

17 February 2017

Chris Ritchie
Director Industry Assessment
Department of Planning & Environment
23-33 Bridge Street
SYDNEY NSW 2000

Attn: Anthony Witherdin, A/Director Regional Assessment

Dear Chris,

DEXUS QUARRYWEST PROJECT (SSD 6801) – SECTION 96 MODIFICATION (MOD 3) – STATEMENT OF ENVIRONMENTAL EFFECTS

1 Introduction

On 20 October 2015, the Department of Planning & Environment (the Department), as delegate of the Minister for Planning, approved a development application from DEXUS Quarry WEST Subtrust (DEXUS) under Part 4 of the *Environmental Planning and Assessment Act 1979* (EP&A Act), for the QuarryWEST Project within the Greystanes Southern Employment Lands.

The approval allows the development of the QuarryWEST Estate comprising a range of industrial (warehousing and distribution, with ancillary office and light industry) and business (retail) facilities across the site. The originally approved estate masterplan is shown on **Figure 1**. The estate is being developed on a staged basis in line with the securing of end-users for the facilities and/or market demand.

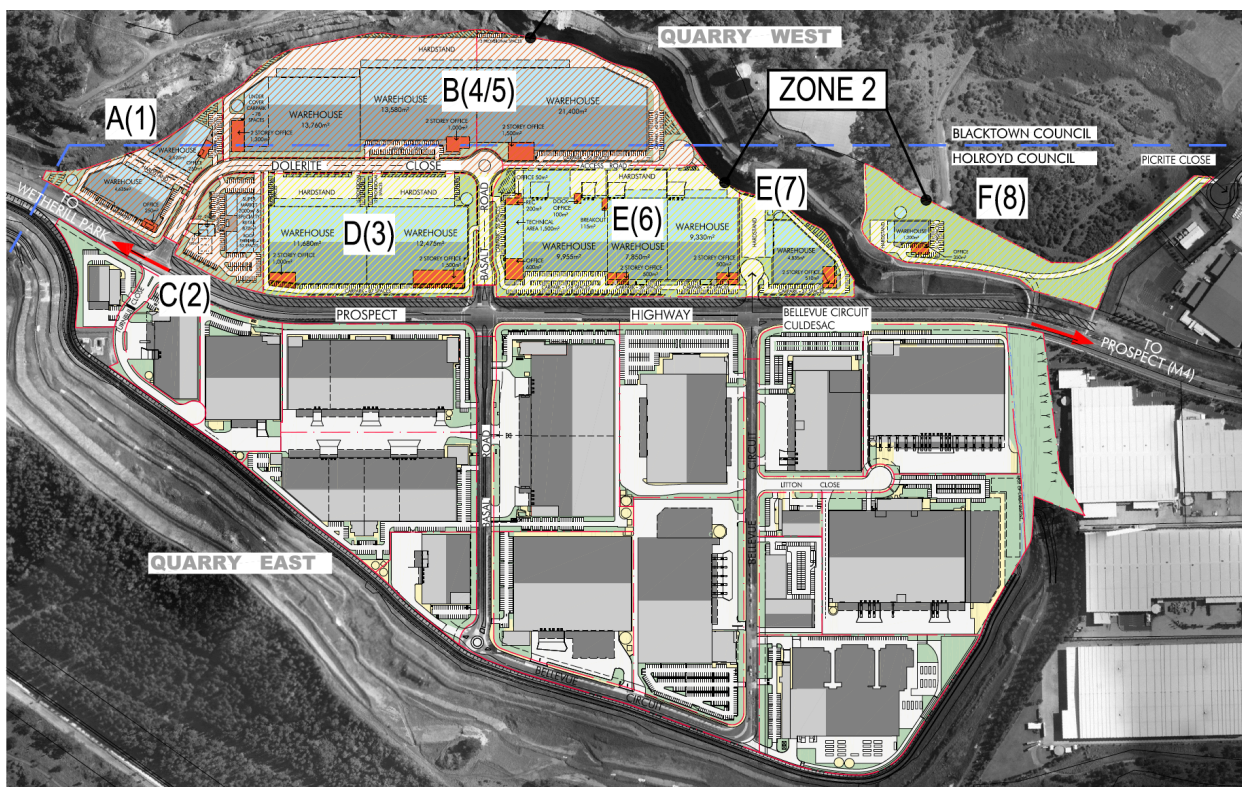


Figure 1: QuarryWEST Masterplan – As Originally Approved



To date, DEXUS has constructed or commenced construction of the following components of the QuarryWEST project:

