

# SECTION 96 MODIFICATION PROPOSAL

OAKDALE SOUTH  
INDUSTRIAL ESTATE SSD



**PREPARED FOR GOODMAN**

4 NOVEMBER 2016



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Report Number	<b>FINAL</b>

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# EXECUTIVE SUMMARY

This Environmental Impact Statement (EIS) has been prepared by Urbis on behalf of the applicant, Goodman Property Services (Aust) Pty Ltd, and is submitted to the New South Wales Department of Planning and Environment (DP&E) in support of a modification under S96(2) of the Environmental Planning & Assessment Act, 1979 (EP&A Act) to State Significant Development (SSD) approval SSD6917 issued on 26 October 2016 in respect to the Oakdale South Estate (OSE).

SSD 6917 sought approval for the Concept Proposal and Stage 1 Development Application relating to the overall development of the OSE and the establishment of road layouts, site levels, subdivision and infrastructure delivery.

This Section 96(2) modification application to SSDA 6917 seeks approval for revisions to the approved Master Plan and Stage 1 Development in the southern portion of the estate. This report describes the site and proposed modifications, provides relevant background information, and assesses the development against relevant legislation, environmental planning instruments, and planning policies and the original SEARs issued for SSD 6917.

The specialist technical studies provided to support the SSDA and also the approved OSE Concept and Stage 1 SSDA 6917 have been amended in light of the proposed modifications and have informed assessment of the potential environmental impacts. Where required, this report provides additional or revised mitigation measures to address any potential impacts on the site and surrounding environment.

Broadly, the proposed modification to the OSE Concept Proposal entails:

- Alteration to the layout of Precincts 3, 4 and 5 and overall number of lots in the subdivision plan to reflect the needs of individual users coming on to the site;
- Change in use of the 'Potential Services Lot' to a development lot to be incorporated into Precinct 2;
- Alteration to the layout of the internal estate road network to reflect the changes to the precinct layouts and to respond to the access needs of incoming users;
- Inclusion of a new 'amenity lot' to the north of Precinct 3 to accommodate future convenience / recreation uses. These uses will be subject to future development consent.

The proposed modification to the OSE Stage 1 Development is to reflect the general layout changes made to the OSE Concept Proposal and broadly entails:

- Amending the subdivision layout to reflect the changes made to the OSE Concept Proposal;
- Changing the Estate Road works to reflect the amended Concept Proposal including revised alignment of Estate Roads 1 and 3, the introduction of a new Estate Road 4 and provision for access to a new amenity lot;
- Minor changes to earthworks design to reflect the revised Concept Proposal, including a reduction in the level of fill required to be imported to site;
- Realignment of the creek to reflect the changes made to the OSE Concept Proposal;
- Removing from the approval the construction and use of buildings in Precincts 4 and 5. It is intended that these will now be subject to separate development applications.

The proposal is consistent with the relevant legislative and policy framework including the Environmental Planning and Assessment Act 1979 and State Environmental Planning Policy (Western Sydney Employment Area).

The majority of environmental site constraints and impact management was addressed in the EIS for the approved Stage 1 SSDA for the OSE. This report addresses the key modifications with respect to the relevant likely impacts. All other impacts have been reviewed and updated to conclude that there are no material changes in impact arising from the proposed modification that were considered as part of the original SSDA assessment. The relevant impacts include.

- Flora and Fauna/ Biodiversity impacts;
- Waterways and Riparian Land impacts;

- Transport, Traffic and Access impacts;
- Noise impacts; and
- Visual impacts.

Having regard to the above, the assessment of the proposal has not identified any significant environmental, social or economic impacts.

### Consultation

Consultation was undertaken with a range of State authorities, service providers and members of the community during the preparation and assessment of the EIS for the Stage 1 Concept SSDA.

Additional consultation on this proposed modification was undertaken with the DP&E to determine whether the proposed modifications required amended SEARs. It was considered that the modifications did not require amended SEARs and as such this S96 is prepared in accordance with the original SEARs as per SSD 6917.

Relevant agencies have also been consulted with regard to this S96 as required by the SEARs issued for the approved SSD 6917.

The findings of this Section 96 (2) and the revised technical reports identify the modifications can be accommodated without generating impacts over and above that which was previously approved under SSD 6917 and is considered appropriate by relevant legislation.

Moreover, it is considered that a positive assessment and determination of the project should prevail given:

- The proposed development will result in a land use that is consistent with the zoning of the land and contribute an employment generating use in line with strategic goals for the Western Sydney Employment Area.
- The relationship between the site and surrounding sites will be improved with the proposed setback and site landscaping.
- The proposal demonstrates consistency with the relevant environmental planning instruments including strategic planning policy, and State and local planning legislation, regulation and policies.
- The proposal will operate within the operational bounds assessed and considered to be satisfactory as determined in the approval of the Stage 1 SSDA 6917.
- It has been demonstrated that the proposed works will result in minimal environmental impacts, all of which can be managed or mitigated through the recommendations outlined in the sections of this report.

Given the merits of the proposal, it is requested that the Minister approve the modifications subject to the mitigation measures outlined in this report.

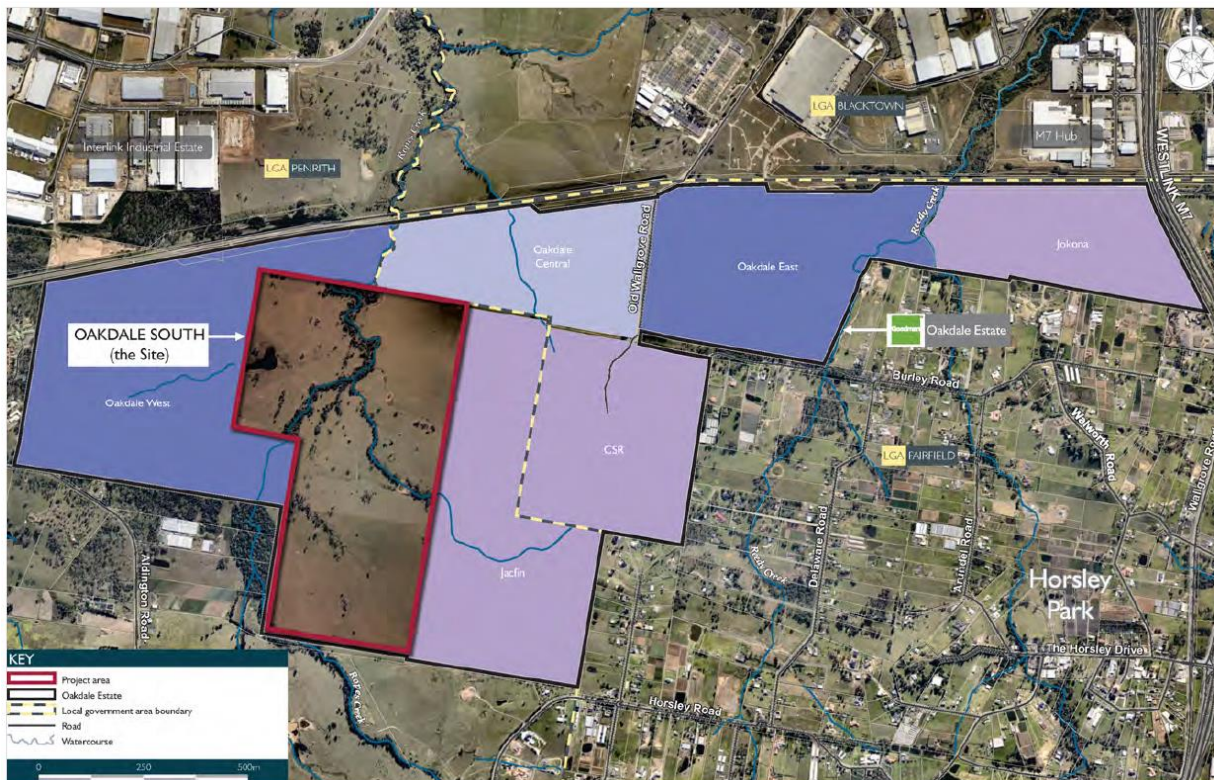


# INTRODUCTION

This EIS has been prepared by Urbis on behalf of the applicant, Goodman Property Services (Aust) Pty Ltd, and is submitted to the New South Wales Department of Planning and Environment (DP&E) in support of a modification under S96(2) of the Environmental Planning & Assessment Act, 1979 (EP&A Act) to State Significant Development (SSD) approval SSD6917 issued on 26 October 2016 in respect to the Oakdale South Estate (OSE).

The OSE is a 117ha site located within the Western Sydney Employment Area (WSEA) and is the second of four stages of the broader 'Oakdale Estate' under the management of Goodman Limited. Refer to **Figure 1** which depicts the Oakdale Estate and the OSE.

FIGURE 1 – OAKDALE ESTATE LANDS



This application seeks to modify both the Concept Approval and some of the Stage 1 Estate and Precinct Development works approved by way of SSD 6917.

Broadly, the proposed modification to the OSE Concept Proposal entails:

- Alteration to the layout of Precincts 3, 4 and 5 and overall number of lots in the subdivision plan to reflect the needs of individual users coming on to the site;
- Change in use of the 'Potential Services Lot' to a development lot to be incorporated into Precinct 2;
- Alteration to the layout of the internal estate road network to reflect the changes to the precinct layouts and to respond to the access needs of incoming users;
- Inclusion of a new 'amenity lot' to the north of Precinct 3 to accommodate future convenience / recreation uses. These uses will be subject to future development consent.

The proposed modification to the OSE Stage 1 Development is to reflect the general layout changes made to the OSE Concept Proposal and broadly entails:

- Amending the subdivision layout to reflect the changes made to the OSE Concept Proposal;
- Changing the Estate Road works to reflect amended Concept Proposal including revised alignment of Estate Roads 1 and 3, the introduction of a new Estate Road 4 and provision for access to a new amenity lot;

- Minor changes to earthworks design to reflect the revised Concept Proposal, including a reduction in the level of fill required to be imported to site;
- Realignment of the creek to reflect the changes made to the OSE Concept Proposal;
- Removing from the approval the construction and use of buildings in Precincts 4 and 5. It is intended that these will now be subject to separate development applications.

This report describes the site and proposed development, provides relevant background information, and assesses the development against relevant legislation, environmental planning instruments, and planning policies, and addresses the SEARs issued in respect to the subject application.

The technical reports and plans submitted with the original SSDA have been reviewed and updated to address the proposed modifications to both the Concept Proposal and Stage 1 Development. These updated technical studies, attached at **Appendix B** to **Appendix V**, conclude that there are no material changes in impact arising from the proposed modification that were considered as part of the original SSDA assessment.

Where modified impacts are identified in these reports, the issue is addressed in this application. Where confirmation is provided that the nature of the impact is the same as that originally approved, no specific mention is made of that issue but correspondence to that effect is appended to the report for confirmation.



# 1. APPROVALS FRAMEWORK

The development of the OSE is part of the development of the broader Western Sydney Employment Area (WSEA) and, within that, the wider Oakdale Estate.

Previous development consents have been issued by the NSW DP&E for the development of Oakdale Central Estate Concept Plan (MP 08\_0065 and associated Mods) and subsequent stage building consents (MP 08\_0066 and SSD 6078 and associated Mods). Further, SEARs have been issued for the future development of Oakdale West Estate (SSD 15\_7345).

## 1.1. APPROVAL TO BE MODIFIED – SSD 6917

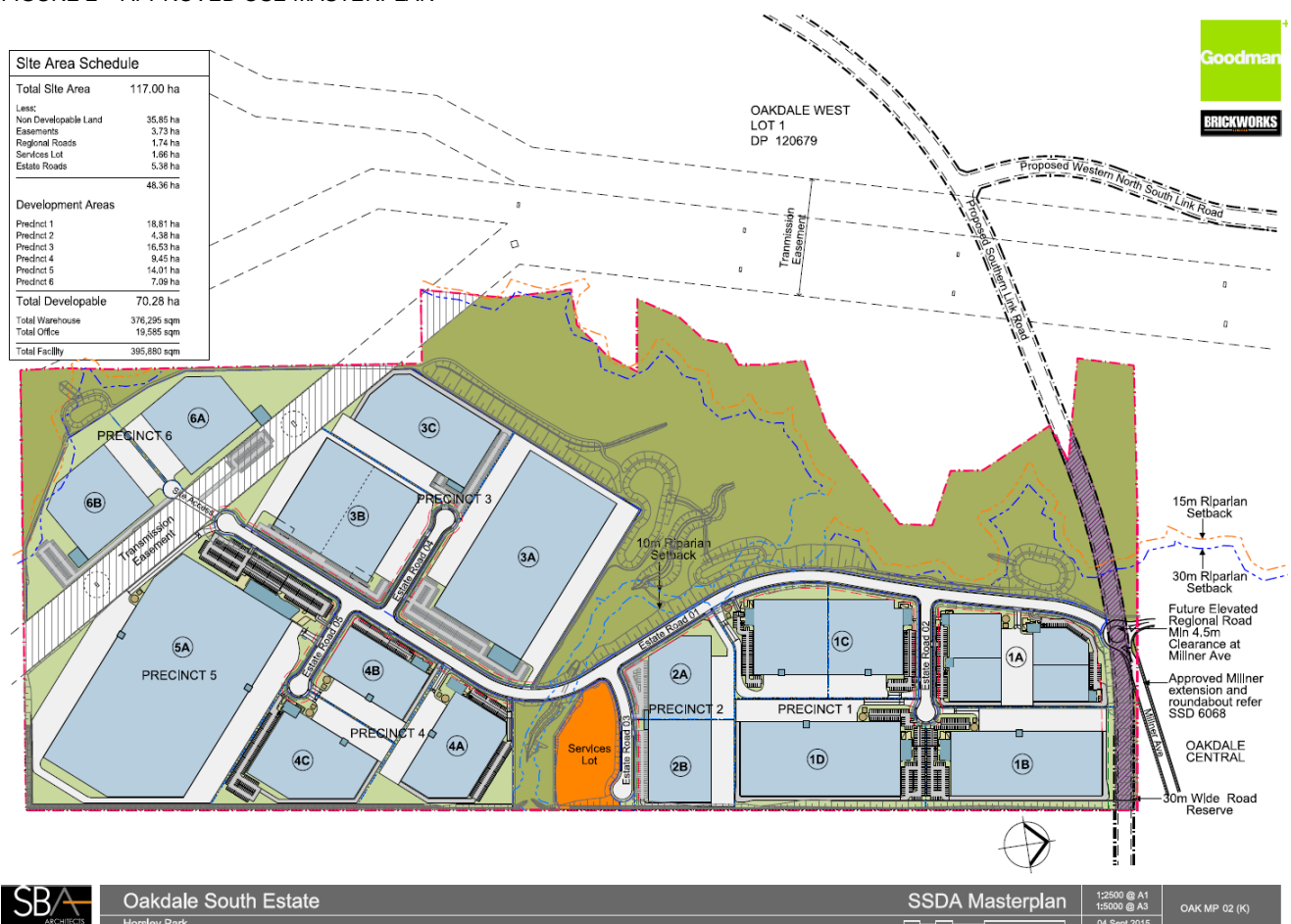
A State Significant Development (SSD6917) was issued on 26 October 2016 for Concept Plan and Stage 1 Estate and Precinct Development works within the OSE. Specifically, this consent authorised:

### OSE Concept Proposal

- A site master plan to guide the staged development of the OSE along with core development controls that will form the basis for design and assessment of future development applications on the site (Refer to **Figure 2** below).

Determination of the Concept Proposal included detailed consideration of impacts generated by the proposed future use of the site, including an assessment of estate-wide traffic generation and infrastructure demand, impact on Aboriginal and non-Indigenous heritage, impact on flora and fauna, riparian lands and creeks, acoustic, visual and air quality impact and overall consistency of the proposal with the strategic objectives of the WSEA SEPP and metropolitan planning strategy.

FIGURE 2 – APPROVED OSE MASTERPLAN



## Stage 1 Development

### Stage 1 Estate Works:

Site preparation, civil and infrastructure work across the entire OSE, required to facilitate the stages development of the OSE.

This included bulk earthworks for Estate Road construction and interim development site pad levels, staged subdivision, provision of services infrastructure to the future development lots, construction of stormwater drainage within the Estate Road, and civil works for realignment of the Ropes Creek Tributary.

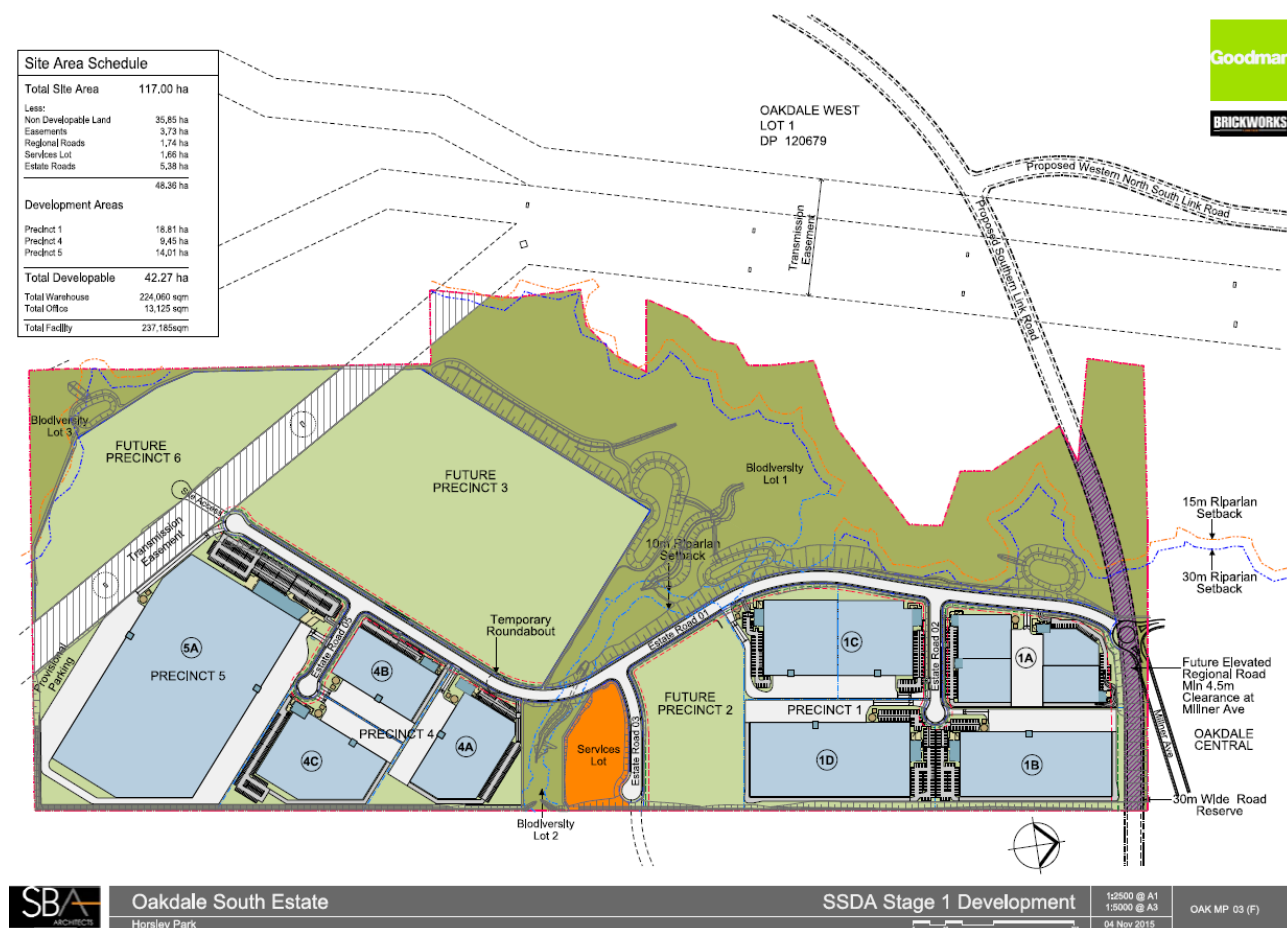
Stage 1 works also include vegetation and archaeological site clearance across the site.

### Stage 1 Precinct Development works:

On-lot development of Precincts 1, 4 and 5 (Refer to **Figure 3** below).

This included construction and operational consent for built form, use and operational parameters of development lots within Precincts 1, 4 and 5.

FIGURE 3 – APPROVED STAGE 1 DEVELOPMENT PLAN



Oakdale South Estate  
Horsley Park

SSDA Stage 1 Development

1:2500 @ A1  
1:5000 @ A3  
04 Nov 2015

OAK MP 03 (F)

## **1.2. REASON FOR THE PROPOSED MODIFICATION**

The approved OSE development comprises a regional warehouse and distribution hub that will ultimately operate as part of an integrated and synergistic network of custom designed, state of the art facilities incorporating all of the Oakdale Estate lands within the Western Sydney Employment Area (WSEA).

The approved development includes a Concept Proposal to guide the staged development of the entire estate as well as a Stage 1 development comprising earthworks, construction of roads and infrastructure and the construction, fit out and use of buildings within Precincts 1, 4 and 5 of the Estate.

The approved OSE development was designed to accommodate generic warehousing and distribution facilities, without knowledge of the specific needs of individual operators that may ultimately occupy the site. During assessment of the SSDA, particular users were identified and there was a need to make certain modifications to the approved development to accommodate the needs of these specific operators. The three proposed operators, being Toyota, Sigma Pharmaceuticals and a confidential user, necessitated specific functional layout requirements for their individual sites and as a result a modification to the approved masterplan. Development of these sites will be the subject of separate development applications.

The proposed modification responds to these, as well as addressing other minor changes to the layout of the Estate as a result of altered conditions following the approval of the SSDA.

## 2. DESCRIPTION OF PROPOSED MODIFICATIONS

### 2.1. OVERVIEW

This application seeks a modification to the approved SSD 6917 Concept and Stage 1 work for the OSE.

### 2.2. MODIFICATIONS TO THE CONCEPT APPROVAL

The following modifications are proposed to the approved Concept Plan:

- Realign Estate Road 01, realign Estate Road 03, include new Estate Road 04.
- Change the subdivision lot configuration including removal of the Proposed Services Lot. Precinct 2 will now make way for two additional warehouses. There will be additional development lots within the subdivision plan as the proposed users will have individual sites rather than one superblock as previous.
- Provision of a proposed 'amenities' lot north of Precinct 3 for future uses such as 'food and drink premises' and 'neighbourhood shops' to service the Estate. No approval for these specific uses is sought as part of this application.
- Include new access road to the 'amenities' lot, Estate Road 06.
- Realignment of the Ropes Creek Tributary in the vicinity of Estate Road 01.
- Realignment of the western boundary of Precinct 3, requiring a change to the boundary area for the biodiversity lot and are of Biodiversity Offset. Reduction in the Offset area by 300m<sup>2</sup> from 95.3ha to 95.27ha
- Increase in overall developable area from 70.28ha to 71.33ha.
- Change to the allocated developable and non-developable areas within the OSE (detailed in **Table 1** below).

