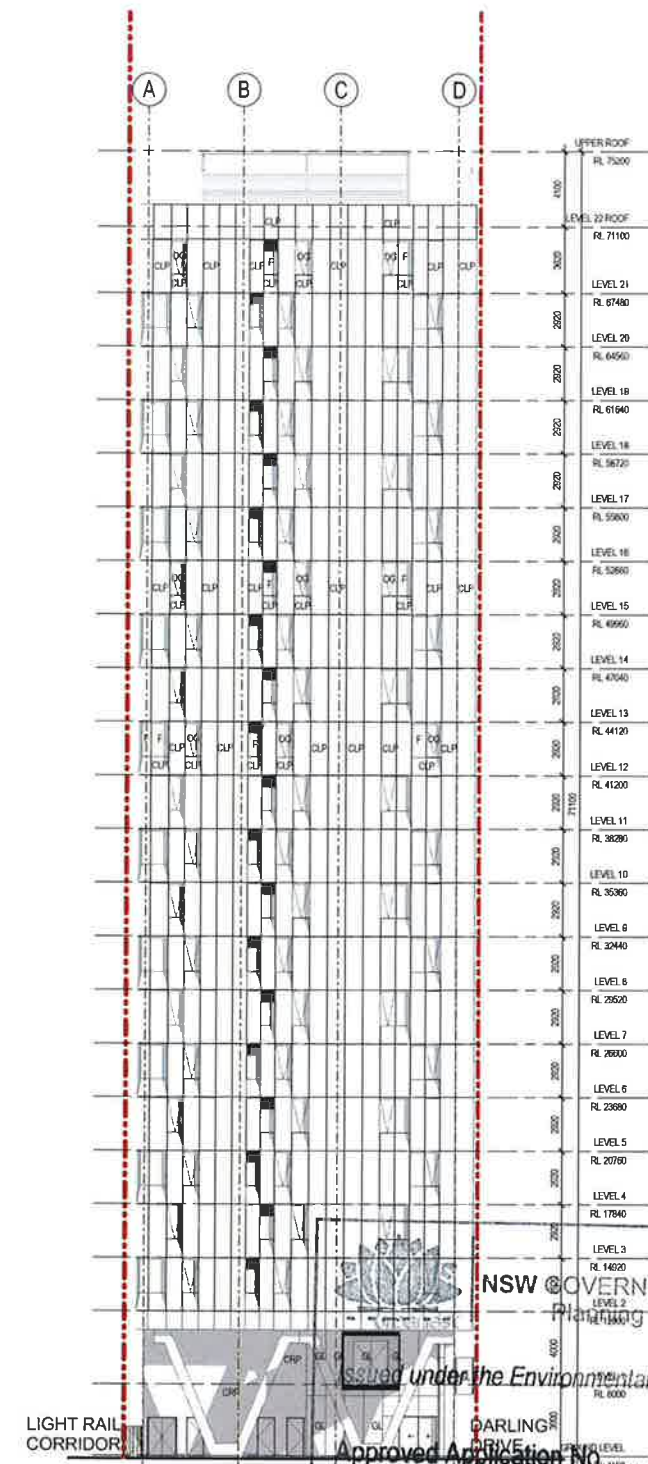


# ABBREVIATIONS

AWN	AWNING
AW	ALUMINIUM WINDOW
CONC	CONCRETE PAVING
CRP	CEMENT RENDER AND PAINT
CLP	CLADDING PANEL
COMMS	COMMS CUPBOARD
DP	DOWNPIPE
ELECT	ELECTRICAL SWITCHBOARD
EXG	EXISTING
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GE	GARBAGE EXHAUST RISER
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SP	SPANDREL PANEL
SPR	STAIR PRESSURISATION RISER
SWP	STORMWATER PIT
TOW	TOP OF WALL
WCE	TOILET EXHAUST RISER



1 WEST ELEVATION 1:200



2 SOUTH ELEVATION 1:200

NSW GOVERNMENT  
Planning  
Issued under the Environmental Planning and Assessment Act 1979

DARLING DRIVE  
Approved Application No. SSD 7133

granted on the 01/04/2016

Signed HR

Sheet No. 8 of 31



Revisions		Description
No.	Date	
1	15.08.2015	DA Draft For Review
2	26.08.2015	DA Review
3	22.01.2016	Modelled DA Issue

Ver	App'd
PR	PR
GM	GM

Key

Client:  
Urbanest



Architect:



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ABN 53 003 782 250

Project:

BUILDING W1  
STUDENT ACCOMMODATION  
DARLING DRIVE, DARLING  
SQUARE, SYDNEY, NSW

Proj. No. 15026

Drawing Title

WEST & SOUTH ELEVATIONS

Scale

NOT FOR CONSTRUCTION

As indicated  
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DA3101

Issue

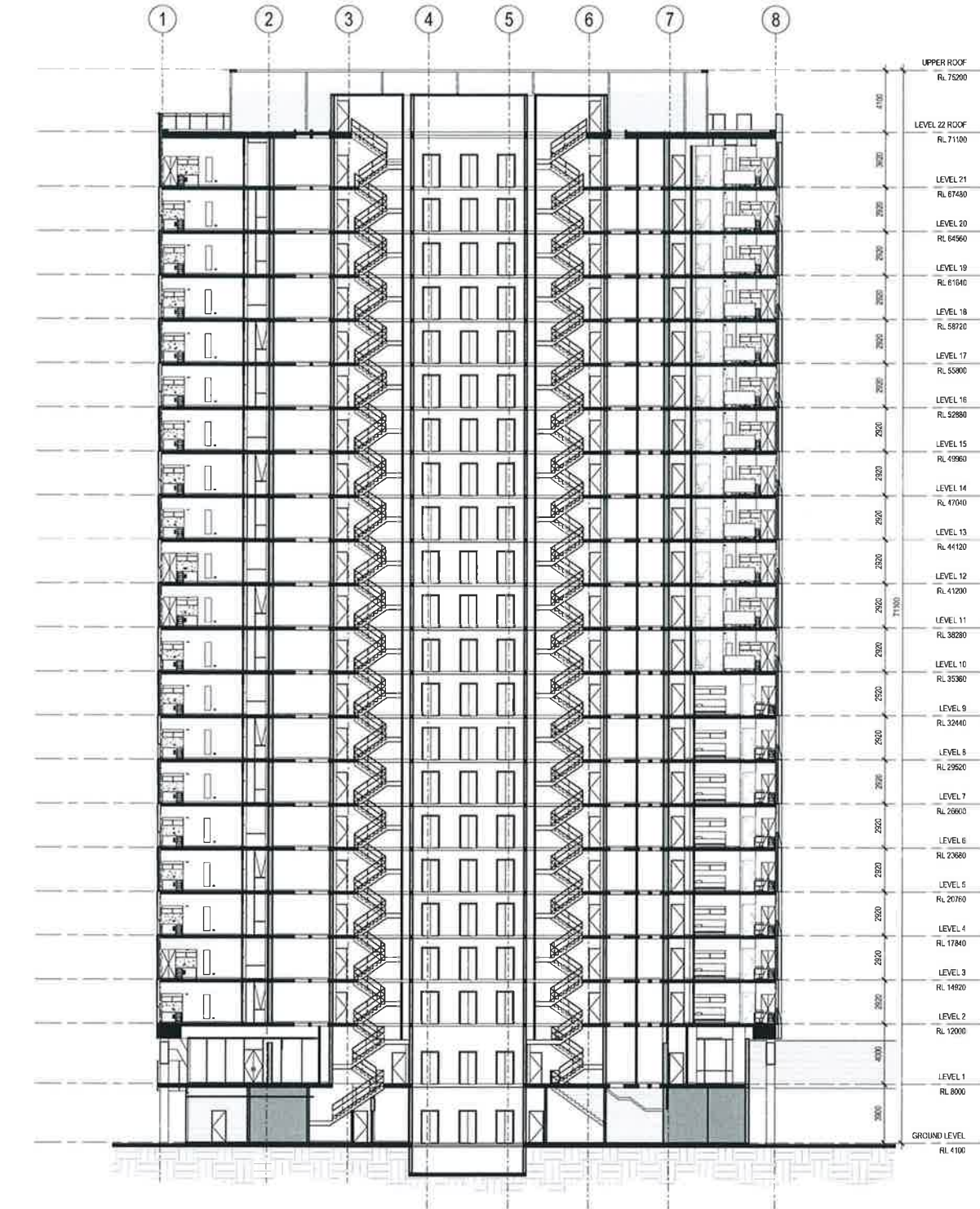
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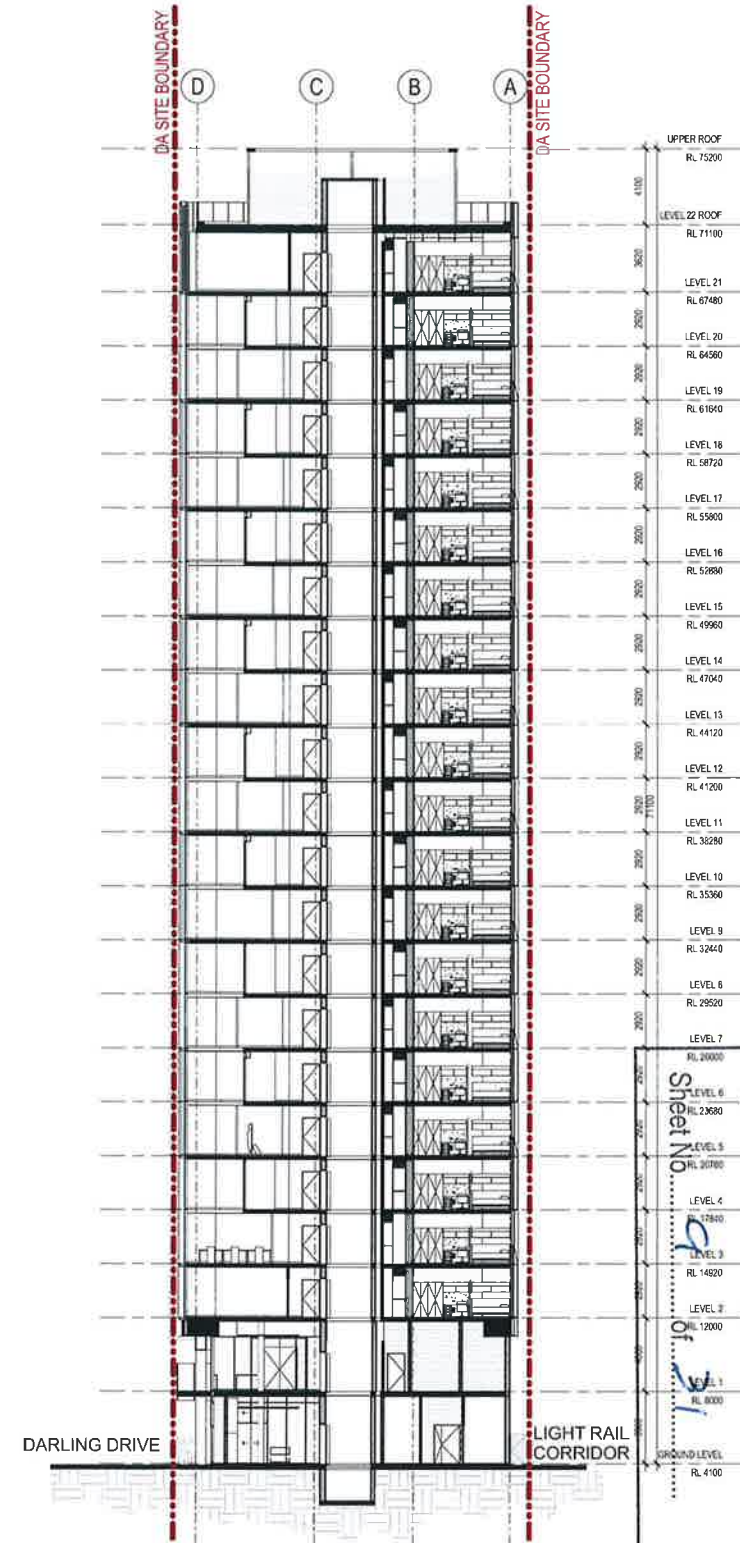


# ABBREVIATIONS


AWN	AWNING
AW	ALUMINIUM WINDOW
CONC	CONCRETE PAVING
CRP	CEMENT RENDER AND PAINT
CLP	CLADDING PANEL
COMMS	COMMS CUPBOARD
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SP	SPANDREL PANEL
SPR	STAIR PRESSURISATION RISER
SWP	STORMWATER PIT
TOW	TOP OF WALL
WCE	TOILET EXHAUST RISER



1 SECTION 01  
1:100



2 SECTION 02  
1:200



**NSW GOVERNMENT**  
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 7133**

granted on the **01/04/2016**

Signed **MR**

Sheet No. **2**

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Revisions	No	Date	Description																																										
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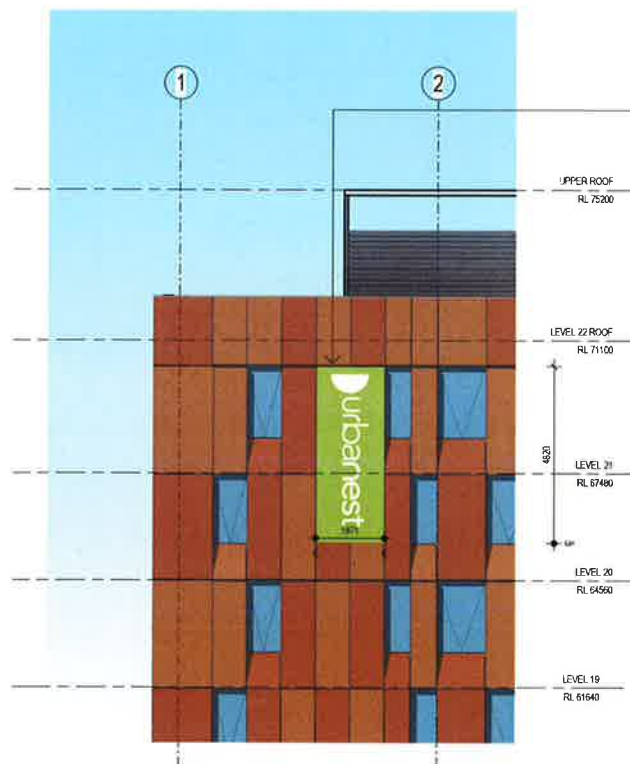
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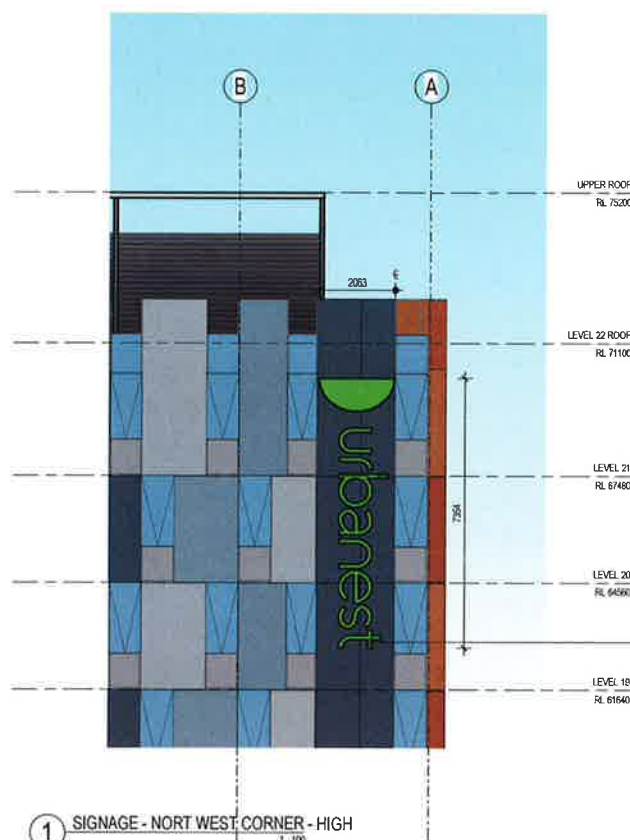
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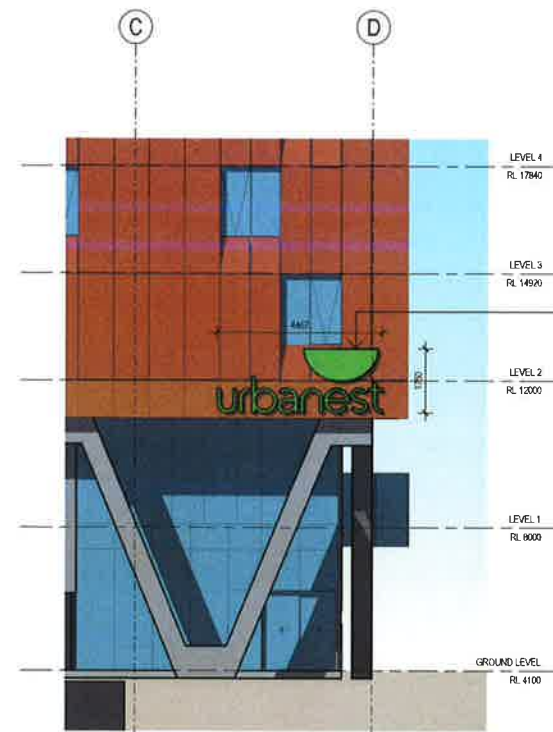
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- ILLUMINATED SIGNAGE BOX WITH WHITE LETTERING ON GREEN BACKGROUND.
  - INTEGRATED WITH FACADE PANEL MODULES
  - TOP ALIGN WITH TOP OF ADJACENT WINDOWS/ PANELS
  - BOTTOM TO ALIGN WITH BOTTOM OF ADJACENT WINDOWS/ PANELS ON LEVEL BELOW.
  - PROVIDE SOLID SURROUND FRAME TO SIDES TO PREVENT LIGHT SPILL BACK INTO WINDOWS.
  - POWER SUPPLY REQUIRED.

3 SIGNAGE - NORTH WEST - HIGH  
1:100



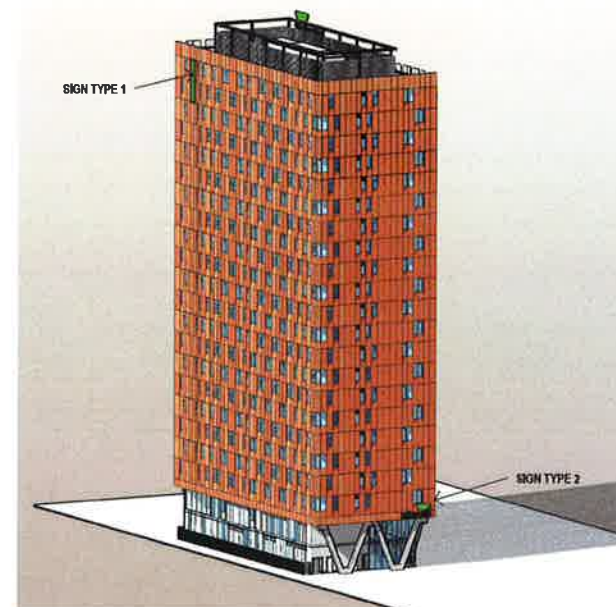
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ILLUMINATED SIGN TO HIGH LEVEL
- INDIVIDUAL FABRICATED POWDERCOATED METAL LETTERS WITH NEON INFILL/ILLUMINATED FACE PANELS.
  - LETTERS TO BE PIN FIXED TO FACADE PANELS IN LOCATIONS NOMINATED.
  - PROVIDE SOLID SIDES TO PREVENT LIGHT SPILL BACK INTO WINDOWS.
  - POWER SUPPLY REQUIRED.