- the internal roads (ie. Basalt Road, Dolerite Way and Charley Close cul-de-sac¹) and associated earthworks, infrastructure and services; and
- the buildings in:
 - Precinct E, including Warehouses E1 to E4; and
 - Precinct B, including Warehouse B1.

The development consent has been modified twice to accommodate these facilities, including:

- MOD 1 – approved by the Department on 16 June 2016. This modification involved some relatively minor changes to the layout of the facilities in Precincts A, B and E; and
- MOD 2 – approved by the Department on 20 September 2016. This modification involved relatively minor changes to the layout of the facilities in Precinct B, including alterations to the layout of Warehouses B2 and B3 (including detaching the facilities from each other).

The modified estate masterplan is shown on **Figure 2**, and the approved layout of Precinct B is shown on **Figure 3**.



Figure 2: QuarryWEST Masterplan – As Currently Approved

¹ Dolerite Way was formerly known as Dolerite Close, and Charley Close was formerly known as Bellevue Circuit.

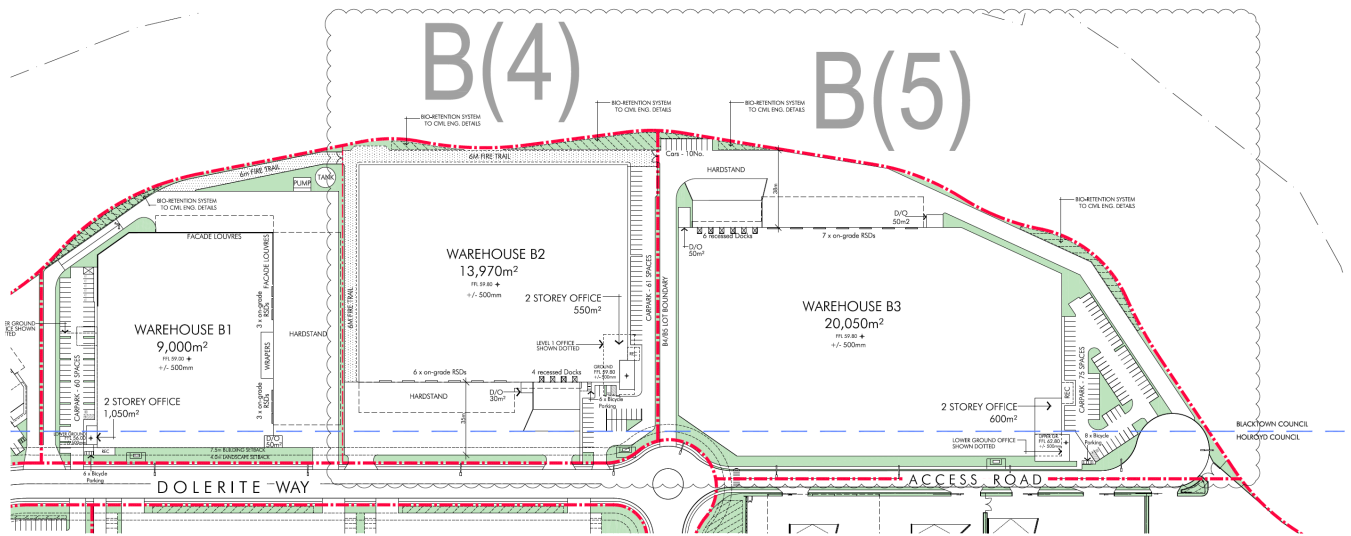


Figure 3: QuarryWEST Precinct B Site Plan – As Currently Approved

DEXUS has now identified an end-user for the Warehouse B2 facility, namely Symbion Health, which plans to use the facility for warehousing and distribution of pharmaceutical related products, plus ancillary office. To accommodate the needs of Symbion Health, some relatively minor changes are required to the approved layout of Warehouse B2, and as a result, to Warehouse B3.