TABLE 1 – NUMERICAL COMPARISON OF SITE AREA

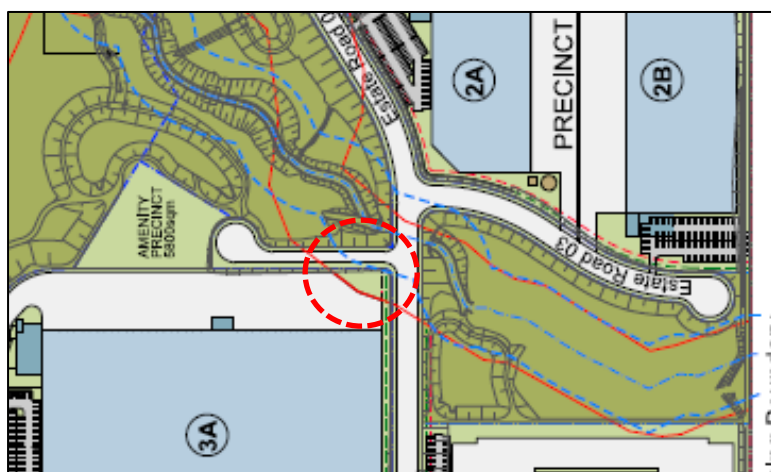
Site Area	Approved Concept Plan	Proposed Concept Plan	Difference
<b>Total Site Area</b>	<b>117.00ha</b>	<b>117.11 ha</b>	<b>+000.11 ha</b>
Less Non Developable Land	35.85 ha	33.46 ha	-2.39 ha
Easements	3.73 ha	4.56 ha	+1.13 ha
Regional Roads	1.74 ha	1.74 ha	No change
Services Lot	1.66 ha	N/A	Removed
Estate Roads	5.38 ha	5.70 ha	+0.32 ha
<u>Total</u>	<u>48.36 ha</u>	<u>45.46 ha</u>	-2.9 ha
<b>Development Areas</b>			
Precinct 1	18.81 ha	18.81 ha	No change
Precinct 2	4.38 ha	5.43 ha	+1.05 ha
Precinct 3	16.53 ha	18.94 ha	+2.41 ha
Precinct 4	9.45 ha	14.27 ha	+4.82 ha

Site Area	Approved Concept Plan	Proposed Concept Plan	Difference
Precinct 5	14.01 ha	6.46 ha	-7.6 ha
Precinct 6	7.09 ha	6.84 ha	-0.25 ha
Amenity Lot	-	0.58 ha	+0.58 ha
<b>Total Developable Area</b>	<b>70.28 ha</b>	<b>71.33 ha</b>	<b>+1.05 ha</b>
Total Warehouse	376,295m <sup>2</sup>	316,596m <sup>2</sup>	-59,699m <sup>2</sup>
Total Office	19,585m <sup>2</sup>	14,715m <sup>2</sup>	-4,870m <sup>2</sup>
<u>Total Facility</u>	<u>395,880m<sup>2</sup></u>	<u>331,311m<sup>2</sup></u>	<u>-64,569m<sup>2</sup></u>

No change is proposed to the approved site specific DCP controls.

It is noted that the amended Estate layout will result in part of Precinct 3 (Lot 3A) being located within the WSEA E2 zone boundary, however development is avoided in this area as shown in **Figure 4** below. Consistent with the approach taken during assessment of the SSDA 6917, it is intended that the zone boundary will be modified to reflect the realigned Ropes Creek Tributary following issue of consent to this application.

FIGURE 4 – AMENDED OSE MASTERPLAN



Proposed Concept and Stage 1 plans, as modified, are included at **Appendix B**.

**Figure 5** below shows the amended OSE Masterplan.



Site Area Schedule	
Total Site Area	117.11 ha
Less:	
Non Developable Land	33.46 ha
Easements	4.56 ha
Regional Roads	1.74 ha
Estate Roads	5.70 ha
	45.46 ha
Development Areas	
Precinct 1	18.81 ha
Precinct 2	5.43 ha
Precinct 3	16.34 ha
Precinct 4	14.27 ha
Precinct 5	6.46 ha
Precinct 6	6.84 ha
Amenity Lot	0.58 ha
Total Developable	71.33 ha
Total Warehouse	316,596 sqm
Total Office	14,715 sqm
Total Facility	331,311 sqm

## 2.3. MODIFICATIONS TO THE STAGE 1 APPROVAL

Modification is proposed to both the Estate Works and Precinct Development approved as Stage 1 of the OSE development. The proposed modifications are outlined in detail below.

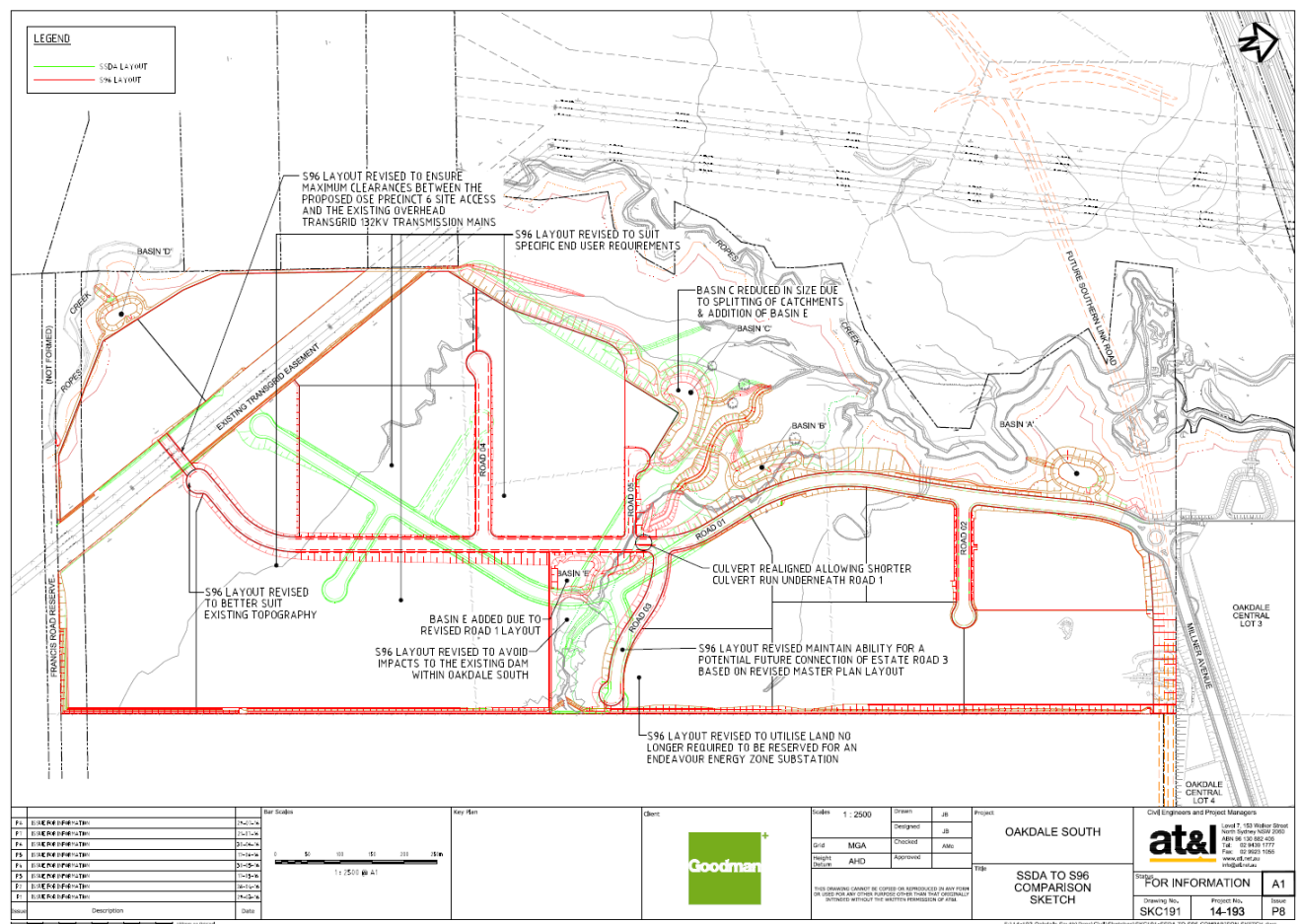
### 2.3.1. Modification to Estate Works

The following modifications are proposed to the approved Stage 1 Estate Works

- Amended detailed road design to reflect the revised Estate road layout.
- Amended detailed civil design to relocate the creek to respond to the revised Estate road layout.
- Amended landscape plans to reflect the revised Estate road layout.
- Amended Subdivision Plan to reflect the revised Estate layout, including removal of the 'services' lot and inclusion of an 'amenities' lot.

**Figure 6** below, provides a comparison of the approved OSE Concept Plan layout (shown in Green), and the proposed OSE Concept Plan layout (shown in Red).

FIGURE 6 – AMENDED OSE MASTERPLAN LAYOUT COMPARISON



### 2.3.2. Modification to Precinct Development

It is proposed that the construction works approved for Precinct 4 and 5 be removed from the consent. This is to enable purpose built structures to meet future operator specifications in these Precincts. All future building works applications within Precinct 4 and 5 will be subject to future development applications. SEARs have been issued for sites 3A and 3B as follows:

Site 3A – Sigma Pharmaceutical Warehouse and Distribution Facility – SSD 7719

Site 3B – Toyota Spare Parts Warehouse and Distribution Centre – SSD 7663

A separate request for SEARs for site 4A which will be operated by a confidential user will be made to facilitate development of this site.

No change is proposed to the approved warehouse and distribution buildings on sites 1A, 1B, 1C and 1D.

## 2.4. PROPOSED MODIFICATIONS TO THE CONDITIONS OF APPROVAL

The proposed amendments to the Concept and Stage 1 approval necessitate certain changes to the conditions of the SSD 6917 consent. These are identified in below. Works proposed to be deleted are shown ~~bold strikethrough~~, and words to be inserted are shown **bold red**.

### Schedule A

#### Development:

Concept Proposal for the Oakdale South Industrial Estate comprising:

- ~~395,880~~ **331,311** m<sup>2</sup> of GFA comprised of ~~376,295~~ **316,596** m<sup>2</sup> of warehousing GFA and ~~19,585~~ **14,715** m<sup>2</sup> of ancillary office floor space;
- Six development precincts with a total of 15 building envelopes; and
- Conceptual **subdivision** lot layout, site levels, road layout, design controls, landscape designs and infrastructure arrangements

Stage 1 Development Application including:

- Staged subdivision;
- Construction of bulk and detailed earthworks;
- Construction of civil infrastructure including internal estate roads, water and sewage reticulation, telecommunications and gas servicing and connection to relevant infrastructure;
- Construction of stormwater management devices;
- Installation of estate landscaping;
- Construction and operation of ~~nine~~ **five** warehouse **distribution** buildings across precincts ~~1, 4 and 5~~ as follows:
  - Precinct 1: five warehouse buildings with a total GFA of 104,739 m<sup>2</sup>
  - ~~Precinct 4: three warehouse buildings with a total GFA of 48,256 m<sup>2</sup>; and~~
  - ~~Precinct 5: one warehouse building with a GFA of 84,075 m<sup>2</sup>.~~

### Schedule B

B9. The following limits apply to the Concept Proposal of the development:

- The maximum GFA for the land uses in the Development should not exceed the limits outlined in **Table 1** below;
- The access road to Precinct 6 through the TransGrid easement and the car park associated with buildings ~~6A and 6B~~ in drawing OAK MP 02 ~~(M)~~ **(AA)**, titled 'SSDA Masterplan' dated ~~18 April 2016~~ **20 September 2016** is not approved.
- ~~No loading docks, delivery bays or heavy vehicle movements are permitted along the southern property boundary.~~
- ~~The loading dock, heavy vehicle route and associated hardstand along the southern elevation of building 5A are not approved.~~

**Table 1: GFA Maximum for Conceptual Proposal**

Land Use	Maximum GFA (m <sup>2</sup> )
Total General Warehousing	<del>376,295</del> <b>316,596</b>
Total Office	<del>19,585</del> <b>14,715</b>
<b>Total Developable GFA</b>	<b><del>395,880</del> 331,311</b>

## Schedule D

D9. This consent grants approval for the maximum GFAs for Precincts 1, 4 and 5 as detailed in **Table 4** below:

**Table 4.** Maximum GFAs approved under Stage 1

Precinct	Land Use	Maximum GFA (m²)
<b>Precinct 1</b>		
Lot 1A		21,949
Lot 1B		24,799
Lot 1C		28,108
Lot 1D		29,883
<b>TOTAL</b>		<b>104,739</b>
<b>Precinct 4</b>		
Lot 4A		16,676
Lot 4B		12,956
Lot 4C		18,624
<b>TOTAL</b>		<b>48,256</b>
<b>Precinct 5</b>		
Lot 5A		<del>84,075</del>
<b>TOTAL</b>		<b>84,075</b>
<b>Stage 1 GFA</b>	Warehousing	224,135 <b>99,760</b>
	Office	12,935 <b>4,979</b>
<b>TOTAL STAGE 1 GFA</b>		<b>237,070 104,739</b>

## Schedule E

E5. The Application shall provide a minimum of ~~1,256~~ **591** on-site car parking spaces (including at least ~~26~~ **12** spaces for people with a disability at a rate of two per 100 parking spaces) for use during operation of the Development, distributed as shown in **Table 5** below.

**Table 5.** Precinct Car Parking Provisions for Stage1

Precinct	Building	Minimum Car Parking Requirements
1	A	<del>128</del> <b>124</b>
	B	143
	C	157
	D	<del>169</del> <b>167</b>
4	A	122
	B	71
	C	140

5	A	326
<b>TOTAL</b>		<b>1,256 591</b>

## Schedule E

E15. Whilst bulk and detailed earthworks are occurring on site, the Applicant shall ensure that all bio-retention basins are to be utilised as temporary sediment control basins. The bio-retention basins shall not be converted into the final/ultimate basins until such time as all building and construction works within the relevant stage in drawing OAK MP 09 (F) **(H)** titled '*Infrastructure Staging Plan (Indicative)*', prepared by SBA architects, dated ~~18 April 2016~~ **28 September 2016** are 90 per cent complete and the area within the relevant stage is stabilised.

## APPENDIX 1 – SCHEDULE OF APPROVED CONCEPT PROPOSAL DRAWINGS

Master Plan Drawings Prepared by SBA Architects			
Drawing No.	Rev.	Name of Plan	Date
OAK MP 01	<del>H</del> <b>Q</b>	Cover Sheet	<del>18/05/2016</del> <b>28/09/2016</b>
OAK MP 02	<del>M</del> <b>AA</b>	SSDA Masterplan	<del>18/05/2016</del> <b>20/09/2016</b>
OAK MP 03	<del>G</del> <b>L</b>	SSDA Stage 1 Development	<del>18/05/2016</del> <b>18/07/2016</b>
OAK MP 04	<del>K</del> <b>L</b>	Precinct 1 Plan	<del>18/05/2016</del> <b>06/06/2016</b>
<del>OAK MP 05</del>	<del>M</del>	<del>Precinct 4 &amp; 5 Plan</del>	<del>05/07/2016</del>
OAK MP 06	<del>G</del> <b>K</b>	Indicative Ultimate Lot Layout	<del>18/05/2016</del> <b>01/07/2016</b>
OAK MP 07	<del>H</del> <b>K</b>	Site Analysis Plan	<del>18/05/2016</del> <b>28/09/2016</b>
OAK MP 08	<del>F</del> <b>L</b>	Existing Zoning	<del>18/05/2016</del> <b>28/09/2016</b>
OAK MP 09	<del>F</del> <b>H</b>	<del>Infrastructure Staging Plan</del> <b>Infrastructure Staging Plan (Indicative)</b>	<del>18/05/2016</del> <b>28/09/2016</b>
OAK MP 10	<del>F</del> <b>J</b>	Building Staging Plan (Indicative)	<del>18/05/2016</del> <b>28/09/2016</b>
OAK MP 11	<del>G</del> <b>J</b>	Signage Precinct 1 Plan	<del>18/05/2016</del> <b>28/09/2016</b>
<del>OAK MP 12</del>	<del>F</del>	<del>Signage Precinct 4 &amp; 5 Plan</del>	<del>18/05/2016</del>
<del>OAK MP 15</del>	<del>D</del>	<del>Fire Protection Plan</del>	<del>18/05/2016</del>
<b>OAK MP 13</b>	<b>G</b>	<b>Bushfire Protection Plan</b>	<b>28/09/2016</b>
<b>OAK MP 14</b>	<b>K</b>	<b>Restoration Zones</b>	<b>28/09/2016</b>



OAK MP 14	D	Vegetation Management Plan	18/05/2016
OAK MP 15	C	Fencing Plan	18/05/2016
<b>OAK MP 17</b>	<b>F</b>		<b>28/09/2016</b>
<b>Concept Landscape Plans prepared by Site Image Landscape Architects</b>			
<b>Drawing No.</b>	<b>Rev.</b>	<b>Name of Plan</b>	<b>Date</b>
LR-003	B <b>F</b>	Landscape Concept Master Plan	04/09/2015 <b>12/10/2016</b>
LR-004	B <b>F</b>	Typical <b>Landscape</b> Site Section	04/09/2015 <b>12/10/2016</b>
LR-005	B <b>F</b>	<del>Vegetation Typologies</del> <b>Southern Boundary Landscape Section</b>	04/09/2015 <b>12/10/2016</b>
LR-006	B <b>F</b>	<del>Typical Species List and Reference Table</del> <b>Eastern Boundary Landscape Plan</b>	04/09/2015 <b>12/10/2016</b>
LR-007	B <b>F</b>	<del>Street Master Plan</del> <b>Vegetation Typologies</b>	04/09/2015 <b>12/10/2016</b>
LR-008	B <b>F</b>	<del>Streetscape Typical Detail</del> <b>Vegetation Typologies</b>	04/09/2015 <b>12/10/2016</b>
LR-009	B <b>F</b>	<del>Landscape Node 1 – Plan &amp; Section</del> <b>Street Tree Master Plan</b>	04/09/2015 <b>12/10/2016</b>
LR-010	B <b>F</b>	<del>Landscape Node 2 – Plan/Section</del> <b>Streetscape Typical Detail</b>	04/09/2015 <b>12/10/2016</b>
LR-011	B <b>E</b>	<del>Landscape Node 3 – Plan/Section</del> <b>Landscape Node 1 – Plan / Section</b>	04/09/2015 <b>18/07/2016</b>
LR-012	B <b>F</b>	<del>Signage Landscape Treatment</del> <b>Landscape Node 2 – Plan / Section</b>	04/09/2015 <b>12/10/2016</b>
<b>LR-013</b>	<b>F</b>	<b>Stage 1 Development</b>	<b>12/10/2016</b>
<b>Proposed Service Strategy prepared by AT&amp;L</b>			
<b>Drawing No.</b>	<b>Rev.</b>	<b>Name of Plan</b>	<b>Date</b>
SKC149	P1	Sewer Strategy – Concept Scheme Plan	August 2015
SKC150	P1	Potable Water Strategy – Concept Scheme Plan	August 2015
SKC151	P1	High Voltage – Concept Scheme Plan	August 2015
SKC152	P1	Proposed Gas Main Strategy – Concept Scheme Plan	August 2015
SKC153	P1	Telecommunication Strategy – Concept Scheme Plan	August 2015

SKC154	P1	Proposed Rainwater Re-Use – Concept Scheme Plan	August 2015
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## APPENDIX 2 – SCHEDULE OF APPROVED STAGE 1 DA DRAWINGS

Stage 1 Architectural Drawings Prepared by SBA Architects			
Drawing No.	Rev.	Name of Plan	Date
<b>Building 1A</b>			
OAK 1A DA 10	K	Proposed Industrial Facility – Building 1A – Site Plan/Floor Plan	18/04/2016
OAK 1A DA 11	E	Proposed Industrial Facility – Building 1A – Roof Plan	18/04/2016
OAK 1A DA 12	E	Proposed Industrial Facility – Building 1A – 1A Office 1&2 Floor Plans	18/04/2016
OAK 1A DA 13	D	Proposed Industrial Facility – Building 1A – Office 1A-3 Floor Plans	18/04/2016
OAK 1A DA 14	D	Proposed Industrial Facility – Building 1A – Office 1A-4 Floor Plans	18/04/2016
OAK 1A DA 15	D	Proposed Industrial Facility – Building 1A – Elevations/Sections 1A	18/04/2016
OAK 1A DA 16	D	Proposed Industrial Facility – Building 1A – Elevations Office 1A	18/04/2016
OAK 1A DA 17	D	Proposed Industrial Facility – Building 1A – Office Elevations 2	18/04/2016
OAK 1A DA 18	D	Proposed Industrial Facility – Building 1A – Office Elevations 3	18/04/2016
OAK 1A DA 19	D	Proposed Industrial Facility – Building 1A – Office Elevations 4	18/04/2016
<b>Building 1B</b>			
OAK 1B DA 20	J	Proposed Industrial Facility – Building 1B – Site Plan/Floor Plan	18/04/2016
OAK 1B DA 21	E	Proposed Industrial Facility – Building 1B – Roof Plan	18/04/2016
OAK 1B DA 22	E	Proposed Industrial Facility – Building 1B – 1B Office Plan	18/04/2016
OAK 1B DA 24	E	Proposed Industrial Facility – Building 1B – Elevations 1B	18/04/2016
OAK 1B DA 25	E	Proposed Industrial Facility – Building 1B – Sections 1B	18/04/2016
OAK 1B DA 26	D	Proposed Industrial Facility – Building 1B – Elevations Office	18/04/2016
<b>Building 1C</b>			
OAK 1C DA 30	K	Proposed Industrial Facility – Building 1C – Site Plan/Floor Plan	18/04/2016
OAK 1C DA 31	E	Proposed Industrial Facility – Building 1C – Roof Plan	18/04/2016
OAK 1C DA 32	E	Proposed Industrial Facility – Building 1C – 1C-1 Floor Plans	18/04/2016
OAK 1C DA 33	E	Proposed Industrial Facility – Building 1C – 1C-2 Office Floor Plans	18/04/2016
OAK 1C DA 34	E	Proposed Industrial Facility – Building 1C – Elevations 1C	18/04/2016