1 SIGNAGE - NORTH WEST CORNER - HIGH  
1:100



- SIGN TYPE 2**  
ILLUMINATED SIGN TO LOW LEVEL
- INDIVIDUAL FABRICATED POWDERCOATED METAL LETTERS WITH NEON INFILL/ILLUMINATED FACE PANELS.
  - LETTERS TO BE PIN FIXED TO FACADE PANELS IN LOCATIONS NOMINATED.
  - PROVIDE SOLID SIDES TO PREVENT LIGHT SPILL BACK INTO WINDOWS.
  - POWER SUPPLY REQUIRED.

5 SIGNAGE - SOUTH EAST - GROUND  
1:100



6 SIGNAGE AERIAL - SOUTH WEST VIEW



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Planning

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granted on the 01/04/2016

Signed M

Sheet No 10 of 31



Revisions No	Date	Description	Ver	App'd
1	15/05/2015	DA Draft For Review	PR	
2	26/05/2015	DA Review	PR	
3	22/01/2016	Modified DA Issue	GU	

Ver

App'd

Key

Client  
Urbanest



Architect

AJ+C  
ALLEN JACK+COTTER

79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project  
BUILDING W1  
STUDENT ACCOMMODATION

DARLING DRIVE, DARLING  
SQUARE, SYDNEY, NSW

Proj No 15028

Drawing Title  
SIGNAGE

Sheet Status  
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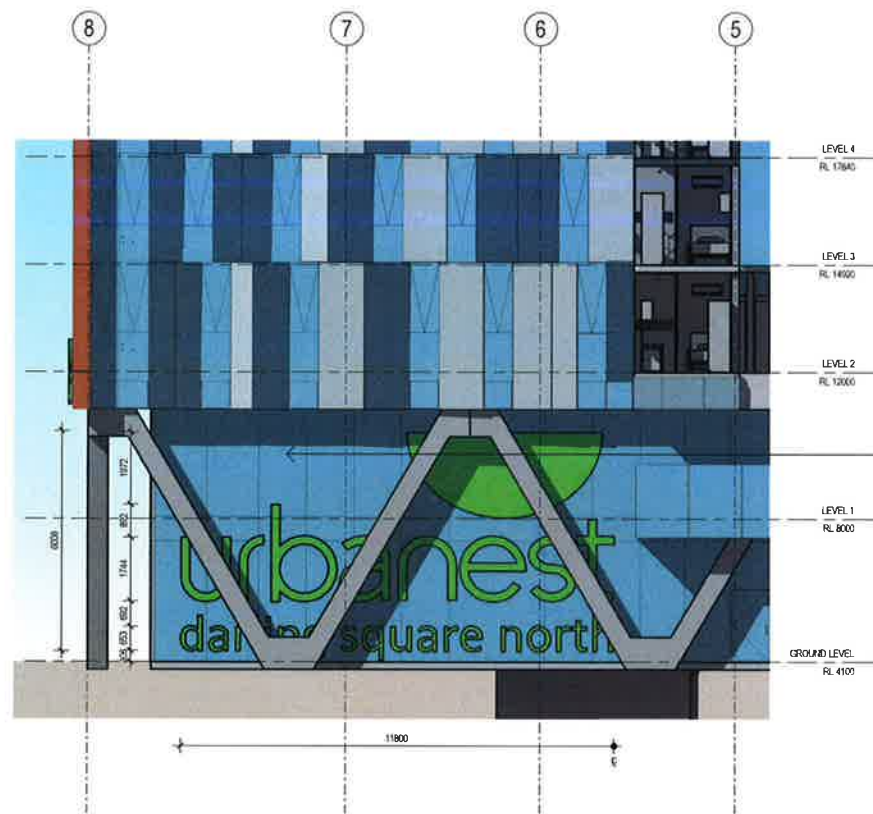
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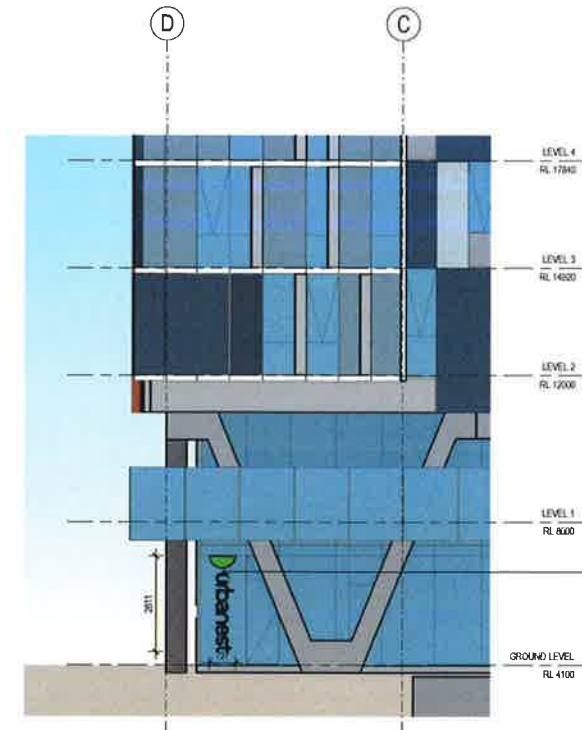
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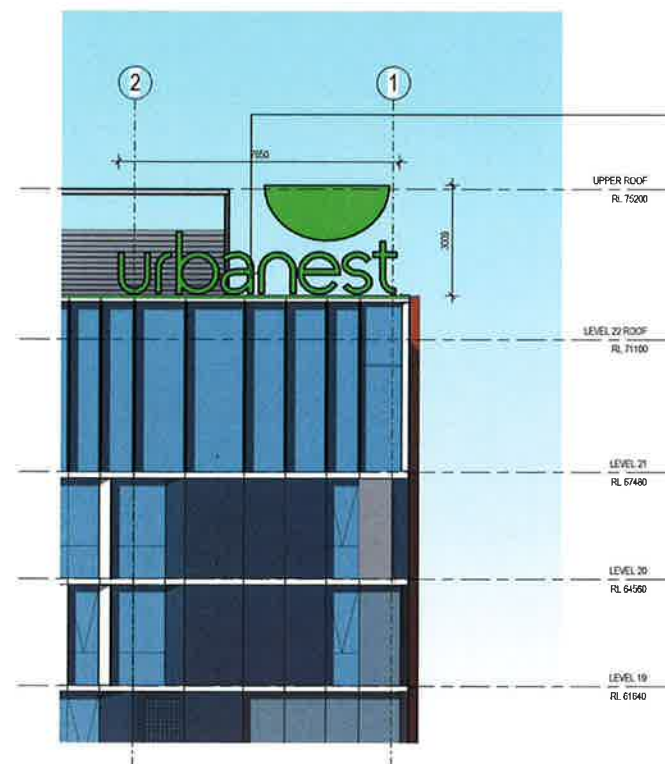




1 SIGNAGE - EASTERN ELEVATION - GROUND



2 SIGNAGE - NORTH EAST CORNER - GROUND

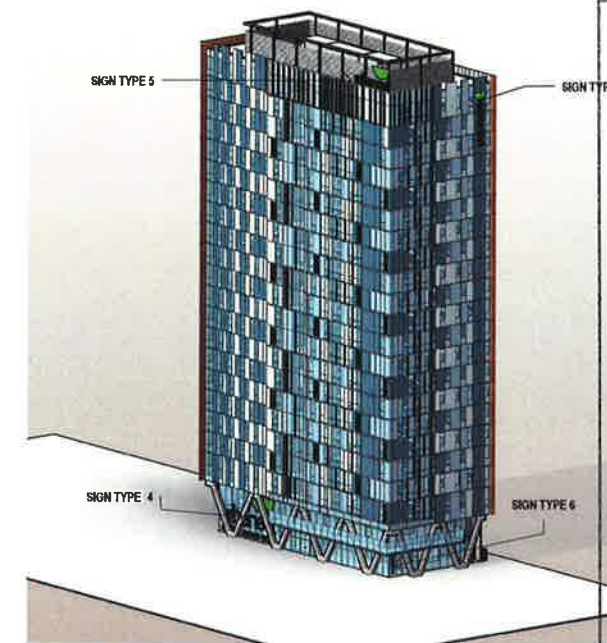


4 SIGNAGE - EASTERN ELEVATION - HIGH

- SIGN TYPE 5**  
ILLUMINATED SIGN TO NORTH HIGH LEVEL INCL. HORIZONTAL LINEAR LED TO CORNER BUILDING FORM
- INDIVIDUAL FABRICATED POWDERCOATED METAL LETTERS WITH NEON INFILL/ILLUMINATED FACE PANELS.
  - LETTERS TO BE PIN FIXED TO FACADE PANELS IN LOCATIONS NOMINATED.
  - PROVIDE SOLID SIDES TO PREVENT LIGHT SPILL BACK INTO WINDOWS.
  - POWER SUPPLY REQUIRED.
  - SIGN SUPPORTED ON CONCEALED STEEL FRAME.



3D VIEW - NORTH EAST CORNER



3 SIGNAGE AERIAL - NORTH EASTERN FACADE

- SIGN TYPE 6**  
FILM ON GLAZING
- URBANEST VERTICAL GREEN LOGO APPLIED FILM TO GLAZING
  - ALIGN TOP OF LOGO TO GLAZING MULLION
  - CENTERED ON GLAZING PANEL



NSW GOVERNMENT  
Planning

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granted on the 01/04/2016

Signed: *HR*

Sheet No. 11 of 31



Revisions	Date	Description	Ver	App'd	Key
No. 1	22/01/2016	Modified DA Issue		GM	



Client  
Urbanest



Architect



79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project

BUILDING W1  
STUDENT ACCOMMODATION  
DARLING DRIVE, DARLING  
SQUARE, SYDNEY, NSW

Proj No. 15028

Drawing Title

SIGNAGE 2

Sheet Status

NOT FOR CONSTRUCTION

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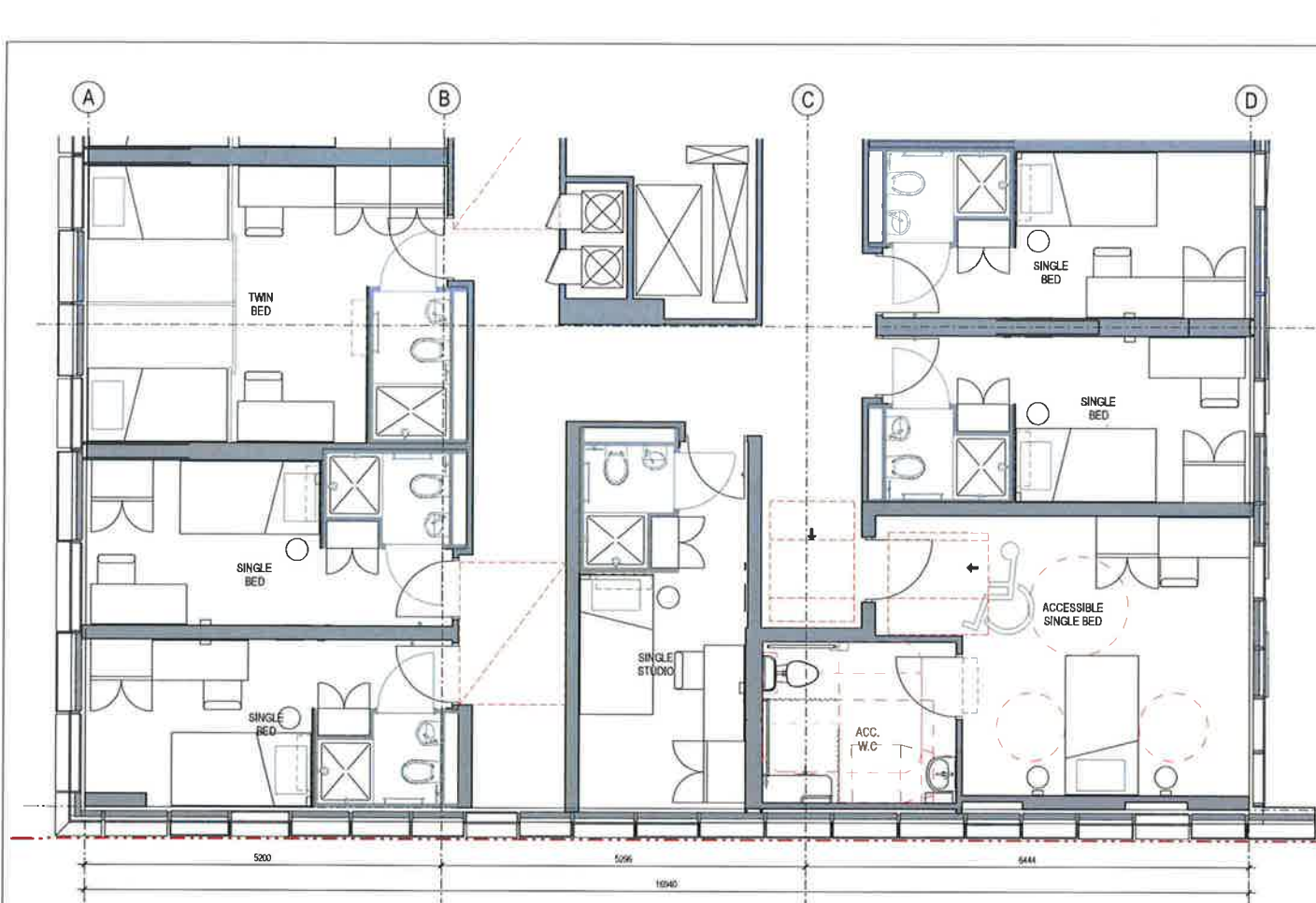
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Issue

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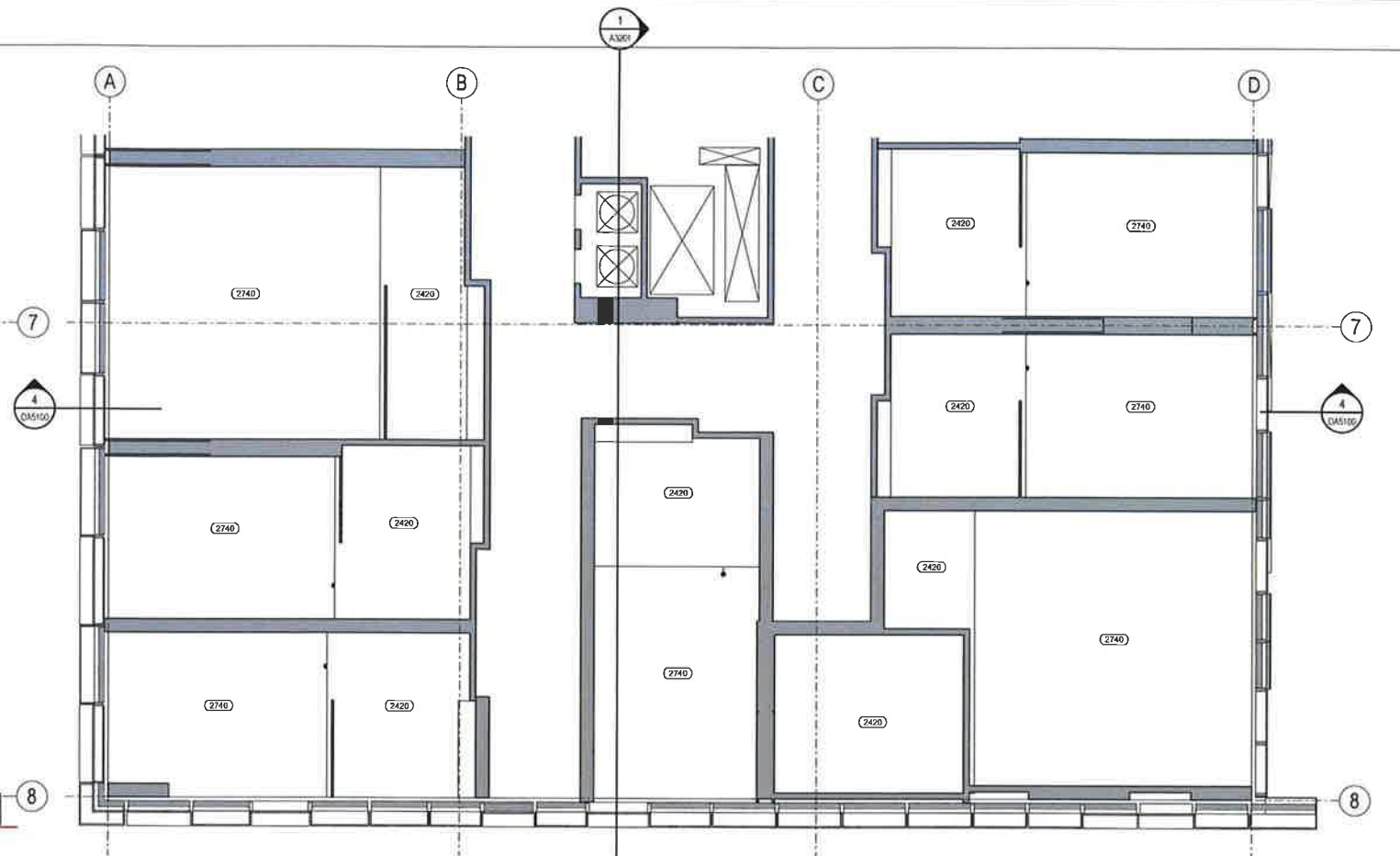




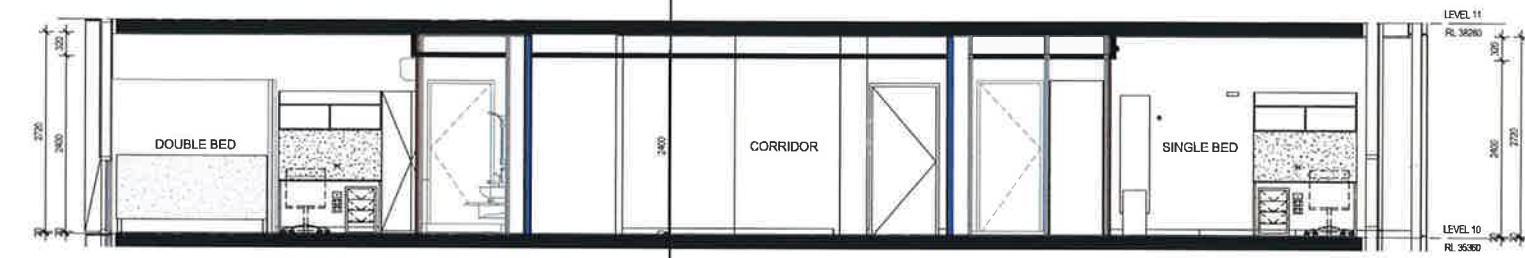
1 TYPICAL UPPER LEVEL SOU PLAN  
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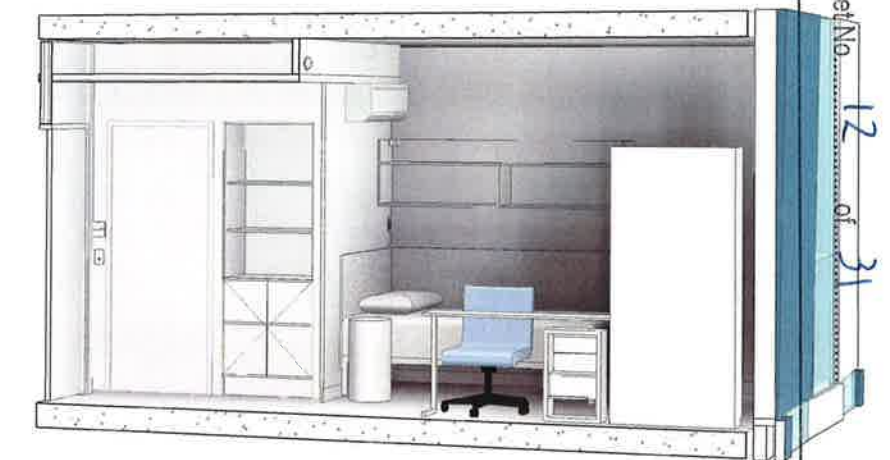
2 CORNER TWIN STUDIO SOU PLAN  
1:50