Consequently, DEXUS is proposing to make minor modifications to the development consent for the project to accommodate these changes, as detailed below.

This Statement of Environmental Effects (SEE) has been prepared by PJEP Environmental Planning (PJEP) to support the modification application for the proposed changes under Section 96 of the EP&A Act.

2 Proposed Modification

Proposed Changes to the QuarryWEST Project

DEXUS proposes to modify the development consent for the QuarryWEST Project to amend the internal masterplan layout in Precinct B. The changes involve alterations to the layout of Warehouse B2 and Warehouse B3, including:

- amendments to the footprint and layout of the lots and facilities, including ancillary offices;
- an increase in the floor area of Warehouse B2, and a decrease in the floor area of Warehouse B3;
- an increase in the building height of Warehouse B2 (to 17.4 metres); and
- changes to accesses, internal circulation and parking layout.

The proposed modifications do not involve any change to other precincts within the QuarryWEST Estate, or changes to the broad layout of the estate (including internal roads).

The amended precinct layout plan is shown on **Figure 4**, and a representative elevation for Warehouse B2 is shown on **Figure 5**. A full set of revised architectural design plans is attached in **Appendix A**, and revised landscape design plans and civil design plans are attached in **Appendix B** and **Appendix C**, respectively.

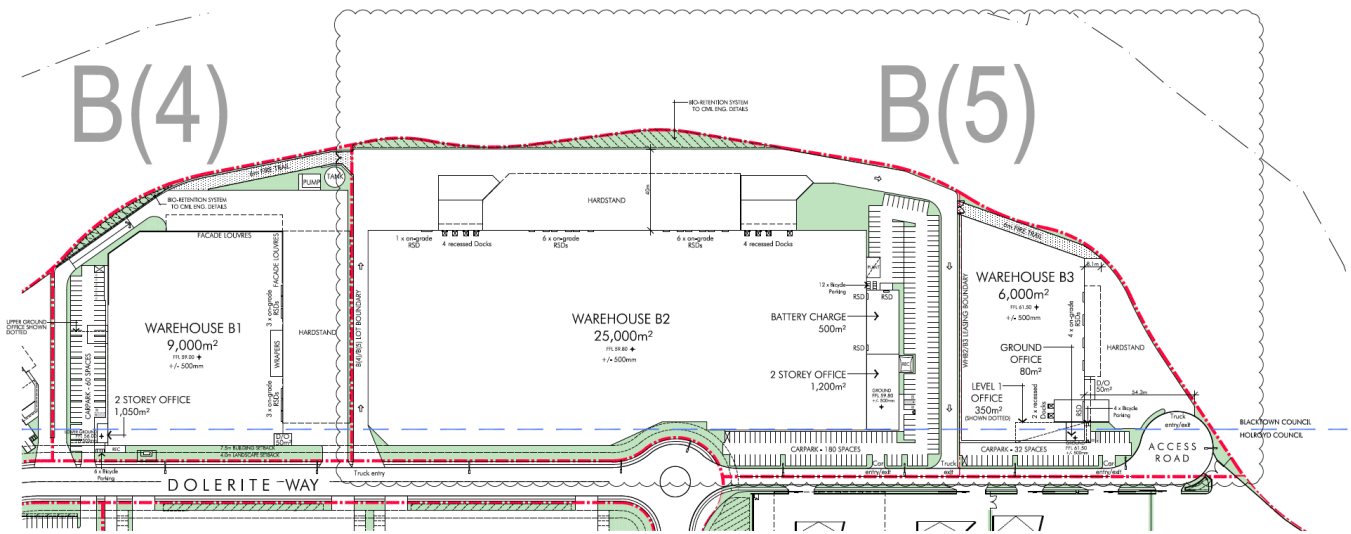


Figure 4: QuarryWEST Precinct B Site Plan – As Proposed

Table 1 provides a development schedule comparing the approved project and the proposed modification. For the purposes of consideration against the provisions of the concept plan in Section 3 below, the table includes consideration of the areas within the industrial and business zones/precincts defined in the *State Environmental Planning Policy (State Significant Precincts) 2005* (see **Figure 6**) and the Greystanes SEL concept plan. Additional development data schedules for each individual lot are provided in **Appendix D**.