OAK 1C DA 35	E	Proposed Industrial Facility – Building 1C – Sections 1C	18/04/2016
OAK 1C DA 36	D	Proposed Industrial Facility – Building 1C – Office Elevations 1	18/04/2016
OAK 1C DA 37	D	Proposed Industrial Facility – Building 1C – Elevations Office 2	18/04/2016
<b>Building 1D</b>			
OAK 1D DA 40	J	Proposed Industrial Facility – Building 1D – Site Plan/Floor Plan	18/04/2016
OAK 1D DA 41	E	Proposed Industrial Facility – Building 1D – Roof Plan	18/04/2016
OAK 1D DA 42	E	Proposed Industrial Facility – Building 1D – 1D Office Floor Plans	18/04/2016
OAK 1D DA 44	E	Proposed Industrial Facility – Building 1D – Elevations 1D	18/04/2016
OAK 1D DA 45	E	Proposed Industrial Facility – Building 1D – Sections 1D	18/04/2016
OAK 1D DA 46	D	Proposed Industrial Facility – Building 1D – Office Elevations	18/04/2016
<b>Building 4A</b>			
OAK 4A DA 50	J	Proposed Industrial Facility – Building 4A – Site Plan/Floor Plan	04/09/2015
OAK 4A DA 51	D	Proposed Industrial Facility – Building 4A – Roof Plan	04/09/2015
OAK 4A DA 52	C	Proposed Industrial Facility – Building 4A – 4A Office Floor Plans	04/09/2015
OAK 4A DA 54	D	Proposed Industrial Facility – Building 4A – Elevations 4A	04/09/2015
OAK 4A DA 55	D	Proposed Industrial Facility – Building 4A – Sections 4A	04/09/2015
OAK 4A DA 56	C	Proposed Industrial Facility – Building 4A – Office Elevations	04/09/2015
<b>Building 4B</b>			
OAK 4B DA 60	J	Proposed Industrial Facility – Building 4B – Site Plan/Floor Plan	04/09/2015
OAK 4B DA 61	D	Proposed Industrial Facility – Building 4B – Roof Plan	04/09/2015
OAK 4B DA 62	C	Proposed Industrial Facility – Building 4B – 4B Office Floor Plans	04/09/2015
OAK 4B DA 64	D	Proposed Industrial Facility – Building 4B – Elevations 4B	04/09/2015
OAK 4B DA 65	D	Proposed Industrial Facility – Building 4B – Sections 4B	04/09/2015
OAK 4B DA 66	C	Proposed Industrial Facility – Building 4B – Office Elevations	04/09/2015
<b>Building 4C</b>			
OAK 4C DA 70	J	Proposed Industrial Facility – Building 4C – Site Plan/Floor Plan	04/09/2015
OAK 4C DA 71	D	Proposed Industrial Facility – Building 4C – Roof Plan	04/09/2015
OAK 4C DA 72	C	Proposed Industrial Facility – Building 4C – 4C Office Floor Plans	04/09/2015

OAK 4C DA 74	D	Proposed Industrial Facility — Building 4C — Elevations 4C	04/09/2015
OAK 4C DA 75	D	Proposed Industrial Facility — Building 4C — Sections 4C	04/09/2015
OAK 4C DA 76	C	Proposed Industrial Facility — Building 4C — Office Elevations	04/09/2015
<b>Building 5A</b>			
OAK 5A DA 80	J	Proposed Industrial Facility — Building 5A — Site Plan/Floor Plan	04/09/2015
OAK 5A DA 81	D	Proposed Industrial Facility — Building 5A — Roof Plan	04/09/2015
OAK 5A DA 82	C	Proposed Industrial Facility — Building 5A — 5A Ground Floor Office Floor Plan	04/09/2015
OAK 5A DA 83	C	Proposed Industrial Facility — Building 5A — First Floor Office Plan	04/09/2015
OAK 5A DA 84	D	Proposed Industrial Facility — Building 5A — Elevations 5A — Sheet 1	04/09/2015
OAK 5A DA 85	D	Proposed Industrial Facility — Building 5A — Elevations 5A — Sheet 2	04/09/2015
OAK 5A DA 86	D	Proposed Industrial Facility — Building 5A — Sections 5A	04/09/2015
OAK 5A DA 87	C	Proposed Industrial Facility — Building 5A — Elevations Office	04/09/2015
<b>Landscape Drawings prepared by Site Image</b>			
Drawing No.	Rev.	Name of Plan	Date
LW-013	B	Stage 1 Development — Landscape Scope of Works	04/09/2016
ELW-001	B <b>F</b>	Stage 1 Development Works – Landscape Plan	04/09/2015 <b>12/10/2016</b>
ELW-002	B <b>F</b>	Estate Landscape Works – Landscape Plan	04/09/2015 <b>12/10/2016</b>
ELW-003	E <b>F</b>	Estate Landscape Works – Landscape Plan	04/09/2015 <b>12/10/2016</b>
ELW-004	B <b>F</b>	Estate Landscape Works – Landscape Plan	04/09/2015 <b>12/10/2016</b>
ELW-005	B <b>F</b>	Estate Landscape Works – Landscape Plan	04/09/2015 <b>12/10/2016</b>
ELW-006	B <b>F</b>	Estate Landscape Works – Landscape Plan	04/09/2015 <b>12/10/2016</b>
ELW-007	B <b>F</b>	<del>Estate Landscape Works — Typical Details &amp; Plant Schedule</del> <b>Estate Landscape Works – Landscape Plan</b>	04/09/2015 <b>12/10/2016</b>
<b>ELW-008</b>	<b>F</b>	<b>Estate Landscape Works – Landscape Plan</b>	<b>12/10/2016</b>
<b>ELW-009</b>	<b>F</b>	<b>Estate Landscape Works – Landscape Plan</b>	<b>12/10/2016</b>
<b>ELW - 010</b>	<b>F</b>	<b>Typical Landscape Details &amp; Plant Schedule</b>	<b>12/10/2016</b>

<b>ELW - 011</b>	<b>F</b>	<b>Typical Landscape Details</b>	<b>12/10/2016</b>
LP1-001	B <b>F</b>	Lot Landscaping – Precinct 1 – Landscape Plan 1:2000	04/09/2015 <b>12/10/2016</b>
LP1-002	B <b>F</b>	Lot Landscaping – Precinct 1 – Primary Presentational Frontage – Typical Landscape Detail Plan	04/09/2015 <b>12/10/2016</b>
LP1-003	B <b>F</b>	<del>Secondary</del> <b>Road 2</b> Presentational Frontage Plan – Typical Landscape Detail Plan	04/09/2015 <b>12/10/2016</b>
LP1-004	B <b>F</b>	Lot Landscaping – Precinct 1 – Planting Palette	04/09/2015 <b>12/10/2016</b>
<del>LP4-001</del>	<del>B</del>	<del>Lot Landscaping – Precinct 4 – Landscape Plan 1:2000</del>	<del>04/09/2015</del>
<del>LP4-002</del>	<del>B</del>	<del>Lot Landscaping – Precinct 4 – Primary Presentational Frontage – Typical Landscape Detail Plan</del>	<del>04/09/2015</del>
<del>LP4-003</del>	<del>B</del>	<del>Lot Landscaping – Precinct 4 – Secondary Presentational Frontage Plan – Typical Landscape Detail Plan</del>	<del>04/09/2015</del>
<del>LP4-004</del>	<del>B</del>	<del>Lot Landscaping – Precinct 4 – Planting Palette</del>	<del>04/09/2015</del>
<del>LP5-001</del>	<del>B</del>	<del>Lot Landscaping – Precinct 5 – Landscape Plan 1:2000</del>	<del>04/09/2015</del>
<del>LP5-002</del>	<del>B</del>	<del>Lot Landscaping – Precinct 5 – Presentational Entry – Typical Landscape Detail Plan</del>	<del>04/09/2015</del>
<del>LP5-003</del>	<del>B</del>	<del>Lot Landscaping – Precinct 5 – Presentational Entry – Typical Landscape Section</del>	<del>04/09/2015</del>
<del>LP5-004</del>	<del>B</del>	<del>Lot Landscaping – Precinct 5 – Primary Presentational Frontage – Typical Landscape Detail Plan</del>	<del>04/09/2015</del>
<del>LP5-005</del>	<del>B</del>	<del>Lot Landscaping – Precinct 5 – Planting Palette</del>	<del>04/09/2015</del>
<b>Southern and Eastern Boundary Treatments Prepared by Site Image Landscape Architects</b>			
<b>Drawing No.</b>	<b>Rev.</b>	<b>Name of Plan</b>	<b>Date</b>
002	D	Key Plan – Typical Boundary Planting	03/05/2016
003	D	Section AA and Section BB – Southern Boundary	03/05/2016
004	D	Section CC – Eastern Boundary	03/05/2016
005	D	Section DD – Southern Boundary	03/05/2016
006	D	Section EE – Eastern Boundary	03/05/2016
<b>Stage 1 Civil Drawings Prepared by AT&amp;L Project Number 14-193</b>			
C1000	A <b>C</b>	Cover Sheet Locality Plan	03/09/2015 <b>19/09/2016</b>
C1001	A <b>C</b>	Drawing List	03/09/2015 <b>19/09/2016</b>
C1002	A <b>C</b>	General Notes	03/09/2015 <b>19/09/2016</b>



C1003	A <b>C</b>	General Arrangement Plan	03/09/2015 <b>19/09/2016</b>
C1004	A <b>C</b>	Typical Sections Sheet 1	03/09/2015 <b>19/09/2016</b>
C1005	A <b>C</b>	Typical Sections Sheet 2	03/09/2015 <b>19/09/2016</b>
C1006	A <b>C</b>	Typical Sections Sheet 3	03/09/2015 <b>19/09/2016</b>
C1007	A <b>C</b>	Typical Sections Sheet 4	03/09/2015 <b>19/09/2016</b>
C1008	A <b>C</b>	Typical Sections Sheet 5	03/09/2015 <b>19/09/2016</b>
C1009	A <b>C</b>	Typical Sections Sheet 6	03/09/2015 <b>19/09/2016</b>
C1010	A <b>C</b>	Typical Sections Sheet 7	03/09/2015 <b>19/09/2016</b>
<b>C1011</b>	<b>C</b>	<b>Typical Sections Sheet 8</b>	<b>19/09/2016</b>
C1015	A <b>C</b>	Typical Details Plan	03/09/2015 <b>19/09/2016</b>
C1020	A <b>C</b>	Bulk Earthworks Cut/Fill Plan	03/09/2015 <b>19/09/2016</b>
C1021	A <b>C</b>	Infrastructure Staging Plan	03/09/2015 <b>19/09/2016</b>
C1031	A <b>C</b>	Earthworks and Stormwater Plan Sheet 1	03/09/2015 <b>19/09/2016</b>
C1032	A <b>C</b>	Earthworks and Stormwater Plan Sheet 2	03/09/2015 <b>19/09/2016</b>
C1033	A <b>C</b>	Earthworks and Stormwater Plan Sheet 3	03/09/2015 <b>19/09/2016</b>
C1034	A <b>C</b>	Earthworks and Stormwater Plan Sheet 4	03/09/2015 <b>19/09/2016</b>
C1035	A <b>C</b>	Earthworks and Stormwater Plan Sheet 5	03/09/2015 <b>19/09/2016</b>
C1036	A <b>C</b>	Earthworks and Stormwater Plan Sheet 6	03/09/2015 <b>19/09/2016</b>
C1037	A	Earthworks and Stormwater Plan Sheet 7	03/09/2015

	<b>C</b>		<b>19/09/2016</b>
C1038	A <b>C</b>	Earthworks and Stormwater Plan Sheet 8	03/09/2015 <b>19/09/2016</b>
C1039	A <b>C</b>	Earthworks and Stormwater Plan Sheet 9	03/09/2015 <b>19/09/2016</b>
C1040	A <b>C</b>	Earthworks and Stormwater Plan Sheet 10	03/09/2015 <b>19/09/2016</b>
C1041	A <b>C</b>	Earthworks and Stormwater Plan Sheet 11	03/09/2015 <b>19/09/2016</b>
C1042	A <b>C</b>	Earthworks and Stormwater Plan Sheet 12	03/09/2015 <b>19/09/2016</b>
C1043	A <b>C</b>	Earthworks and Stormwater Plan Sheet 13	03/09/2015 <b>19/09/2016</b>
C1051	A <b>C</b>	Services and Utilities Coordination Plan Sheet 1	03/09/2015 <b>19/09/2016</b>
C1052	A <b>C</b>	Services and Utilities Coordination Plan Sheet 2	03/09/2015 <b>19/09/2016</b>
C1053	A <b>C</b>	Services and Utilities Coordination Plan Sheet 3	03/09/2015 <b>19/09/2016</b>
C1054	A <b>C</b>	Services and Utilities Coordination Plan Sheet 4	03/09/2015 <b>19/09/2016</b>
C1055	A <b>C</b>	Services and Utilities Coordination Plan Sheet 5	03/09/2015 <b>19/09/2016</b>
C1056	A <b>C</b>	Services and Utilities Coordination Plan Sheet 6	03/09/2015 <b>19/09/2016</b>
C1057	A <b>C</b>	Services and Utilities Coordination Plan Sheet 7	03/09/2015 <b>19/09/2016</b>
C1058	A <b>C</b>	Services and Utilities Coordination Plan Sheet 8	03/09/2015 <b>19/09/2016</b>
C1059	A <b>C</b>	Services and Utilities Coordination Plan Sheet 9	03/09/2015 <b>19/09/2016</b>
C1060	A <b>C</b>	Services and Utilities Coordination Plan Sheet 10	03/09/2015 <b>19/09/2016</b>
C1061	A <b>C</b>	Services and Utilities Coordination Plan Sheet 11	03/09/2015 <b>19/09/2016</b>
C1062	A	Services and Utilities Coordination Plan Sheet 12	03/09/2015

	<b>C</b>		<b>19/09/2016</b>
C1063	A	Services and Utilities Coordination Plan Sheet 13	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1071	A	Erosion and Sediment Control Plan Sheet 1	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1072	A	Erosion and Sediment Control Plan Sheet 2	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1073	A	Erosion and Sediment Control Plan Sheet 3	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1074	A	Erosion and Sediment Control Plan Sheet 4	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1075	A	Erosion and Sediment Control Plan Sheet 5	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1076	A	Erosion and Sediment Control Plan Sheet 6	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1077	A	Erosion and Sediment Control Plan Sheet 7	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1078	A	Erosion and Sediment Control Plan Sheet 8	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1079	A	Erosion and Sediment Control Plan Sheet 9	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1080	A	Erosion and Sediment Control Plan Sheet 10	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1081	A	Erosion and Sediment Control Plan Sheet 11	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1082	A	Erosion and Sediment Control Plan Sheet 12	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1083	A	Erosion and Sediment Control Plan Sheet 13	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1084	A	Erosion and Sediment Details	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1091	A	Pavement Plan Sheet 1	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1092	A	Pavement Plan Sheet 2	03/09/2015
	<b>C</b>		<b>19/09/2016</b>
C1093	A	Pavement Plan Sheet 3	03/09/2015

	<b>C</b>		<b>19/09/2016</b>
C1094	A <b>C</b>	Pavement Plan Sheet 4	03/09/2015 <b>19/09/2016</b>
C1095	A <b>C</b>	Pavement Plan Sheet 5	03/09/2015 <b>19/09/2016</b>
C1201	A <b>C</b>	Roadworks Plan Sheet 1	03/09/2015 <b>19/09/2016</b>
C1202	A <b>C</b>	Roadworks Plan Sheet 2	03/09/2015 <b>19/09/2016</b>
C1203	A <b>C</b>	Roadworks Plan Sheet 3	03/09/2015 <b>19/09/2016</b>
C1204	A <b>C</b>	Roadworks Plan Sheet 4	03/09/2015 <b>19/09/2016</b>
C1205	A <b>C</b>	Roadworks Plan Sheet 5	03/09/2015 <b>19/09/2016</b>
C1206	A <b>C</b>	Roadworks Plan Sheet 6	03/09/2015 <b>19/09/2016</b>
C1207	A <b>C</b>	Roadworks Plan Sheet 7	03/09/2015 <b>19/09/2016</b>
C1208	A <b>C</b>	Roadworks Plan Sheet 8	03/09/2015 <b>19/09/2016</b>
C1209	A <b>C</b>	Roadworks Plan Sheet 9	03/09/2015 <b>19/09/2016</b>
C1210	A <b>C</b>	Roadworks Plan Sheet 10	03/09/2015 <b>19/09/2016</b>
C1211	A <b>C</b>	Roadworks Plan Sheet 11	03/09/2015 <b>19/09/2016</b>
C1212	A <b>C</b>	Roadworks Plan Sheet 12	03/09/2015 <b>19/09/2016</b>
<b>C1213</b>	<b>B</b>	<b>Roadworks Plan Sheet 13</b>	<b>19/09/2016</b>
<b>C1214</b>	<b>B</b>	<b>Roadworks Plan Sheet 14</b>	<b>19/09/2016</b>
<b>C1215</b>	<b>B</b>	<b>Roadworks Plan Sheet 15</b>	<b>19/09/2016</b>
C1221	A <b>C</b>	Road Longitudinal; Sections Sheet 1	03/09/2015 <b>19/09/2016</b>
C1222	A <b>C</b>	Road Longitudinal; Sections Sheet 2	03/09/2015 <b>19/09/2016</b>

C1223	A <b>C</b>	Road Longitudinal; Sections Sheet 3	03/09/2015 <b>19/09/2016</b>
C1224	A <b>C</b>	Road Longitudinal; Sections Sheet 4	03/09/2015 <b>19/09/2016</b>
C1241	A <b>C</b>	Bio-Retention Basin A Detail Plan	03/09/2015 <b>19/09/2016</b>
C1244	A <b>C</b>	Bio-Retention Basin B Detail Plan	03/09/2015 <b>19/09/2016</b>
C1247	A <b>C</b>	Bio-Retention Basin C Detail Plan	03/09/2015 <b>19/09/2016</b>
C1250	A <b>C</b>	Bio-Retention Basin D Detail Plan	03/09/2015 <b>19/09/2016</b>
<b>C1253</b>	<b>B</b>	<b>Bio-Retention Basin E Detail Plan</b>	<b>19/09/2016</b>
C1261	A <b>C</b>	Stormwater Culvert Plan and Sections	03/09/2015 <b>19/09/2016</b>
C1301	A <b>C</b>	Stormwater Catchment Plan	03/09/2015 <b>19/09/2016</b>
C2000	A <b>C</b>	On-Lot General Arrangement Plan	03/09/2015 <b>19/09/2016</b>
C2100	A <b>C</b>	Building 1A General Arrangement Plan	03/09/2015 <b>19/09/2016</b>
C2105	A <b>C</b>	Building 1A Siteworks and Stormwater Drainage Plan – Sheet 1	03/09/2015 <b>19/09/2016</b>
C2106	A <b>C</b>	Building 1A Siteworks and Stormwater Drainage Plan – Sheet 2	03/09/2015 <b>19/09/2016</b>
C2107	A <b>C</b>	Building 1A Siteworks and Stormwater Drainage Plan – Sheet 3	03/09/2015 <b>19/09/2016</b>
C2108	A <b>C</b>	Building 1A Siteworks and Stormwater Drainage Plan – Sheet 4	03/09/2015 <b>19/09/2016</b>
C2110	A <b>C</b>	Building 1A Pavement Plan	03/09/2015 <b>19/09/2016</b>
C2200	A <b>C</b>	Building 1B General Arrangement Plan	03/09/2015 <b>19/09/2016</b>
C2205	A <b>C</b>	Building 1B Siteworks and Stormwater Drainage Plan – Sheet 1	03/09/2015 <b>19/09/2016</b>
C2206	A	Building 1B Siteworks and Stormwater Drainage Plan – Sheet 2	03/09/2015

	<b>C</b>		<b>19/09/2016</b>
C2207	A <b>C</b>	Building 1B Siteworks and Stormwater Drainage Plan – Sheet 3	03/09/2015 <b>19/09/2016</b>
C2208	A <b>C</b>	Building 1B Siteworks and Stormwater Drainage Plan – Sheet 4	03/09/2015 <b>19/09/2016</b>
C2210	A <b>C</b>	Building 1B Pavement Plan	03/09/2015 <b>19/09/2016</b>
C2300	A <b>C</b>	Building 1C General Arrangement Plan	03/09/2015 <b>19/09/2016</b>
C2305	A <b>C</b>	Building 1C Siteworks and Stormwater Drainage Plan – Sheet 1	03/09/2015 <b>19/09/2016</b>
C2306	A <b>C</b>	Building 1C Siteworks and Stormwater Drainage Plan – Sheet 2	03/09/2015 <b>19/09/2016</b>
C2307	A <b>C</b>	Building 1C Siteworks and Stormwater Drainage Plan – Sheet 3	03/09/2015 <b>19/09/2016</b>
C2308	A <b>C</b>	Building 1C Siteworks and Stormwater Drainage Plan – Sheet 4	03/09/2015 <b>19/09/2016</b>
C2310	A <b>C</b>	Building 1C Pavement Plan	03/09/2015 <b>19/09/2016</b>
C2400	A <b>C</b>	Building 1D General Arrangement Plan	03/09/2015 <b>19/09/2016</b>
C2405	A <b>C</b>	Building 1D Siteworks and Stormwater Drainage Plan – Sheet 1	03/09/2015 <b>19/09/2016</b>
C2406	A <b>C</b>	Building 1D Siteworks and Stormwater Drainage Plan – Sheet 2	03/09/2015 <b>19/09/2016</b>
C2407	A <b>C</b>	Building 1D Siteworks and Stormwater Drainage Plan – Sheet 3	03/09/2015 <b>19/09/2016</b>
C2408	A <b>C</b>	Building 1D Siteworks and Stormwater Drainage Plan – Sheet 4	03/09/2015 <b>19/09/2016</b>
C2410	A <b>C</b>	Building 1D Pavement Plan	03/09/2015 <b>19/09/2016</b>
<del>C2500</del>	A	<del>Building 4A General Arrangement Plan</del>	03/09/2015
<del>C2505</del>	A	<del>Building 4A Siteworks and Stormwater Drainage Plan – Sheet 1</del>	03/09/2015
<del>C2506</del>	A	<del>Building 4A Siteworks and Stormwater Drainage Plan – Sheet 2</del>	03/09/2015
<del>C2508</del>	A	<del>Building 4A Pavement Plan</del>	03/09/2015
<del>C2600</del>	A	<del>Building 4B General Arrangement Plan</del>	03/09/2015