3 TYPICAL UPPER LEVEL CEILING PLAN  
1:50



4 SECTION A  
1:50



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Sheet No. 12 of 31

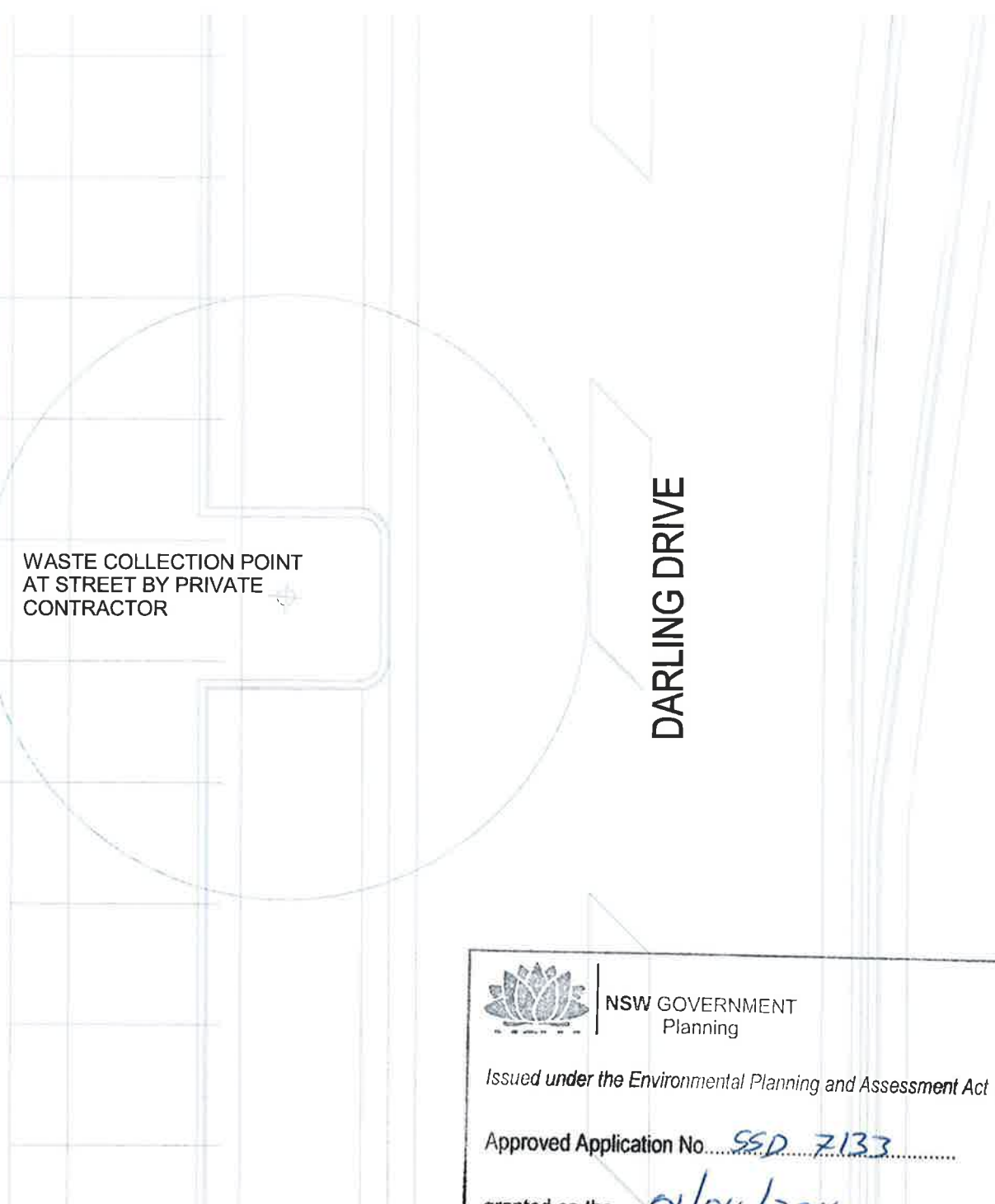
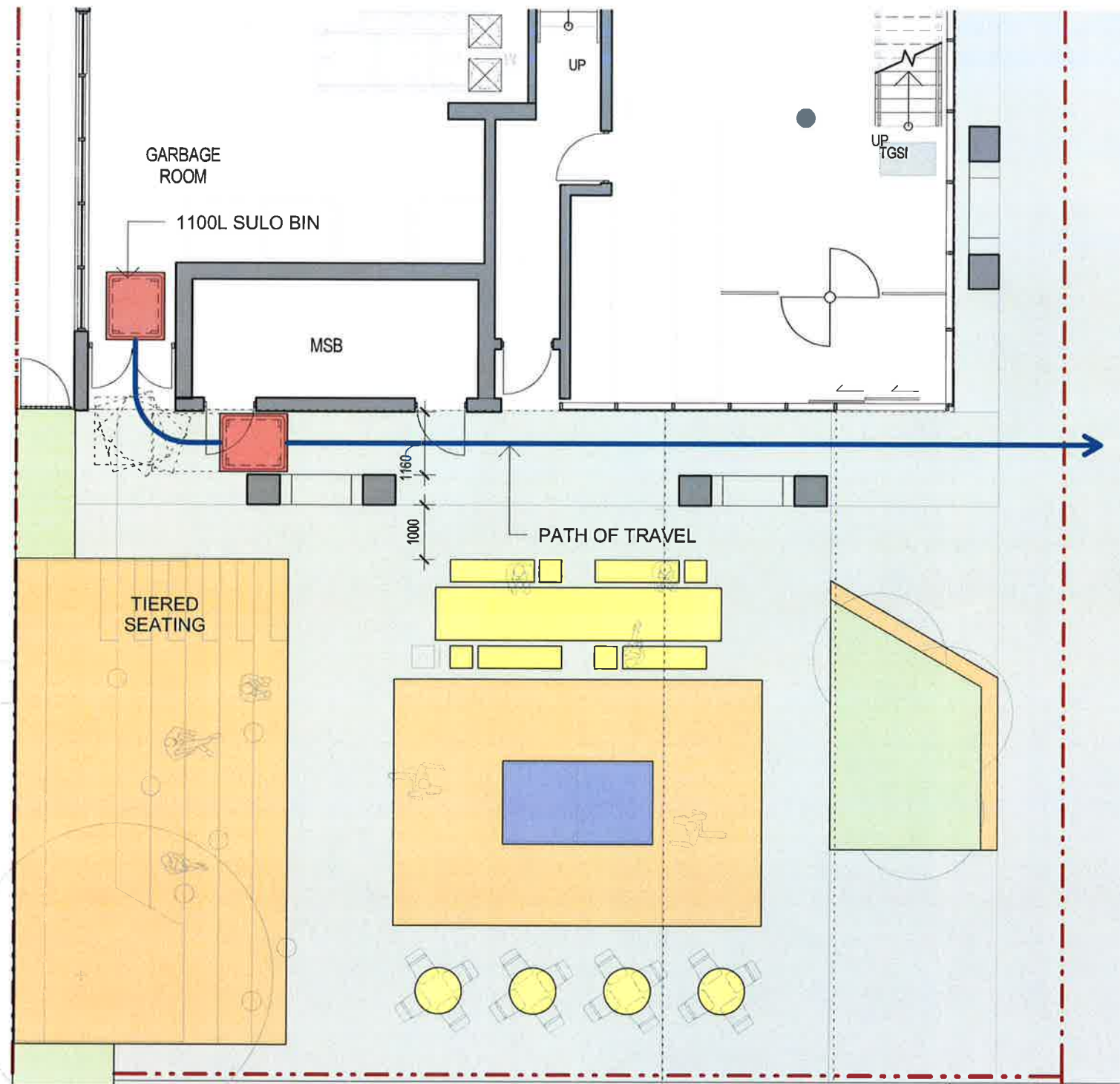
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Drawing No. DA5108

Issue 4

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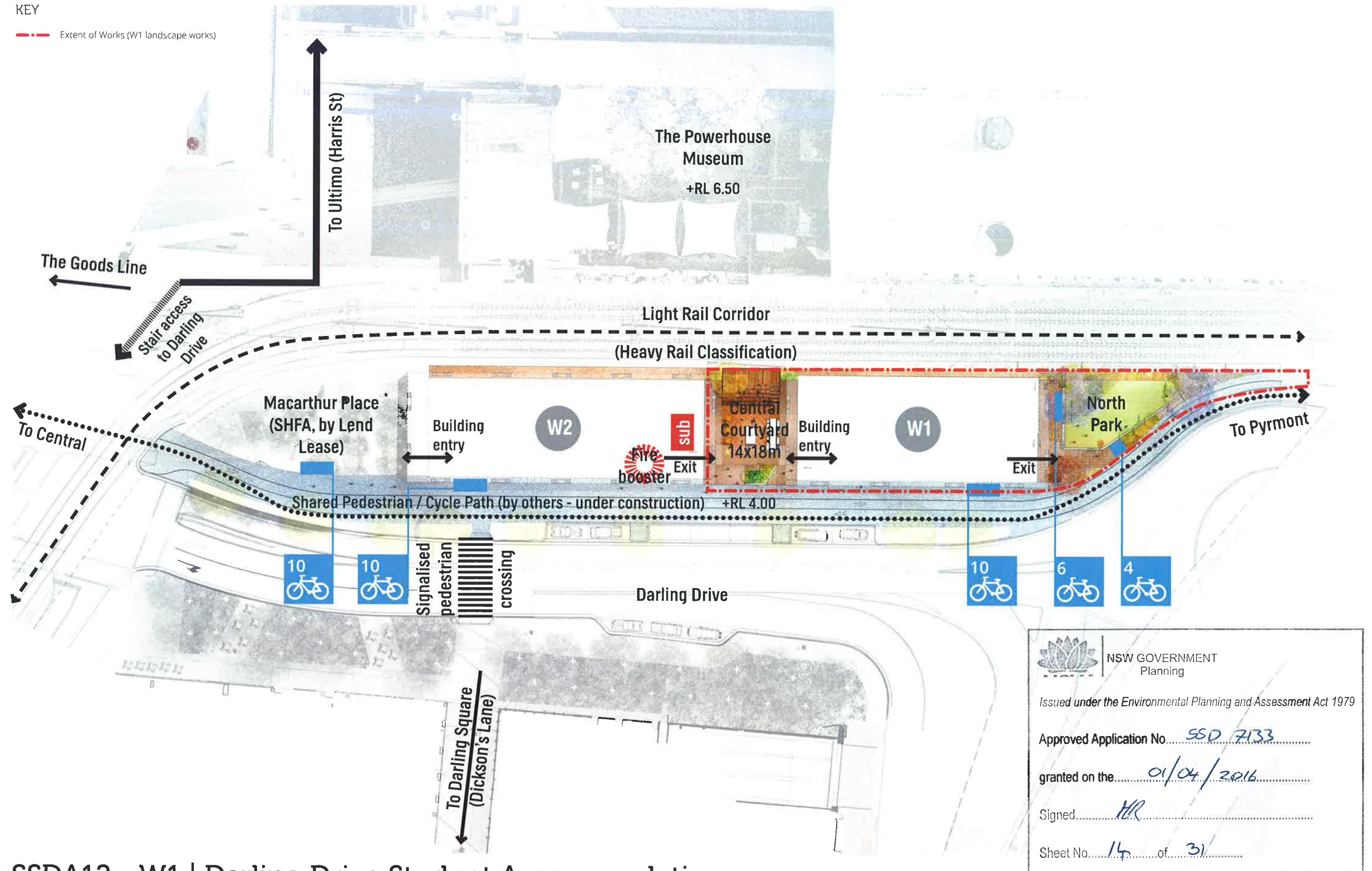


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granted on the <u>01/04/2016</u>	
Signed <u>HK</u>	
Sheet No. <u>13</u> of <u>21</u>	



KEY

--- Extent of Works (W1 landscape works)



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Signed <u>HR</u>	
Sheet No. <u>14</u> of <u>31</u>	

## SSDA12 - W1 | Darling Drive Student Accommodation

ASPECT Studios™

Client: Urbanest



Drawn: RD/LN  
Checked: LN/SC

Scale: 1:200 @ A1  
Date: JANUARY 2016



Dwg No: 15027-SSDA12-02  
Rev: B

SITE PLAN

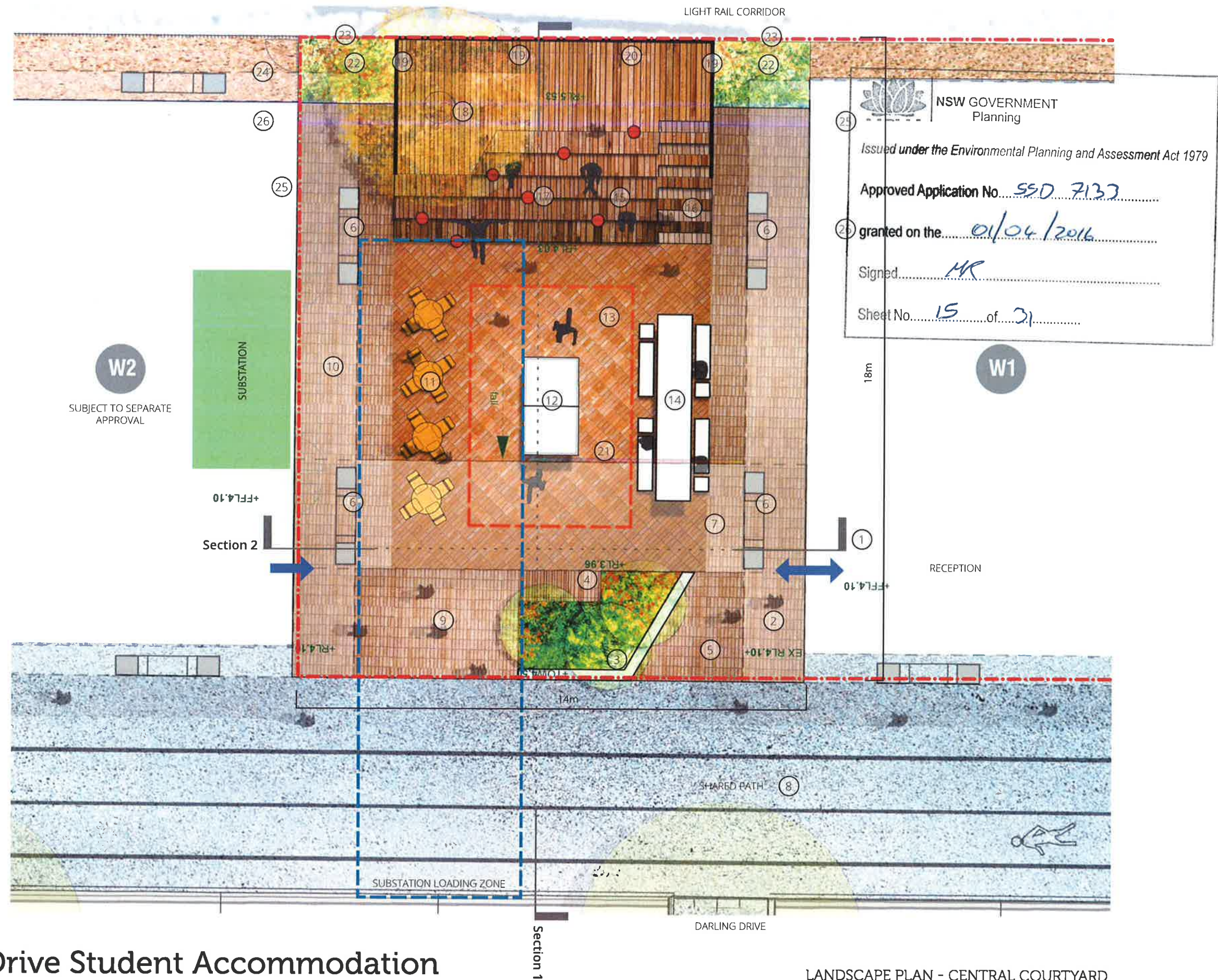


W1 STUDENT ACCOMMODATION BUILDING DA REPORT SSDA12 185



APPENDIX K - LANDSCAPE DRAWINGS

- KEY
- Extent of Works (W1 landscape works)
  - W1 building lobby
  - +RL 3.5 Proposed levels
  - Substation access easement
  - Substation (in building W2)
- Entry to W1 building lobby - flush access from central courtyard
  - Building overhang - facilitates weather protected movement between W1 and W2
  - Entry planter - 500mm high raised planter with copse of small trees to provide separation from street and entry statement to W1 lobby
  - Built in timber seating edge on top of planter wall to provide lounging / spectating spot
  - Small format concrete unit paving to courtyard
  - Building columns - refer to architectural drawings
  - Overhead bridge to provide access between buildings W2 to W1 - 3.5m clearance above courtyard
  - Shared pedestrian / cycle way from Ultimo to Pyrmont along Darling Drive (by others)
  - Substation access easement zone - no fixed above ground elements to be installed within zone
  - Building overhang to W2
  - Possibility for moveable tables and chairs to placed in substation easement to provide additional seating and activation to zone
  - Fixed table tennis table
  - Playful, coloured paving around table tennis table, within competition zone
  - Generous, fixed table and bench seating for outdoor dining and study
  - Raised, timber amphitheatre, 1.5m high, with 300mm high bleacher seat steps for spectating and passive recreation
  - Stair access to amphitheatre platforms
  - Playful, fixed, 'buttons' to seat steps to facilitate range of seating arrangements and opportunities for activation
  - Feature deciduous tree in top platform of amphitheatre
  - 1.8m high solid timber balustrade to upper levels and sides of amphitheatre (>1m high). Top 600mm to include 25% porosity for wild amelioration
  - Projector box to rear of amphitheatre
  - Opaque panels to W2/W1 bridge to act as projector screen for moonlight cinema - refer to architectural drawings
  - Screening planting and Tree to light rail corridor - shrubs, low grasses and climbers
  - 1.8m high solid timber fence to light rail corridor to prevent access







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Sheet No. 16 of 31

W2

5

W1



1. moveable furniture



2. tree in raised deck



3. amphitheatre seating



4. posts for temporary event bunting



5. moonlight cinema



6. fixed and movable furniture

## SSDA12 - W1 | Darling Drive Student Accommodation

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Client Urbanest



Drawn: RD/LN  
Checked: LN/SC

Scale: 1:50 @ A1  
Date: JANUARY 2016



SECTION 1 - NORTH/SOUTH

Dwg no 15027-SSDA12-04  
Rev B







1. Lush planting with decorative climber



2. Seat steps with playful 'button' overlay



3. Fixed table tennis table



4. Dynamic paving



5. Potential art lighting under

## SSDA12 - W1 | Darling Drive Student Accommodation

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Drawn: RD/LN  
Checked: LN/SC

