

13 February 2017

DEXUS Wholesale Management Limited (ACN 159 301 907)
as trustee for DEXUS Quarry West Subtrust (ABN 65 043 801 812)
c/- Tactical Project Management
Attention: Mr Terry Timso
Level 15
124 Walker Street
NORTH SYDNEY NSW 2060

Dear Sir

**Re: Lot 18 DP 270644, Greystanes Southern Employment Land (Boral Land)
Section 96 Application SSD_6801**

We provide this letter relating to a proposed Section 96 application to the Greystanes Southern Quarry West project approved under SSD_6801. Specifically this letter covers the civil engineering aspects of the amendment.

The Section 96 Application is for an amendment to the approved layout defined in SSD_6801, and to the previous two Section 96 Applications dated 29 April 2016 and 20 September 2016. The main component of the current amendment is for an adjustment to the approved masterplan lot layout in Precinct B.

A set of civil engineering drawings were completed by Costin Roe Consulting during 2015 and subsequently during 2016 as noted above. The following drawings have now been updated to show the new masterplan layout and adjustments to the engineering design:

- Co10529.34-DA40 [I] Site Masterplan
- Co10529.34-DA41 [I] Civil Works Plan Sheet 1
- Co10529.34-DA42 [I] Civil Works Plan Sheet 2
- Co10529.34-DA46 [K] Stormwater Management/Water Quality

We have also provided a summary of the engineering components of the development which will change from, or remain consistent with, the approved SSD_6801 development, and previous Section 96 Application of 20 September 2016. The summary of design elements are as follows:

1. Development Layout:

The development layout differs from the previous submission in that the arrangement of the development lots on the northern side of Dolorite Close within Precinct B have been adjusted.

Warehouse B1 is now constructed and the adjustments to the masterplan relate to Warehouse B2 and Warehouse B3. The lot layouts to the east and south of the estate road

are generally consistent with the previous application. Some minor changes to car park arrangement to the north of Warehouse B3 have also been made. The floor level of warehouse B1 remains consistent with the previous application however Warehouse B2 and B3 have been amended to suit access from Dolerite Close, to meet flood planning requirements and to achieve cut to fill of earthworks over the site. It is noted that the final building level will be subject to detail geotechnical and earthwork volume assessment and may vary +/-500mm from the nominated level.

2. Stormwater Management & Layout:

The Stormwater Management Strategy for the site will remain generally consistent with the approved configuration produced by Costin Roe in 2015 and the overall Quarry Estate Management defined by GHD in 2006. The overall impervious surface area also remains generally consistent with the approved masterplan layout, hence stormwater runoff rates remain consistent with the approval and overall Quarry Estate Management Plan.

Minor adjustments to the locations of the bio-retentions within the site have been made. The basin to the north of Warehouse B2 & Warehouse B3 has been adjusted as a result of the carpark arrangement specified above. It can be confirmed that the minimum required 3000m² of bio retention, as defined in SSD_6801, has been provided.

All stormwater runoff will remain being directed to the perimeter drainage channel on the western boundary of the development which ultimately conveys stormwater to the estate level detention basin provided off site and known as the Widemere East basin.

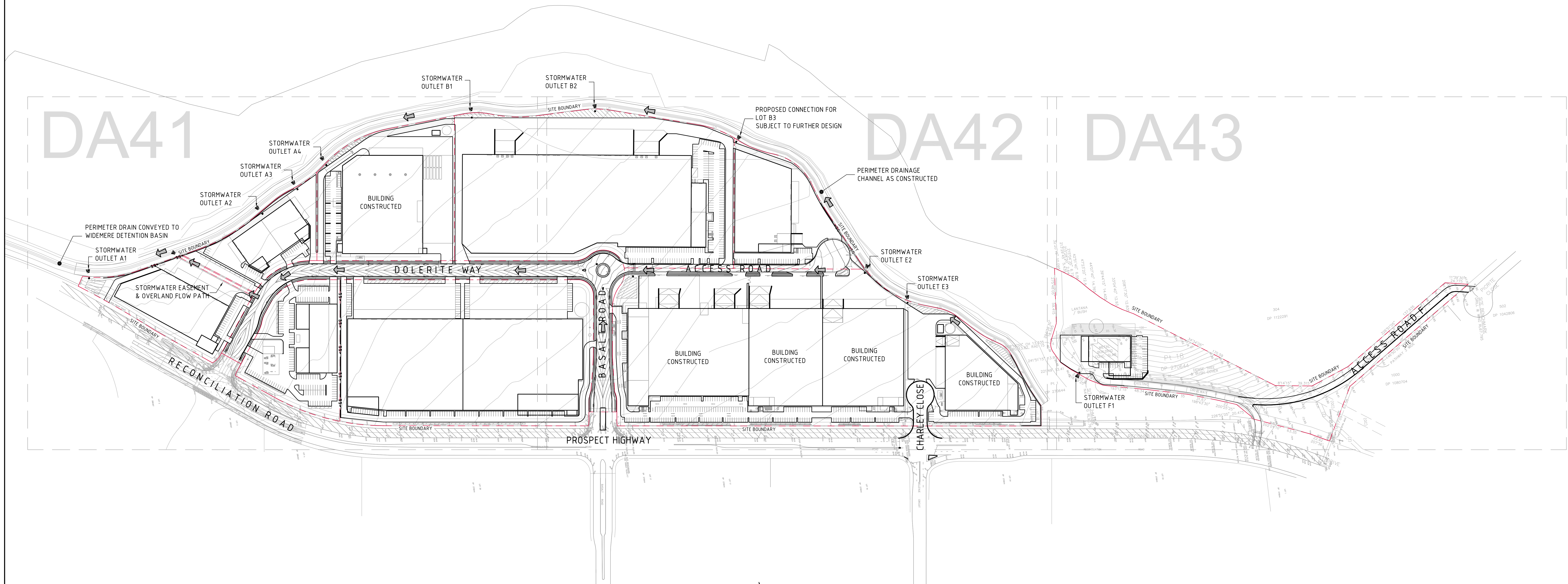
We trust the above information meets your current needs. Please do not hesitate in contacting the undersigned if any further clarification is required.