C2605	A	Building 4B Siteworks and Stormwater Drainage Plan — Sheet 1	03/09/2015
C2606	A	Building 4B Siteworks and Stormwater Drainage Plan — Sheet 2	03/09/2015
C2608	A	Building 4B Pavement Plan	03/09/2015
C2700	A	Building 4C General Arrangement Plan	03/09/2015
C2705	A	Building 4C Siteworks and Stormwater Drainage Plan — Sheet 1	03/09/2015
C2706	A	Building 4C Siteworks and Stormwater Drainage Plan — Sheet 2	03/09/2015
C2708	A	Building 4C Pavement Plan	03/09/2015
C2800	A	Building 5A General Arrangement Plan	03/09/2015
C2805	A	Building 5A Siteworks and Stormwater Drainage Plan — Sheet 1	03/09/2015
C2806	A	Building 5A Siteworks and Stormwater Drainage Plan — Sheet 2	03/09/2015
C2807	A	Building 5A Siteworks and Stormwater Drainage Plan — Sheet 3	03/09/2015
C2808	A	Building 5A Siteworks and Stormwater Drainage Plan — Sheet 4	03/09/2015
C2809	A	Building 5A Siteworks and Stormwater Drainage Plan — Sheet 5	03/09/2015
C2810	A	Building 5A Siteworks and Stormwater Drainage Plan — Sheet 6	03/09/2015
C2811	A	Building 5A Siteworks and Stormwater Drainage Plan — Sheet 7	03/09/2015
C2812	A	Building 5A Siteworks and Stormwater Drainage Plan — Sheet 8	03/09/2015
C2814	A	Building 5A Pavement Plan	03/09/2015
<b>Oakdale South Watercourse Realignment Works Plans, prepared by AECOM, Drawing Set 60333552-DWG-WC</b>			
1001	A <b>D</b>	Watercourse Realignment Cover Sheet and Drawing Index	31/08/2015 <b>22/07/2016</b>
1011	B <b>E</b>	Watercourse Realignment Layout Plan Sheet 1	31/08/2015 <b>22/07/2016</b>
1012	B <b>E</b>	Watercourse Realignment Layout Plan Sheet 2	31/08/2015 <b>22/07/2016</b>
1016	A <b>D</b>	Watercourse Realignment Aerial Background Plan Sheet 1	31/08/2015 <b>22/07/2016</b>
1017	A <b>D</b>	Watercourse Realignment Aerial Background Plan Sheet 2	31/08/2015 <b>22/07/2016</b>
1021	A <b>C</b>	Watercourse Realignment Longitudinal Section	31/08/2015 <b>19/05/2016</b>
1022	A <b>C</b>	Watercourse Realignment Longitudinal Section - Stub	31/08/2015 <b>19/05/2016</b>
1031	A <b>C</b>	Watercourse Realignment Cross Sections – Watercourse 1 and Stub	31/08/2015 <b>19/05/2016</b>
1036	A	Watercourse Realignment Cross Sections – Watercourse 2	31/08/2015

	<b>C</b>	Sheet 1	<b>19/05/2016</b>
1037	A	Watercourse Realignment Cross Sections – Watercourse 3 Sheet 2	31/08/2015
1041	A <b>C</b>	Watercourse Realignment Rock Riffle Details Sheet 1	31/08/2015 <b>19/05/2016</b>
1042	A <b>B</b>	Watercourse Realignment Rock Riffle Details Sheet 2	31/08/2015 <b>12/05/2016</b>
1043	A	Watercourse Realignment Rock Riffle Details Sheet 3	31/08/2015
1044	A <b>C</b>	Watercourse Realignment Large Woody Debris Details	31/08/2015 <b>19/05/2016</b>
1051	A <b>E</b>	Watercourse Realignment Works Schedule	31/08/2015 <b>22/07/2016</b>
1061	A <b>D</b>	Watercourse Realignment Site Management Plan	31/08/2015 <b>22/07/2016</b>
<b>1070</b>	<b>C</b>	<b>Planting Layout Plan – Sheet 1</b>	<b>22/07/2016</b>
<b>1071</b>	<b>C</b>	<b>Planting Layout Plan – Sheet 2</b>	<b>22/07/2016</b>
<b>1075</b>	<b>B</b>	<b>Planting Schedule – Sheet 1</b>	<b>22/07/2016</b>
<b>1076</b>	<b>C</b>	<b>Planting Schedule – Sheet 2</b>	<b>22/07/2016</b>
<b>1077</b>	<b>B</b>	<b>Planting Schedule – Sheet 3</b>	<b>22/07/2016</b>
<b>1078</b>	<b>A</b>	<b>Planting Schedule – Sheet 4</b>	<b>22/07/2016</b>
<b>1080</b>	<b>A</b>	<b>Planting Details – Sheet 1</b>	<b>12/05/2016</b>
<b>Stormwater Plans prepared by AT&amp;L in the Civil, Stormwater and Infrastructure Services Report at Appendix J F of the EIS</b>			
C1301	A	Stormwater Catchment Plan	03/09/2015
SKC008	P1	Existing Catchment Plan	25/08/2015
<b>SKC191</b>	<b>P8</b>	<b>SSDA to S96 Comparison Sketch</b>	<b>29/07/2016</b>
<b>TransGrid Easement Drainage Plans prepared by AT&amp;L in Annexure A of the Supplementary RTS dated 18 May 2016</b>			
SKC208	P1	TransGrid Easement Plan Sheet 1	17/05/2016
SKC209	P1	TransGrid Easement Plan Sheet 2	17/05/2016
SKC210	P1	Existing TransGrid Easement Sections	17/05/2016
SKC207	P1	Stormwater Catchment Plan	17/05/2016

#### APPENDIX 4 – NOISE RECEIVER LOCATIONS

Receiver Area	Sensitive Receivers within Area
L1 North of Warragamba Pipeline	<del>Includes all rural residential dwellings in Kemps Creek and the Emmaus Village residential complex.</del>

	<b>Includes all residential dwellings in Erskine Park.</b>
L2 Horsley Park	<b>Includes all residential and rural-residential dwellings in Horsley Park. and Mount Vernon.</b>
L3 Kemps Creek, Mt Vernon, Jacfin and Capitol Hill	<del>Includes all residential dwellings in Erskine Park to the north.</del> <b>Includes all residential and rural-residential dwellings in Mt Vernon, Kemps Creek (including the Emmaus Village residential complex), and residential dwellings in the Jacfin and Capitol Hill subdivisions once constructed and occupied.</b>

### 3. STRATEGIC JUSTIFICATION

The proposed modification to the approved SSD 6917 for the staged development of the OSE as described in this report as well as the original EIS is justified on strategic, economic and environmental grounds. Key justification for the proposed development includes:

- The proposal as modified will continue to realise outcomes that support the strategic role and objectives of the OSE as part of the WSEA and Broader WSEA.
- The proposal as modified will continue to realise outcomes that align with the future context and role of the WSEA and Broader WSEA as an economic hub for Greater Sydney.
- The proposal as modified will deliver critical infrastructure and services to the WSEA for the benefit of the broader area.
- The proposal as modified will continue to generate significant private sector investment in the area and indirect benefits for productivity of the local economy.
- The proposal as modified will continue to realise the generation of significant employment for the Western Sydney Region.

#### 3.1. STRATEGIC ROLE AND CONTEXT

The OSE forms part of a strategically significant employment precinct (linked to an existing and proposed regional infrastructure network) that is identified and endorsed in metropolitan and local planning strategies – the WSEA.

The Metropolitan Plan for Sydney (*A Plan for Growing Sydney*) identifies and recognises the strategic significance of the WSEA and surrounding lands to the productivity of the wider Sydney Metropolitan Area and strongly promotes the continued growth of this area into a major economic and employment hub.

The proposed modification to the approved development of the OSE continues to respond to and align with this strategic context and presents a design solution that respects the important role of the WSEA to the broader economy of the Sydney Metropolitan Area (SMA).

#### 3.2. SUPPORTING FUTURE ROLE AND CONTEXT

The Western Sydney Region is a critical component of Sydney's growing economy. As population, employment and economic activity continue to migrate west, the role of the region and key employment areas within it will become increasingly significant in terms of contribution to GDP. The evolution of Western Sydney in the context of the Sydney Metropolitan Area has been recognised by the NSW Government in a number of key ways, including a notable shift in policy focus to the west and increasing investment in public infrastructure in the region.

As these critical projects and infrastructure upgrades are delivered, the context of the WSEA both locally and regionally will change dramatically. The area will no longer be a fringe location, isolated from the main activities and functions of Sydney. The WSEA and Broader WSEA will become an economic and employment hub in its own right, a destination and focus for business activity. Density and diversity of development and employment will also increase with a deepening industrial and commercial market in the region as a result of airport related activities and population growth.

The proposed development of the OSE not only aligns with its existing environment and context, but allows scope to adapt to the changes set to occur in the Broader WSEA over the next two decades as the area evolves and expands into a regionally significant employment hub.

The modifications to the development of the OSE will continue to provide facilities and services for new businesses and industries as the WSEA and Broader WSEA grow and evolve, as well as providing opportunities for further growth in the surrounding area, building upon the services and infrastructure delivered as part of the project.

The planned and staged development of the OSE will contribute to securing the steady supply of industrial sites in the WSEA over the coming five to ten years in line with projected demand, minimising the risk to economic productivity as a result of potential supply shortfalls in the Sydney industrial market.

### **3.3. DELIVERY OF INFRASTRUCTURE SERVICES TO THE WSEA**

The biggest challenge to the continued growth and development of the WSEA is the delivery of infrastructure and servicing. To date, Goodman has made a capital investment of some \$240 million in infrastructure and industrial development in the WSEA through its Oakdale lands, including a significant contribution to the critical upgrade of OWR. More will be invested through the development of the OSE and remaining Oakdale estates.

The significant private investment proposed as part of the OSE will see the delivery of critical infrastructure and services to the area that would potentially bring forward development of other WSEA lands that may otherwise remain un-serviced in the medium to long term. The development of the OSE will therefore provide far-reaching benefits in terms of securing a continuous and reliable supply of industrial land to meet the needs of the Sydney market into the future. The proposed modification supports this regional infrastructure delivery.

### **3.4. INVESTMENT AND JOBS FOR WESTERN SYDNEY**

A key government priority, evident across a range of portfolios, is the generation of jobs in the Western Sydney region. In relation to land within the WSEA, its rezoning for industrial purposes in 2009 (under the WSEA SEPP) was a clear statement about its employment generating potential and the expectation of the government with regard to its future development. The efficient and effective development of the OSE for employment-related uses is clearly consistent with the key strategic objective of government to support the growth of Western Sydney.

Development of the OSE will attract direct private sector investment in Western Sydney in the form of new and upgraded infrastructure, services and business facilities. In total, the development of the broader Oakdale estate lands would see a \$2 billion investment in infrastructure and development in the WSEA, including \$20 million in the critical OWR upgrade. Further, the Oakdale lands (including the OSE) will generate between 5,000 and 7,000 additional jobs for the Western Sydney region.

### **3.5. SUMMARY**

The proposed modifications will not change the overall Concept Proposal and Stage 1 Development for the OSE approved as SSD 6917. The layout and development scheme are substantially the same and do not propose changes that substantially deviate from the originally approved scheme. The modifications are such that the proposal remains consistent with the WSEA SEPP and the desired outcomes for this significant employment precinct. The proposal will continue to ensure the delivery of infrastructure and services in the area that will assist in delivering further investment and employment generation in the WSEA precinct.

## 4. SECTION 96 OF THE EP&A ACT 1979

Section 96 of the EP&A Act provides a mechanism for the modification of development consents. This section of the Act sets out the statutory requirements and heads of consideration for the assessment of such a modification application, depending on whether the application is made under section 96(1A), 96(1) or 96(2).

### 4.1. SECTION 96(2) OF THE EP&A ACT

As is relevant to this application, pursuant to section 96(2), a consent authority may, subject to and in accordance with the Regulations, modify a development consent if

- (a) *it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and*
- (b) *it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 5) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and*
- (c) *it has notified the application in accordance with:*
  - (i) *the regulations, if the regulations so require, or*
  - (ii) *a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*
- (d) *it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.*

### 4.2. SUBSTANTIALLY THE SAME DEVELOPMENT

It is considered that the proposed modifications to the Concept and Stage 1 Approval will be substantially the same development as that originally approved by way of SSD 6917 and will result in a comparable environmental impact. The majority of modifications proposed are considered qualitative and in line with the originally approved SSDA. The proposed modifications will not substantially alter the approved development and will result in minimal/negligible environmental impact for the following reasons:

- The proposal will retain the same use of the OSE as a warehouse and distribution hub, consistent with the aims of the WSEA SEPP;
- In the context of the site's size, the changes to the estate layout are of a minor nature;
- There is only a minor overall increase in developable area of 1.05 hectares (+1.49%);
- There will be a reduction in overall building form and buildable GFA (noting, however, that buildings on Precincts 4 & 5 will be subject to future detailed DAs);
- The level of environmental impact resulting from the proposed modifications is consistent with that approved by way of SSD 6917;
- A similar area of biodiversity offset is proposed; and
- The proposed realignment of the Ropes Creek Tributary is in the same proximate location and has been designed to be consistent with Office of Water Guidelines.

For ease of comparison, **Table 2** below sets out the approved development and proposed modified development for the Concept Proposal. The table demonstrates that the development as proposed to be modified for this component of the project remains substantially the same as that originally approved.



TABLE 2 – CONCEPT APPROVAL AND PROPOSED MODIFICATIONS

Concept Proposal	Approved Concept Proposal	Proposed Modified Concept Proposal	Consistent/ Substantially the same
• General	• Staged development for a regional 'warehousing and distribution' hub.	• Staged development for a regional 'warehousing and distribution' hub.	✓
	• State Significant Development pursuant to SRD SEPP.	• State Significant Development pursuant to SRD SEPP.	✓
	• 1,500-2,000 job	• 1,500-2,000 jobs	✓
	• Total of 395,880m <sup>2</sup> of warehousing/industrial GFA.	• Total of 331,311m <sup>2</sup> of warehousing/industrial GFA (-16.31%).	✓ - Substantially the same – Reduction in GFA. Realisation of this GFA deferred to future stages.
• Proposal	• Regional 'warehousing and distribution' hub.	• Regional 'warehousing and distribution' hub.	✓
	• 24 hours per day, seven days per week operation	• 24 hours per day, seven days per week operation.	✓
	• Access via connection to Milner Avenue.	• Access via connection to Milner Avenue.	✓
	• Indicative lot layout, site levels, concept stormwater drainage and internal road network.	• Indicative lot layout, site levels, concept stormwater drainage and internal road network.	✓
	• Trunk infrastructure and services connections.	• Trunk infrastructure and services connections.	✓
• Indicative Development Figures	• Site Area – 117 ha	• Site Area – 117.11 ha (+0.09%)	✓ - Substantially the same
	• Developable Area – 70.28 ha	• Developable Area – 71.33 ha (+1.49%)	✓ - Substantially the same
	• Non-Developable Area – 35.85 ha	• Non-Developable Area – 33.46 ha (-6.66%)	✓ - Substantially the same

Concept Proposal	Approved Concept Proposal	Proposed Modified Concept Proposal	Consistent/ Substantially the same
	<ul style="list-style-type: none"> <li>Riparian and Biodiversity Offset Area – 34.04 ha</li> </ul>	<ul style="list-style-type: none"> <li>Riparian and Biodiversity Offset Area – 34.66 ha (+1.79%)</li> </ul>	✓ - Substantially the same
	<ul style="list-style-type: none"> <li>Development Precincts – 6</li> </ul>	<ul style="list-style-type: none"> <li>Development Precincts – 6</li> </ul>	✓ - Substantially the same
	<ul style="list-style-type: none"> <li>Development Stages – 3</li> </ul>	<ul style="list-style-type: none"> <li>Development Stages – 3</li> </ul>	✓ - Substantially the same
	<ul style="list-style-type: none"> <li>Warehouse GFA – 376,295m<sup>2</sup></li> </ul>	<ul style="list-style-type: none"> <li>Warehouse GFA – 316,596m<sup>2</sup> (-15.86%)</li> </ul>	✓ - Substantially the same
	<ul style="list-style-type: none"> <li>Office GFA – 19,585m<sup>2</sup></li> </ul>	<ul style="list-style-type: none"> <li>Office GFA – 14,715m<sup>2</sup> (-24.87%)</li> </ul>	✓ - Substantially the same
	<ul style="list-style-type: none"> <li>Building Envelopes – 15</li> </ul>	<ul style="list-style-type: none"> <li>Building Envelopes – 15</li> </ul>	✓ - Substantially the same
<ul style="list-style-type: none"> <li>Planning and Development Controls</li> </ul>	<ul style="list-style-type: none"> <li>Zoned IN1 – General Industry and E2 – Environmental Protection under State Environmental Planning Policy (Western Sydney Employment Area) 2009 (WSEA SEPP).</li> </ul>	<ul style="list-style-type: none"> <li>Zoned IN1 – General Industry and E2 – Environmental Protection under State Environmental Planning Policy (Western Sydney Employment Area) 2009 (WSEA SEPP).</li> </ul>	✓
	<ul style="list-style-type: none"> <li>Maximum building height – 15m</li> </ul>	<ul style="list-style-type: none"> <li>Maximum building height – 15m</li> </ul>	✓
	<ul style="list-style-type: none"> <li>Site Coverage – 65%</li> </ul>	<ul style="list-style-type: none"> <li>Site Coverage – 65%</li> </ul>	✓
	<ul style="list-style-type: none"> <li>Landscaped setback to regional roads to be average of 10m.</li> </ul>	<ul style="list-style-type: none"> <li>Landscaped setback to regional roads to be average of 10m.</li> </ul>	✓
	<ul style="list-style-type: none"> <li>Landscaped setback to local roads to be average of 7m.</li> </ul>	<ul style="list-style-type: none"> <li>Landscaped setback to local roads to be average of 7m.</li> </ul>	✓
	<ul style="list-style-type: none"> <li>Car Parking – 1 space per 300m<sup>2</sup> for warehousing, 1 space per 40m<sup>2</sup> for office.</li> </ul>	<ul style="list-style-type: none"> <li>Car Parking – 1 space per 300m<sup>2</sup> for warehousing, 1 space per 40m<sup>2</sup> for office.</li> </ul>	✓

Concept Proposal	Approved Concept Proposal	Proposed Modified Concept Proposal	Consistent/ Substantially the same
<ul style="list-style-type: none"> <li>Staging</li> </ul>	<ul style="list-style-type: none"> <li>Three development stages to be implemented in line with infrastructure delivery and market demand.</li> </ul>	<ul style="list-style-type: none"> <li>Three development stages to be implemented in line with infrastructure delivery and market demand.</li> </ul>	✓

Similarly, **Table 3** below sets out the approved development and proposed modified development for the Stage 1 Estate and Precinct works. The table demonstrates that the development as proposed to be modified for this component of the development remains substantially the same as that originally approved.

TABLE 3 – STAGE 1 WORKS APPROVAL AND PROPOSED MODIFICATIONS

Stage 1 Works	Stage 1 Works Approved	Proposed Modified Stage 1 Works	Consistent/ Substantially the same
<ul style="list-style-type: none"> <li>General</li> </ul>	<ul style="list-style-type: none"> <li>Estate Works across entire OWS including site preparation, fill importation, bulk and detailed earthworks, infrastructure and services.</li> <li>Construction and use of eight warehouse buildings in Precinct 1, 4 and 5.</li> <li>Total Warehouse GFA – 224,060m<sup>2</sup></li> <li>Total Ancillary Office GFA – 13,125m<sup>2</sup></li> </ul>	<ul style="list-style-type: none"> <li>Estate Works across entire OWS including site preparation, fill importation, bulk and detailed earthworks, infrastructure and services.</li> <li>Construction and use of five warehouse buildings in Precinct 1.</li> <li>Total Warehouse GFA – 99,760m<sup>2</sup> <b>(-55.4%)</b></li> <li>Total Ancillary Office GFA – 4,979m<sup>2</sup> <b>(-62%)</b></li> </ul>	<p>✓</p> <p>✓ - Warehouse buildings in Precinct 4 and Precinct 5 will be the subject of future development applications.</p> <p>✓ - Significantly reduced due to removal of warehouse buildings from Precinct 4 and 5.</p> <p>✓ - Significantly reduced due to removal of warehouse buildings from Precinct 4 and 5.</p>

Stage 1 Works	Stage 1 Works Approved	Proposed Modified Stage 1 Works	Consistent/ Substantially the same
	<ul style="list-style-type: none"> <li>Total Stage 1 GFA – 237,185m<sup>2</sup></li> <li>Total parking spaces – 1,249</li> </ul>	<ul style="list-style-type: none"> <li>Total Stage 1 GFA – 104,739m<sup>2</sup> <b>(-55.8%)</b></li> <li>Total parking spaces – 591 <b>(-52.7%)</b></li> </ul>	<ul style="list-style-type: none"> <li>✓ - Significantly reduced due to removal of warehouse buildings from Precinct 4 and 5.</li> <li>✓ - Significantly reduced due to removal of warehouse buildings from Precinct 4 and 5.</li> </ul>
<ul style="list-style-type: none"> <li>Subdivision</li> </ul>	<ul style="list-style-type: none"> <li>Staged subdivision of site alongside infrastructure and services delivery.</li> <li>Indicative subdivision layout to include four development lots, four biodiversity offset lots, one Estate Road lot, one Regional Road lot, four detention basin lots and one services lot.</li> </ul>	<ul style="list-style-type: none"> <li>Staged subdivision of site alongside infrastructure and services delivery.</li> <li>Indicative subdivision layout to include eight development lots, three biodiversity offset lots, six Estate Road lot, one Regional Road lot, five detention basin lots and one Amenities Lot.</li> <li>Removal of approved services lot.</li> </ul>	<ul style="list-style-type: none"> <li>✓</li> <li>✓ - Substantially the same</li> <li>✓ - Services lot move to OWE following consultation with Endeavour Energy.</li> </ul>
<ul style="list-style-type: none"> <li>Earthworks</li> </ul>	<ul style="list-style-type: none"> <li>Bulk and detail earthworks across entire estate including site preparation, fill importation, grading and benching.</li> <li>Importation of 1,007,000m<sup>3</sup> of fill over three stages.</li> <li>Realignment of Drainage Line 1 (Ropes Creek Tributary) for an extent of 250m to NOW standards.</li> </ul>	<ul style="list-style-type: none"> <li>Bulk and detail earthworks across entire estate including site preparation, fill importation, grading and benching.</li> <li>Importation of 932,400m<sup>3</sup> of fill over three stages <b>(-7.4%)</b></li> <li>Realignment of Drainage Line 1 (Ropes Creek Tributary) for an extent of 410m to NOW standards.</li> </ul>	<ul style="list-style-type: none"> <li>✓ - Substantially the same</li> <li>✓ - Substantially the same</li> <li>✓ - Substantially the same</li> </ul>

Stage 1 Works	Stage 1 Works Approved	Proposed Modified Stage 1 Works	Consistent/ Substantially the same
		<ul style="list-style-type: none"> <li>Retention of Riparian Corridor.</li> </ul>	
<ul style="list-style-type: none"> <li>Precinct 1</li> </ul>	<ul style="list-style-type: none"> <li>Site Area – 18.81ha</li> <li>Five warehouse buildings</li> <li>Warehouse GFA – 99,000m<sup>2</sup></li> <li>Ancillary Office GFA – 5,739m<sup>2</sup></li> <li>Total Precinct 1 GFA – 104,739m<sup>2</sup></li> <li>Parking – 591 spaces.</li> </ul>	<ul style="list-style-type: none"> <li>Site Area – 18.81ha</li> <li>Five warehouse buildings</li> <li>Warehouse GFA – 99,000m<sup>2</sup></li> <li>Ancillary Office GFA – 5,739m<sup>2</sup></li> <li>Total Precinct 1 GFA – 104,739m<sup>2</sup></li> <li>Parking – 591 spaces.</li> </ul>	<ul style="list-style-type: none"> <li>✓</li> <li>✓</li> <li>✓</li> <li>✓</li> <li>✓</li> <li>✓</li> </ul>
<ul style="list-style-type: none"> <li>Precinct 4</li> </ul>	<ul style="list-style-type: none"> <li>Site Area – 9.45ha</li> <li>Three warehouse buildings</li> <li>Warehouse GFA – 45,150m<sup>2</sup></li> <li>Ancillary Office GFA – 3,106m<sup>2</sup></li> <li>Total Precinct 4 GFA – 48,256m<sup>2</sup></li> <li>Parking – 333 spaces</li> </ul>	<ul style="list-style-type: none"> <li>Nil</li> <li>Precinct 4 building works proposed to be removed from SSDA consent.</li> </ul>	<ul style="list-style-type: none"> <li>✓</li> </ul> <p>Precinct 4 buildings will be the subject of separate future development applications.</p>
<ul style="list-style-type: none"> <li>Precinct 5</li> </ul>	<ul style="list-style-type: none"> <li>Site Area – 14.01ha</li> <li>One warehouse building</li> <li>Warehouse GFA – 79,910m<sup>2</sup></li> <li>Ancillary Office GFA – 4,280m<sup>2</sup></li> <li>Total Precinct 5 GFA – 84,190m<sup>2</sup></li> <li>Parking – 326 spaces</li> </ul>	<ul style="list-style-type: none"> <li>Nil</li> <li>Precinct 5 building works proposed to be removed from SSDA consent.</li> </ul>	<ul style="list-style-type: none"> <li>✓</li> </ul> <p>Precinct 5 buildings will be the subject of separate future development applications.</p>

The contents of the above tables demonstrate that the Minister may be satisfied that the development as modified will remain substantially the same as that originally approved and can therefore be approved by way of s96(2) of the EP&A Act.