Table 1: Development Schedule

Development Data	Industrial Precinct ¹		Business Precinct ¹		Total		
	Approved	Proposed	Approved	Proposed	Approved	Proposed	Change
Areas (m ²)							
- Site Area (exc. roads) ²	122,267	122,267	120,130	120,130	242,397	242,397	No change
- Warehouse Area	52,310	49,790	56,125	56,125	108,435	105,915	-2,520
- Industrial Area	0	0	1,500	1,500	1,500	1,500	No change
- Office Area	3,700 (7%)	4,100 (8%)	7,495 (11%)	7,495 (11%)	11,195 (9%)	11,595 (9%)	+400
- Retail Area	0	0	2,870	2,870	2,870	2,870	No change
- Food & Drink Premises Area ³	0	0	350	350	350	350	No change
- Total Building Area	56,010	53,890	68,340	68,340	124,350	122,230	-2,120
- Awning Area	7,377	8,886	6,422	6,422	13,800	15,309	+1,509
- Hardstand Area (heavy & light)	36,838	40,796	39,233	39,233	76,071	80,029	+3,958
- Landscaping Area	26,320 (22%)	26,896 (22%)	13,121 (11%)	13,121 (11%)	39,441 (16%)	40,017 (17%)	+576
Site Cover (inc. awning)	51%	50%	59%	59%	55%	55%	No change
Floor Space Ratio	46%	44%	57%	57%	51%	50%	-1%
No. office levels	1-2	1-2	1-2	1-2	1-2	1-2	No change
Building Height (m)	13.7	13.7-17.4 ⁴	8 to 13.7	8 to 13.7	8 to 13.7	8 to 17.4 ⁴	+3.7 ⁴
Car Parking Spaces Required ⁵	267	268	581	581	848	850	+2
Car Parking Spaces Provided	309	375	601	601	910	976	+66
Employees ⁶	294	356	571	571	865	927	+62
Hours of Operation	24 hrs, 7 days	24 hrs, 7 days	24 hrs, 7 days	24 hrs, 7 days	24 hrs, 7 days	24 hrs, 7 days	No change



Notes to Table 1:

- 1 The Industrial Precinct covers Lots 1, 4, 5 & 8 (ie. Precincts A, B & F). The Business Precinct covers Lots 2, 3, 6 & 7 (ie. Precincts C, D & E) (see Figure 6)
- 2 Total site area including roads is 255,890m²
- 3 Includes fast food outlet and service station
- 4 The increase in building height to 17.4 metres applies to Warehouse B2 only,
- 5 Based on the parking controls in the development consent (condition C5) and the State Significant Precincts SEPP, namely 1 space per 300m² of warehouse floor space, 1 space per 77m² of industrial space, 1 per 40m² of office floor space and 1 space per 20m² of retail floor space. Parking rates for food and drink premises based on the Holroyd DCP 2013, namely 1 space per 8m² of floor space.
- 6 Estimate only (based on 95% of car parking spaces)