Yours faithfully,

COSTIN ROE CONSULTING PTY LTD



MARK WILSON MIEAust CPEng NER
Director



LEGEND:

LEVELS DATUM IS AHD.

EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED BY LAND PARTNERS DATED 11.05.14

- SGGP, SINGLE GRATED GULLY PIT
- SJP, SEALED JUNCTION PIT
- KIP, KERB INLET PIT
- DRAINAGE LINE
- FINISHED PAVEMENT CONTOUR (MAJOR) 0.5m INTERVALS
- FINISHED PAVEMENT CONTOUR (MINOR) 0.1m INTERVALS

WATER QUALITY NOTE:

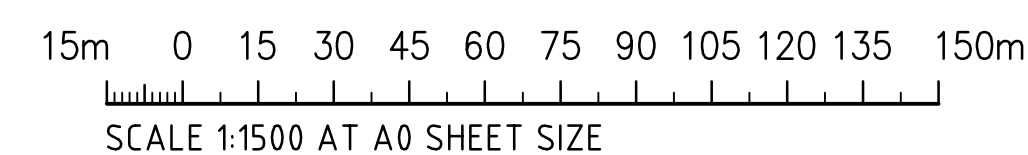
ALL DEVELOPMENT SITES TO PROVIDE AN END-OF-LINE GROSS POLLUTANT TRAP PRIOR TO CONNECTION TO ESTATE INFRASTRUCTURE SYSTEM OR TO PERIMETER DRAINAGE CHANNELS.



SITE MASTERPLAN

SCALE 1:1500

FOR S96 MODIFICATION



ISSUED FOR S96 MODIFICATION				29.04.16				F			
ISSUED FOR S96 MODIFICATION				22.04.16				E			
ISSUED FOR DEVELOPMENT APPLICATION				01.07.15				D			
ISSUED FOR DEVELOPMENT APPLICATION				20.03.15				C			
ISSUED FOR DEVELOPMENT APPLICATION				11.12.14				B			
ISSUED FOR REVIEW				28.11.14				A			
AMENDMENTS				DATE				ISSUE			
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PIT SCHEDULE

PIT No.	GRATE RL	TYPE	SIZE (LxB)	COMMENT
P1-1	55.00	SJP	900x900	
P2-1	59.15	KIP	900x600	2400 LINTEL
P2-2	59.15	KIP	900x900	2400 LINTEL
P2-3	58.55	KIP	900x900	2400 LINTEL
P2-4	57.90	KIP	900x1200	2400 LINTEL
P2-5	57.30	KIP	900x1200	2400 LINTEL
P2-6	56.70	KIP	900x1200	2400 LINTEL
P2-7	56.40	KIP	900x1200	2400 LINTEL
P2-8	56.10	KIP	1200x1500	2400 LINTEL
P2-9	58.55	KIP	900x900	2400 LINTEL
P2-10	57.90	KIP	900x600	2400 LINTEL
P2-11	57.30	KIP	900x900	2400 LINTEL
P2-12	56.10	KIP	900x900	2400 LINTEL
P2-13	56.30	KIP	900x600	2400 LINTEL
P2-14	56.40	KIP	900x600	2400 LINTEL
P2-15	56.70	KIP	900x600	2400 LINTEL
P3-1	58.50	SJP	900x900	
P4-1	59.60	KIP	900x600	2400 LINTEL
P4-2	59.60	KIP	900x600	2400 LINTEL
P4-3	59.90	KIP	900x900	2400 LINTEL
P4-4	60.15	KIP	900x900	2400 LINTEL
P4-5	59.90	SJP	1200x1200	
P4-6	59.00	SJP	1200x1200	
P4-7	59.90	KIP	900x600	2400 LINTEL
P4-8	60.15	KIP	900x600	2400 LINTEL
P4-9	61.45	KIP	900x600	1800 LINTEL
P4-10	61.13	KIP	900x600	1800 LINTEL
P4-11	60.70	KIP	900x600	1800 LINTEL
P4-12	60.30	KIP	900x1200	1800 LINTEL
P4-13	60.50	SJP	900x900	
P5-1	61.50	SJP	900x900	
P6-1	62.20	SJP	900x900	
P7-1	56.60	SJP	900x900	
P8-1	56.00	SJP	900x900	
P9-1	71.80	KIP	900x600	1800 LINTEL
P9-2	70.15	KIP	900x600	1800 LINTEL
P9-3	68.50	KIP	900x600	1800 LINTEL
P10-1	91.00	SJP	900x900	
P11-1	56.30	SJP	900x900	
P12-1	60.40	SJP	900x900	