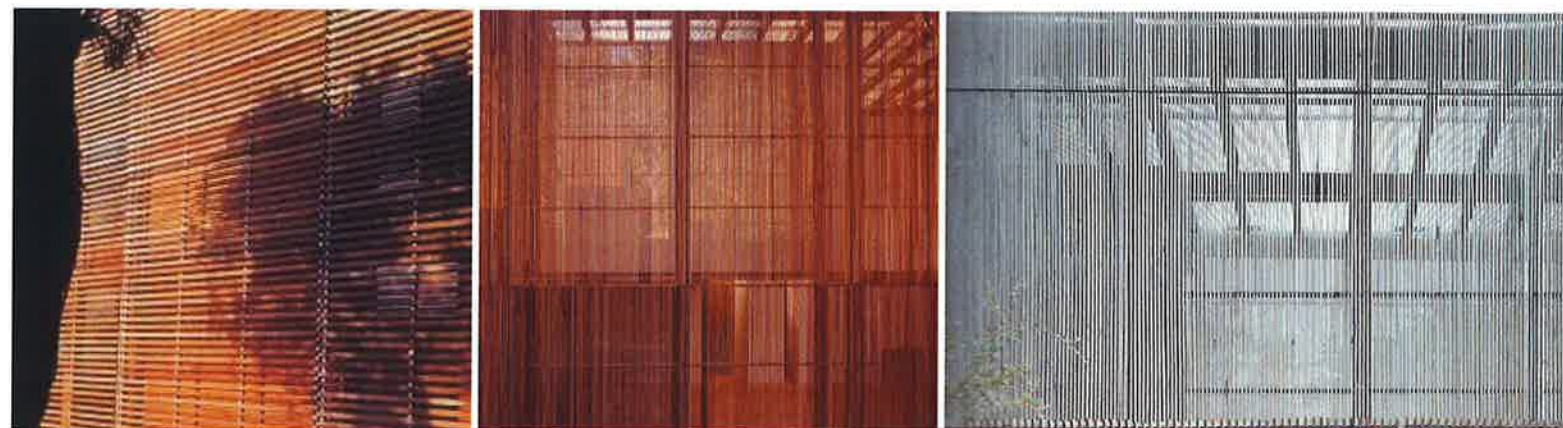
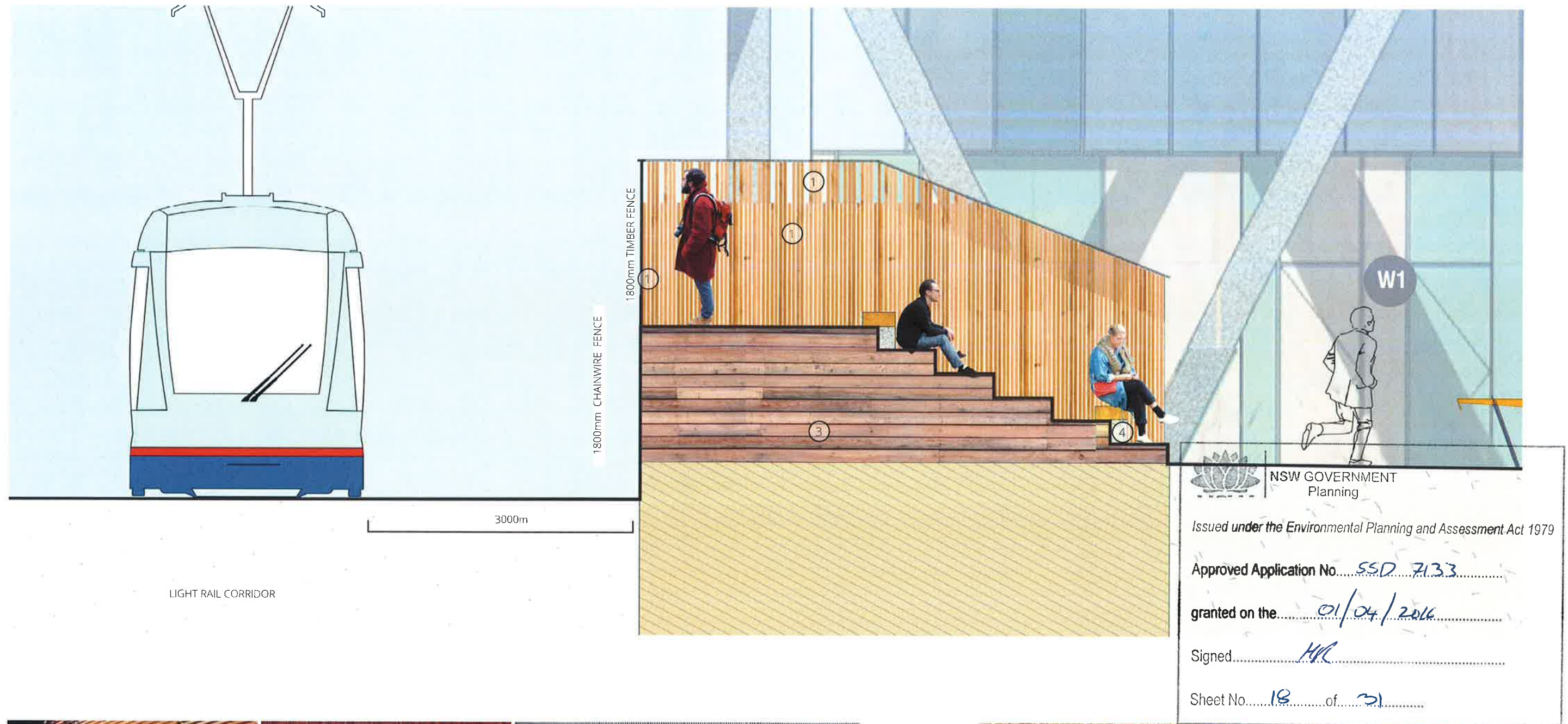
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Date: JANUARY 2016



SECTION 2 - EAST / WEST

Dwg no: 15027-SSDA12-05  
Rev: B





1. 1800 high Solid Timber Screen. Note 25% Porosity for Top 600mm of screen to assist wind amelioration.



3. Seat steps



4. Playful 'button' overlay

## SSDA12 - W1 | Darling Drive Student Accommodation

ASPECT Studios™

Client: Urbanest



Drawn: RD/LN  
Checked: LN/SC

SECTION 3 - EAST / WEST DETAIL OF AMPHITHEATRE AND FENCE

Scale: 1:20 @ A1  
Date: JANUARY 2016

0 0.2 0.4 0.6 0.8m

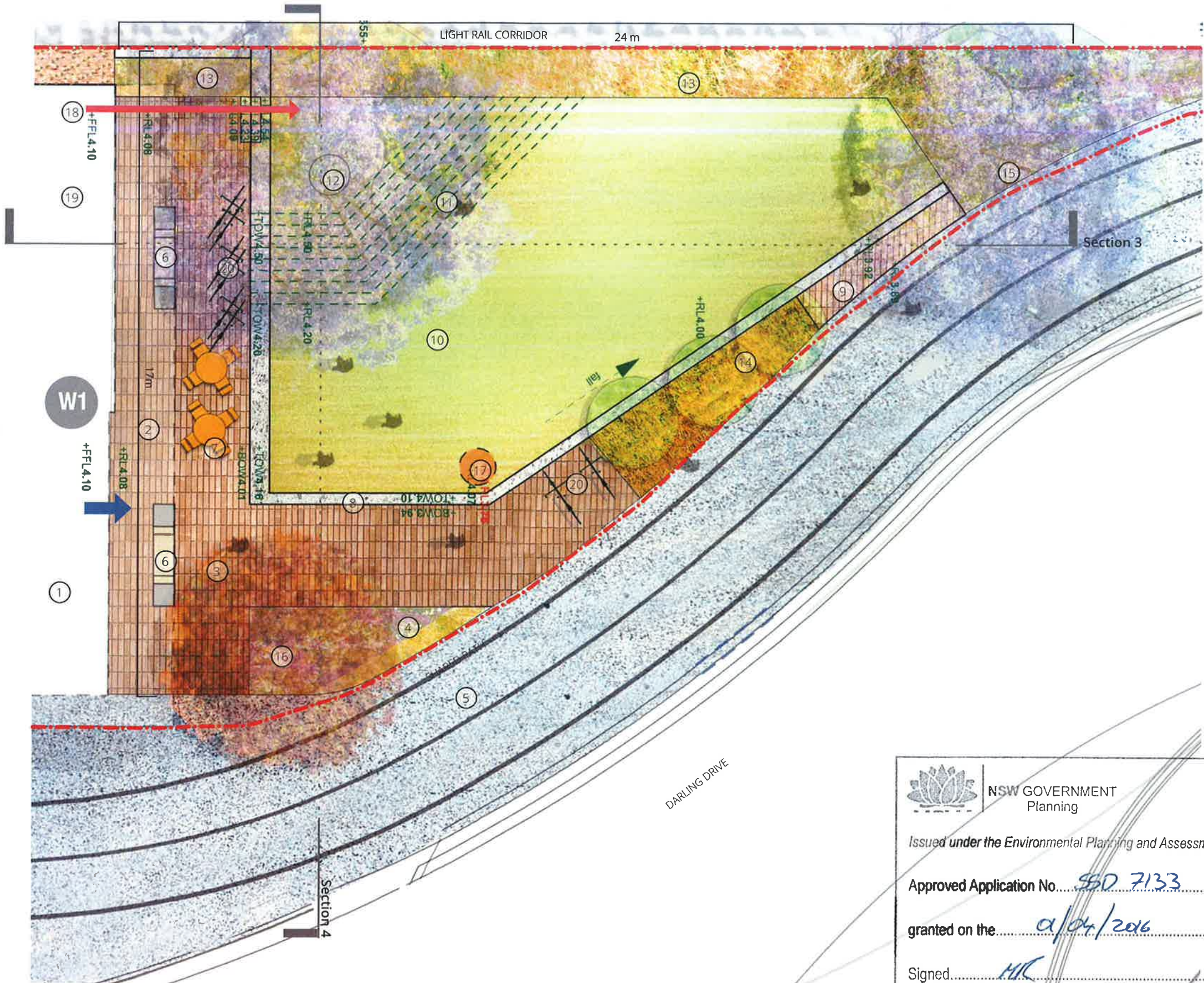


Dwg no: 15027-SSDA12-06  
Rev: B



APPENDIX K - LANDSCAPE DRAWINGS  
KEY

- Extent of Works (W1 landscape works)
- +RL 3.5 Proposed levels
1. Student meeting rooms on ground floor overlooking north park.
  2. W1 building overhang.
  3. Fine grained, civic quality paving to north park.
  4. Flush entry planter with small evergreen tree to north park entry.
  5. Insitu concrete shared pedestrian / cycle path (by others - under construction).
  6. Building columns.
  7. Possibility for moveable furniture to paved forecourt to W1 building.
  8. 150mm high, robust, raised edge to turf / paving interface.
  9. Ramp access from shared path to turf area to provide DDA compliant access to turf.
  10. Open turf area for passive recreation.
  11. 300mm high mound to south-east of turf area for spectating and passive recreation.
  12. Feature deciduous tree to turf mound.
  13. Screening planting to light rail corridor.
  14. Buffer planting to street to provide separation from busy vehicular oriented Darling Drive. Small, evergreen, shade trees provide element of visual separation whilst still providing views through at eye level for passive surveillance.
  15. Feature deciduous tree to north of turf area.
  16. Feature deciduous tree to east of turf area.
  17. Sewer man hole cover.
  18. Building fire egress.
  19. Internal bicycle store with direct access to the north park.
  20. External visitor bicycle parking.



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Issued under the Environmental Planning and Assessment Act 1979

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granted on the 21/04/2016

Signed MIC

Sheet No. 19 of 31

LANDSCAPE PLAN - NORTH PARK

SSDA12 - W1 | Darling Drive Student Accommodation  
ASPECT Studios™

Client: Urbanest



Drawn: RD/LN  
Checked: LN/SC

Scale: 1:50 @ A1  
Date: JANUARY 2016

0 1 2 3 4m



Dwg no: 15027-SSDA12-09  
Rev: B





1. Raised, sun filled green for passive recreation.



2. Mound in turf with a tree for shade



3. Fine grained, civic paving.



4. Shared path to Darling Drive.

## SSDA12 - W1 | Darling Drive Student Accommodation

ASPECT Studios™

Client Urbanest



Drawn RD/LN  
Checked LN/SC

Scale 1:50 @ A1  
Date JANUARY 2016



SECTION 3 - NORTH/SOUTH

Dwg no 15027-SSDA12-10  
Rev B





1. Low lush planting adjacent shareway



2. Feature deciduous tree



3. Slightly raised turf area with robust edge



4. Lush planting buffering light rail corridor

## SSDA12 - W1 | Darling Drive Student Accommodation

ASPECT Studios™

Client: Urbanest



Drawn: RD/LN  
Checked: LN/SC

Scale: 1:50 @ A1  
Date: JANUARY 2016



SECTION 4 - EAST / WEST

Dwg no: 15027-SSDA12-11  
Rev: B



APPENDIX K - LANDSCAPE DRAWINGS

KEY  
Extent of Works (W1 landscape works)

COURTYARD

Botanic Name	Common Name	Quantity	Estimated Pot Size	Native/ Exotic
New Trees in the Courtyard				
<i>Ginkgo biloba</i>	Ginkgo	1	800L	exot c
<i>Elaeocarpus eumundi</i>	Eumundi Quandong	3	200L	native



Botanic Name	Common Name	Estimated Pot Size	Native/ Exotic
Low Shrubs, Groundcovers and Climbers in the Courtyard			
<i>Syzygium australe 'Northern select'</i>	Lilly Pilly 'Northern select'	200mm	native
<i>Syzygium australe 'Resilience'</i>	Lilly Pilly 'Resilience'	200mm	native
<i>Viola hederacea</i>	Native Violet	200mm	exot c
<i>Iris x germanica</i>	Bearded Iris	200mm	exot c
<i>Acanthus mollis</i>	Bears Breeches	200mm	exot c
<i>Calathea zebrina</i>	Zebra Plant	300mm	exot c
<i>Arthropodium cirratum</i>	New Zealand Rock Lily	300mm	exot c
<i>Pachysandra terminalis</i>	Japanese pachysandra	200mm	exot c
<i>Sansevieria trifasciata</i>	Mother-in-Laws Tongue	200mm	exot c
<i>Trachelospermum jasminoides</i>	Star Jasmine (climber)	300mm	exot c
<i>Pyrostegia venusta</i>	Orange Trumpet Vine (climber)	300mm	exot c



NORTHERN PARK

Botanic Name	Common Name	Quantity	Estimated Pot Size	Native/ Exotic
New Trees in Northern Park				
<i>Brachychiton acerifolius</i>	Illawarra Flame Tree	2	800L	native
<i>Jacaranda mimosifolia</i>	Jacaranda	1	800L	exot c
<i>Eucalyptus haemastoma</i>	Scribbly Gum	3	200L	native



Botanic Name	Common Name	Estimated pot size	Native/ Exotic
Low Shrubs and Groundcovers in the Northern Park			
<i>Pennisetum clandestinum</i>	Kikuyu v. age green	138 m2	exot c
<i>Anigozanthos 'Regal Velvet'</i>	Kangaroo Paw	300mm	exot c
<i>Viola hederacea</i>	Native Violet	200mm	exot c
<i>Lomandra 'Tanika'</i>		300mm	native
<i>Poa labillardierei</i>	Tussock Grass	200mm	native
<i>Helichrysum petiolare</i>	Silver Bush	200mm	exot c
<i>Westringia fruticosa</i>		300mm	native



SSDA12 - W1 | Darling Drive Student Accommodation

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Signed MR

Sheet No. 22 of 31

SITE WIDE PLANTING STRATEGY

Client: Urbanest



Drawn: RD/LN  
Checked: LN/SC

Scale: 1:250 @ A1  
Date: JANUARY 2016



Dwg no: 15027-SSDA12-13  
Rev: 8



**GENERAL NOTES**

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH R.M.S. AUSTRALIAN STANDARDS, AUSTRALASIAN SHEA AND CITY OF SYDNEY COUNCIL'S DESIGN GUIDELINES AND SPECIFICATIONS AND/OR AS DIRECTED BY THE PRINCIPLE. WHERE DISCREPANCIES OCCUR THE MORE STRINGENT SPECIFICATION WILL TAKE PRECEDENCE.
- THE CONTRACTOR SHALL LOCATE AND DETERMINE ALL LEVELS OF EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION AND SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST AS REQUIRED. ALL COSTS TO BE BORNE BY THE APPLICANT, (NOT AT COUNCIL'S EXPENSE).
- NO ONE SHALL ENTER UPON OR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT PRIOR WRITTEN PERMISSION OF THE LAND OWNER.
- SURVEY MARKS SHALL BE MAINTAINED AT ALL TIMES. WHERE RETENTION IS NOT POSSIBLE THE PRINCIPLE SHALL BE NOTIFIED AND CONSENT RECEIVED PRIOR TO THEIR REMOVAL.
- SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO SOIL DISTURBANCE IN KEEPING WITH THE "MANAGING STORMWATER MANUAL", 2004 BY LANDCOM AND TO COUNCIL'S SOIL EROSION AND SEDIMENT CONTROL POLICY.
- ALL LAND DISTURBED BY EARTHWORKS SHALL BE HYDROMULCHED, OR SIMILARLY TREATED TO ESTABLISH GRASS COVER. SEED MIXTURES ARE TO BE APPROVED BY URBANEST PRIOR TO SPRAYING. ALL GRASSED AREAS SHALL BE REGULARLY WATERED AND MAINTAINED UNTIL EXPIRATION OF THE MAINTENANCE PERIOD.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
- ALL DRAINAGE LINES SHALL BE CONTAINED WITHIN THEIR EASEMENTS AND CONFORM WITH COUNCIL'S STANDARDS.
- SUBSOIL DRAINS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE COUNCIL OR R.M.S. SPECIFICATION WHERE APPLICABLE.
- MINIMUM 100mm THICK TOPSOIL SHALL BE SPREAD ON ALL FOOTPATHS, BERMS, BATTERS AND SITE REGARDING AREAS. EXCESS TOPSOIL SHALL BE DISPOSED OF AS DIRECTED BY THE PRINCIPLE.
- THE CONTRACTOR SHALL PROVIDE MINIMUM 48 HOURS NOTICE TO THE PRINCIPLE FOR ALL INSPECTIONS.
- THE CONTRACTOR SHALL MAINTAIN SERVICES AND ALL WEATHER ACCESS AT ALL TIMES TO THE ADJOINING PROPERTIES INCLUDING PEDESTRIAN ACCESS.
- THE CONTRACTOR SHALL UNDERTAKE TRAFFIC CONTROL MANAGEMENT MEASURES IN ACCORDANCE WITH THE R.M.S. TRAFFIC CONTROL AT WORK SITES MANUAL AND TO THE PRINCIPLE'S SATISFACTION AND SHALL DISPLAY APPROPRIATE WARNING SIGNS THROUGHOUT THE DURATION OF CONSTRUCTION.
- ALL NATURAL SURFACE DATA HAS BEEN DETERMINED BY TERRAIN MODELLING. ALL CONSTRUCTION SITE WORKS MUST BE CARRIED OUT USING THE BENCH MARKS NOTED IN THIS DRAWINGS.
- 100 YEAR FLOW PATHS TO BE FORMED AT TIME OF CONSTRUCTION.
- ALL WORKS ADJACENT TO THE RAIL ARE TO BE UNDERTAKEN IN ACCORDANCE WITH RAIL CORP. TRANSPORT FOR NSW AND THE RAIL OPERATOR REQUIREMENTS AND SPECIFICATIONS.
- ALL WORKS TO BE CARRIED OUT IN COORDINATION WITH ADJACENT EXISTING AREAS, PPP AND PUBLIC REALM WORKS.

**SURVEY NOTES**

- DETAILED GROUND SURVEY WITHIN THE SITE AND BOUNDARIES WERE SUPPLIED BY RYKATE & COMPANY PTY LTD. REFERENCE NUMBER 75717, DATED 22/08/2013 AND UPDATED ON 08/05/2014.
  - THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. HYDER CONSULTING DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE.
  - SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT URBANEST.
- LOCAL SURVEY MARKS  
SSM 168145      E 333679 368  
N 624994 260  
ORIGIN OF COORDINATES      SSM 54327 TO SSM 168146  
ORIGIN OF LEVELS      PM 55082  
RL 3.288

**SUBSOIL DRAINAGE NOTES**

- SUBSOIL DRAINAGE TO BE INSTALLED UNDER ALL KERBS IN ACCORDANCE WITH CITY OF SYDNEY COUNCIL SPECIFICATIONS AND R.M.S. SPECIFICATIONS WHERE APPLICABLE.
- CLEANOUT TO BE PROVIDED IN ACCORDANCE WITH CITY OF SYDNEY COUNCIL SPECIFICATIONS.