## 5. S79C (1) ASSESSMENT

Section 96(3) of the Act requires the consent authority to take into consideration such of the matters referred to in Section 79C(1) as are of relevance to the development the subject of the application.

This section assesses the development as proposed to be modified against the heads of Section 79C(1) of the Act.

### 5.1. SECTION 79C (1) (A) PLANNING INSTRUMENTS

This section requires an assessment of the development against the relevant

- EPIs and draft EPIs
- DCPs
- Planning Agreements under s93F of the Act
- Regulations
- Coastal management Plan.

The EIS submitted with the original SSDA for the OSE Concept and Stage 1 works proposal addressed the proposal's level of compliance against the relevant planning instruments.

There are a number of Commonwealth and State environmental Acts which apply to the site, however the approved SSD 6917 and proposed modifications do not trigger any required approvals under these Acts.

The following State Environmental Planning Policies are relevant to the site and have been addressed below:

- State Environmental Planning Policy (State and Regional Development) 2011;
- State Environmental Planning Policy (Western Sydney Employment Area) 2009;
- State Environmental Planning Policy (Infrastructure) 2007; and
- State Environmental Planning Policy No.55 (Remediation of Land).

The proposed modifications to the approval of SSD6917 are such that it is considered there will be no material alteration to the level of compliance achieved with the above EPIs, as shown in **Table 4** below.

TABLE 4 – STATEMENT OF CONSISTENCY WITH ENVIRONMENTAL IMPACTS.

Schedule/Clause	Provision	Consistency
<b>SEPP (State and Regional Development)</b>		
Schedule 1	<p>Schedule 1, Group 12 of the SRD SEPP identifies development for the purposes of 'warehouses or distribution centres' to be SSD if it:</p> <p><i>'has a capital investment value of more than \$50 million for the purpose of warehouse or distribution centres (including container storage facilities) at one location and related to the same operation.'</i></p> <p>The works comprising Stage 1 of the SSDA for the OSE (incorporating infrastructure and building works) would have a value of approximately \$220 million.</p>	<p>The proposed modifications to the approval of SSD6917 will remain consistent with this SEPP and is appropriately characterised as SSD.</p>

Schedule/Clause	Provision	Consistency
<b>SEPP (Western Sydney Employment Area) 2009</b>		
Clause 3 – Aims	Aims to protect and enhance the land to which the Policy applies (the Western Sydney Employment Area) for employment purposes.	The proposal continues to seek consent for employment uses consistent with the overarching aim of the WSEA SEPP
Clause 10 – Land Use Zoning	The OSE is zoned IN1 – General Industry and E2 – Environmental Conservation pursuant to this clause.	<p>Part of the proposed road works and boundary of Precinct 3 (Lot 3A) will be located within the current E2 zone boundary, however no development is proposed in this area. Realignment of the E2 zone boundary will be undertaken following the issuing of consent to realign Ropes Creek boundary as proposed.</p> <p>This realignment will be subject to a future planning proposal and request that this be imposed as a condition of consent.</p>
Clause 18 – Development Control Plans	Requires that a DCP be in place before consent can be granted for development within the WSEA	A site specific DCP as approved by way of SSD 6917. No changes are proposed to these development controls.
Clause 20 – Ecologically Sustainable Development	<p>The consent authority must not grant consent to development on land to which this Policy applies unless it is satisfied that the development contains measures designed to minimise:</p> <p>The consumption of potable water, and</p> <p>Greenhouse gas emissions.</p>	No changes are proposed to the ESD measures approved by way of SSD 6917.
Clause 21 – Height of Buildings	<p>The consent authority must not grant consent to development on land to which this Policy applies unless it is satisfied that:</p> <p>Building heights will not adversely impact on the amenity of adjacent residential areas, and</p> <p>Site topography has been taken into consideration.</p>	No changes are proposed to the proposed height of buildings.

Schedule/Clause	Provision	Consistency
Clause 22 – Rainwater Harvesting	The consent authority must not grant consent to development on land to which this Policy applies unless it is satisfied that adequate arrangements will be made to connect the roof areas of buildings to such rainwater harvesting scheme (if any) as approved by the Director-General.	No changes are proposed to the provisions for rainwater harvesting.
Clause 23 – Development Adjoining Residential Land	This clause applies to any land to which this Policy applies that is within 250 metres of land zoned primarily for residential purposes.	<p>The changes proposed to the building envelopes in the Concept Plan will have an acceptable impact on adjoining residential land.</p> <p>The Visual Impact Assessment Addendum (<b>Appendix I</b>) demonstrates that, due to a combination of topography, building siting and landscape treatment, the proposal adequately addresses potential visual impacts on surrounding residential areas. The proposed modifications would result in the majority of the OSE development being completely screened from view from residential areas to the south, with the exception of some partial views of buildings.</p> <p>The previously submitted Noise Impact Assessment (NIA) has been amended in response to the proposed modifications and concludes that the potential acoustic impacts of the development of the OSE as proposed to be modified (through the extension of the noise barrier on the eastern boundary) would be acceptable and manageable through proven mitigation measures.</p>
Clause 24 – Development Involving Subdivision	The consent authority must not grant consent to the carrying out of development involving the subdivision of land unless it has considered the	The proposed modifications to SSD6917 will result in an adjustment to the subdivision boundaries. The revised

Schedule/Clause	Provision	Consistency
	<p>following:</p> <p>The implications of the fragmentation of large lots of land,</p> <p>Whether the subdivision will affect the supply of land for employment purposes,</p> <p>Whether the subdivision will preclude other lots of land to which this Policy applies from having reasonable access to roads and services.</p>	<p>subdivision layout is consistent with these objectives and will enhance the supply of employment land and allow access to services.</p> <p>The staged subdivision will not be impacted by the proposed modifications.</p>
Clause 25 – Public Utility Infrastructure	The consent authority must not grant consent to development on land to which this Policy applies unless it is satisfied that any public utility infrastructure that is essential for the proposed development is available or that adequate arrangements have been made to make that infrastructure available when required.	<p>Provision of public utility infrastructure will be maintained. These services will continue to be provided within the Estate Road in a manner consistent with that originally approved.</p> <p>Based on the Endeavour Energy's current service strategy it is proposed to relocate the Services Lot to the Oakdale West Estate as this is noted as their ideal location. Written confirmation has been received from Endeavour Energy which acknowledges that the services lot is not required to be located in the OSE.</p>
Clause 26 – Proposed Transport Infrastructure Routes	The consent authority must, before determining any such development application, consider any comments made by the Director-General as to the compatibility of the development to which the application relates with the proposed transport infrastructure route concerned.	No changes are proposed to the provision of transport infrastructure routes as part of this modification application.
Clause 29 – Industrial Release Area	Despite any provision of this Policy, the consent authority must not grant consent to development on land to which this clause applies unless the Director-General has certified in writing to the consent authority that satisfactory arrangements have been made to contribute to the provision of regional transport infrastructure and services (including the Erskine Park Link Road Network) in relation to which this Policy applies.	A current VPA exists for Oakdale Central and the South Estates and sets out the required SIC contributions. Goodman Property Services (Aust) Pty Ltd, BGAI 6 Pty Ltd, BGMG 8 Pty Ltd and BGAI 2 Pty Ltd has entered into an agreement with the Minister for Planning and Environment to undertake upgrades to Old

Schedule/Clause	Provision	Consistency
		<p>Wallgrove Road as a 'works in kind' project, the costs of which to be offset against the monetary contributions otherwise payable. A Clause 29 Certificate of Satisfactory Arrangement, 2015 has been issued on the basis of the above arrangements. The VPA is based on a \$ rate/ developable area. The S96 proposes to increase the Net Developable Area (NDA) by 10,500m<sup>2</sup>. The VPA will be updated to reflect this.</p> <p>An updated diagram to reflect the monetary contributions payable for the revised master plan will be prepared.</p> <p>It is noted that Goodman are seeking to exclude any portion of the Estate Road that services other landowners from the NDA calculation.</p>
Clause 31 – Design Principles	<p>In determining a development application that relates to land to which this Policy applies, the consent authority must take into consideration whether or not :</p> <p>The development is of a high quality design, and</p> <p>A variety of materials and external finishes for the external facades are incorporated, and</p> <p>High quality landscaping is provided, and</p> <p>The scale and character of the development is compatible with other employment-generating development in the precinct concerned.</p>	<p>No new building development is proposed as part of this modification. Further, the adopted site specific DCP is not being modified. A high quality landscape will be provided to reflect the modified Estate layout, to a quality consistent with the original approval.</p>
<b>State Environmental Planning policy (Infrastructure) 2007</b>		
Schedule 3 – Traffic Generating Developments to be referred to the RMS	<p>The Infrastructure SEPP aims to facilitate the effective delivery of infrastructure across the State by providing a consistent planning regime for infrastructure and the provision of services.</p> <p>The SEPP deals with traffic generating development and requires referral and</p>	<p>Schedule 3 of the Infrastructure SEPP identifies 'traffic generating development' which must be referred to the RMS for concurrence. The schedule</p>

Schedule/Clause	Provision	Consistency
	concurrence of the NSW RMS for certain development which is expected to generate significant traffic.	includes development for the purposes of industry incorporating 20,000m <sup>2</sup> or more of gross floor area (GFA). The approved SSD development would create some 390,000m <sup>2</sup> of warehousing GFA. The project was referred to the RMS as part of the SSDA process. Subsequent referral will occur as part of this modification application.
<b>State Environmental Planning Policy No. 33 – Hazardous and Offensive Development</b>		
Part 3 – Potentially hazardous or potentially offensive development	SEPP 33 requires the consent authority to consider whether an industrial proposal is a potentially hazardous or a potentially offensive industry. In doing so, the consent authority must give careful consideration to the specific characteristics and circumstances of the development, its location and the way in which the proposed activity is to be carried out. Any application to carry out potentially hazardous development must be supported by a preliminary hazard analysis (PHA)	<p>The proposal remains for a master planned warehousing and distribution complex which is intended to be focussed on freight and logistics. The proposal is not potentially hazardous or potentially offensive development. As such, a PHA is not required.</p> <p>Any future development applications for the individual sites will be required to address SEPP 33.</p>
<b>State Environmental Planning Policy No. 55 (Remediation of Land)</b>		
Clause 7- Contamination and remediation to be considered in determining development application	<p>SEPP 55 seeks to provide a State-wide planning approach to the remediation of contaminated land.</p> <p>Clause 7(1)(a) of the SEPP requires that the consent authority, when assessing a development application, consider whether the land is contaminated and whether it is suitable for the proposed use.</p> <p>It also requires the consent authority review a report specifying the findings of a preliminary contamination investigation of the land concerned when considering an application which involves a change of use of the land.</p>	<p>The proposed development does not result in a change of use to the land from that approved under SSDA 6917. Potential contamination and its management has been considered and documented in the original EIS and SSDA.</p> <p>Supplementary advice provided by AECOM (submitted with this application) confirms that irrespective of the footprint of the revised Masterplan there would be no change to the contamination status of the</p>



Schedule/Clause	Provision	Consistency
		<p>soils since completion of the ESA submitted with the original SSDA.</p> <p>The original ESA findings apply consistently to the proposed modifications.</p>

## 5.2. SECTION 79C (1) (B) LIKELY IMPACT OF THE DEVELOPMENT

The EIS submitted with the original SSDA addressed the likely impacts of the concept proposal and Stage 1 works, including:

- Transport
  - Including:– Regional and Local Transport Infrastructure; Site Access; and Traffic
- Urban Design and Visual
  - Including:– Site Layout and Design; Development Controls; and Visual Impact
- Soils and Water
  - Including:– Water Usage; Soils; Surface Water; Groundwater; Riparian Land; Flooding; Stormwater/WSUD; Water Quality; Earthworks; and Mineral Resources
- Infrastructure
  - Including:– Capacity and Upgrades; and Delivery and Staging
  - Delivery and Staging
- Noise
- Air Quality
- Flora and Fauna
- Indigenous Heritage
- Non-Indigenous Heritage
- Greenhouse Gas and Energy Efficiency
- Waste Management

The technical reports and plans submitted with the original SSDA have been reviewed and updated to address the proposed modifications to both the Concept Proposal and Stage 1 Development. These updated technical studies, attached at **Appendix B** to **Appendix V**, conclude that there are no material changes in impact arising from the proposed modification that were considered as part of the original SSDA assessment.

The key modifications with respect to the relevant likely impacts are discussed in the following sections.

### 5.2.1. Flora and Fauna/ Biodiversity

The proposed modifications to the Masterplan have resulted in minor changes in the quantum of impacts. An assessment of the quantum and type of impacts resulting from the proposed amendment to the Project on biodiversity values and measures to avoid and mitigate these impacts is presented within the Biodiversity Assessment Report at **Appendix C**.

The proposed modifications involve adjustments to the concept proposal layout including lot and subdivision boundaries, as well as the location of some bulk earthworks east of Precinct 3 in the approved Biodiversity Offset area. Recommendations suggest a new Biodiversity Management Plan be prepared to reflect the adjustment in lot and subdivision boundaries.

A summary of the areas directly impacted within the development site is shown in **Table 5** below. This includes a comparison of the approved SSD and the proposed modification.

TABLE 5 – SUMMARY OF AREAS DIRECTLY IMPACT BY THE PROJECT

<b>Vegetation</b>	<b>TSC Act Status</b>	<b>EPBC Act Status</b>	<b>Approved Area to be Removed (ha)</b>	<b>Proposed Area to be Removed (ha)</b>
HN526: Forest Red Gum – Rough-barked Apple grassy woodland on alluvial flats of the Cumberland Plain, Sydney Basin	EEC	-	2.11	2.11
HN528: Grey Box – Forest Red Gum grassy woodland on flats of the Cumberland Plain, Sydney Basin	CEEC	CEEC	0.31	0.29 (-0.02)
HN594: Swamp Oak swamp forest fringing estuaries, Sydney Basin Bioregion and South East Corner Bioregion	EEC	-	1.16	1.15 (-0.01)
Cleared Land	-	-	91.27	91.72 (+0.45)
<b>Total</b>	-	-	94.85	95.27 (+0.42ha) <b>(+0.4%)</b>

Aside from the native vegetation referred to above, there are no credit species or populations that have been assessed as impacted by the proposed development, therefore no further offsetting in this regard will be required.

As can be seen in **Table 5**, the proposed modification results in a very minor change to the land impacted by the proposed development. The approved development will unavoidably remove 3.55 hectares of native vegetation and 91.72 hectares of cleared land. A separate Biodiversity Offset Strategy (BOS) to address offset measures has been prepared for the modification and is provided with this s96 application (**Appendix D**).

It is proposed to acquire offsets in the form of BioBanking Credits commensurate to the exact credit requirement prescribed by the BioBanking Credit. A total of 266 ecosystem credits are required as a result of the development. An onsite offset site will generate a surplus of credits required to offset the impacts to both HN526 and HN594, even after any potential application of discounts for works conducted under the VMP for vegetation works in the riparian corridors. The offset site will not generate any credits for HN528 and, as such, there is a 12 credit deficit for this species. As HN528 is a CEEC under the TSC Act, 12 credits will be required to be obtained and retired. It is noted that a separate application to enter into a BioBanking agreement with OEH will be made to secure the delivery of the onsite credits.

The impacts of the development are proposed to be offset through the establishment of a BioBank site. Although part of the proposed BioBank site includes land zoned as E2 – Environmental Conservation, the E2 land within the proposed BioBank site has no current management obligations. The management actions associated with the BioBanking Agreement will be the only applicable legal obligations in relation to improving biodiversity.

Assessment using the BioBanking Assessment Methodology (BBAM) (OEH 2014a), found that the Onsite Offset Site would fully satisfy the offset requirement for HN526 and HN594. The onsite offset will be secured in perpetuity by preparing a Biodiversity Assessment Report and BioBanking Agreement Application for the site following approval of the development.

The impacts to PCT HN528 Grey Box – Forest Red Gum grassy woodland on flats of the Cumberland Plain, Sydney Basin will require further consideration by the NSW Office of Environment and Heritage (OEH). It is proposed to acquire and retire ecosystem credits to fully satisfy the offsetting requirement HN528 as calculated by the BBCC. These credits will be acquired following approval of the development.

Refer the Biodiversity Offset Strategy at **Appendix D**.

### **Vegetation Management Plan**

A Draft Vegetation Management Plan has been prepared that addresses the Biodiversity Offset plantings as per the Biodiversity Offset Strategy which also covers the area including the Ropes Creek Corridor and Drainage Line 1 riparian corridor. The VMP has been amended to reflect the proposed modifications.

The Draft VMP applies to the following areas:

- Riparian corridor restoration – in accordance with NOW guidelines;
- Biodiversity restoration – (Note: The total biodiversity offset area will comprise both this area and the above riparian corridor restoration areas);
- Additional riparian corridor restoration areas – provided to minimise ecological edge effects and create clear management boundaries; and
- Native grassland restoration – to road batters and outside batters for bio-retention basins to minimise ecological edge effects, provide logical management boundaries and where necessary, meet bushfire management criteria for 'defendable spaces'.

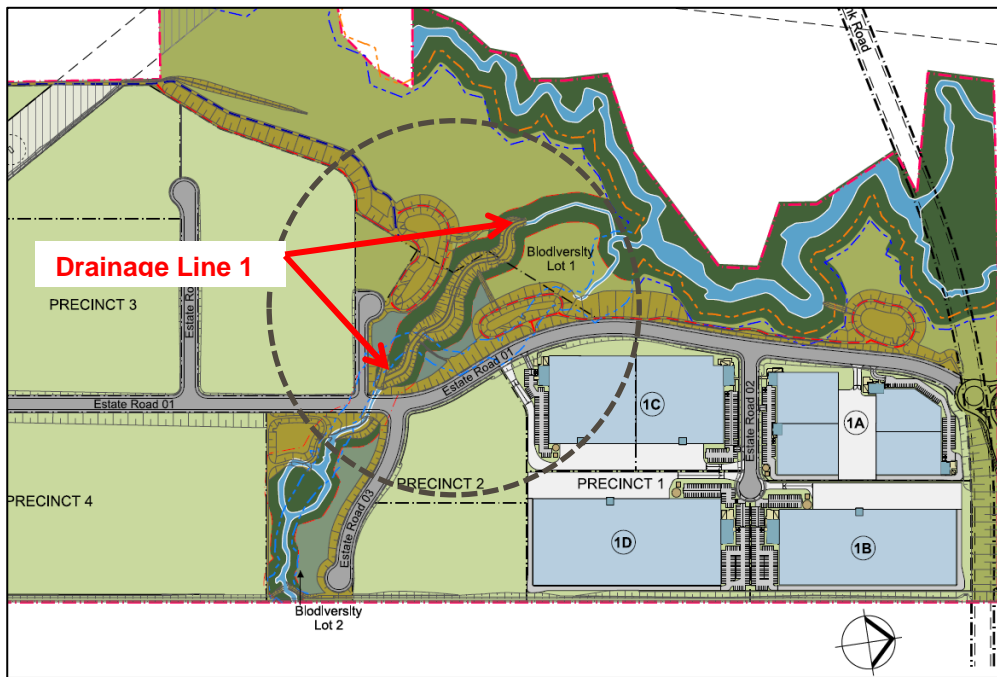
The VMP will guide the restoration of the riparian corridors and will ensure the ecological integrity of these corridors will be substantially increased as a result of additional biodiversity offset, riparian corridor and native grassland planting.