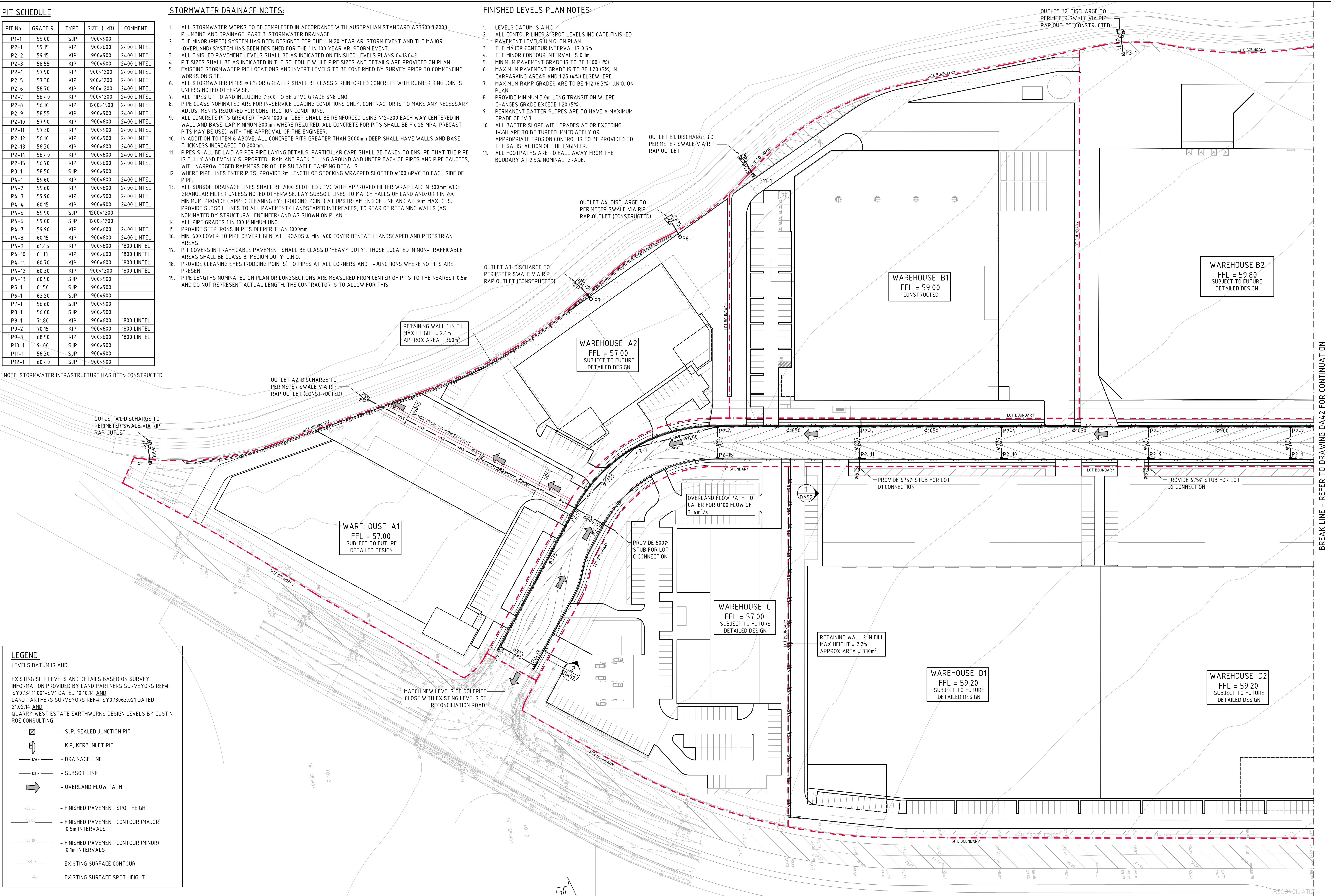
NOTE: STORMWATER INFRASTRUCTURE HAS BEEN CONSTRUCTED.