**BOUNDARY LEGEND**

- SICEEP BOUNDARY  
— PDA DA BOUNDARY  
— LIMITED IN STRATUM BOUNDARY

**SITEWORKS NOTES**

- ORIGIN OF LEVELS. REFER SURVEY NOTES.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO HYDER CONSULTING.
- MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
- ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- SEWER, POTABLE WATER AND RECYCLED WATERMANS BACKFILL TO BE IN ACCORDANCE WITH WSA03-2002-2.2, WAT-1201, WAT-1202, WAT-1203 AND WAT-1204-V. ALL OTHER SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH CEMENT STABILISED SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% MODIFIED DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1 (OR A DENSITY INDEX OF NOT LESS THAN 75).
- PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVEMENTS.
- ASPHALTIC CONCRETE SHALL CONFORM TO R.M.S. SPECIFICATION R116.
- ALL BASECOURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S. QA SPECIFICATION 3051 COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m<sup>3</sup> OF BASECOURSE MATERIAL PLACED.
- ALL SUB-BASE COURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S. QA SPECIFICATION 3051 AND 3051.1 AND COMPACTED TO MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1 AND R.M.S. SPECIFICATION R71. FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m<sup>3</sup> OF SUB-BASE COURSE MATERIAL PLACED.
- AS AN ALTERNATIVE TO THE USE OF IGNEOUS ROCK AS A SUB-BASE MATERIAL IN (9) A CERTIFIED RECYCLED CONCRETE MATERIAL COMPLYING WITH R.M.S. QA SPECIFICATION 3051 AND 3051.1 WILL BE CONSIDERED SUBJECT TO MATERIAL SAMPLES AND APPROPRIATE CERTIFICATIONS BEING PROVIDED TO THE SATISFACTION OF HYDER CONSULTING.
- SHOULD THE CONTRACTOR WISH TO USE A RECYCLED PRODUCT THIS SHALL BE CLEARLY INDICATED IN THEIR TENDER AND THE PRICE DIFFERENCE BETWEEN AN IGNEOUS PRODUCT AND A RECYCLED PRODUCT SHALL BE CLEARLY INDICATED.
- WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED OUT BY OTHERS, (e.g. ADJUSTMENT OF SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.
- ALL FOOTPATHS AND CYCLEWAYS TO BE IN ACCORDANCE WITH CITY OF SYDNEY COUNCIL DESIGN GUIDELINES.

**REMEDIATION AND WASTE MANAGEMENT NOTES**

- CONTAMINATED SOILS EXIST ON THE PROJECT SITE. AREAS OF ASBESTOS CONTAMINATION ARE KNOWN ON THE PROJECT SITE. A DETAILED REMEDIAL ACTION PLAN (RAP) (SITE SPECIFIC REMEDIAL ACTION PLAN FOR THE HAYMARKET PLANNING APPLICATION, HAYMARKET, SYDNEY, NSW 13 JANUARY 2014) AND A REMEDIAL WORKS PLAN (RWP) HAS BEEN PREPARED FOR THE REMOVAL AND MANAGEMENT OF ALL CONTAMINATION.
- THERE IS POTENTIAL FOR THE DISCOVERY OF PREVIOUSLY UNKNOWN CONTAMINATION DURING ALL CIVIL WORKS.
- THE RWP DESCRIBES THE WORK REQUIRED TO BE COMPLETED DURING CONSTRUCTION TO REMEDIATE THE SITE INCLUDING PROCEDURES AND CONTROLS FOR REMOVING KNOWN AND MANAGING UNEXPECTED FINDS OF CONTAMINATION.
- THE CONTRACTOR SHALL INCORPORATE INTO WORK METHOD STATEMENTS ALL RELEVANT SOIL CONTAMINATION MANAGEMENT MEASURES DOCUMENTED IN THE RWP.
- ALL CONTRACTOR STAFF MUST BE INDUCTED INTO THE CONTAMINATED SOIL 'UNEXPECTED FINDS PROCEDURE' (INCLUDED IN THE RWP).
- REMEDIATION OF SOIL CONTAMINATION WILL INVOLVE THE PROCESS OF VALIDATION (CONFIRMING CONTAMINATED AREAS HAVE BEEN REMEDIATED TO APPROPRIATE REQUIREMENTS). VALIDATION ACTIVITIES (COLLECTION OF SOIL SAMPLES, INSPECTIONS, ETC.) WILL BE UNDERTAKEN BY SPECIALIST CONSULTANTS. THE CONTRACTOR SHALL COOPERATE WITH AND FACILITATE ALL VALIDATION ACTIVITIES.
- DISPOSAL OFF SITE OR REUSE OF SOIL / ROCK ON THE PROJECT SITE MUST BE IN ACCORDANCE WITH THE PROCEDURES AND SET OUT IN THE RAP AND RWP.
- FOR ALL MATTERS NOTIFICATION OF THE PRINCIPLE MUST BE MADE IMMEDIATELY.

**TRAFFIC CONTROL NOTES**

- A TRAFFIC MANAGEMENT PLAN IS TO BE PREPARED IN ACCORDANCE WITH THE R.M.S. TRAFFIC CONTROL AT WORK SITES BY THE CONTRACTOR AND APPROVED BY THE PRINCIPLE AND R.M.S. AT LEAST 5 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION TO SUIT PROGRAM REQUIREMENTS.
- THE CIVIL WORKS CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUIRED R.O.L. FROM THE RELEVANT AUTHORITY INCLUDING R.M.S. AND R.M.S. TCS, CITY OF SYDNEY COUNCIL AND SHEA.

**STORMWATER DRAINAGE NOTES**

- STORMWATER DESIGN CRITERIA  
(A) AVERAGE RECURRENCE INTERVAL: 20 YEAR ARI - MINOR STORM  
100 YEAR ARI - MAJOR STORM  
(B) REFER TO HYDER'S BROADER PROJECT CATCHMENT FLOOD MODELLING OF DARLING HARBOUR (USING TUFLOW SOFTWARE) FOR DEFINITION OF OVERLAND FLOW REGIMES.
- PROPOSED PIPES 375mm AND LARGER TO BE REINFORCED CONCRETE MINIMUM CLASS 4. MARINE GRADE APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS. U.N.O. ALL PRECAST CONCRETE PIPES ARE TO COMPLY WITH AS4058 2007. MINIMUM CONCRETE COVER TO STEEL REINFORCEMENT IS TO BE IN ACCORDANCE WITH TABLE 3.1 FOR MARINE ENVIRONMENTS. FIBRE REINFORCED CONCRETE PIPES ARE NOT TO BE USED.
- PIPES TO BE INSTALLED TO TYPE H53 SUPPORT IN ACCORDANCE WITH AS 3725 AND R.M.S. R11 SPECIFICATION.
- ALL INTERNAL WORKS WITHIN PROPERTY BOUNDARIES ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.
- CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. LEVELS AND GRADES SHOWN ARE NOT TO BE CHANGED WITHOUT PRIOR APPROVAL.
- GRATES AND COVERS SHALL CONFORM TO CITY OF SYDNEY COUNCIL AND R.M.S. REQUIREMENTS AND AS3996.9. AT ALL TIMES DURING CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE TAKEN TO ENSURE AGAINST THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS.
- ALL EXISTING STORMWATER DRAINAGE LINES AND PITS TO REMAIN ARE TO BE INSPECTED AND CLEANED DURING THIS PROCESS. ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT AND URBANEST FOR FURTHER DIRECTIONS.
- CCTV ALL PIPES AFTER CONSTRUCTION AND PRIOR TO PRACTICAL COMPLETION. THIS INCLUDES ALL EXISTING PIPES THAT ARE TO BE RETAINED.
- PIPES ARE DESIGNED FOR OPERATIONAL TRAFFIC LOADS ONLY. APPROPRIATE MEASURES SHOULD BE TAKEN TO PROTECT PIPES DURING CONSTRUCTION.
- CONFIRM EXISTING PIT AND PIPE LEVELS AT ALL JUNCTIONS WITH PROPOSED STORMWATER PRIOR TO ANY UPSTREAM PIPEWORK INSTALLATIONS. SHOULD LEVELS VARY FROM THE DESIGN HYDER CONSULTING SHALL BE NOTIFIED IMMEDIATELY.
- ALL PITS DEEPER THAN 12m SHALL HAVE STEP IRONS PROVIDED IN ACCORDANCE WITH R.M.S. STANDARDS.
- ALL REDUNDANT PIPES ARE TO BE REMOVED OR GROUT FILLED AS DIRECTED BY URBANEST. ALL REDUNDANT PITS ARE TO BE REMOVED AND BACKFILLED.
- PRECAST CONCRETE PITS MAY BE USED BUT MUST BE IN ACCORDANCE WITH R.M.S. SPECIFICATION R11 CLAUSE 2.5.4.

ALL RELEVANT WORKS TO BE CARRIED OUT BY SYDNEY WATER ACCREDITED CONTRACTORS.

**PROPOSED SERVICES NOTES**

- THESE DRAWING ARE TO BE READ IN CONJUNCTION WITH: SERVICE AUTHORITY DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL ATTEND, MANAGE & SUPERVISE THE PROVISION OF ALL SERVICE PIT COVERS TO BE INSTALLED FLUSH WITH PROPOSED VERGE LEVELS AND GRADES.
- ALL PIT LIDS (OTHER THAN GRATES) ARE TO FACILITATE PAVEMENT INFILL (I.E. RECESSED) PAVEMENT DEPTH TO LANDSCAPE ARCHITECT'S DETAILS.
- ALIGNMENT OF PIT LIDS TO BE PERPENDICULAR OR PARALLEL TO THE PUBLIC REALM PROPOSED PAVEMENT LAYOUT WHERE POSSIBLE.
- ALL PIT LEVELS TO BE COORDINATED WITH AND CONSISTENT WITH THE FINAL LEVELS.
- ALL PIT COVERS/GRATES TO BE MINIMUM CLASS 'D' UNLESS NOTED OTHERWISE.

**HERITAGE NOTES**

- THE ADJACENT PROJECT SITE CONTAINS SUB-SURFACE REMNANTS OF HISTORICAL (ABORIGINAL & EUROPEAN) INTEREST. SITE INVESTIGATIONS HAVE DETERMINED THE LOCATION OF KEY ITEMS TO BE RETAINED AND PROTECTED IN SITU. THERE IS A PROBABILITY OF DISCOVERING ITEMS OF HISTORICAL INTEREST DURING ALL SUBSURFACE CONSTRUCTION WORKS.
- THE CONTRACTOR SHALL, IF NECESSARY, INCORPORATE INTO WORK METHOD STATEMENTS ALL ARCHAEOLOGICAL MANAGEMENT MEASURES DOCUMENTED IN THE PROJECT ARCHAEOLOGICAL MANAGEMENT SUB PLAN.
- THE CONTRACTOR SHALL, IF NECESSARY, IMPLEMENT AND COMPLY WITH THE ARCHAEOLOGICAL 'UNEXPECTED FINDS MANAGEMENT' PROTOCOL. FOR ALL WORKS CARRIED OUT ON SITE, ALL CONTRACTOR STAFF MUST BE INDUCTED INTO THE ARCHAEOLOGICAL 'UNEXPECTED FINDS MANAGEMENT' PROTOCOL.



NSW GOVERNMENT  
Planning

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Approved Application No. **550 2123**

granted on the **01/04/2016**

Signed **[Signature]**

REV	DESCRIPTION	DATE
04	ISSUE FOR DEVELOPMENT APPLICATION	11/09/15
03	ISSUE FOR DEVELOPMENT APPLICATION	04/09/15
02	ISSUE FOR DEVELOPMENT APPLICATION	01/09/15
01	DRAFT ISSUE	19/08/15

**EROSION AND SEDIMENT CONTROL NOTES****GENERAL INSTRUCTIONS**

- THE CIVIL WORKS CONTRACTOR WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS DOCUMENTED.
- ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:  
a. LOCAL AUTHORITY REQUIREMENTS  
b. EPA REQUIREMENTS  
c. NSW DEPARTMENT OF HOUSING MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, MARCH 2004.
- MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE PRINCIPLE AND THE LOCAL AUTHORITY.
- THE WATER IN THE SEDIMENT BASIN(S) SHALL BE LOWERED PERIODICALLY TO MAINTAIN THE MINIMUM STORAGE VOLUME REQUIRED FOR FINE SOILS. AT ALL TIMES A WATER CATCH(S) SHALL BE MAINTAINED ON SITE TO:  
a. WATER THE AREAS OF HYDROMULCH  
b. CONTROL DUST
- WATERING OF MULCH, DUST OR VEGETATION MUST BE KEPT TO THE MINIMUM REQUIRED TO ACHIEVE SPECIFIED OUTCOMES. IN NO CASE SHALL AREAS BE OVER WATERED TO SATURATION OR TO THE POINT WHERE WATER PONDS ON THE SURFACE.
- STORMWATER IN THE SETTLING ZONE SHALL BE DRAINED OR PUMPED OUT WITHIN 7 DAYS (NO LATER THAN 14 DAYS AS SITE CONDITIONS ALLOW). FOLLOWING RAINFALL EVENT IF THE NOMINATED WATER QUALITY TARGETS CAN BE MET, THE LOWER LEVEL OF THE SETTLING ZONE SHALL BE IDENTIFIED WITH A PEG THAT SHOWS CLEARLY THE LEVEL WHICH DESIGN CAPACITY IS AVAILABLE.
- STORED SEDIMENT SHALL NOT ENROACH INTO SETTLING ZONE. SEDIMENT REMOVED FROM SEDIMENT BASIN SHALL BE DISPOSED OF IN PLACES THAT WILL NOT RESULT IN A FUTURE EROSION OR POLLUTION HAZARD.
- WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SEDIMENT CONTROLS ARE CREATED AROUND PITS.
- CIVIL WORKS CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENT CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.

**LAND DISTURBANCE**

- WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE WILL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:  
a. MAINTAIN EXISTING SECURITY / WIND FENCES INSTALLED AS PART OF THE ENABLING WORKS AND INSTALL NEW SECURITY / WIND FENCES AS SHOWN.  
b. MAINTAIN EXISTING SEDIMENT FENCES INSTALLED AS PART OF THE ENABLING WORKS AND INSTALL NEW SEDIMENT FENCES AS SHOWN.  
c. INSTALL SEDIMENT FILTERS AND COLLECTION POINTS AS SHOWN ON PLAN AND AS REQUIRED.  
d. UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.  
e. DISTURBED AREAS TO BE GRASSED TO THE FOLLOWING STANDARDS:  
- EMBANKMENTS - HYDRO MULCHED  
- LOTS - SEED  
- VERGES - TURFED TO LANDSCAPE ARCHITECT'S SPECIFICATION

**EROSION CONTROL**

- DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
- FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

**SEDIMENT CONTROL**

- STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS, WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS. SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
- ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
- TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED/STABILISED.

**STREET FURNITURE NOTES**

- ALL SIGNAGE TO BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE R.M.S. REGULATORY SIGNS MANUAL. REFER TO ARCHITECTURAL FOR WAY-FINDING AND DIRECTIONAL SIGNAGE.
- ALL STREET NAME SIGNS AND BUS SHELTERS TO BE TO CITY OF SYDNEY AND SHEA SATISFACTION. UNO.
- ALL LAMP COLUMNS TO BE IN ACCORDANCE WITH CITY OF SYDNEY COUNCIL, SHEA AND / OR AUSGRID SPECIFICATIONS. UNO.

**EROSION AND SEDIMENT CONTROL NOTES****CONT.****OTHER MATTERS**

- ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
- ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DETAILS.
- ALL AREAS OF PUBLIC THOROUGHFARE MUST BE KEPT CLEAN AND FREE OF WATER RUNOFF, SEDIMENT AND CONSTRUCTION MATERIALS AT ALL TIMES. THIS INCLUDES AREAS OUTSIDE OF THE SITE BOUNDARY.
- SITE SECURITY AND EROSION AND SEDIMENT CONTROL MEASURES MUST BE CHECKED AND DEEMED SAFE BY THE CIVIL WORKS CONTRACTOR PRIOR TO LEAVING THE SITE EACH DAY.

**BULK EARTHWORKS NOTES**

- ORIGIN OF LEVELS. REFER SURVEY NOTES.
- STRIP ALL TOPSOIL/ORGANIC MATERIAL (150mm NOMINAL) FROM CONSTRUCTION AREA AND REMOVE FROM SITE OR STOCKPILE AS DIRECTED BY PRINCIPLE.
- EXCAVATED MATERIAL MAY BE USED AS STRUCTURAL FILL PROVIDED THE PLACEMENT MOISTURE CONTENT OF THE MATERIAL IS +/- 2% OF THE OPTIMUM MOISTURE CONTENT AND THE GEOTECHNICAL ENGINEER PROVIDES WRITTEN APPROVAL THAT THE MATERIAL IS SUITABLE.
- COMPACT FILL AREAS AND SUBGRADE TO NOT LESS THAN:  
LOCATION      MINIMUM STANDARD DRY DENSITY (AS 1289 5.1.1)  
UNDER SLABS ON GROUND      98%  
UNDER ROADS, FOOTWAYS AND CAR PARKS      98%  
LANDSCAPED AREAS UNLESS NOTED OTHERWISE      95%
- BEFORE PLACING FILL, PROOF ROLL EXPOSED SUBGRADE WITH AN 8 TONNE (MIN) DEADWEIGHT SMOOTH DRUM NON-VIBRATORY ROLLER TO DETECT THEN REMOVE SOFT SPOTS (AREAS WITH MORE THAN 2mm MOVEMENT UNDER ROLLER). SOFT SPOTS ARE TO BE REPLACED WITH SUITABLE SELECT FILL FOR A DEPTH OF AT LEAST 0.5m OR AS ADVISED BY THE GEOTECHNICAL ENGINEER.
- SELECT MATERIAL FOR BACKFILLING SHALL BE GRANULAR MATERIAL WHICH IS NATURALLY OCCURRING, RECYCLED OR MANUFACTURED HAVING A PARTICLE SIZE DISTRIBUTION, DETERMINED IN ACCORDANCE WITH AS 1289.3.6.1. SELECT MATERIAL CAN BE CRUSHED ROCK, NATURAL SOIL, GRAVEL AND SAND, OR OTHER APPROVED GRANULAR MATERIAL CONSISTING OF CLEAN, SOUND, DURABLE FRAGMENTS, FREE FROM ORGANIC MATTER FROM AN APPROVED SOURCE. GRADING LIMITS FOR SELECT FILL SHALL BE IN ACCORDANCE WITH AS 3725 AS TABULATED IN CITY OF SYDNEY EARTHWORKS SPECIFICATION.
- FREQUENCY OF COMPACTION TESTING SHALL BE NOT LESS THAN -  
a. 1 TEST PER 200m<sup>3</sup> OF FILL PLACED PER 200 LAYER OF FILL.  
b. 3 TESTS PER LAYER  
c. 1 TEST PER 2000m<sup>3</sup> OF EXPOSED SUBGRADE  
TESTING SHALL BE "LEVEL 1" TESTING IN ACCORDANCE WITH AS 3798 (2007).
- FILLING TO BE PLACED AND COMPACTED IN MAXIMUM 150mm LAYERS.
- NO FILLING SHALL TAKE PLACE TO EXPOSED SUBGRADE UNTIL THE AREA HAS BEEN PROOF ROLLED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER AND APPROVAL GIVEN IN WRITING THAT FILLING CAN PROCEED.
- WHERE GROUNDWATER DISCHARGE OCCURS IN BULK EXCAVATIONS OR CUT FACES, SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE PRINCIPLE / GEOTECH INSTRUCTIONS TO DRECT DRAINAGE WATER TO THE NEAREST STORMWATER / SEDIMENTATION CONTROL DEVICE. THE SUBSOIL DRAINAGE MUST BE INSTALLED AS SOON AS PRACTICALLY POSSIBLE AFTER EXCAVATION. SUBSOIL DRAINAGE SHALL ALSO BE INSTALLED AT LOW POINTS IN THE FINISHED EARTHWORK PROFILE IN ACCORDANCE WITH THE SITE SUPERINTENDENT / GEOTECH'S INSTRUCTIONS.
- ENSURE TEMPORARY DIVERSION CHANNELS ARE CONSTRUCTED AROUND STOCKPILED MATERIALS AND DISTURBED AREAS. GENERALLY AS DETAILED.
- THE CONTRACTOR SHALL ALLOW FOR AND COORDINATE ALL MONITORING AND MAINTENANCE REQUIREMENTS IN RELATION TO SOIL AND GROUNDWATER CONDITIONS DURING CONSTRUCTION.
- ALL EARTHWORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS 3798 AND R.M.S. SPECIFICATION R44.