Refer to the Draft Vegetation Management Plan submitted within the Riparian Corridor Assessment at **Appendix E**.

### **5.2.2. Waterways and Riparian Land**

The Riparian Assessment for the approved development identified Drainage Line 1 as a 1<sup>st</sup> order watercourse that required to be retained with a 10m vegetated riparian zone on either side of the watercourse. **Figure 7** below indicates the location of the proposed new realignment of Drainage Line 1.

FIGURE 7 – MODIFIED REALIGNMENT OF DRAINAGE LINE 1

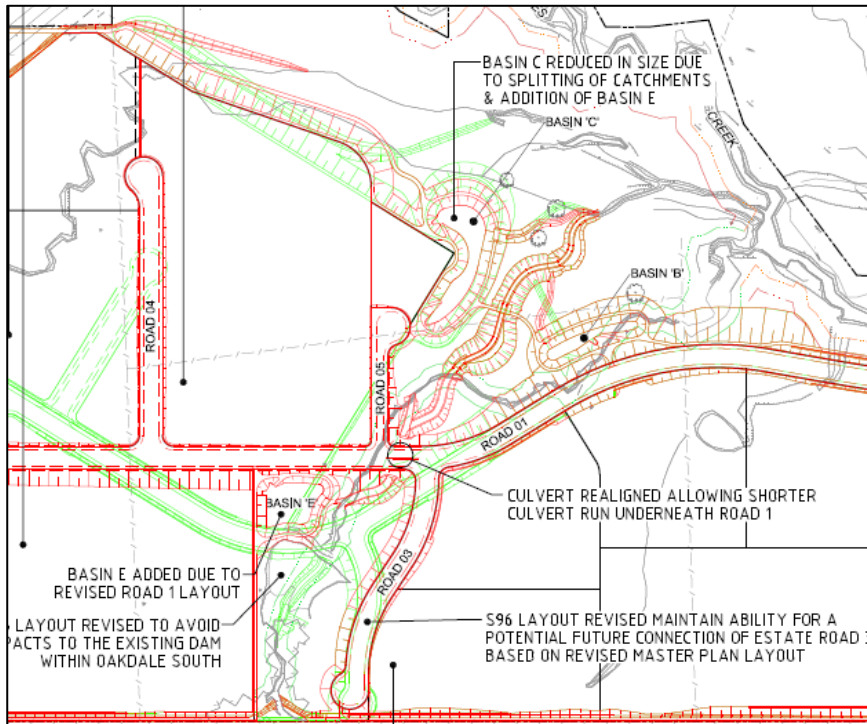


SSD 6917 granted approval to for a modified watercourse alignment. The updated Concept Masterplan involves a further realignment of the riparian corridor to an amended alignment. Liaison with NOW with regard to an interim design was used to further develop the Concept Masterplan to which this modification relates. The realignment of Drainage Line 1 will enable a local perimeter road to be incorporated into the estate as well as providing a location to construct a water quality treatment facility (bio-retention basin).

The impact of the project on watercourses is generally limited to the establishment period. The creek re-alignment overall is expected to be beneficial with increased cover of remnant plants and reduced edge effects. The proposed revisions to the creek re-alignment are as follows:

- Upstream of the Estate Road No. 1 a relatively small re-alignment will be undertaken to connect with the culvert crossing point;
- The re-aligned waterway has changed from 250m long to 410m long and will include two instream benches and pools; and
- The single road crossing under Estate Road No. 1 now consists of two culvert structures.

FIGURE 8 – RE-ALIGNED RIPARIAN CORRIDOR



The section of Ropes Creek tributary upon which development will occur will be filled and compacted with construction materials suitable for a road embankment. Key elements of the re-alignment design are summarised below:

- *Upstream of the Estate Road 1 a relatively small re-alignment will be undertaken to connect with the culvert crossing point, retaining riparian vegetation upstream of this point including an existing farm dam which will be kept as a habitat feature.*
- *A small section of Drainage Line 1 about 50 metres downstream of Estate Road 1 will be retained intact as a low flow channel. High flows will be diverted to the main re-aligned channel.*
- *A small section of Drainage Line 1 between the take-off point for the re-aligned section of the watercourse and the Estate Road 1 embankment will be retained to preserve the bank and bench vegetation and maintain as much ecological value as possible. The creek (instream) will be filled and regraded to prevent permanent ponding of stormwater against the road embankment and also limit the potential for problems to occur due to shallow stagnant water (e.g. water quality).*
- *The re-aligned waterway is 410m long and at the downstream end connects with an existing smaller tributary stub of Ropes Creek, and has been designed to incorporate ecological features such as the inclusion of two instream benches and two pools.*
- *The length of the waterway re-alignment has been extended through the incorporation of a number of meanders. The re-alignment length, inclusion of three longitudinal drops (riffles) and increased channel width (compared to the existing tributary) has allowed for improved hydraulic conditions.*
- *A single road crossing has been included in the waterway design which consists of two culvert structures under Estate Road 1 (one for drainage and one for fauna passage). Culvert outlet protection is incorporated into the culvert design.*
- *The waterway re-alignment includes bank batters between a 1:6 and 1:8 grade. This feature allows for easier rehabilitation and management for biodiversity gain, promoting the eventual return to a mature community characteristic of Forest Red Gum – Rough-barked Apple grassy woodland on alluvial flats of the Cumberland Plain, Sydney Basin Bioregion.*
- *Provenance plant material will be used for planting of the re-aligned section of the watercourse where practicable.*

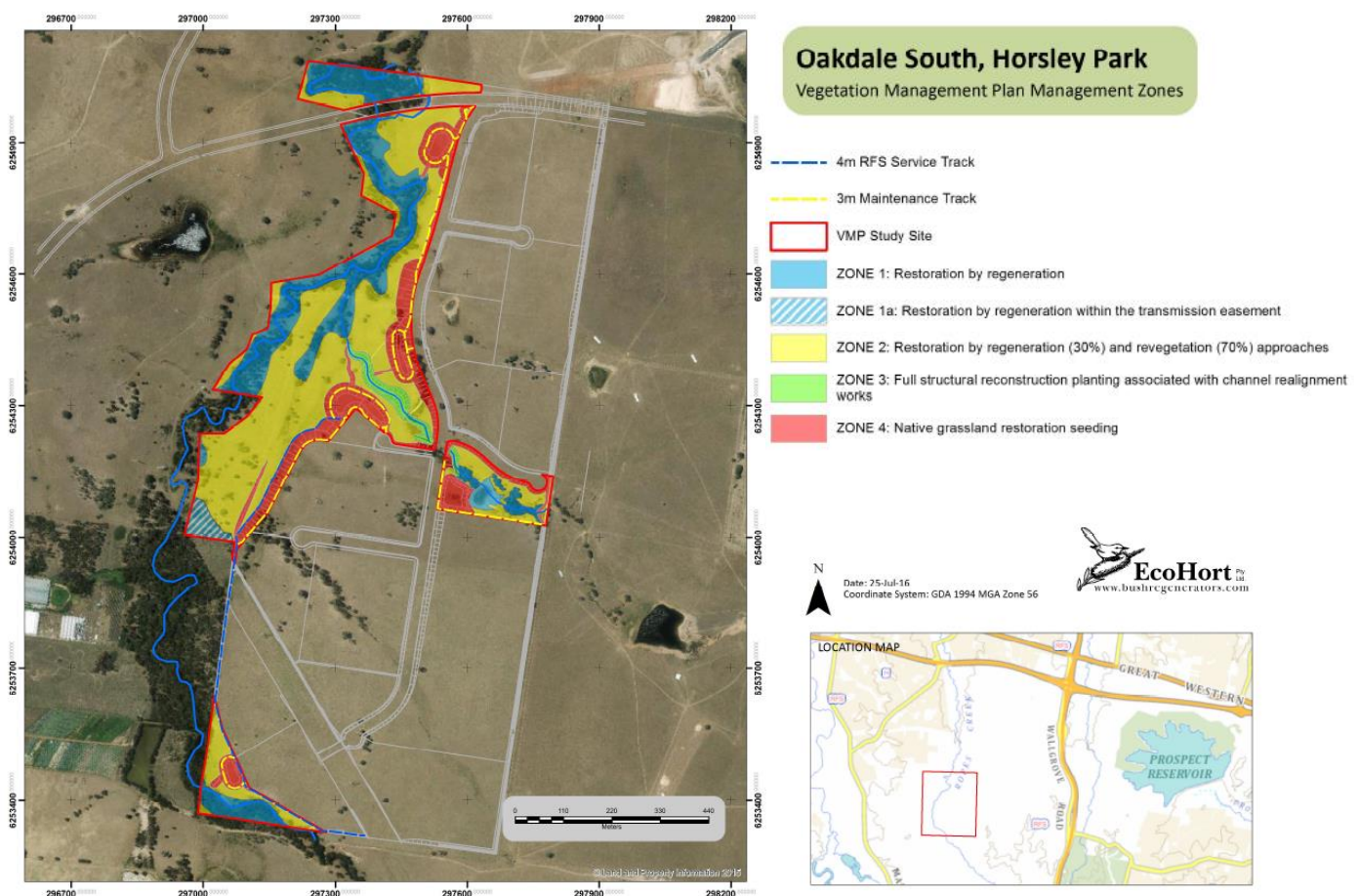
The proposed realignment design has been prepared in accordance with NOW 'Guidelines for Instream Works on Waterfront Land', however review and endorsement of the proposal is required from the Office of Water.

Consistent with the approach taken for SSD6917, following issuance of consent for this MOD, a Planning Proposal will be lodged seeking to change the alignment of the E2 Zone to reflect the realigned Ropes Creek Tributary.

Refer to the Riparian Corridor Assessment and Watercourse Design Report at **Appendix E**.

As discussed in **Section 5.2.1**, a Draft Vegetation Management Plan (VMP) has been prepared to support the modification. The VMP proposes to reinstate and restore the waterway realignment area to a vegetation community characteristic of the EEC. It will also restore the other riparian corridors to the same standard. Refer to **Section 6.2.1** for further information. Also refer to the Draft VMP found within the Riparian Corridor Assessment at **Appendix E**. The riparian corridors will be re-vegetated to an extent over and above the minimum NOW requirements in the riparian zone. The ecological integrity of these corridors will be substantially increased as a result of additional biodiversity offset, riparian corridor and native grassland planting (Refer to **Figure 9** below).

FIGURE 9 – VEGETATION MANAGEMENT PLAN ZONES



An updated Civil Engineering package has been prepared and provides detail on the realignment of the Ropes Creek Tributary. Refer to **Appendix F**.

### 5.2.3. Transport, Traffic and Access

As per the approved Concept Plan and Stage 1 Development, assessment of key issues with regard to access and road infrastructure indicates that there will be no need for external road upgrades as a result of the proposed OSE development outside those approved as part of SSD 6917.

This Proposal seeks to modify the approved Master Plan layout in response to specific end user requirements as well as modifications to the Stage 1 DA. The modifications generally seek approval for the



realignment of the Estate Roads, amendments to Precincts 3, 4 and 5 (resulting in a reduction of 56,036m<sup>2</sup> in GFA) and subsequent amendments to the plan of subdivision.

The Traffic Impact Assessment Report (TIA) at **Appendix H** identifies that future traffic generation of the Oakdale South Estate will reduce as a consequence of the lower development yield proposed by the modifications. The traffic generation of the estate will reduce from 654 vehicles /hr (as approved) to 541 vehicles /hr. This represents a net reduction in traffic of approximately 113 vehicles /hr during peak periods.

The future traffic generation will remain less than that which would impact on infrastructure works in the broader locality including the development of the Erskine Park Link Road and the upgrades to Old Wallgrove Road. Accordingly, the future intersections within the WSEA will operate as outlined and documented in other sub-regional traffic assessments undertaken by the Department of Planning and Environment and Roads and Maritime Services.

The proposed Estate Road 01 is to generally traverse through the centre of the Oakdale South Estate, terminating in the south adjacent to Lot 5A and Lot 3C. This application also seeks approval for the deletion of Estate Road 05 which is now redundant as a consequence of the revised building layout. The inclusion of the amenity lot road is proposed and has been designed to be consistent with Council requirements.

No changes are proposed to the approved car parking rates and detailed assessment of car parking provisions will be provided as part of subsequent Development Applications in relation to each sub-precinct.

Site access points, internal driveways, circulation and service areas have been considered for the revised precinct layout. The proposed accesses have been designed in accordance with the relevant requirements of AS2890.1 and 2890.2 and are considered supportable.

The TIA concludes that the proposed development is supportable on traffic planning grounds and no further mitigation measures are required. The proposed modifications will have no impact on the alignment of the Southern Link Road, which remains as per that approved under the original Master Plan application.

Refer Traffic Impact Assessment Report at **Appendix H**.

#### **5.2.4. Noise**

With regard to the proposed modifications an operational noise impact assessment of worst-case vehicle movements (concurrent maximum movements from all OSE precincts) has been conducted for the Oakdale South Estate.

There are two potential residential receivers in proximity to the site. The first is the land located to the south of the estate, known as the Capitol Hill (Pazit Lands) subdivision, which currently has no residential buildings, however approval has been granted for a residential subdivision. The Pazit Land is currently zoned E2 Environmental Living. The second area is the southern part of the Jacfin development which is currently the subject of a planning proposal to rezone a portion of that land to E2 Environmental Living. Discussion of the potential noise impact on these future developments is included below.

Compared to the approved development, operational noise impacts at existing residential receivers are generally predicted to be lower for the modified Masterplan design (with an optimised extent of the approved noise barrier). **Figure 10** below demonstrates the extent of the optimised noise barrier when compared to the approved SSD. The Noise Impact Assessment (**Appendix G**) identified that the approved noise barrier located on the eastern boundary would need to be extended in order to meet the noise limits at the proposed Jacfin residential subdivision. After the proposed extension of the noise barriers, operational noise levels from the modified OSE design are predicted to be below the residential noise limits at all identified residential receivers under both neutral and adverse weather conditions.

It is noted that the revised master plan includes re-orientation of Building 5A on the southern portion of the site to ensure the active face of the building is located on the northern (internal) side. As a result, the building provides an effective acoustic barrier to the land to the south (Pazit Lands). The orientation of the building along with the proposed noise barrier and landscape buffer provides a combined mitigation against noise impacts from the site.

FIGURE 10 – COMPARISON OF APPROVED AND PROPOSED NOISE BARRIER (SHOWN IN GREEN)



Operational noise impacts on the Capitol Hill (Pazit Lands) subdivision are predicted to be lower for the modified Masterplan design, while impacts on the Jacfin subdivision are predicted to be marginally higher at the rear of the most affected subdivision. This, however, only occurs in adverse weather conditions and is discussed further below.

### Neutral Weather Conditions

Under neutral weather conditions, and when compared to the approved SSD, operational noise impacts are generally predicted to be lower for the modified design (with an optimised extent of the approved noise barrier). Refer to **Figure 11** below. The proposal does not exceed the noise limit of 40dBA as provided at Condition B18 of SSD 6917.

In light of the amended site layout proposed by this modification, feasible and reasonable noise mitigation measures have been investigated to reduce the noise impacts on the most-affected receivers so not to exceed those approved. A noise wall with a height of 5 m, located on top of the eastern boundary retaining wall is recommended, and has been extended for the modified Masterplan Design. Inclusion of the noise barrier has been found to eliminate predicted exceedance of the noise criteria on the Jacfin area under neutral weather conditions. It is noted that further extension of the length of the noise barrier to the north was found to have a negligible effect on noise levels in the Jacfin residential area.

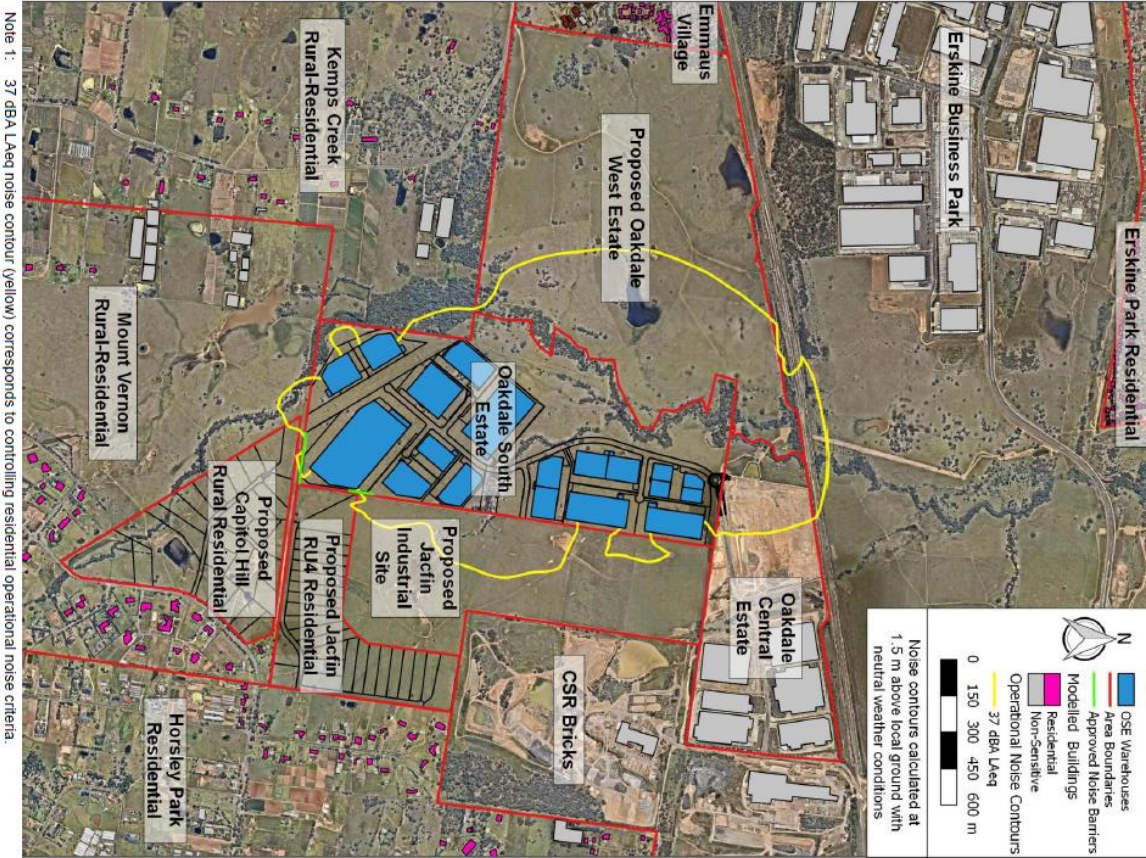
After the inclusion of the noise barrier, residual noise impacts of up to 1dB above the nominated noise criteria are predicted on a small portion of one residential subdivision in the Capitol Hill (Pazit Lands) area under neutral weather conditions. It is noted that the noise criteria applies at the most-affected location within 30 metres of a residential dwelling (refer to **Figure 12**). The affected area is located in the far rear corner of the subdivision, within the electricity easement. It is unlikely that this will impact on the probable location of the dwelling in this subdivision as development cannot occur within that easement. As such the noise impacts on this area are considered acceptable.

Some noise affectation above 37dBA will occur to the Mt Vernon land however this is in the rural area/flood zone to the north of that site, well away from sensitive receivers. The identified exceedances above 37dBA are therefore considered acceptable in that location.