STORMWATER DRAINAGE NOTES:

- ALL STORMWATER WORKS TO BE COMPLETED IN ACCORDANCE WITH AUSTRALIAN STANDARD AS3500.3:2003 PLUMBING AND DRAINAGE, PART 3: STORMWATER DRAINAGE.
- THE MINOR (PIPED) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 20 YEAR ARI STORM EVENT AND THE MAJOR (OVERLAND) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 100 YEAR ARI STORM EVENT.
- ALL FINISHED PAVEMENT LEVELS SHALL BE AS INDICATED ON FINISHED LEVELS PLANS C41&C42
- PIT SIZES SHALL BE AS INDICATED IN THE SCHEDULE WHILE PIPE SIZES AND DETAILS ARE PROVIDED ON PLAN.
- EXISTING STORMWATER PIT LOCATIONS AND INVERT LEVELS TO BE CONFIRMED BY SURVEY PRIOR TO COMMENCING WORKS ON SITE.
- ALL STORMWATER PIPES Ø375 OR GREATER SHALL BE CLASS 2 REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
- ALL PIPES UP TO AND INCLUDING Ø300 TO BE uPVC GRADE SN8 UNO.
- PIPE CLASS NOMINATED ARE FOR IN-SERVICE LOADING CONDITIONS ONLY. CONTRACTOR IS TO MAKE ANY NECESSARY ADJUSTMENTS REQUIRED FOR CONSTRUCTION CONDITIONS.
- ALL CONCRETE PITS GREATER THAN 1000mm DEEP SHALL BE REINFORCED USING N12-200 EACH WAY CENTERED IN WALL AND BASE. LAP MINIMUM 300mm WHERE REQUIRED. ALL CONCRETE FOR PITS SHALL BE F'c 25 MPA. PRECAST PITS MAY BE USED WITH THE APPROVAL OF THE ENGINEER.
- IN ADDITION TO ITEM 6 ABOVE, ALL CONCRETE PITS GREATER THAN 3000mm DEEP SHALL HAVE WALLS AND BASE THICKNESS INCREASED TO 200mm.
- PIPES SHALL BE LAID AS PER PIPE LAYING DETAILS. PARTICULAR CARE SHALL BE TAKEN TO ENSURE THAT THE PIPE IS FULLY AND EVENLY SUPPORTED. RAM AND PACK FILLING AROUND AND UNDER BACK OF PIPES AND PIPE FAUCETS, WITH NARROW EDGED RAMMERS OR OTHER SUITABLE TAMPING DETAILS.
- WHERE PIPE LINES ENTER PITS, PROVIDE 2m LENGTH OF STOCKING WRAPPED SLOTTED Ø100 uPVC TO EACH SIDE OF PIPE.
- ALL SUBSOIL DRAINAGE LINES SHALL BE Ø100 SLOTTED uPVC WITH APPROVED FILTER WRAP LAID IN 300mm WIDE GRANULAR FILTER UNLESS NOTED OTHERWISE. LAY SUBSOIL LINES TO MATCH FALLS OF LAND AND/OR 1 IN 200 MINIMUM. PROVIDE CAPPED CLEANING EYE (RODDING POINT) AT UPSTREAM END OF LINE AND AT 30m MAX. CTS. PROVIDE SUBSOIL LINES TO ALL PAVEMENT / LANDSCAPED INTERFACES, TO REAR OF RETAINING WALLS (AS NOMINATED BY STRUCTURAL ENGINEER) AND AS SHOWN ON PLAN.
- ALL PIPE GRADES 1 IN 100 MINIMUM UNO.
- PROVIDE STEP IRONS IN PITS DEEPER THAN 1000mm.
- MIN. 600 COVER TO PIPE OBVERT BENEATH ROADS & MIN. 400 COVER BENEATH LANDSCAPED AND PEDESTRIAN AREAS.
- PIT COVERS IN TRAFFICABLE PAVEMENT SHALL BE CLASS D 'HEAVY DUTY', THOSE LOCATED IN NON-TRAFFICABLE AREAS SHALL BE CLASS B 'MEDIUM DUTY' UNO.
- PROVIDE CLEANING EYES (RODDING POINTS) TO PIPES AT ALL CORNERS AND T-JUNCTIONS WHERE NO PITS ARE PRESENT.
- PIPE LENGTHS NOMINATED ON PLAN OR LONGSECTIONS ARE MEASURED FROM CENTER OF PITS TO THE NEAREST 0.5m AND DO NOT REPRESENT ACTUAL LENGTH. THE CONTRACTOR IS TO ALLOW FOR THIS.