**TEMPORARY WORKS**

- DEAPIDATION SURVEY OF THE ADJACENT AREAS IS TO BE CARRIED OUT PRIOR TO COMMENCEMENT OF EXCAVATION.

**EXISTING SERVICES NOTES**

- THE EXISTING STORMWATER SHOWN ON THESE DRAWINGS HAS BEEN PLOTTED FROM INFORMATION SUPPLIED FROM CITY OF SYDNEY COUNCIL AND SYDNEY WATER REPORT "CITY AREA SWC 30 CAPACITY ASSESSMENT - JULY 1996". THE EXISTING STORMWATER INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN STORMWATER AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. HYDER CONSULTING CAN NOT GUARANTEE THAT THE STORMWATER INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF STORMWATER INFRASTRUCTURE OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE STORMWATER INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.
- THE LOCATIONS OF UNDERGROUND DRYD SERVICES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM "DIAL BEFORE YOU DIG" DRAWINGS RECEIVED ON THE 05/7/11. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. HYDER CONSULTING CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.
- THE CONTRACTOR IS TO UNDERTAKE A REVIEW OF ALL EXISTING PITS PRIOR TO CONSTRUCTION, TO IDENTIFY ALL EXISTING PITS THAT MAY REQUIRE ADJUSTMENT, WHICH ARE NOT PICKED UP ON THE CURRENT SURVEY.
- THE CONTRACTOR IS TO REVIEW ALL EXISTING PIT ADJUSTMENTS WITH HYDER CONSULTING PRIOR TO CONSTRUCTION.
- REFER TO HYDER SYDNEY WATER DRAWINGS FOR FURTHER DETAILS OF SEWER, WATER AND STORM DRAINAGE WORKS.
- REFER TO WEBB DESIGN DRAWINGS FOR FURTHER DETAILS OF ELECTRICAL HV, LV AND LIGHTING WORKS.
- REFER TO HYDER TELECOMMUNICATION DRAWINGS FOR FURTHER DETAILS OF COMMUNICATIONS WORKS.
- REFER TO JEJENGA GAS DRAWINGS FOR FURTHER DETAILS OF GAS WORKS.
- CONTRACTOR SHALL LOCATE ALL OF THE EXISTING CONNECTIONS AFFECTED BY THE PROPOSED WORKS AND RECONNECT PRIOR TO DISCONNECTION OF EXISTING SUPPLY.
- CONTRACTORS AND SUBCONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY.
- CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.
- CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH (POTHOLING), PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.
- CONTRACTORS ARE TO ALLOW TO PROTECT EXISTING SERVICES TO REMAIN INCLUDING TEMPORARY SUPPORT OR DIVERSION THROUGH THE WORKS AREA IF REQUIRED.
- REFER TO HYDER PUBLIC REALM DRAWINGS FOR FURTHER DETAILS OF LIGHTING, POWER, CCTV & COMMUNICATIONS, PUBLIC ADDRESS & AV SERVICES AND INFRASTRUCTURE.

**SERVICES - DUTY OF CARE NOTE**

- SERVICE COMPANIES PLANS SHOW ONLY THE PRESENCE OF CULVERTS, CABLES AND PLANT. THEY ONLY SHOW THEIR POSITION RELATIVE TO ROAD BOUNDARIES, PROPERTY FENCES ETC. AT THE TIME OF INSTALLATION AND THE SERVICE COMPANY DOES NOT WARRANT OR HOLD OUT THAT SUCH PLANS ARE ACCURATE THEREAFTER DUE TO CHANGES THAT MAY OCCUR OVER TIME. DO NOT ASSUME DEPTH OR ALIGNMENT OF CABLES OR PLANT AS THESE VARY SIGNIFICANTLY.
- THE CONTRACTOR HAS A DUTY OF CARE WHEN EXCAVATING NEAR CULVERTS, CABLES AND PLANT. BEFORE USING MACHINE EXCAVATORS CULVERTS, CABLES AND PLANT MUST FIRST BE PHYSICALLY EXPOSED BY SOFT DIG POTHOLING TO IDENTIFY ITS LOCATION. THE SERVICE COMPANY WILL SEEK COMPENSATION FOR DAMAGES CAUSED TO ITS PROPERTY AND LOSSES CAUSED TO IT AND ITS CUSTOMERS.

**DESIGN DATA**

- THIS DESIGN WAS BASED ON THE FOLLOWING CODES AND ORDINANCES

COMPONENT	TO COMPLY WITH AUSTRALIAN STANDARD	YEAR
CONCRETE ELEMENT	AS 3600	2009
STEEL	AS 4100	1998
RETAINING STRUCTURES	AS 4678	2002

- THE CONCRETE ELEMENTS HAVE BEEN DESIGNED FOR THE FOLLOWING EXPOSURE CLASSIFICATION IN ACCORDANCE WITH AS3600 TABLE 4.3

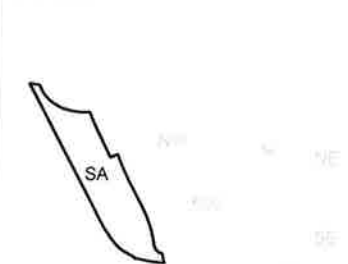
ELEMENT	CLASSIFICATION
BELOW GROUND	C2

- THE CONCRETE STRUCTURE HAS BEEN DESIGNED TO COMPLY WITH A STRONG DEGREE OF CONTROL OVER CRACKING IN ACCORDANCE WITH CL 9.4.3 OF AS3600

REFER DRAWING PD-CI-1006 FOR CONTINUATION OF NOTES

**DARLING HARBOUR LIVE**

REFERENCE MAP

**NOTES:**

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- ALL DIMENSIONS, COORDINATES AND LEVELS TO BE VERIFIED ON SITE BEFORE PROCEEDING WITH WORK. HYDER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
- THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND DRAWINGS.
- THIS DRAWING CONTAINS COLOUR AND MUST ONLY BE PRINTED OR COPIED IN COLOUR.

REV	DESCRIPTION	DATE
04	ISSUE FOR DEVELOPMENT APPLICATION	11/09/15
03	ISSUE FOR DEVELOPMENT APPLICATION	04/09/15
02	ISSUE FOR DEVELOPMENT APPLICATION	01/09/15
01	DRAFT ISSUE	19/08/15

CLIENT  
**urbanest**  
URBANEST STUDENT ACCOMMODATION  
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PROJECT  
**SICEEP - DARLING HARBOUR LIVE  
DARLING SQUARE  
WESTERN PLOT BUILDING W1**

DRAWING TITLE  
**GENERAL NOTES  
SHEET 1**

STATUS  
**DA APPROVAL**

SCALE @A1	DRAWN	DESIGNED	REVIEWED	APPROVED
N.T.S.	JW	JW	MAK	-

PROJECT NUMBER	DRAWING NUMBER	REV
AA004399	PD-CI-1005	04



REFER DRAWING PD-CI-1005 FOR BEGINNING OF NOTES

**CONCRETE WORKS NOTES**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 1379 AND AS/NZ 3600 AND OTHER APPLICABLE AUSTRALIAN STANDARDS (EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS)

2. QUALITY  
ALL REQUIREMENTS OF THE CURRENT ACSE CONCRETE SPECIFICATION DOCUMENT 1 SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE

ELEMENT	AS 3600 F <sub>ck</sub> MPa AT 28 DAYS	SPECIFIED SLUMP	NOMINAL AGG. SIZE
VEHICULAR BASE	32	60	20
KERBS, PATHS & PITS	32	80	20
RETAINING WALLS	32	80	20

CEMENT TYPE SHALL BE (ACSE SPECIFICATION) TYPE SL  
PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1379

9. NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING BY HYDER CONSULTING

10. CONCRETE CLASS AND COLOUR  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR CONCRETE CLASS AND COLOUR REQUIREMENTS.

11. CEMENT GRADE  
ALL CEMENT IS TO BE SHRINKAGE LIMITED (SL) CEMENT OR GENERAL BLENDED (GB) CEMENT OR TYPE SULPHATE-RESISTING CEMENT (SR) AS REQUIRED, COMPLYING WITH AS 3972 U.N.O. ON THE DRAWINGS

CEMENT TYPE:  
60% SL CEMENT  
33% FLY ASH  
7% AMORPHOUS SILICA  
MINIMUM CEMENT CONTENT = 370kg/m<sup>3</sup>  
MAXIMUM WATER CEMENT RATIO = 0.45

CONCRETE SUPPLIER MUST PROVIDE CONCRETE MIX CERTIFICATE PRIOR TO CONSTRUCTION COMMENCING.

12. 'D' DURABLE CONCRETE  
WHERE THE LETTER 'D' APPEARS BESIDE A CONCRETE ELEMENT, THIS SYMBOLISES SPECIAL DURABLE CONCRETE WHERE THE ELEMENT HAS AT LEAST ONE FACE EXPOSED TO THE WEATHER OR POSSIBLE CORROSIVE ATTACK. (THIS CONCRETE REQUIRES A SPECIAL TOLERANCE FOR THE COVERS OF -0mm +10mm). SPECIAL PRECAUTIONS ARE REQUIRED TO IMPROVE THE LONG TERM PERFORMANCE OF THESE FACES OF CONCRETE. IN PARTICULAR, NO METAL INSERTS, METAL BAR CHAIRS OR METAL FORM SPACES OF ANY KIND ARE TO BE PLACED IN THE COVER ZONE WITHOUT THE EXPRESS PERMISSION OF THE ENGINEER. TAKE SPECIAL CARE TO AVOID SCRAP TIE WIRE OR OTHER MATERIAL BEING PRESENT. ANY OFF-CUTS, SCRAP OR FOREIGN MATERIAL SHALL BE REMOVED BEFORE POUR BEGINS. REFER DRAWINGS FOR LOCATIONS.

13. MAXIMUM SLUMP ALLOWANCE  
CONCRETE SLUMP SHALL BE 80mm IN COMPLIANCE WITH AS 1379 U.N.O. ON THE DRAWINGS.

14. CONCRETE POUR GUIDELINES  
FREE DROPPING OF CONCRETE FROM HEIGHTS GREATER THAN 1000mm IS NOT PERMITTED UNLESS METHOD APPROVED BY THE ENGINEER.

15. MAXIMUM LIFT OF POUR AT ONE TIME FOR CONCRETE ELEMENTS SHALL BE 3000mm UNLESS METHOD OF PLACEMENT HAS BEEN APPROVED BY THE ENGINEER.

16. ALL CONCRETE SHALL BE MECHANICALLY VIBRATED IN THE FORM TO GIVE MAXIMUM COMPACTION WITHOUT SEGREGATION OF THE CONCRETE.

17. FORMWORK SHALL BE DESIGNED, CONSTRUCTED AND STRIPPED IN ACCORDANCE WITH AS 3610 AND AS 3600.

18. SURFACES RECEIVING GROUT AND CONSTRUCTION JOINTS SHALL BE LEFT ROUGH AND FREE OF LAITANCE

19. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK, THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED AND CURED IN ACCORDANCE WITH R.M.S. SPECIFICATION R83.

20. CURING PERIOD  
CONCRETE MUST BE CURED BY AN APPROVED METHOD IN ACCORDANCE WITH THE SPECIFICATION FOR SEVEN (7) DAYS AFTER POURING. CURING COMPOUNDS WHERE APPROVED MUST COMPLY WITH AS 3799.

21. PROPERTIES  
THE PROPERTIES OF THE REINFORCEMENT SHALL BE IN ACCORDANCE WITH AS/NZS 4671, REINFORCEMENT CLASSIFICATION.

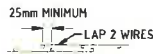
SHAPE D - DEFORMED R - ROUND  
STRENGTH GRADE 250,300,500 (LOWER CHARACTERISTICS VALUE OF YIELD STRESS)  
DUCTILITY CLASS L - LOW N - NORMAL  
SIZE OR DIAMETER OF BAR N12, N16, N20, N24, N28, N32, N36

**CONCRETE WORKS NOTES CONTINUED**

22. DUCTILITY CLASS  
N NORMAL DUCTILITY CLASS HOT ROLLED DEFORMED BARS OR MESH TO AS/NZ 4671 WITH  $f_{yk} = 500MPa$   
R NORMAL DUCTILITY CLASS 250N PLAIN ROUND BAR TO AS/NZS 4671 WITH  $f_{yk} = 250MPa$   
SL DENOTES COLD-DRAWN WIRE REINFORCING FABRIC TO AS 4671 THE FIGURE FOLLOWING THE FABRIC SYMBOL SL IS THE REFERENCE NUMBER FOR FABRIC TO AS 4671  
L LOW DUCTILITY CLASS 500L REINFORCING MESH OR BAR TO AS/NZS 4671 WITH  $f_{yk} = 500MPa$   
LOW DUCTILITY CLASS L REINFORCEMENT IS NOT TO BE USED OTHER THAN WHERE SHOWN ON DRAWINGS  
THE NUMBER FOLLOWING THE BAR SYMBOL IS THE NOMINAL BAR DIAMETER IN MILLIMETRES (REFER CLAUSE C19 ABOVE)

NUMBER OF BARS IN GROUP  $\frac{1}{2}$  BAR GRADE AND TYPE  
17N20-250  
NOMINAL BAR SIZE IN mm  $\frac{1}{2}$  SPACING IN mm

23. FABRIC SHALL BE LAPPED IN ACCORDANCE WITH THE FOLLOWING DETAIL



24. CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR DURABILITY SHALL BE 40mm TOP AND 70mm FOR EXTERNAL EDGES UNLESS NOTED OTHERWISE

25. SPLICES IN REINFORCEMENT  
SHALL ONLY BE MADE IN THE POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE ENGINEER. MINIMUM LAP FOR ALL FABRICS SHALL BE THE SPACING OF TWO TRANSVERSE WIRES PLUS 25mm. GRADE 500N BARS SHALL BE LAPPED IN ACCORDANCE WITH THE TENSION DEVELOPMENT REFER TO STANDARD LAP LENGTH/SPLICE SCHEDULE ON DRAWINGS. TABLES IN REINFORCEMENT SECTION R08.

26. WELDING NOT PERMITTED  
WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.

27. REINFORCEMENT SUPPORT  
DURING CONCRETE PLACEMENT ALL REINFORCEMENT SHALL BE SECURELY SUPPORTED AND HELD IN ITS CORRECT POSITION BY APPROVED BAR CHAIRS, SPACERS OR SUPPORT BARS AT 1000mm MAXIMUM CENTRES. THE CHAIR MATERIAL WITHIN THE COVER ZONE SHALL SUIT THE EXPOSURE CONDITIONS

28. REINFORCEMENT LENGTHS  
REINFORCEMENT LENGTHS INDICATED ARE IN MILLIMETRES (mm). TURN DOWNS AND CRANKS ARE NOT INCLUDED IN THE DIMENSION. THE CONTRACTOR SHALL CHECK ALL LENGTHS BEFORE ORDERING.

29. ALTERNATE BAR PLACEMENT  
BARS SHOWN STAGGERED ON PLAN SHALL BE PLACED ALTERNATELY.

30. BAR DISTRIBUTION  
BARS SHALL BE EVENLY DISTRIBUTED OVER THE WIDTH OF THE STRIP INDICATED ON THE DRAWINGS U.N.O.

31. EMBEDMENTS  
ALL EMBEDMENTS SHALL BE HOT DIPPED GALVANISED (H.D.G.) U.N.O.

32. CONCRETE BOND SEPARATION  
CONCRETE SHALL BE SEPARATED FROM SUPPORTING MASONRY BY TWO LAYERS OF MALTHOID (OR AN APPROVED EQUIVALENT) VERTICAL JOINTS IN CONCRETE EXCEPT FOR CONSTRUCTION JOINTS (CJ'S) SHALL BE KEPT FREE OF ADJOINING SURFACES BY 10mm THICKNESS OF ABLEFLEX (OR APPROVED EQUIVALENT) U.N.O. ON DRAWINGS.

33. CONCRETE SHRINKAGE  
SHRINKAGE OF CONCRETE SHALL NOT EXCEED 650 MICROSTRAN AT 56 DAYS. SUBMIT SAMPLES OF SHRINKAGE TESTS WITH (MIX DESIGN) FOR APPROVAL PRIOR TO COMMENCEMENT OF CONCRETE WORKS.