FIGURE 11 – APPROVED AND MODIFIED OPERATIONAL NOISE CONTOURS– NEUTRAL WEATHER CONDITIONS

APPROVED



MODIFIED WITH EXTENDED NOISE BARRIER

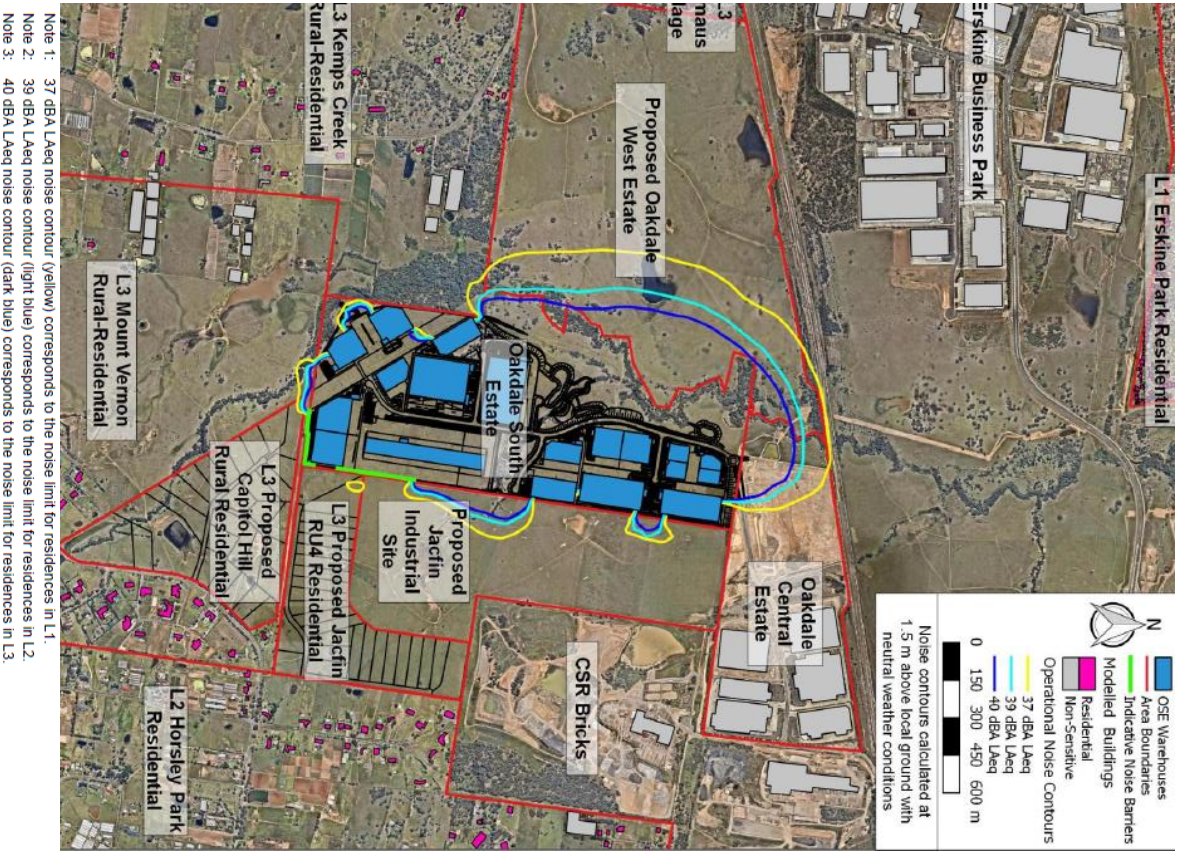
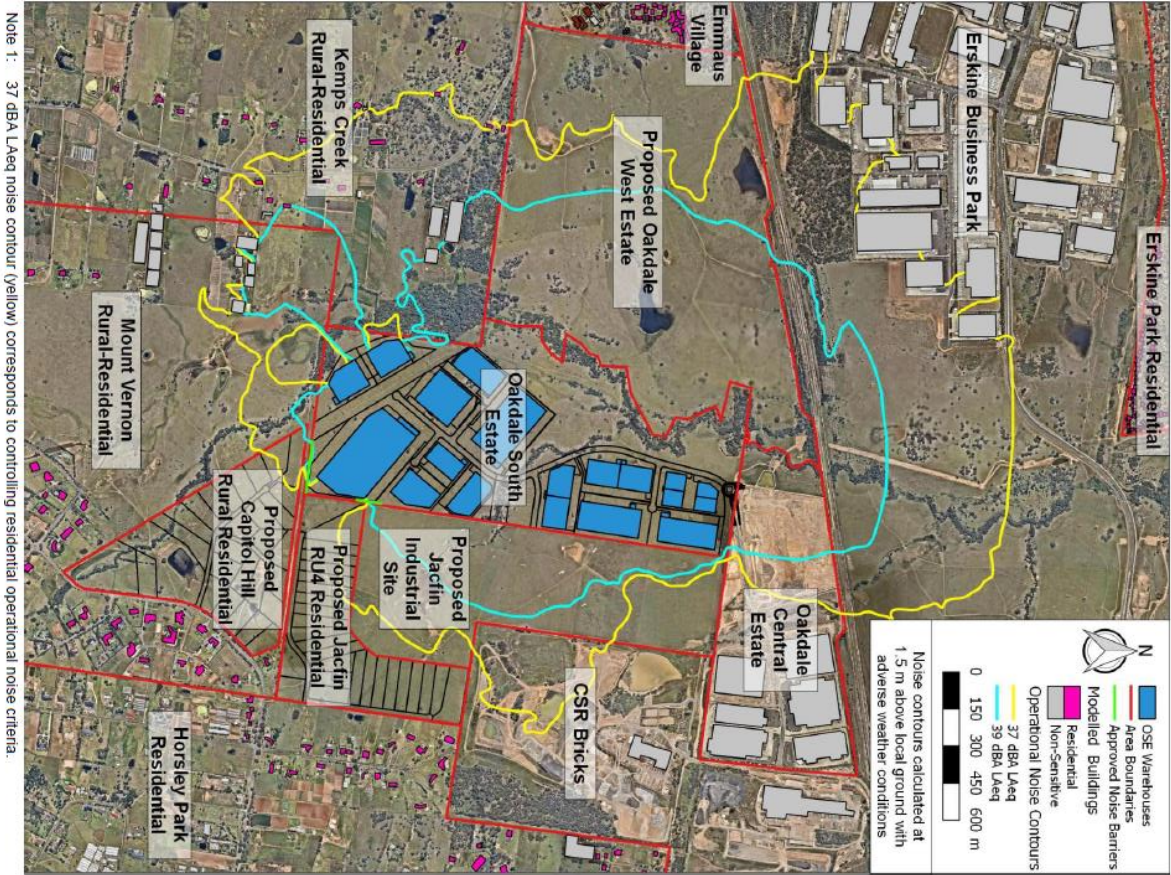


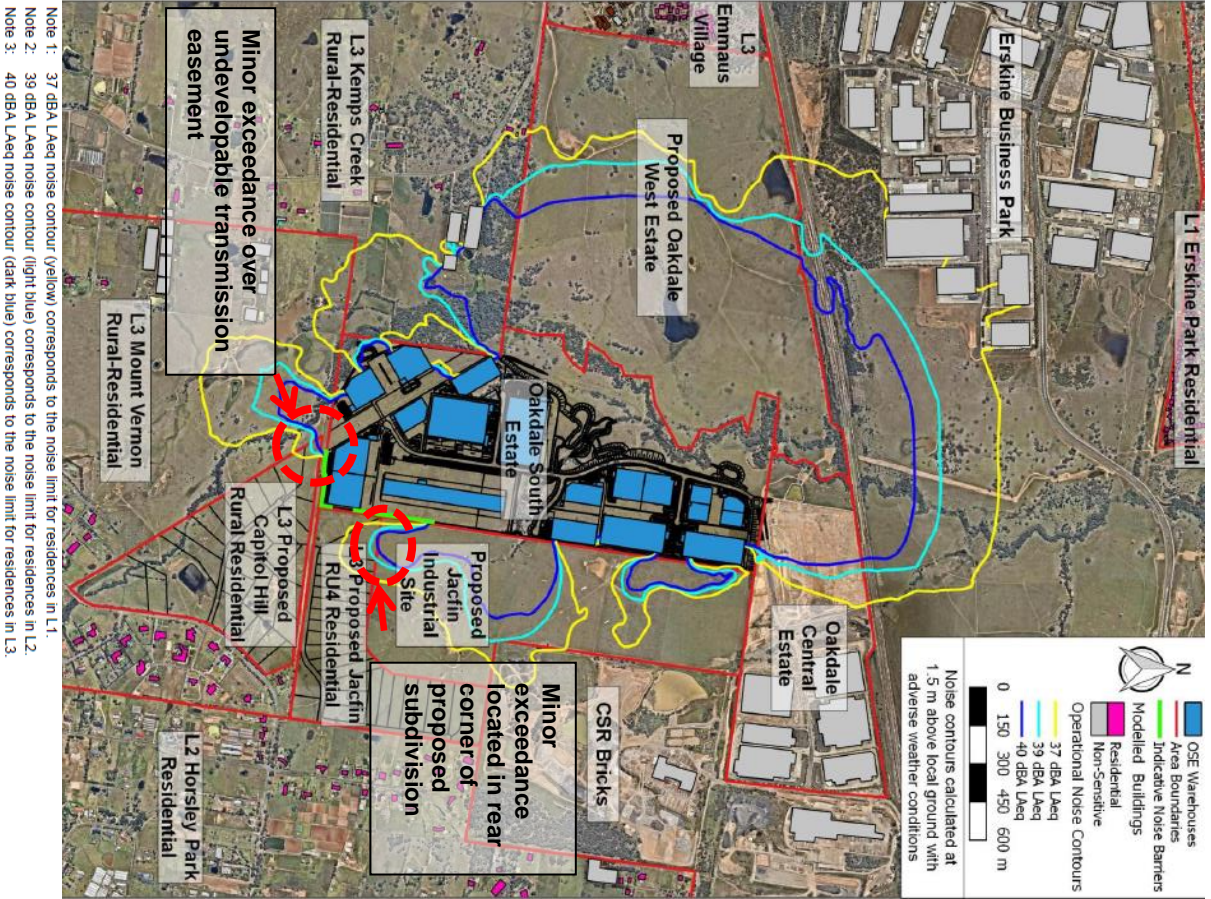


FIGURE 12 – APPROVED AND MODIFIED OPERATIONAL NOISE CONTOURS– ADVERSE WEATHER CONDITIONS

APPROVED



MODIFIED WITH EXTENDED NOISE BARRIER



## Adverse Weather Conditions

Under adverse weather conditions, when compared to the approved SSD, operational noise impacts are generally predicted to be lower for the modified design (with an optimised extent of the approved noise barrier). Refer to **Figure 12** above.

Operational noise impacts on the Capital Hill (Pazit Lands) subdivision are predicted to be lower for the modified Masterplan design, while impacts on the Jacfin subdivision are predicted to be marginally higher at the rear of the subdivision. Under adverse weather conditions there is an exceedance in excess of 2dBA over the 37dBA threshold over a minor portion of the Pazit Lands. However, this is considered acceptable given that this land cannot be developed as it sits within an electricity easement. Similarly, the area of exceedance on the Jacfin area is located towards the rear of the subdivision that will unlikely be developed.

It is noted that the modelled noise emissions are based on a worst-case scenario of maximum peak hour vehicle movements in every precinct of the OSE. Given the anticipated unlikely occurrence of concurrent maximum vehicle movements from every OSE precinct and the relatively minor extent of the corresponding exceedances (during adverse weather only), the proposed operation of the OSE is considered unlikely to result in a significant adverse noise impact on nearby sensitive receivers. Therefore, it is considered that further mitigation measures (above those recommended in the assessment) would not be required to address noise emissions from the OSE.

The proposal has been assessed as being able to operate within the approved noise generation levels as per Condition B18 of SSD 6917.

Overall, the predicted operational noise impacts of the modified Masterplan design are considered to be consistent (slight improvement) with those of the approved SSDA. Based on the predicted noise levels from the Oakdale South Estate, the proposed s96 modification is considered to be acceptable on the basis of acoustics with the inclusion of the recommended noise mitigation measures.

Refer Noise Impact Assessment at **Appendix G**.



### 5.2.5. Visual Impact

The proposed modifications, when compared to the approved SSD 6917 have been assessed as generating no material change to the visual impacts from the private and public receivers around the site. Refer to **Figure 13** below which provides a comparison of the approved master plan (shown in red outline) and modified master plan.

FIGURE 13 – COMPARISON – APPROVED AND S96 MASTER PLANS



Source: e8Urban

A Visual Impact Assessment Addendum has been prepared for submission with this S96 application to ensure any potential visual impacts on surrounding private and public receivers are understood and appropriate strategies for mitigations provided. While assessing the potential impacts of the proposed Oakdale South development it is important to consider how existing approvals will change the visual character of the local area as well as modify existing views from local private and public receivers.

The location and siting of the approved and proposed Oakdale South development serves to substantially lessen the potential visual impact of the proposal, resulting in a low level of visual impact to the majority of public and private receivers around the site. The changing land use pattern will also serve to mitigate this impact, in particular, the approved industrial development on the adjacent Jacfin land to the east of the Estate.

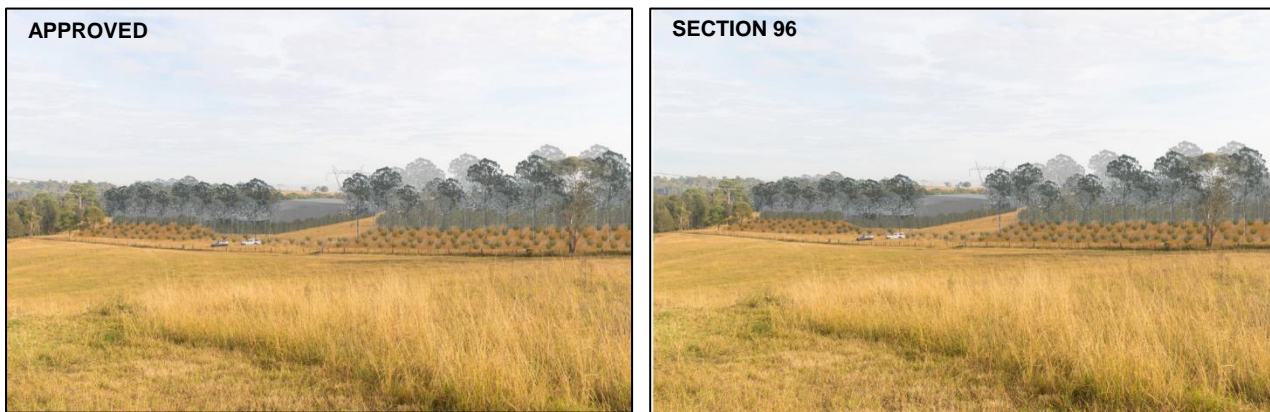
These areas include Greenwood Place, Capitol Hill Drive and Adlington Road. In these locations the visual impact will be mitigated by screening from existing landscape features, the proposed boundary landscape treatment to Oakdale South and distance from the site. It is noted that in accordance with Condition B10 of SSD 6917, the proposal maintains a 30 metre landscape setback to the southern boundary including a 5m landscape bund and 5m acoustic wall. This is consistent with the mitigation measures for the southern

boundary required by the approval of SSD6917. The building setback to Site 4 has been increased to be 87 metres from the boundary. A 10m landscape buffer is provided to the eastern boundary.

The area closest to the proposed development, the northern area within the Pazit Lands, has the greatest potential for views to the development. The surveyed views and topographical analysis undertaken show that while the development is visible, the acoustic wall and increased 30m landscape buffer with 5m landscaped mound serves to mitigate the visual impacts in the northern portion of the site. The height of the acoustic wall, coupled with the extent of the building set down inside the site ensures that a significant proportion of the proposed buildings are completely screened from view.

The below photomontages (**Figure 14**) provide a comparison of the visual impact of the approved development and development as proposed to be modified from the Pazit Lands to the south of the Estate which is considered to be the most sensitive of all assessed views. It is demonstrated that the visual impact arising from the modified development is substantially the same and the difference considered negligible in comparison to the approved SSD.

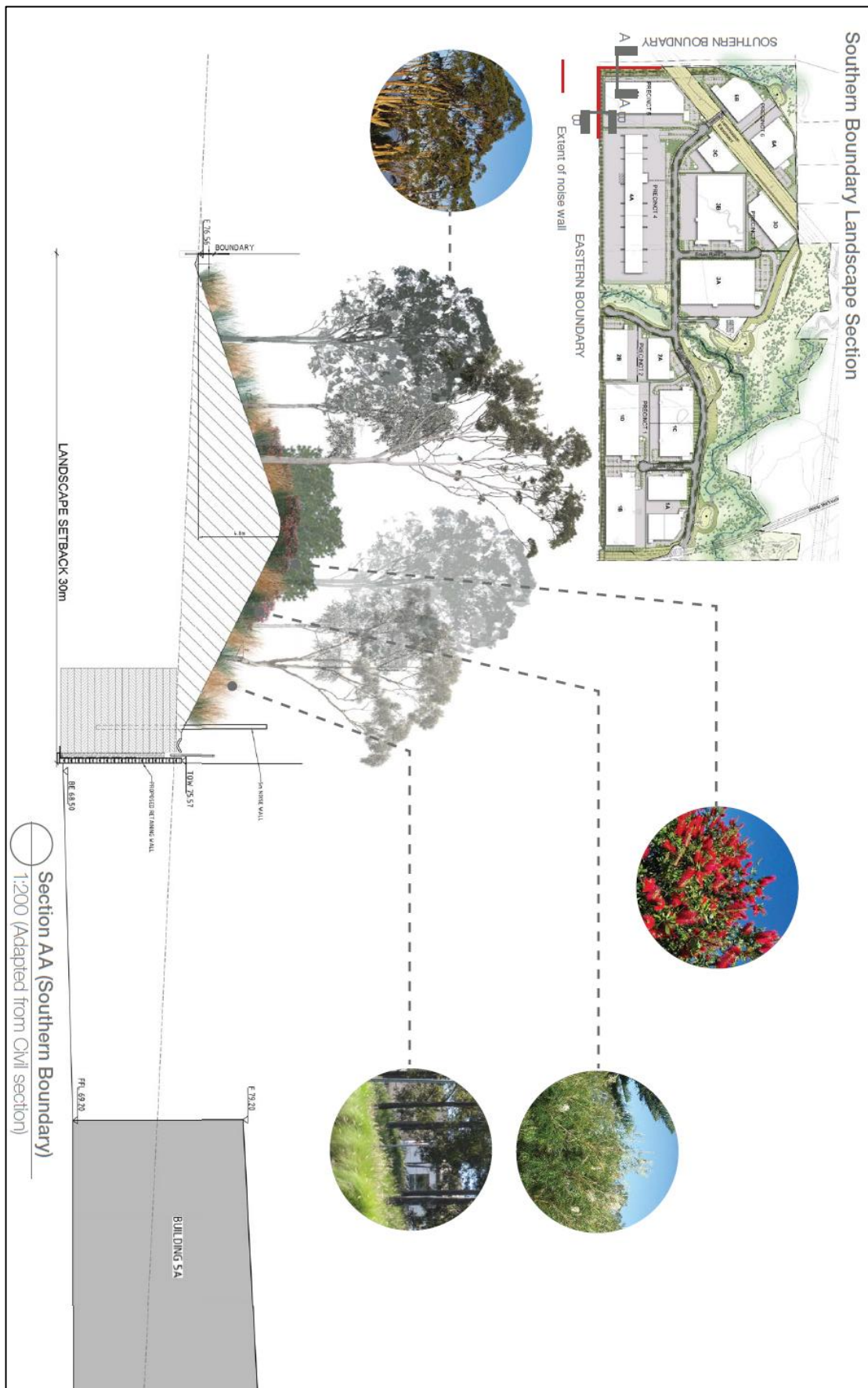
FIGURE 14 – COMPARISON OF APPROVED AND MODIFIED PHOTOMONTAGE SHOWING SOUTHERN VIEW OF OSE



Source: e8Urban



FIGURE 15 – SECTION PLAN SHOWING RELEVANT SETBACKS



Source: Site Image

The southern boundary treatment has been specifically agreed between the relevant parties as a result of consultation, including this Section 96 Amendment (refer to **Appendix W**). **Figure 15** provides a section of the proposed southern boundary setbacks demonstrating the level of visual screening the proposed landscaping and bunding will provide when viewed from the Pazit Land, consistent with the approved development. When this landscape setback, buildings setback and road reserve between the Oakdale South Estate and the Pazit Land is taken into consideration, the buildings within the OSE are setback approximately 70m from the Pazit Land boundary.

Consistent with SSD6917 and as agreed with the relevant parties, the proposal will retain the following elements which serve to reduce visual impact:

- **30m Landscape Buffer** – The landscape buffer (including 5m landscape bund) has been designed to include a range of different types of planting to create a canopy, understorey and groundcover to effectively screen not only the tops of buildings, but also the noise wall and any other mid-level views to the estate. There will be a 30m landscape buffer to the southern boundary and a 10m landscape buffer to the eastern boundary. Plantings will be spaced in a dense format to ensure good visual coverage, and allow for the natural attrition of plantings.
- **5m Landscape Bund** – A five metre landscaped bund has been provided within the 30m landscape buffer and will be planted with a range of endemic species in order to maintain a landscape treatment consistent with the natural setting.
- **5m High Noise Wall** – The approved noise wall has been extended as part of this modification. The wall sits at the top of the retaining wall behind the landscape buffer at the boundary so that the landscaping serves as a visual screen to both the acoustic wall and the development behind.
- **Maintenance Regime for Landscape Buffer** – A maintenance plan has been proposed by Goodman to ensure the ongoing viability of the landscape buffer. This will include the following:
  - Installation of an automated irrigation system;
  - Weekly maintenance of the landscaped area and irrigation system;
  - Installation of horticultural grade mulch 2 times per year to ensure weed control, moisture retention and soil improvement; and
  - Engagement of a consultant arborist to monitor the ongoing health of the plantings.

It is noted that the landscaping buffers and noise walls will be implemented concurrently with the first phases of development.

Based on this visual assessment and mitigation measures retained and proposed, the visual impact when compared with the approved SSD is considered to be substantially the same and acceptable. The proposed development is not considered to be incompatible with the height, scale, siting and character of the immediate rural context. It will not detract from the character of the locality or unduly impact the quality of views from the existing private and public receivers that have been considered in this study. It is concluded that the proposed modifications do not impose additional unacceptable visual impacts to that of the approved scheme. It is considered that there is no material change in impact resulting from the proposed modifications.

## 5.2.6. Other Relevant Impacts

Other relevant impacts have been assessed with respect to the proposed modifications. These have been generally assessed to have no further impact. Where this is not the case further detail has been provided above. **Table 7** below summarises these relevant issues and impacts.

TABLE 6 – OTHER ISSUES AND POTENTIAL IMPACTS

Issue	Impact of Proposed Modification	Further Discussion
<b>Transport, Traffic and Access</b>		
Regional and Local Transport	There would be no need for external road upgrades as a result of the proposed OSE development outside those	No additional impact identified.

Issue	Impact of Proposed Modification	Further Discussion
Infrastructure	approved as part of SSD 6917.	No further mitigation measures required.
Site Access	Refer to Section 6.2.3 above.	No additional impact identified. No further mitigation measures required.
Traffic	<p>The revised Oakdale South Estate concept master plan has been reviewed for compliance with the findings of the Traffic Impact Assessment prepared for the EIS.</p> <p>With regard to traffic impacts the modifications generally seek approval for the realignment of the Estate Roads, amendments to Precincts 3, 4 and 5 (resulting in a reduction of 65,775m<sup>2</sup> in GFA) and subsequent amendments to the plan of subdivision.</p> <p>Analysis demonstrates that the future traffic generation of the Oakdale South Estate will reduce as a consequence of the lower development yield proposed by the modifications. The traffic generation of the estate will reduce from 654 vehicles/hr (as approved) to 541 vehicles/hr.</p> <p>The future generation remains less than that assumed for the broader infrastructure</p> <p>The proposed Estate Road 01 is to generally traverse through the centre of the Oakdale South Estate, terminating in the south adjacent to Building 5A and Building 3C. This application also seeks approval for the deletion of Estate Road 5 which is now redundant as a consequence of the revised building layout. A new Estate Road 5</p> <p>No changes are proposed to the approved car parking rates.</p> <p>Refer Traffic Impact Assessment at <b>Appendix H</b>.</p>	<p>The proposed modifications are outlined in more detail in Section 6.2.3 above.</p> <p>No further mitigation measures required.</p>
<b>Urban Design and Visual</b>		
Site layout and design	The planning for Oakdale South is arranged along the central estate road that runs from north to south through the site. The road and proposed building allotments are governed by a number of key site features and constraints which influence the site and define optimal building locations. Ropes Creek is the major site feature	No additional impact identified.