FINISHED LEVELS PLAN NOTES:

- LEVELS DATUM IS A.H.D.
- ALL CONTOUR LINES & SPOT LEVELS INDICATE FINISHED PAVEMENT LEVELS U.N.O. ON PLAN.
- THE MAJOR CONTOUR INTERVAL IS 0.5m
- THE MINOR CONTOUR INTERVAL IS 0.1m.
- MINIMUM PAVEMENT GRADE IS TO BE 1:100 (1%).
- MAXIMUM PAVEMENT GRADE IS TO BE 1:20 (5%) IN CARPARKING AREAS AND 1:25 (4%) ELSEWHERE.
- MAXIMUM RAMP GRADES ARE TO BE 1:12 (8.3%) U.N.O. ON PLAN.
- PROVIDE MINIMUM 3.0m LONG TRANSITION WHERE CHANGES GRADE EXCEED 1:20 (5%).
- PERMANENT BATTER SLOPES ARE TO HAVE A MAXIMUM GRADE OF 1V:3H.
- ALL BATTER SLOPE WITH GRADES AT OR EXCEEDING 1V:6H ARE TO BE TURFED IMMEDIATELY OR APPROPRIATE EROSION CONTROL IS TO BE PROVIDED TO THE SATISFACTION OF THE ENGINEER.
- ALL FOOTPATHS ARE TO FALL AWAY FROM THE BOUDARY AT 2.5% NOMINAL GRADE.



LEGEND:

- LEVELS DATUM IS AHD.
- EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED BY LAND PARTNERS SURVEYORS REF#: SY073411001-SV1 DATED 10.10.14 AND LAND PARTNERS SURVEYORS REF#: SY073063.021 DATED 21.02.14 AND QUARRY WEST ESTATE EARTHWORKS DESIGN LEVELS BY COSTIN ROE CONSULTING
- SJP, SEALED JUNCTION PIT
 - KIP, KERB INLET PIT
 - DRAINAGE LINE
 - SUBSOIL LINE
 - OVERLAND FLOW PATH
 - FINISHED PAVEMENT SPOT HEIGHT
 - FINISHED PAVEMENT CONTOUR (MAJOR) 0.5m INTERVALS
 - FINISHED PAVEMENT CONTOUR (MINOR) 0.1m INTERVALS
 - EXISTING SURFACE CONTOUR
 - EXISTING SURFACE SPOT HEIGHT

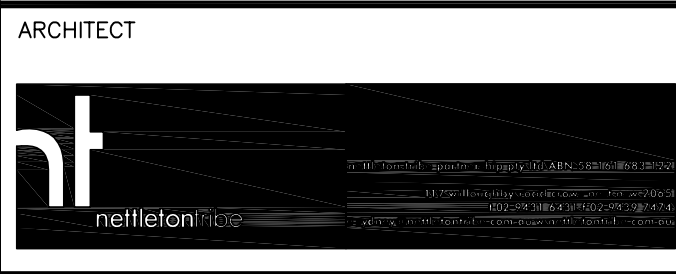
FOR S96 MODIFICATION

CIVIL WORKS PLAN - SHEET 1
SCALE 1:500

ISSUED FOR S96 MODIFICATION	29.04.16	F
ISSUED FOR S96 MODIFICATION	22.04.16	E
ISSUED FOR DEVELOPMENT APPLICATION	01.07.15	D
ISSUED FOR DEVELOPMENT APPLICATION	20.03.15	C
ISSUED FOR DEVELOPMENT APPLICATION	11.12.14	B
ISSUED FOR REVIEW	28.11.14	A
AMENDMENTS	DATE	ISSUE

ISSUED FOR S96 MODIFICATION	13.02.17	I
ISSUED FOR S96 MODIFICATION	09.02.17	H
ISSUED FOR S96 MODIFICATION	30.06.16	G
AMENDMENTS	DATE	ISSUE