**STRUCTURAL INSPECTIONS**

- STRUCTURAL INSPECTIONS ARE REQUIRED FOR STRUCTURES WHERE NOTED ON PLANS OR REQUIRED BY COUNCIL.
- 48 HOURS NOTICE IS REQUIRED BY HYDER CONSULTING FOR ALL INSPECTIONS



NSW GOVERNMENT  
Planning

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Approved Application No. SSD 7133

granted on the 01/04/2016

Signed MR

Sheet No. 24 of 31

**DARLING HARBOUR LIVE**

REFERENCE MAP

**NOTES:**

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03	ISSUE FOR DEVELOPMENT APPLICATION	04/09/15
02	ISSUE FOR DEVELOPMENT APPLICATION	01/09/15
01	DRAFT ISSUE	18/08/15

CLIENT



URBANEST STUDENT ACCOMMODATION  
SUITE 102, LEVEL 1, AUSTRALIA SQUARE,  
PLAZA BUILDING, 85 PITT ST  
SYDNEY, NSW 2000

CONSULTANTS

**ASPECT Studios™**

ASPECT STUDIOS  
STUDIO 61, LEVEL 6, 81 MARLBOROUGH ST,  
SURRY HILLS, NSW 2010



ARCHITECT  
79 MYRTLE STREET,  
CHIPPENDALE NSW 2008

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PROJECT

SICEEP - DARLING HARBOUR LIVE  
DARLING SQUARE  
WESTERN PLOT BUILDING W1

DRAWING TITLE

GENERAL NOTES  
SHEET 2

STATUS

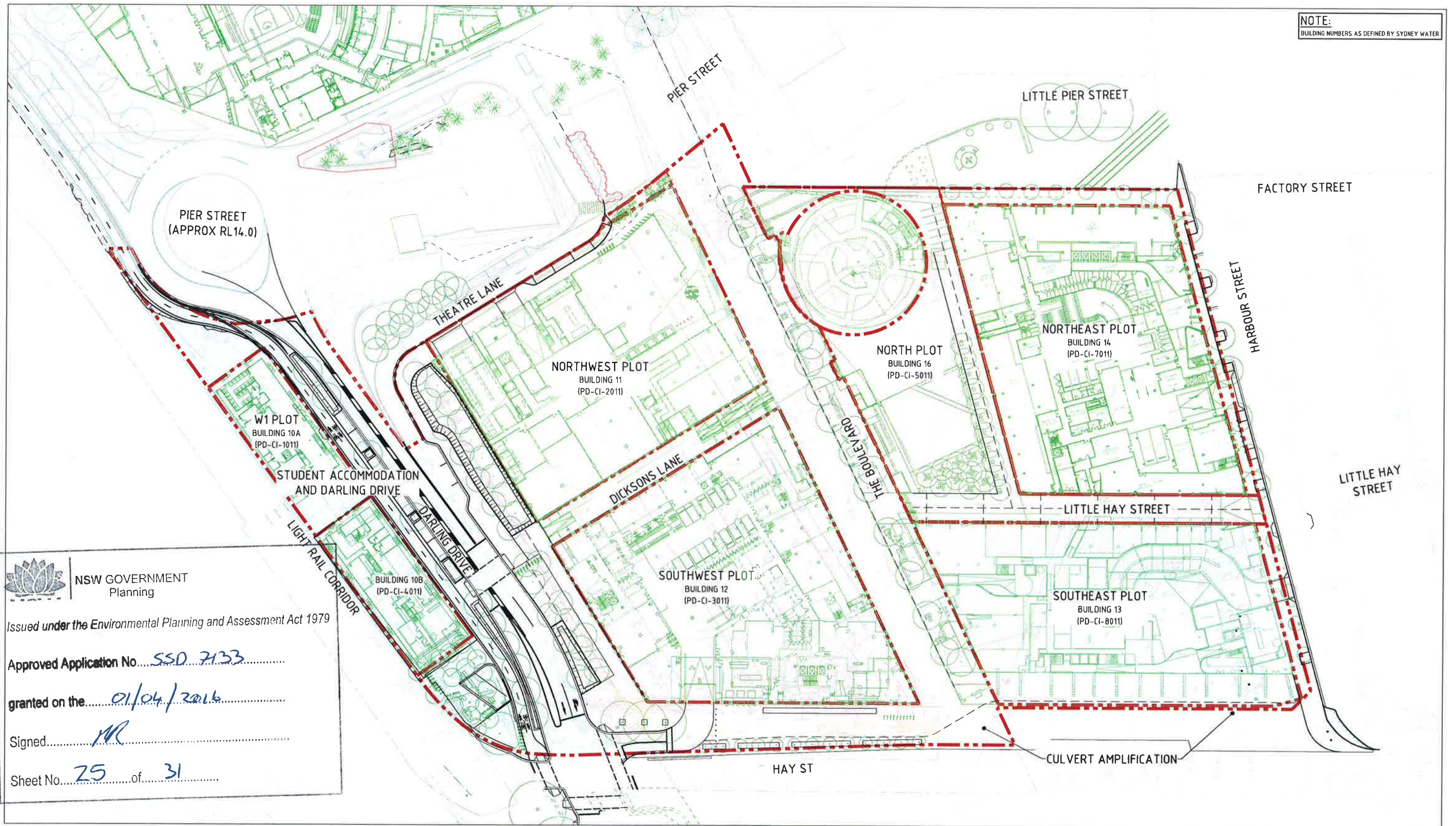
**DA APPROVAL**

SCALE @ A1	DRAWN	DESIGNED	REVIEWED	APPROVED
N.T.S.	JW	JW	MAK	-

PROJECT NUMBER	DRAWING NUMBER	REV
AA004399	PD-CI-1006	04



NOTE:  
BUILDING NUMBERS AS DEFINED BY SYDNEY WATER



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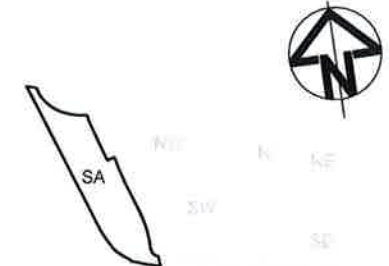
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Signed MR

Sheet No. 25 of 31

#### DARLING HARBOUR LIVE

REFERENCE MAP



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CLIENT  
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URBANEST STUDENT ACCOMMODATION  
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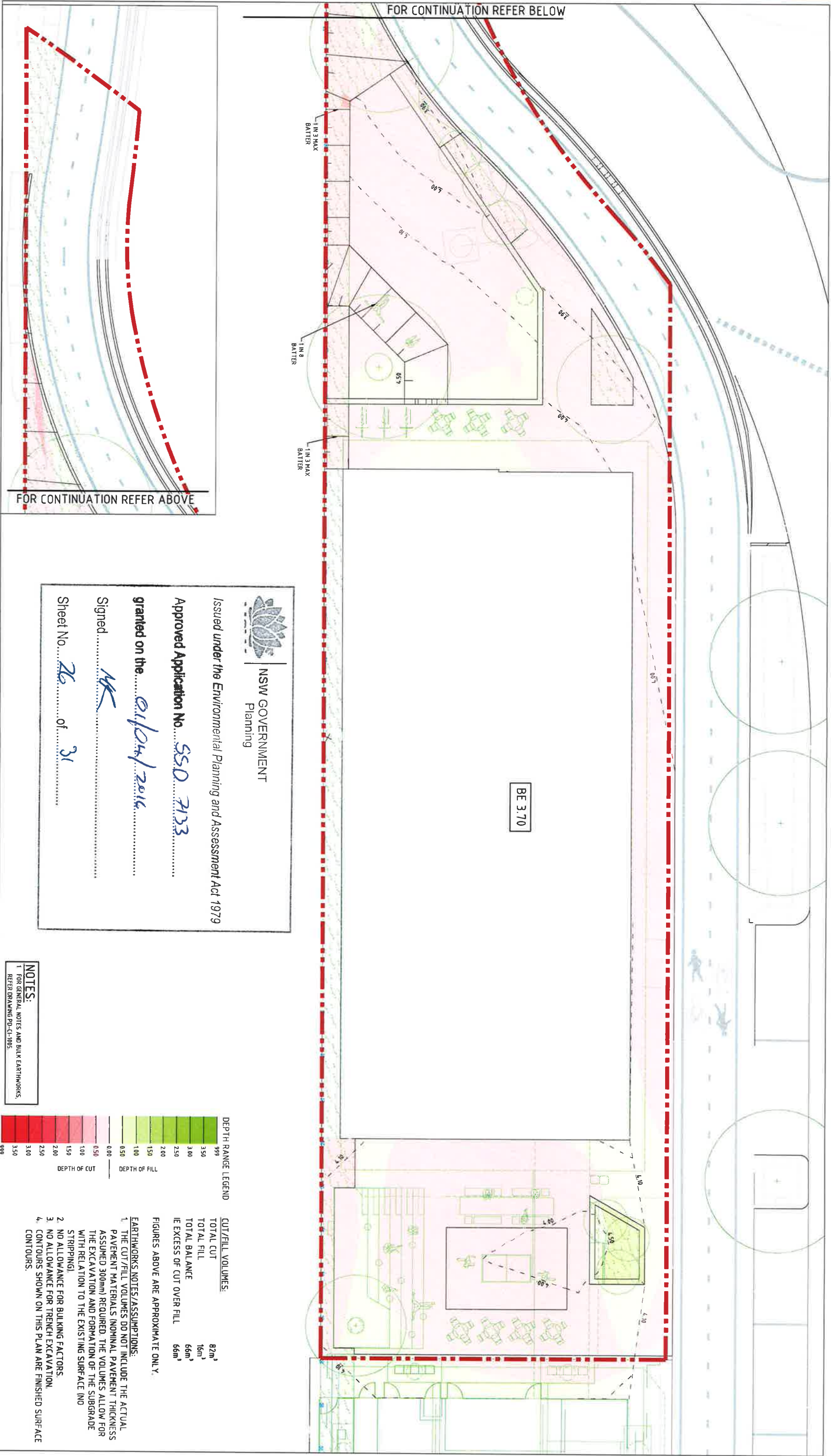
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PROJECT  
**SICEEP - DARLING HARBOUR LIVE  
DARLING SQUARE  
WESTERN PLOT BUILDING W1**

DRAWING TITLE				
GENERAL ARRANGEMENT PLAN				
STATUS				
DA APPROVAL				
SCALE @ A1 1: 500	DRAWN JW	DESIGNED JW	REVIEWED MAK	APPROVED -
PROJECT NUMBER AA004399	DRAWING NUMBER PD-CI-1011		REV 04	





NSW GOVERNMENT  
Planning

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Approved Application No. **550 7133**

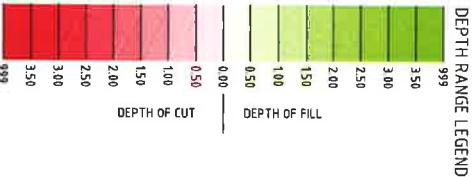
granted on the **01/04/2016**

Signed **AK**

Sheet No. **26** of **31**

NOTES:

1 FOR GENERAL NOTES AND BULK EARTHWORKS,  
REFER DRAWING PD-C1-1005.



CUT/FILL VOLUMES:

TOTAL CUT	82m³
TOTAL FILL	16m³
TOTAL BALANCE	66m³
IE EXCESS OF CUT OVER FILL	66m³

FIGURES ABOVE ARE APPROXIMATE ONLY.

EARTHWORKS NOTES/ASSUMPTIONS:

1. THE CUT/FILL VOLUMES DO NOT INCLUDE THE ACTUAL PAVEMENT MATERIALS (NOMINAL PAVEMENT THICKNESS ASSUMED 300mm) REQUIRED. THE VOLUMES ALLOW FOR THE EXCAVATION AND FORMATION OF THE SUBGRADE WITH RELATION TO THE EXISTING SURFACE (NO STRIPPING).
2. NO ALLOWANCE FOR BUILDING FACTORS.
3. NO ALLOWANCE FOR TRENCH EXCAVATION.
4. CONTOURS SHOWN ON THIS PLAN ARE FINISHED SURFACE CONTOURS.

DARLING HARBOUR LIVE

REFERENCE MAP

NOTES:

1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
2. ALL DIMENSIONS IN MILLIMETRES UNLESS NOTED OTHERWISE.
3. ALL COORDINATES TO MGA, ALL LEVELS TO AHD.
4. ALL DIMENSIONS, COORDINATES AND LEVELS TO BE VERIFIED ON SITE BEFORE PROCEEDING WITH WORK. HYDER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
5. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS AND SPECIFICATIONS.
6. THIS DRAWING CONTAINS COLOUR AND MUST ONLY BE PRINTED OR COPIED IN COLOUR.



1:100

REV	DESCRIPTION	DATE
03	ISSUE FOR DEVELOPMENT APPLICATION	11/08/15
02	ISSUE FOR DEVELOPMENT APPLICATION	04/08/15
01	ISSUE FOR DEVELOPMENT APPLICATION	07/08/15

CLIENT

URBANEST STUDENT ACCOMMODATION  
PLAZA BUILDING, 26 PITT ST  
SYDNEY NSW 2000

CONSULTANTS

ASPECT Studios™  
STUDIO 61, LEVEL 6, 81 MARLBOROUGH ST,  
SYDNEY NSW 2000

ARCHITECT  
71 MARPLE STREET  
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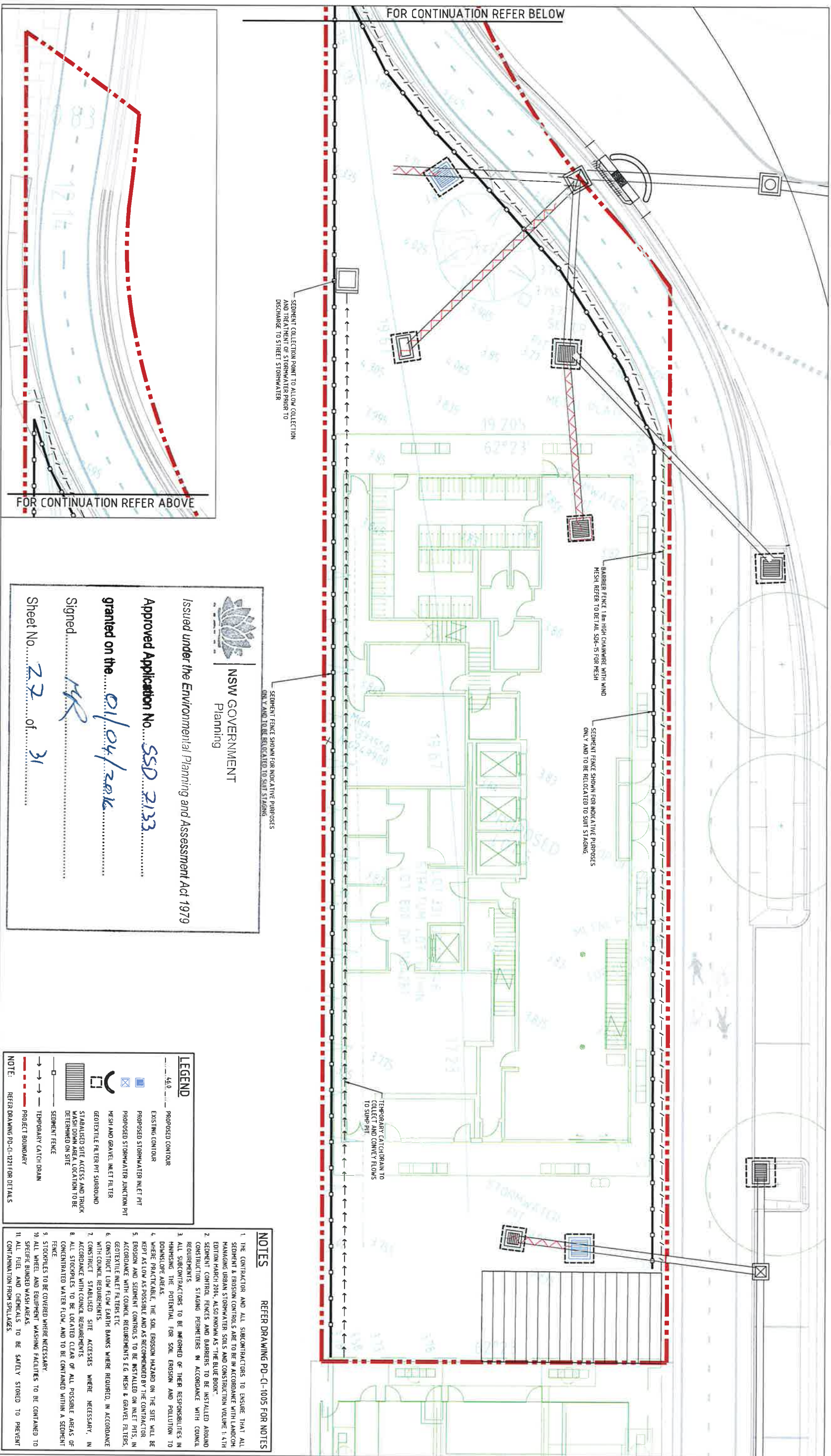
SICEEP - DARLING HARBOUR LIVE  
DARLING SQUARE  
WESTERN PLOT BUILDING W1

DRAWING TITLE  
BULK EARTHWORKS  
PLAN

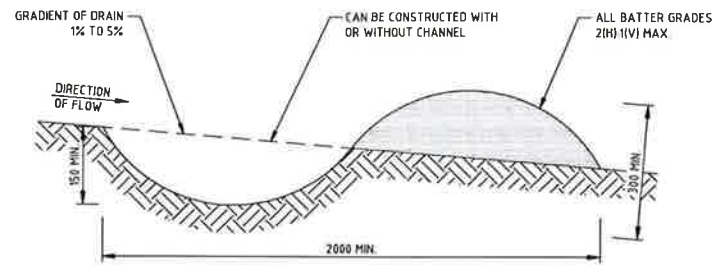
DA APPROVAL

ST/UTS	SCALE @ A1	DRAWN	DESIGNED	REVIEWED	APPROVED
PROJECT NUMBER	1:100	JW	JW	MAK	-
DRAWING NUMBER	AA0004399	PD-C1-151			
REV					03

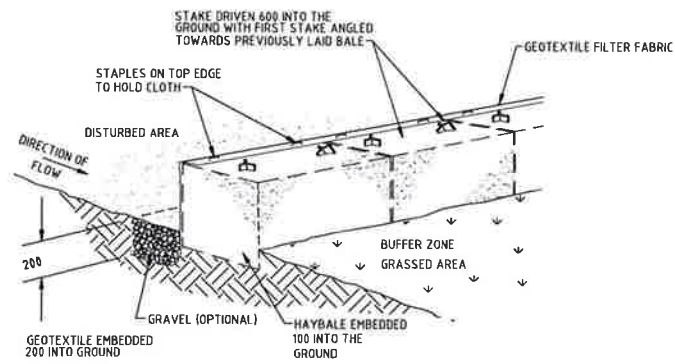


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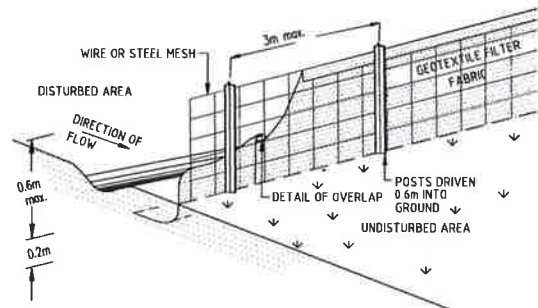




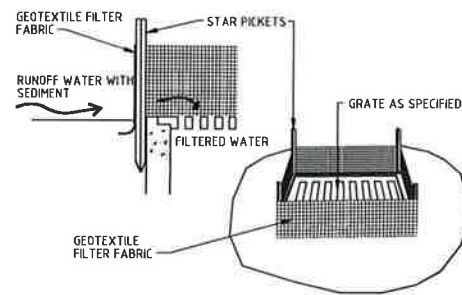
**EARTH BUND (SD5-5)**  
NTS



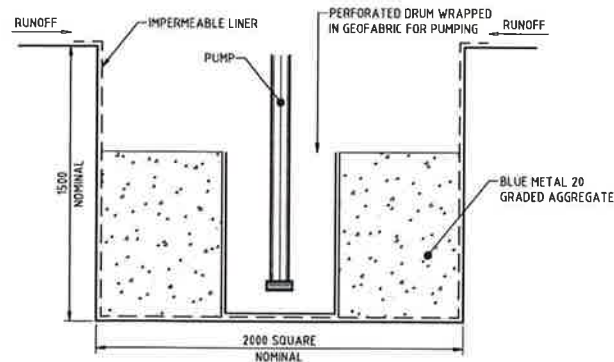
**HAY BALE AND GEOTEXTILE SEDIMENT FILTER (SD6-7)**  
NTS



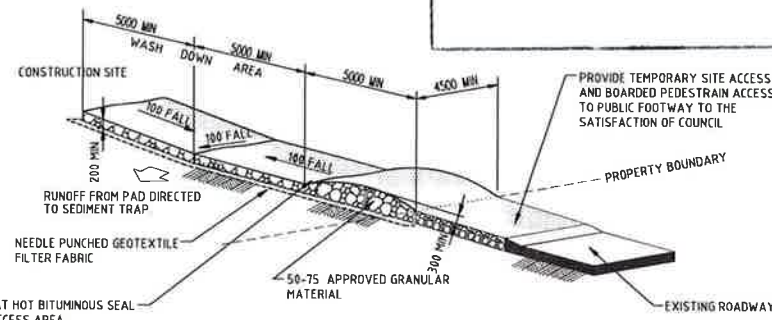
**SEDIMENT FENCE (SD6-8)**  
NTS



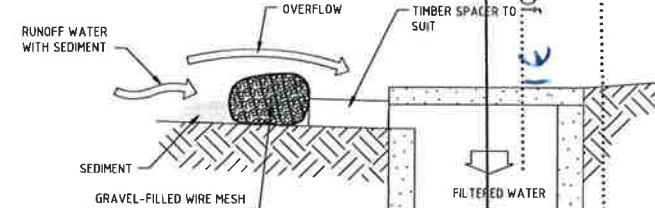
**GEOTEXTILE FILTER PIT SURROUND (SD6-12)**  
NTS



**INDICATIVE SEDIMENT COLLECTION POINT**  
1: 20



**STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA (SD6-14)**  
NTS



**MESH AND GRAVEL INLET FILTER (SD6-11)**  
NTS

NSW GOVERNMENT  
Planning

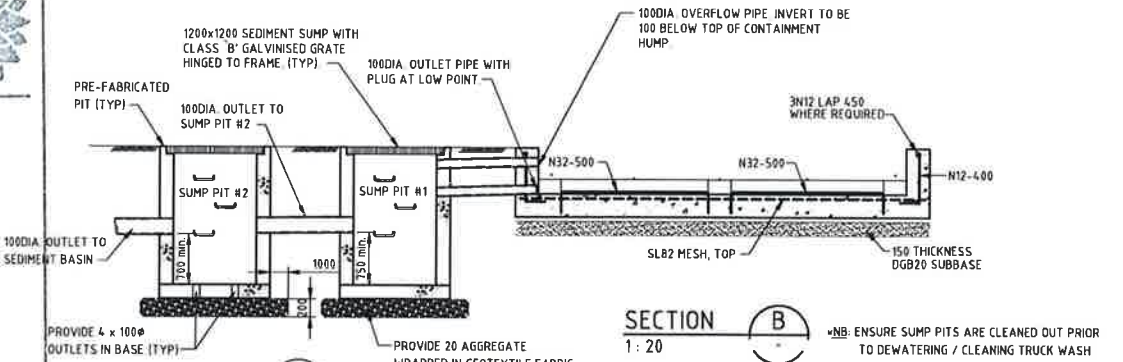
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 7133**