Issue	Impact of Proposed Modification	Further Discussion
	<p>influencing the planning, as it winds through the site, providing an attractive landscape feature as well as demarcating development sites to the eastern side of the creek.</p> <p>The proposed modifications continue to address the key master planning principles as provided in the Urban Design Report approved under SSD 6917, being:</p> <ol style="list-style-type: none"> <li>1. Provide flexible large scale development lots to suit a range of users – Analysis of alternative options was undertaken as part of the original SSD. This modification provides further refinement to reflect operational needs.</li> <li>2. Integrate with regional road network – The proposal will integrate with the broader road network.</li> <li>3. Preserve &amp; rehabilitate environmentally sensitive areas – The location and overall quantum remains consistent.</li> <li>4. Provide a high quality built form integrated with the landscape design - Future built form will be of high quality.</li> <li>5. Maximise functional use of the land for employment generation – Lot design maximises the use and operation as per operator requirements.</li> </ol> <p>The proposed development controls and numerical controls do not change as a result of the proposed modifications.</p> <p>The proposal remains consistent with the masterplanning, architectural and landscaping principles as per the approved SSD.</p>	
Visual	<p>While the Oakdale South proposal is a large change to the local land use pattern, it's location adjacent to Ropes Creek Corridor and siting at a low point in the assists in reducing the visibility of the development. The analysis of the Surveyed Views shows that there are low visual impacts to a majority of the private and public receivers around the site.</p> <p>Visual impacts of the proposal to the north, east and west remain consistent with the approved scheme.</p> <p>Mitigation measures proposed and approved by SSD6917 along a portion of the southern boundary have been further expanded to improve the mitigation measures, including:</p> <ul style="list-style-type: none"> <li>• 5m acoustic barrier wall.</li> <li>• 10m landscape buffer to the eastern boundary and <b>30m landscape buffer (including 5m landscape bund)</b> to the southern boundary.</li> </ul>	<p>Refer discussion at <b>Section 5.2.5</b> above.</p> <p>The proposed development will have a low visual impact, however it is considered that the proposed mitigation measures will ensure this impact does not detract from the</p>

Issue	Impact of Proposed Modification	Further Discussion
	<ul style="list-style-type: none"> <li>A range of vegetation types and heights.</li> <li>Implementation and maintenance regime to ensure ongoing viability of the landscape buffer.</li> </ul> <p>Based on this visual assessment the proposed development is not considered to be incompatible with the height, scale, siting and character of the immediate rural context. Nor would it detract from the character of the locality or unduly impact the quality of views from the existing private and public receivers that have been considered in this study.</p> <p>Refer to <b>Section 5.2.5</b> above for further information.</p> <p>Also refer to the Visual Impact Assessment Addendum at <b>Appendix I</b>.</p>	surrounding area.
Development Controls	No changes are proposed to the adopted site specific DCP	No additional impact identified.
<b>Soils and Water</b>		
Water Usage	<p>There are no increased impacts as a result of the proposed modifications. The OSE will be supplied via an extension of the existing DN250 potable water main which is supplied from the Cecil Park Supply System.</p> <p>Refer Civil, Stormwater and Infrastructure Services Report at <b>Appendix F</b>.</p>	No additional impact identified. No further mitigation measures required.
Soils	<p>There are no increased impacts as a result of the proposed modifications.</p> <p>Refer Geotechnical and Soils Assessment Report at <b>Appendix K</b>.</p>	No additional impact identified. No further mitigation measures required.
Surface Water	<p>There are no increased impacts as a result of the proposed modifications.</p> <p>Refer Geotechnical and Hydrogeological Investigation at <b>Appendix K</b>.</p>	No additional impact identified. No further mitigation measures required.
Groundwater	<p>There are no increased impacts as a result of the proposed modifications.</p> <p>Refer Geotechnical and Hydrogeological Report at <b>Appendix K</b>.</p>	No additional impact identified. No further mitigation measures required.
Riparian Land	<p>The realignment of the Ropes Creek Tributary (Drainage Line 1) has been designed in accordance with Office of Water Guidelines.</p> <p>The proposed changes are consistent with the NOW guidelines, confirmation is required from the Office of</p>	<p>Refer discussion at Section 5.2.1 above.</p> <p>The proposed design of the creek</p>

Issue	Impact of Proposed Modification	Further Discussion
	<p>Water.</p> <p>A Draft Vegetation Management Plan (VMP) has been prepared to support the modification. The VMP proposes to reinstate the waterway realignment area to a vegetation community characteristic of the EEC, it will also restore the other riparian corridors. Refer to <b>Section 5.2.1</b> for further information. Also refer to the Draft VMP found within the Riparian Corridor Assessment at <b>Appendix E</b>.</p>	<p>realignment is considered appropriate and mitigation measures are proposed to enhance the riparian area surrounding the realigned creek.</p>
Flooding	<p>There are no increased impacts as a result of the proposed modifications.</p> <p>The updated Flood Impact Assessment concludes that the proposed development will have a minor impact on 100yr ARI flooding on the Ropes Creek floodplain</p> <p>Any changes as a result of the modifications are confined within the 100yr ARI flood extent which is not significantly changed by proposed earthworks.</p> <p>The assessment also concludes that there are zones of both local reductions and local increases in the PMF levels. These minor changes in PMF levels do not significantly change the PMF extents on any adjoining properties. It is noted that there is a local small increase in the PMF level on a tributary of Ropes Creek which appears associated with the earthworks undertaken immediately north of the subject site.</p> <p>The OSE S96 post-development flooding conditions remain largely unchanged and/or reduced to the approved OSE SSD flood conditions.</p> <p>Refer Flooding Impact Assessment at <b>Appendix L</b> for further detail.</p>	<p>No additional impact identified. No further mitigation measures required.</p>
Stormwater/OSD	<p>The water quantity and quality targets are the same as that of the original SSD approval. Updated DRAINS and MUSIC modelling outputs have been included to demonstrate the stormwater design will achieve the approved water quantity and quality targets of the existing approval.</p> <p>The approved OSE Masterplan Civil Works have been revised to:</p> <ul style="list-style-type: none"> <li>• Utilise land no longer required to be reserved for an Endeavour Energy Substation;</li> </ul>	<p>No additional impact identified. No further mitigation measures required.</p>

Issue	Impact of Proposed Modification	Further Discussion
	<ul style="list-style-type: none"> <li>• Maintain ability to provide a potential future connection of Estate Road 03 based on the revised Master Plan layout;</li> <li>• Suit specific end user requirements;</li> <li>• Better suit existing topography;</li> <li>• Realign proposed culverts allowing for shorter culvert run underneath Estate Road 01;</li> <li>• Reduce the size of Basin C due to splitting of catchments;</li> <li>• Include additional Basin E; and</li> <li>• Avoid impacts to the existing dam within Oakdale South.</li> </ul> <p>All stormwater drainage within the OSE has been designed in accordance with the following:</p> <ul style="list-style-type: none"> <li>• Penrith City Council Guidelines for Engineering Works;</li> <li>• Penrith City Council Water Sensitive Urban Design (WSUD) Policy December 2013; and</li> <li>• C3 Water Management DCP.</li> </ul> <p>This includes design of all pipework, On-Site Detention basins and WSUDs infrastructure.</p> <p>The following measures have been incorporated into the Stormwater design:</p> <ul style="list-style-type: none"> <li>• OSD to be sized to ensure that for all rainwater events up to and including the 1:100 ARI event, new developments do not increase stormwater peak flows in any downstream areas.</li> <li>• OSD to mitigate post development flows to pre-developed flows for peak Average Recurrence Interval (ARI) events.</li> <li>• WSUD to achieve target reductions: <ul style="list-style-type: none"> <li>○ 85% Total Suspended Solids (TSS)</li> <li>○ 60% Total Phosphorous (TP)</li> <li>○ 45% Total Nitrogen (TN)</li> <li>○ 90% Gross Pollutants (GP)</li> </ul> </li> <li>• Finished Floor Levels (FFL) to have minimum 500mm freeboard to 100 year overland flows.</li> <li>• The implementation of OSD to mitigate flows and WSUD systems to treat the water runoff prior to discharging into Ropes Creeks demonstrates a commitment to adhere to the Sydney Regional Environmental Plan (SREP) No 20 – Hawkesbury Nepean River guidelines.</li> </ul>	

Issue	Impact of Proposed Modification	Further Discussion
	<p>The Civil package has been designed to meet all required standards and whilst the civil design is changing, output and impact will remain the same.</p> <p>Refer Civil, Stormwater, Infrastructure and Services Strategy and Stage 1 Development Civil Design Drawings at <b>Appendix E</b>.</p>	
Water Quality	<p>There are no increased impacts as a result of the proposed modifications. The proposed Ropes Creek Drainage Line 1 realignment provides a location to construct a water quality treatment facility (bio-retention basin).</p> <p>The erosion control measures proposed for the site will comply with the requirements of Penrith City Council and the Department of Environment, Climate Change and Water (DEEC). The proposed SWMP will ensure that the best management practice is applied to the development site in controlling and minimising the negative impacts of soil erosion.</p> <p>All sediment and erosion control measures will be consistent with the original SSD approval.</p> <p>Refer Civil, Stormwater, Infrastructure and Services Strategy at <b>Appendix E</b>.</p>	<p>No additional impact identified.</p> <p>No further mitigation measures required.</p>
Earthworks	<p>There are no increased impacts as a result of the proposed modifications. The revised S96 Masterplan has resulted in slightly lower quantities of cut, fill and subsequent import based on an optimised civil works design.</p> <p>Refer to Civil, Stormwater and Infrastructure Services Report at <b>Appendix E</b>.</p>	<p>No additional impact identified.</p> <p>No further mitigation measures required.</p>
Mineral Resources	<p>There are no increased impacts as a result of the proposed modifications.</p> <p>Refer Mineral Resource Assessment and Addendum Letter at <b>Appendix K</b>.</p>	<p>No additional impact identified.</p> <p>No further mitigation measures required.</p>
<b>Infrastructure</b>		
Capacity and Upgrades	<p>Refer Civil, Stormwater, Infrastructure and Services Strategy at <b>Appendix E</b>.</p> <p>It has been demonstrated that services including sewer, water, power, telecommunications and gas can be made</p>	<p>The services lot originally proposed is to be relocated to the Oakdale West Estate as per</p>

Issue	Impact of Proposed Modification	Further Discussion
	<p>available to the site.</p> <p>The modification broadly maintains the same level of utility services provisions as approved by SSDA 6917.</p> <p>The alignment and detailed location of these services will change to reflect the new road layout. Infrastructure capacity will remain adequate to service the Oakdale South Estate.</p>	<p>Endeavour Energy's current service strategy. The substation within the services lot will service the OSE as required irrespective of its location on a different site.</p>
Delivery and Staging	<p>As approved, the development will be constructed over three stages as follows:</p> <ul style="list-style-type: none"> <li>• Stage 1 – Precinct 1 and 2</li> <li>• Stage 2 – Precinct 3, 4 and 5</li> <li>• Stage 3 – Precinct 6</li> </ul> <p>Based on Endeavour Energy's current service strategy it is proposed to relocate the Services Lot to the Oakdale West Estate as this is noted as their ideal location. Written confirmation has been received from Endeavour Energy which acknowledges that the approved services lot is not required to be located in the OSE. Its removal is supported by Endeavour Energy. Refer <b>Appendix M</b>.</p> <p>There are no further modifications proposed to the delivery of infrastructure and services.</p>	<p>No additional impact identified. No further mitigation measures required.</p>
<b>Other Environmental Issues</b>		
Noise	<p>Compared to the approved development, operational noise impacts at existing residential receivers are generally predicted to be lower for the modified Masterplan design (with an optimised extent of the approved noise barrier). After the proposed extension of the noise barriers as part of this modification, operational noise levels from the modified OSE design are predicted to be below the residential noise limits at all identified residential receivers under both neutral and adverse weather conditions.</p> <p>Refer Noise Impact Assessment at <b>Appendix G</b>.</p>	<p>The proposed modifications are outlined in more detail in <b>Section 6.2.4</b> above.</p> <p>No further mitigation measures required.</p>
Air Quality and Odour	<p>There are no increased impacts as a result of the proposed modifications.</p> <p>Refer Noise Impact Assessment and Air Quality Assessment at <b>Appendix G</b> and <b>Appendix N</b></p>	<p>No additional impact identified. No further mitigation measures required.</p>

Issue	Impact of Proposed Modification	Further Discussion
	respectively.	
Flora and Fauna/ Biodiversity	<p>The proposed modifications to the Masterplan have resulted in minor changes in the quantum of impacts. An assessment of the quantum and type of impacts resulting from the proposed amendment to the Project on biodiversity values and measures to avoid and mitigate these impacts is presented within the Biodiversity Assessment Report. Refer to <b>Section 6.2.1</b> for further detail.</p> <p>Refer Biodiversity Assessment Report and Biodiversity Offset Strategy addendum at <b>Appendix C</b> and <b>Appendix D</b> respectively.</p>	<p>Implementation of the Vegetation Management Plan as well as a Biodiversity Offset Strategy will ensure the long-term management of the impacted riparian corridors and reinstated EEC's.</p> <p>Refer to <b>Section 6.2.1</b> for further detail.</p>
Indigenous and Non-Indigenous Heritage	<p>The revised Oakdale South Industrial Estate concept master plan has been reviewed for compliance with the findings of the heritage impact assessments prepared for the EIS. This review has found that there has been no increase in the proposed impacts to Indigenous and Non-Indigenous archaeological sites identified during the investigations conducted for the Oakdale South Estate. The review has found that there has been no substantial increase in impacts to the area of archaeological potential identified in association with the Ropes Creek corridor.</p> <p>The approved mitigation measures as per SSD 6917 remain appropriate.</p> <p>Refer Indigenous and Non-Indigenous Assessment addendum at <b>Appendix O</b>.</p>	<p>No additional impact identified. No further mitigation measures required.</p>
Greenhouse Gas and Energy Efficiency	<p>There are no increased impacts as a result of the proposed modifications. The proposed development will have a reduction of more than 30% greenhouse gas emissions.</p> <p>Refer Energy Efficiency Report at <b>Appendix P</b>.</p>	<p>No additional impact identified. No further mitigation measures required.</p>
Waste Management	<p>There are no increased impacts as a result of the proposed modifications.</p> <p>Refer Waste Management Plan at <b>Appendix Q</b>.</p>	<p>No additional impact identified. No further mitigation measures required.</p>

## 5.2.7. Summary of Impacts and Proposed Mitigations Measures

**Table 8** outlines the identified mitigation measures required to ensure an acceptable level of environmental impact. Adoption of these mitigation measures will ensure that the level of environmental impact resulting from the proposed modification is equivalent to that approved under the SSDA 6917.

TABLE 7 – PROPOSED MITIGATION MEASURES

Issue	Potential Impact	Mitigation/Management Recommendation	Stage of Development
Flora and Fauna/ Biodiversity	<p>There are no increased impacts as a result of the proposed modifications.</p> <p>The proposed modification results in a minor reduction in impacted area.</p>	<p>Implementation of the Biodiversity Offset Strategy.</p> <p>Preparation of a Biodiversity Management Plan that reflects the adjustment in lot and subdivision boundaries to inform the CEMP and OEMP as relevant.</p> <p>Finalisation and implementation of the amended Vegetation Management Plan.</p> <p>Refer Biodiversity Assessment Report and Biodiversity Offset Strategy addendum at <b>Appendix C</b> and <b>Appendix D</b> respectively.</p>	Construction and on-going Management
Waterways and Riparian Land	<p>The realignment of the Ropes Creek Tributary (Drainage Line 1) has been designed in accordance with Office of Water Guidelines.</p> <p>The proposed changes are consistent with the NOW guidelines, confirmation is required from the Office of Water.</p>	<p>Realignment of Drainage Line 1 to occur in accordance with the design and management measures described in the Riparian Corridor Assessment.</p> <p>Ongoing management of riparian lands on the site to be in accordance with the Biodiversity Offset Strategy and VMP.</p> <p>A future rezoning to re-align the E2 zone with the new creek line will be undertaken.</p> <p>Refer to Riparian Corridor Assessment at <b>Appendix E</b>.</p>	Construction and on-going Management
Transport, Traffic and Access	There are no increased impacts as a result of the proposed modifications.	No further mitigation measures required.	Construction through to Operation
Noise	Adverse noise impacts on adjoining residential areas	Feasible and reasonable noise mitigation measures have been investigated to reduce the noise impacts on the most affected receivers. An extended noise wall with a height of 5 metres, located on top of the eastern boundary retaining wall is proposed. Inclusion of the noise barrier has been found to eliminate the predicted noise	Construction through to Operation



Issue	Potential Impact	Mitigation/Management Recommendation	Stage of Development
		<p>exceedance on the Jacfin area under neutral weather conditions.</p> <p>Consideration of further noise mitigation is not considered to be required on the basis that the modelled noise emissions are based on a worst-case scenario of concurrent maximum peak hour vehicle movements in every precinct of the OSE.</p> <p>Refer to the Noise Impact Assessment at <b>Appendix G</b>.</p>	
Visual Impact	Potential visual impact of exposed building elevations.	<p>While the visual impacts of the proposal are considered to be acceptable, a potential enhancement to the design would be to develop a colour pallet for any exposed building elevations that matches the natural colours and tones of the surrounding landscape. This would further reduce the visual impact of the proposal.</p> <p>Landscape buffers are also proposed, serving to mitigate the visual impacts of the proposed development. There are consistent with those approved by SSD 6917.</p> <p>Refer to Visual Impact Assessment Addendum at <b>Appendix I</b>.</p>	Operation

### 5.3. SECTION 79C (1) (C) SITE SUITABILITY

As demonstrated within this report and the original EIS prepared by Urban Advisory Services in respect to the approved SSD 6917, the proposed development as modified is expected to provide positive employment impacts both locally and in the broader economy. It is envisaged that the proposal will provide between 1,500 and 2,000 jobs.

The site is located within the Western Sydney Employment Area and aligns with the desired future land use outcomes for this area, particularly in promoting economic development for major warehousing and distribution uses in an industrial setting with access to the road network connecting to the broader metropolitan area.

The site is suitable for the proposed development as it provides the following:

- Outcomes that support the strategic role and objectives of the OSE as part of the WSEA and Broader WSEA.
- Outcomes that align with the future context and role of the WSEA and Broader WSEA as an economic hub for Greater Sydney.
- The delivery of critical infrastructure and services to the WSEA for the benefit of the broader area.
- Significant private sector investment in the area and indirect benefits for productivity of the local economy.
- Generation of significant employment for the Western Sydney Region.

The proposal as proposed to be modified will continue to accord with the relevant State objectives and provisions.

#### **5.4. SECTION 79C (1) ( D ) SUBMISSIONS RECEIVED**

Submissions received are required to be considered under Section 79C of the Environmental Planning and Assessment Act 1979. Any submissions received will be responded to accordingly in a timely manner.

#### **5.5. SECTION 79C (1) ( E ) THE PUBLIC INTEREST**

The proposal has been assessed against the current planning framework for the site and is consistent with the objectives of the Western Sydney Employment Area. The assessment has demonstrated that no significant adverse impacts will result to the surrounding area. The proposal is considered to be in the public interest.

## 6. CONCLUSION

This Section 96(2) application seeks consent for modifications to the original Concept Plan and Stage 1 works approved in SSDA 6917 with respect to the Oakdale South Estate. The proposal continues to support the delivery of the estate and essential infrastructure and services.

An assessment of the potential impacts of the proposed modifications found that there will be minimal resultant environmental impacts. The key issues for further consideration included the following:

- Flora and Fauna/Biodiversity impacts;
- Waterways and Riparian land impacts;
- Transport, traffic and access impacts;
- Visual impacts; and
- Noise impacts.

These issues have been assessed with regard to the proposed modifications and amended sub-consultant reports submitted with this application.

Of key importance in this regard is the formal establishment of over 30ha of ecologically significant vegetation on the OSE as a 'biodiversity offset' to be restored and managed in perpetuity through a BioBanking Agreement. The proposed realignment of riparian land does alter the impacts to endangered ecology communities; however results in a reduction in the impacted area and thus a decreased impact.

An assessment of all other relevant impacts as per the original SSDA was also undertaken and determined that no increased impacts were identified. Recommended mitigation measures with regards to the above have been identified and will be integrated into the measures identified in the approved SSDA and incorporated into a detailed CEMP and OEMP for the site to guide its future development and ongoing operation.

The proposal continues to align with the strategic direction and objectives established for the site and surrounding lands under the WSEA SEPP. The modification has been assessed as being substantially the same as the original approved SSDA.

The proposed modification to the approved Concept Proposal and Stage 1 Development of the OSE has been considered and assessed in accordance with the requirements of the NSW EP&A Act 1979 as they apply to the S96. The report assesses the relevant matters prescribed under this Act and its Regulation, and those matters identified in the SEARs for the proposal.

Based upon a balanced review of key issues and in consideration of the benefits and residual impacts of the proposal, the staged development of the OSE as proposed under the approved SSDA and this modification, is considered justified and warrants approval subject to the implementation of the management and mitigation measures described in this report and nominated supporting documents.

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This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.



## **Appendix A**

## **QUANTITY SURVEYORS REPORT**

## **Appendix B**

## **ARCHITECTURAL PLANS**

## **Appendix C**

## **BIODIVERSITY ASSESSMENT REPORT**



## **Appendix D**

## **BIODIVERSITY OFFSET STRATEGY**

## **Appendix E**

## **RIPARIAN CORRIDOR ASSESSMENT**

### **SUB-APPENDIX A WATERCOURSE DESIGN**

### **SUB-APPENDIX B VEGETATION MANAGEMENT PLAN**

### **SUB-APPENDIX C SOILS ASSESSMENT**

## **Appendix F**

# **CIVIL, STORMWATER, INFRASTRUCTURE AND SERVICES STRATEGY**

- **CIVIL REPORT**
- **CIVIL PLANS**

## **Appendix G**

## **NOISE IMPACT ASSESSMENT**

## **Appendix H**

## **TRAFFIC IMPACT ASSESSMENT**

## **Appendix I    VISUAL IMPACT ASSESSMENT ADDENDUM**

## **Appendix J**

# **MINERAL RESOURCES ASSESSMENT ADDENDUM**

## **Appendix K**

## **GEOTECHNICAL AND SOILS ASSESSMENT**

- **COVER LETTER**
- **GEOTECHNICAL AND HYDROGEOLOGICAL ASSESSMENT**
- **SALINITY AND AGGRESSIVITY ASSESSMENT**



## **Appendix L**

## **FLOOD IMPACT ASSESSMENT**

## **Appendix M**

## **ENDEAVOUR ENERGY LETTER**

## **Appendix N**

## **AIR QUALITY IMPACT ASSESSMENT**

## **Appendix 0**

## **INDIGENOUS AND NON-INDIGENOUS HERITAGE ADDENDUM**

## **Appendix P**

## **ENERGY EFFICIENCY ASSESSMENT**

## **Appendix Q**

## **WASTE MANAGEMENT PLAN**

## **Appendix R**

## **BUSHFIRE PROTECTION ASSESSMENT**

## **Appendix S**

## **FIRE SAFETY STRATEGY**



## **Appendix T**

# **LANDSCAPE CONCEPT AND WORKS PLANS**

## **Appendix U**

## **PHASE II ENVIRONMENTAL SITE ASSESSMENT ADDENDUM**

## **Appendix V**

## **BCA ASSESSMENT REPORT**

## **Appendix W**

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