AMENDMENTS	DATE	ISSUE
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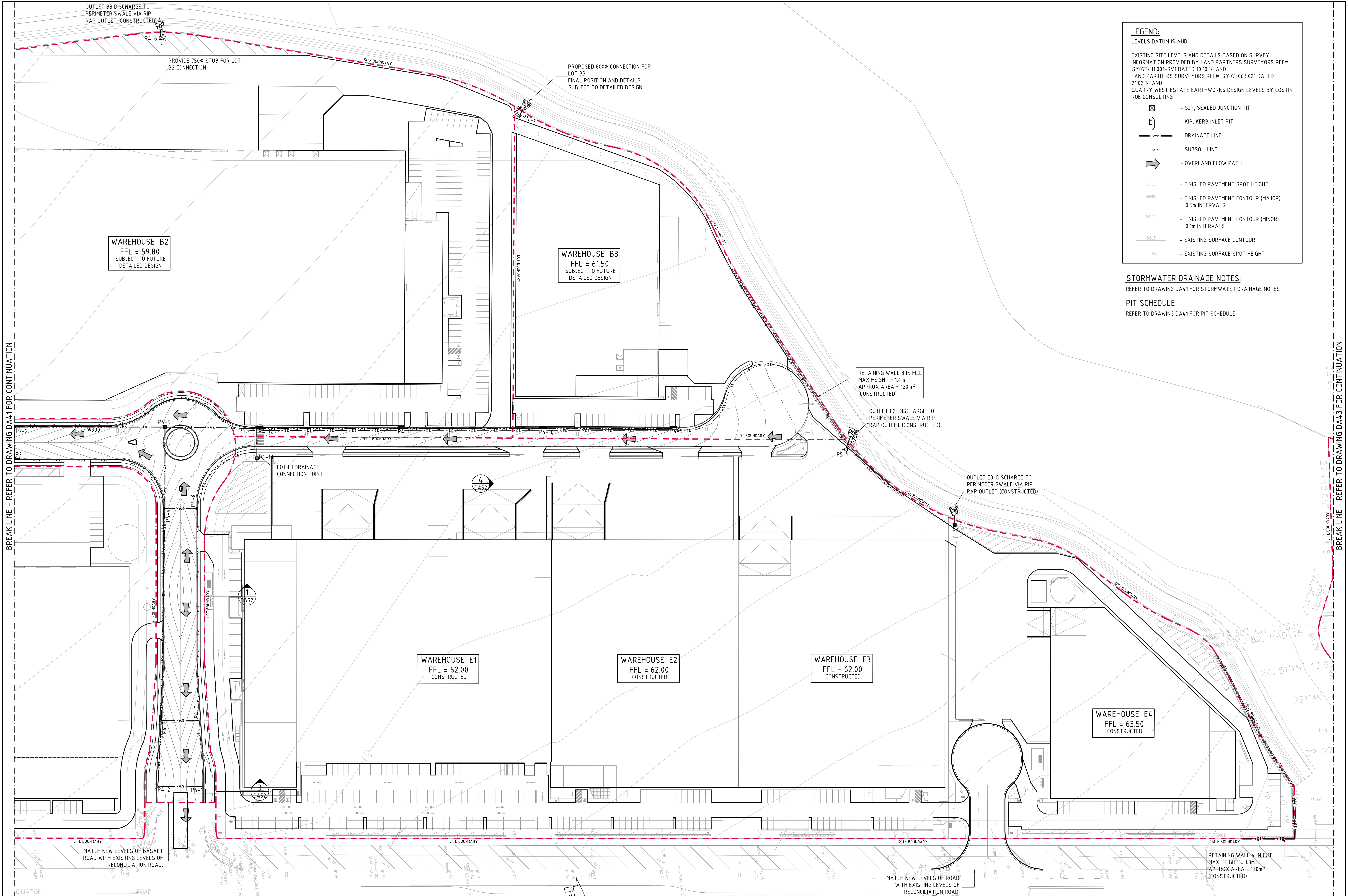


PROJECT	QUARRY WEST RECONCILIATION DRIVE PEMULWUY, NSW
DESIGNED	DRW: M.W.
CHECKED	CHK: M.C.
DATE	06.05.16
SCALE	A0 AS SHOWN
CAD REF:	C010529.34 - DA41

Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 8 Windmill Street Wahbah Bay, Sydney NSW 2000 Tel: (02) 9551-7699 Fax: (02) 9541-3721 email: mail@costinroe.com.au
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PRECISION COMMUNICATION ACCOUNTABILITY
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DRAWING TITLE CIVIL WORKS PLAN SHEET 1	DRAWING No C010529.34-DA41	ISSUE G
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LEGEND:
LEVELS DATUM IS AHD.

EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED BY LAND PARTNERS SURVEYORS REF#: SY073411.001-SV1 DATED 10.10.14 AND LAND PARTNERS SURVEYORS REF#: SY073063.021 DATED 21.02.14 AND QUARRY WEST ESTATE EARTHWORKS DESIGN LEVELS BY COSTIN ROE CONSULTING

- SJP, SEALED JUNCTION PIT
- KIP, KERB INLET PIT
- DRAINAGE LINE
- SUBSOIL LINE
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- FINISHED PAVEMENT SPOT HEIGHT
- FINISHED PAVEMENT CONTOUR (MAJOR) 0.5m INTERVALS
- FINISHED PAVEMENT CONTOUR (MINOR) 0.1m INTERVALS
- EXISTING SURFACE CONTOUR
- EXISTING SURFACE SPOT HEIGHT