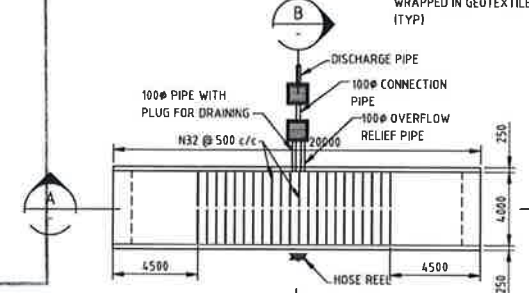
granted on the **01/04/2016**

Signed **MA**

Sheet No. **28** of **31**

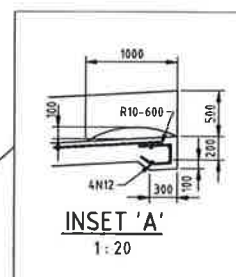


**TRUCK WASH - PLAN**  
1: 100



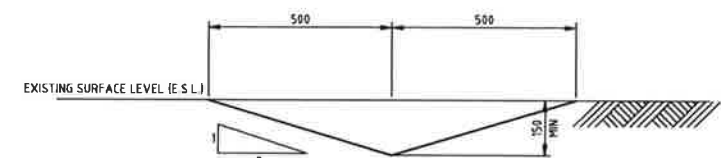
**SECTION A**  
1: 100

**SECTION B**  
1: 20



**INSET 'A'**  
1: 20

**ALTERNATE CONCRETE TRUCK WASH DOWN DETAIL**



**TEMPORARY CATCH DRAIN**  
(MIN FALL 1%)  
SCALE N.T.S.

**NOTE:**  
(SDXX) INDICATES STANDARD DRAWINGS, REFER MANAGING URBAN STORMWATER, SOIL AND CONSTRUCTION 4th EDITION MARCH 2004.

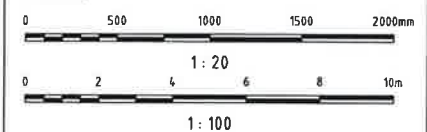
## DARLING HARBOUR LIVE

REFERENCE MAP



### NOTES:

- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- ALL DIMENSIONS IN MILLIMETRES UNLESS NOTED OTHERWISE.
- ALL COORDINATES TO MOA ALL LEVELS TO AHD.
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03	ISSUE FOR DEVELOPMENT APPLICATION	04/06/15
02	ISSUE FOR DEVELOPMENT APPLICATION	01/09/15
01	DRAFT ISSUE	19/08/15

CLIENT  
**urbanest**  
URBANEST STUDENT ACCOMMODATION  
SUITE 102, LEVEL 1, AUSTRALIA SQUARE,  
PLAZA BUILDING, 95 PITT ST  
SYDNEY, NSW 2000

CONSULTANTS  
**ASPECT Studios**  
ASPECT STUDIOS  
SUITE 61, LEVEL 6, 61 MARLBOROUGH ST,  
SURRY HILLS, NSW 2010

**AJ+C**  
ARCHITECT  
78 MYRTLE STREET,  
CHIPPENDALE NSW 2008

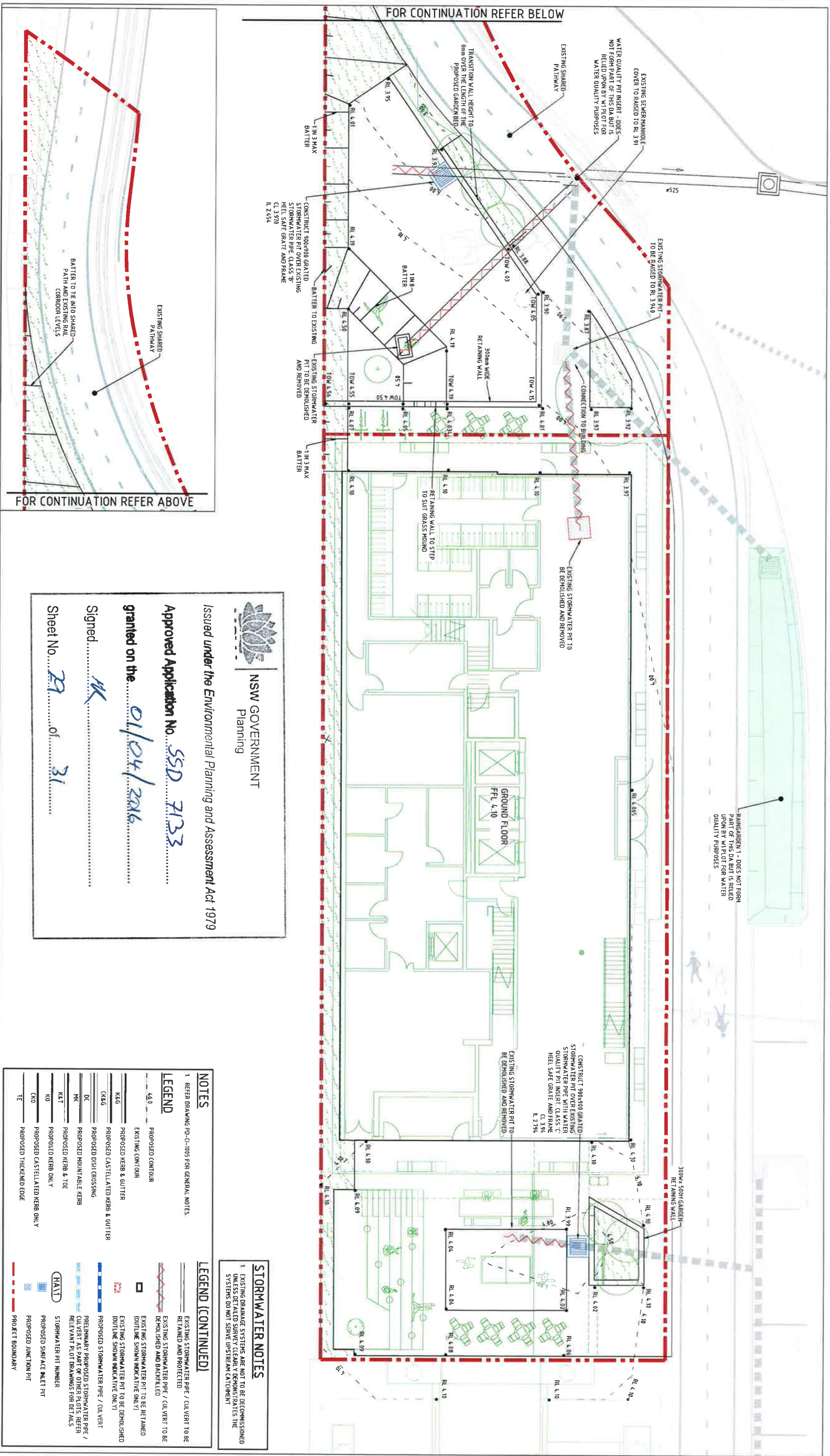
CIVIL / TRAFFIC / FACADES  
**HYDER CONSULTING PTY LTD**  
ABN 76 104 485 280  
LEVEL 5, 141 WALKER ST,  
NORTH SYDNEY NSW 2060  
AUSTRALIA

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PROJECT  
**SICEEP - DARLING HARBOUR LIVE**  
**DARLING SQUARE**  
**WESTERN PLOT BUILDING W1**

DRAWING TITLE				
<b>SEDIMENT AND EROSION CONTROL DETAILS</b>				
STATUS				
<b>DA APPROVAL</b>				
SCALE @ A1	DRAWN	DESIGNED	REVIEWED	APPROVED
<b>AS SHOWN</b>	<b>JW</b>	<b>JW</b>	<b>MAK</b>	<b>-</b>
PROJECT NUMBER	DRAWING NUMBER	REV		
<b>AA004399</b>	<b>PD-CI-1221</b>	<b>04</b>		





NSW GOVERNMENT  
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. *SSD 7133*

granted on the *01/04/2016*

Signed *MK*

Sheet No. *29* of *31*

NOTES

1. REFER DRAWING PD-CI-1005 FOR GENERAL NOTES

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED KERB & GUTTER
- PROPOSED CASTELLATED KERB & GUTTER
- PROPOSED DISH CROSSING
- PROPOSED MOUNTABLE KERB
- PROPOSED KERB & TOE
- PROPOSED KERB ONLY
- PROPOSED CASTELLATED KERB ONLY
- PROPOSED THICKENED EDGE

STORMWATER NOTES

1. EXISTING DRAINAGE SYSTEMS ARE NOT TO BE DECOMMISSIONED UNLESS DETAILED SURVEY CLEARLY DEMONSTRATES THE SYSTEMS DO NOT SERVE UPSTREAM CATCHMENT

LEGEND (CONTINUED)

- EXISTING STORMWATER PIPE / CULVERT TO BE RETAINED AND PROTECTED
- EXISTING STORMWATER PIPE / CULVERT TO BE DEMOLISHED AND BACKFILLED
- EXISTING STORMWATER PIT TO BE RETAINED (OUTLINE SHOWN INDICATIVE ONLY)
- EXISTING STORMWATER PIT TO BE DEMOLISHED (OUTLINE SHOWN INDICATIVE ONLY)
- PROPOSED STORMWATER PIPE / CULVERT
- PRELIMINARY PROPOSED STORMWATER PIPE / CULVERT AS PART OF OTHER PLOTS, REFER RELEVANT PLOT DRAWINGS FOR DETAILS
- STORMWATER PIT NUMBER
- PROPOSED SURFACE INLET PIT
- PROPOSED JUNCTION PIT
- PROPOSED THICKENED EDGE
- PROPOSED THICKENED EDGE

DARLING HARBOUR LIVE

REFERENCE MAP

NOTES:

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03	ISSUE FOR DEVELOPMENT APPLICATION	04/08/15
02	ISSUE FOR DEVELOPMENT APPLICATION	01/08/15
01	DRAFT ISSUE	15/08/15

CLIENT

URBANEST STUDENT ACCOMMODATION  
PLAZA BUILDING, 45 PITT ST  
SYDNEY, NSW 2000

CONSULTANTS

ASPECT Studios™  
STUDIO 91, LEVEL 9, 81 MARLBOROUGH ST,  
SYDNEY HILLS, NSW 2010

ARCHITECT  
PLAZA BUILDING, 45 PITT ST  
SYDNEY, NSW 2000



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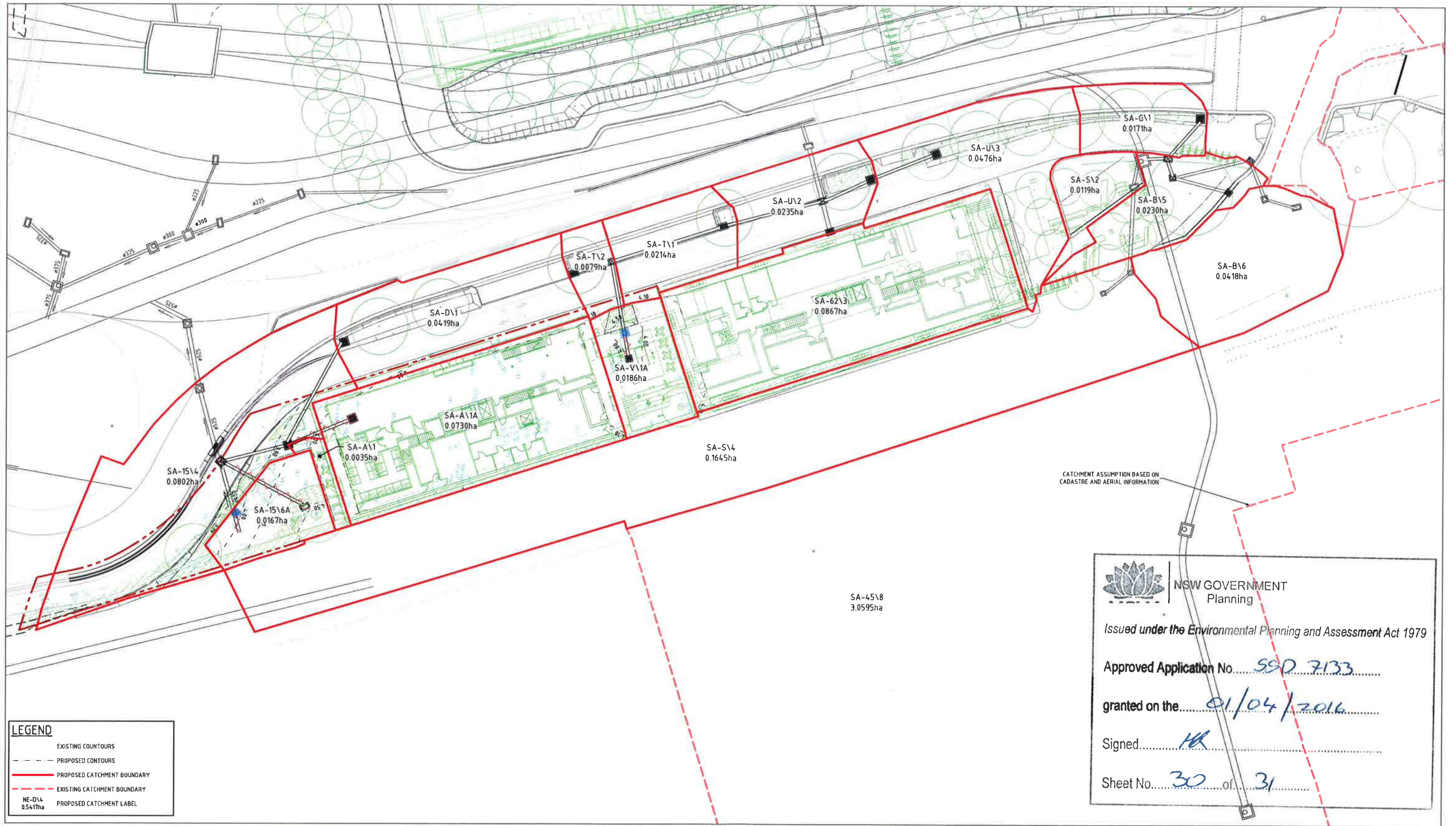
SICEEP - DARLING HARBOUR LIVE  
DARLING SQUARE  
WESTERN PLOT BUILDING W1

CIVIL WORKS AND  
STORMWATER PLAN

STATUS

SCALE @ A1	DESIGNED	REVIEWED	APPROVED
1:100	JW	JW	MAK
PROJECT NUMBER	DRAWING NUMBER	REV	
AA004399	PD-CI-1301	04	





## DARLING HARBOUR LIVE

REFERENCE MAP



## NOTES:

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0 10 20 30 40 50m

1 : 500

REV	DESCRIPTION	DATE
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04	ISSUE FOR DEVELOPMENT APPLICATION	07/09/15
03	ISSUE FOR DEVELOPMENT APPLICATION	04/09/15
02	ISSUE FOR DEVELOPMENT APPLICATION	01/09/15
01	DRAFT ISSUE	19/08/15

**CLIENT**

**urbanest** URBANEST STUDENT ACCOMMODATION  
SUITE 102, LEVEL 1, AUSTRALIA SQUARE,  
PLAZA BUILDING, 85 PITT ST  
SYDNEY, NSW 2000

**CONSULTANTS**

**ASPECT Studios™**  
ASPECT STUDIOS  
STUDIO 81, LEVEL 8, 81 MARLBOROUGH ST,  
SURRY HILLS, NSW 2010

**AJ+C** ARCHITECT  
79 MYRTLE STREET,  
CHIPPENDALE NSW 2006

**CIVIL / TRAFFIC / FACADES**

**HYDER CONSULTING PTY LTD**  
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NORTH SYDNEY NSW 2060  
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**PROJECT**

**SICEEP - DARLING HARBOUR LIVE  
DARLING SQUARE  
WESTERN PLOT BUILDING W1**



## DRAWING TITLE

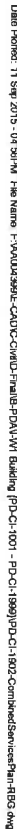
STORMWATER DRAINAGE  
CATCHMENT PLAN

STATUS

## DA APPROVAL

SCALE @ A1	DRAWN	DESIGNED	REVIEWED	APPROVED
1 : 500	JW	VN	MAK	-
PROJECT NUMBER	DRAWING NUMBER	REV		
AA004399	PD-CI-1541	05		





REV	DESCRIPTION	DATE
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03	ISSUE FOR DEVELOPMENT APPLICATION	04/08/15
02	ISSUE FOR DEVELOPMENT APPLICATION	01/06/15
01	DRAFT ISSUE	18/03/15

Approved Application No. SED 2133  
granted on the 01/04/2016  
Signed MA  
Sheet No. 31 of 31

 <p>URBANEST STUDENT ACCOMMODATION 100/101 DARGAVILLE SQUARE, FLYDA BUILDING, 56 PITT ST SYDNEY N. NSW 2000</p>	<p>HYDER CONSULTING PTY LTD LEVEL 10/455 BUN LEIGH ST NORTH SYDNEY NSW 2060 AUSTRALIA</p> <p>Tel: +61 (0)2 8927 2000 Fax: +61 (0)2 8927 2001 www.hyderconsulting.com © Copyright reserved</p>	<p>DRAWING TITLE</p> <p><b>COMBINED SERVICES PLAN</b></p> <p><b>(ROBERT BIRD GROUP)</b></p>												
<p><b>ASPECT STUDIOS™</b></p> <p>CONSULTANTS</p> <p>ARCHITECT 79 MYRTLE STREET, CHIPPENDALE NSW 2008</p>	<p><b>Hyder</b></p> 	<p>STATUS</p> <p><b>DA APPROVAL</b></p>												
<p>PROJECT</p> <p><b>SICEEP - DARLING HARBOUR LIVE DARLING SQUARE WESTERN PLOT BUILDING W/1</b></p>	<p>SCALE @ A1</p> <p><b>1 : 250</b></p>	<table border="1"> <thead> <tr> <th>PROJECT NUMBER</th> <th>DRAWING NUMBER</th> <th>REVIEW</th> <th>APPROVED</th> </tr> </thead> <tbody> <tr> <td>AA004399</td> <td>PD-C1-1902</td> <td>MAK</td> <td>-</td> </tr> <tr> <td></td> <td></td> <td></td> <td>04</td> </tr> </tbody> </table>	PROJECT NUMBER	DRAWING NUMBER	REVIEW	APPROVED	AA004399	PD-C1-1902	MAK	-				04
PROJECT NUMBER	DRAWING NUMBER	REVIEW	APPROVED											
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			04											

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