STORMWATER DRAINAGE NOTES:
REFER TO DRAWING DA41 FOR STORMWATER DRAINAGE NOTES

PIT SCHEDULE
REFER TO DRAWING DA41 FOR PIT SCHEDULE

BREAK LINE - REFER TO DRAWING DA41 FOR CONTINUATION

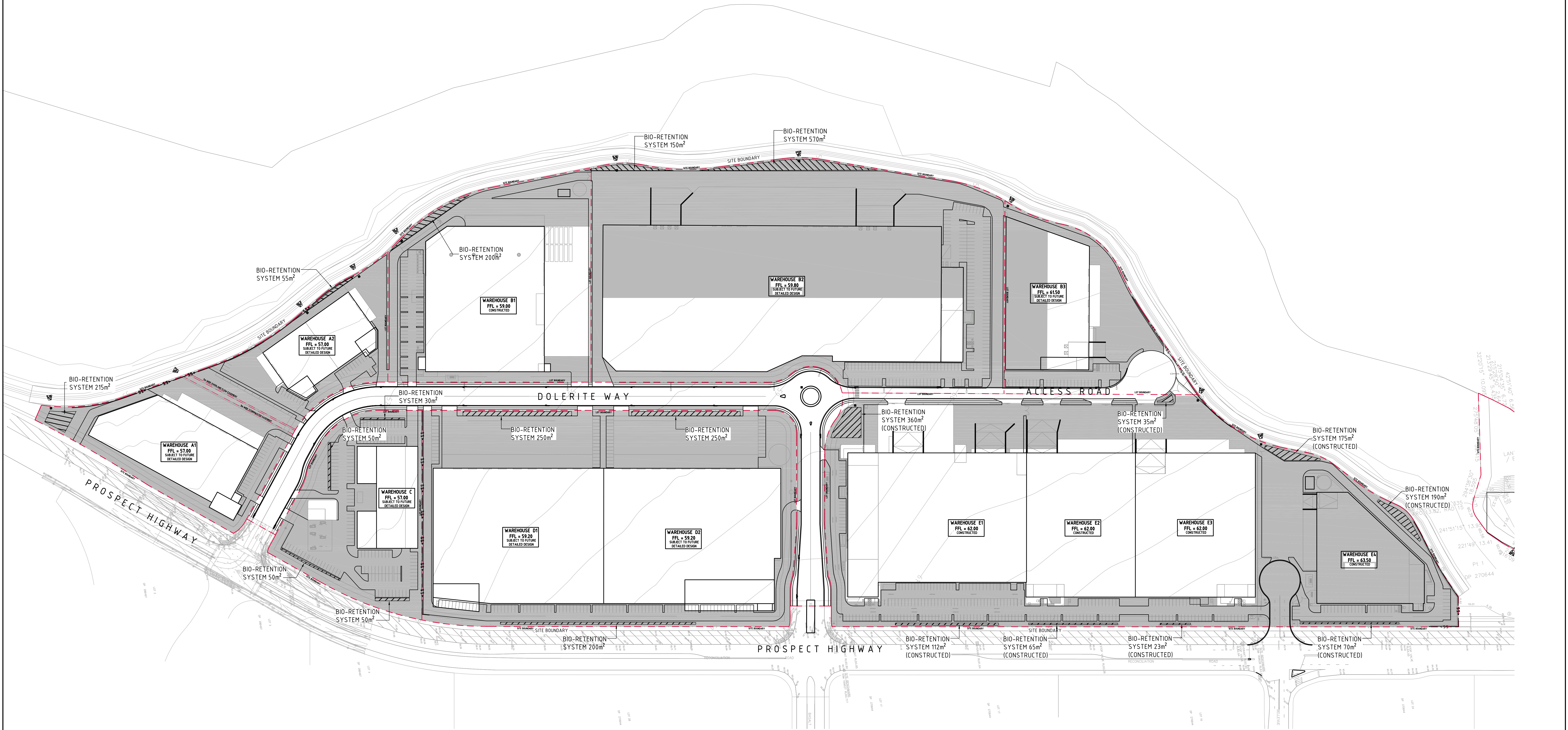
BREAK LINE - REFER TO DRAWING DA43 FOR CONTINUATION

FOR S96 MODIFICATION

CIVIL WORKS PLAN - SHEET 2
SCALE 1500

5m 0 10 20 30 40 50m
SCALE 1500 AT A0 SHEET SIZE

ISSUED FOR S96 MODIFICATION 29.04.16 F			ARCHITECT			CLIENT			PROJECT			COSTIN ROE CONSULTING PTY LTD.			DRAWING TITLE		
ISSUED FOR S96 MODIFICATION 22.04.16 E			DESIGNER			DEXUS			QUARRY WEST			Consulting Engineers			CIVIL WORKS PLAN		
ISSUED FOR DEVELOPMENT APPLICATION 01.07.15 D			CHECKED			PROPERTY GROUP			RECONCILIATION DRIVE			Level 1, 8 Windmill Street			SHEET 2		
ISSUED FOR DEVELOPMENT APPLICATION 20.03.15 C			DATE			AMENDMENTS			PEMULWUY, NSW			Walsh Bay, Sydney NSW 2000			PRECISION COMMUNICATION ACCOUNTABILITY		
ISSUED FOR DEVELOPMENT APPLICATION 11.02.14 B			ISSUED FOR S96 MODIFICATION 13.02.17 I			DATE			C/O REF:			Tel: (02) 9251-7899 Fax: (02) 9241-3721			DRAWING No		
ISSUED FOR REVIEW 28.11.14 A			ISSUED FOR S96 MODIFICATION 09.02.17 H			ISSUE			C010529.34-DA2			email: mail@costinroe.com.au			C010529.34-DA42		
AMENDMENTS			AMENDMENTS			DATE			SIZE			ISSUE			G		
DATE			DATE			DATE			A0			G					
ISSUE			ISSUE			ISSUE			AS SHOWN								



WATER QUALITY STRATEGY NOTES:

- WATER QUALITY STRATEGY HAS BEEN COMPLETED IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED STORMWATER MANAGEMENT STRATEGY COMPLETED BY GHD DURING 2009. THE APPROVED STRATEGY INVOLVED TREATMENT OF A 11.30ha CATCHMENT VIA BIO RETENTION BASINS OR SWALES.
- THE PROPOSED STRATEGY TREATS 11.32ha VIA BIO RETENTION BASINS OR SWALES INTERSPERSED THROUGHOUT THE DEVELOPMENT FOOTPRINT.
- FINAL DETAILS & EXACT LOCATION OF BIO RETENTION SYSTEMS IN INDIVIDUAL DEVELOPMENT LOTS WILL BE SUBJECT TO SEPARATE FUTURE DEVELOPMENT APPLICATIONS.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH THE ENGINEERING REPORT C010529-02-02a.rpt BY COSTIN ROE CONSULTING PTY LTD.

NOTE:

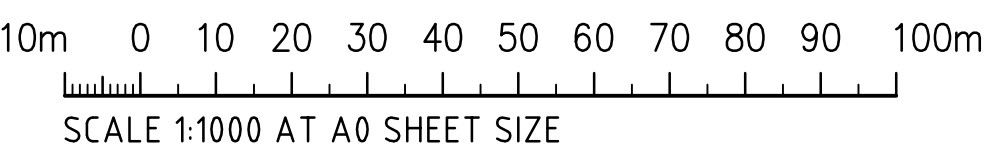
BIO RETENTION CONFIGURATIONS SHOWN ARE INDICATIVE ONLY AND NOT DRAWN TO SCALE. REFERENCE IS TO BE MADE TO TEXT CALL UP FOR BIO RETENTION AREAS. CAD LINEWORK IS NOT TO BE USED FOR DETAILED CONFIGURATIONS.



STORMWATER MANAGEMENT/WATER QUALITY STRATEGY
SCALE 1:1000

LEGEND:

— HATCHED AREA DENOTES CATCHMENT TO BE CONVEYED TO BIO RETENTION SYSTEMS FOR TREATMENT



FOR S96 MODIFICATION

ISSUED FOR DEVELOPMENT APPLICATION			01.07.15	F	ISSUED FOR S96 MODIFICATION			13.02.17	K	<div>ARCHITECT</div> <div></div> <div>DEXUS PROPERTY GROUP</div>	<div>CLIENT</div> <div></div> <div>DEXUS PROPERTY GROUP</div>	PROJECT		<div></div> <div>COSTIN ROE CONSULTING PTY LTD. Consulting Engineers Level 1, 8 Windmill Street Wahia Bay, Sydney NSW 2000 Tel: (02) 8551-7889 Fax: (02) 9241-3721 email: mail@costinroe.com.au ©</div>	<div>DRAWING TITLE</div> <div>STORMWATER MANAGEMENT/ WATER QUALITY STRATEGY</div>		
ISSUED FOR DEVELOPMENT APPLICATION			20.03.15	E	ISSUED FOR S96 MODIFICATION			08.02.17	J								
BIO-RETENTION AREAS REVISED			16.03.15	D	ISSUED FOR S96 MODIFICATION			30.06.16	I								
REVISED AS CLOUDED			15.12.16	C	ISSUED FOR S96 MODIFICATION			29.04.16	H								
ISSUED FOR DEVELOPMENT APPLICATION			11.12.14	B	ISSUED FOR S96 MODIFICATION			22.04.16	G								
ISSUED FOR REVIEW			10.12.14	A	ISSUED FOR S96 MODIFICATION			22.04.16	G	AMENDMENTS		DATE	ISSUE	DRAWING No		C010529.34-DA46	ISSUE