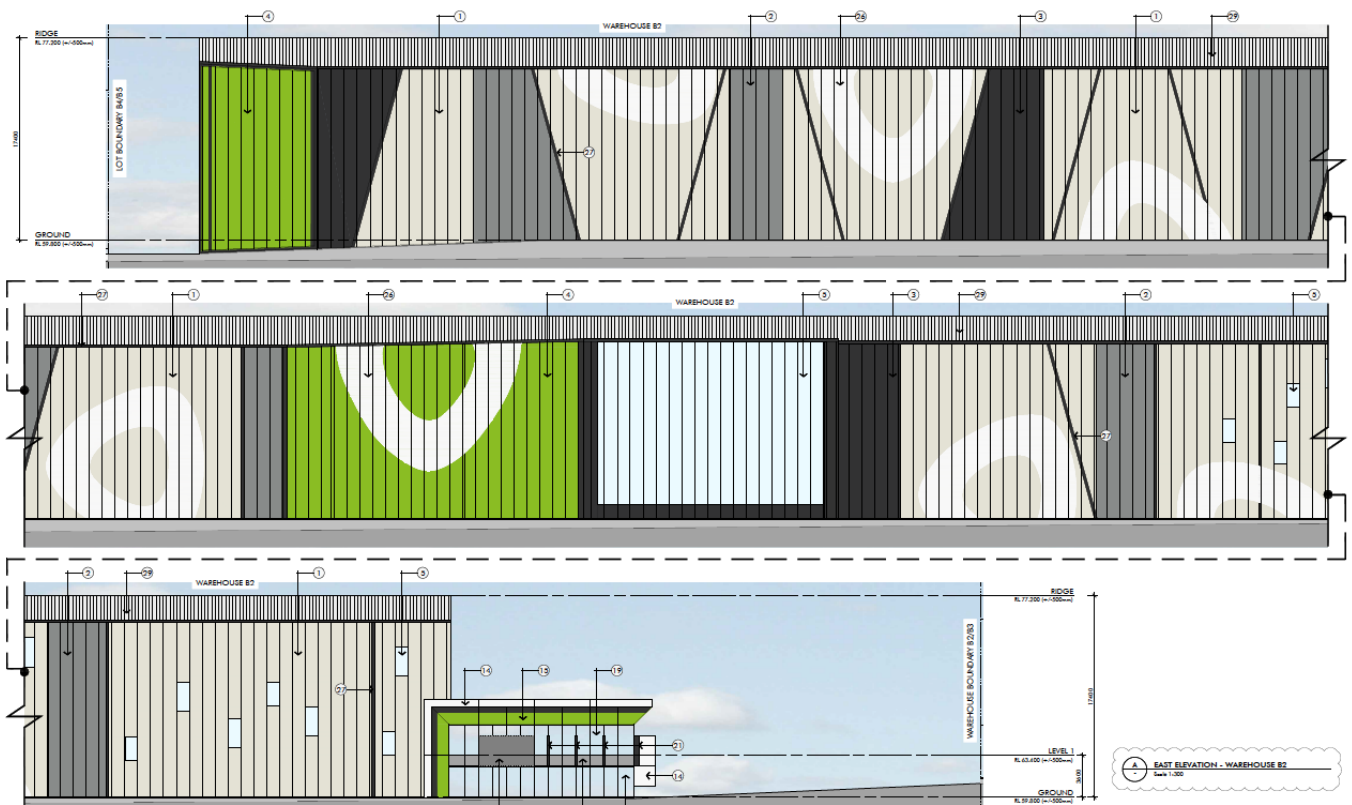


Figure 5: Warehouse B2 Eastern Elevation – As Proposed

Proposed Changes to Approval Instrument

The proposed modification would require only minor amendments to the development consent instrument, including amendments to:

- *Condition B2 of Schedule B – Terms of Consent:* to add reference to the modification application and/or this SEE;
- *Condition B6 of Schedule B – Limits of Consent:* to amend the total building area for warehouse and distribution uses, including ancillary office area (to 117,510m²); and
- *Appendix 1 – Schedule of Approved Drawings:* to update the schedule to reflect the amended drawings.



3 Planning Context

State Significant Development

The QuarryWEST Project is classified as State Significant Development under Part 4, Division 4.1 of the EP&A Act, as it involves development with a capital investment value of more than \$50 million for the purposes of warehouses or distribution centres, and therefore triggers the criteria in Clause 12 of Schedule 1 of *State Environmental Planning Policy (State and Regional Development) 2011*.

Consequently, the Minister for Planning was the consent authority for the original development application.

Section 96 of the EP&A Act

As the Minister for Planning was the consent authority for the original development application, he is therefore the consent authority for the proposed modification.

Under Section 96(1A) of the EP&A Act, a consent authority may modify a development consent if it:

- (a) is satisfied that the proposed modification is of minimal environmental impact;
- (b) is satisfied that the development as modified is substantially the same development as the development as originally granted;
- (c) has notified the application in accordance with the regulations or a development control plan, if required; and
- (d) it has considered any submissions made concerning the proposed modification.

It is considered that the proposal represents a minor modification of the development as originally approved, as it:

- does not affect the approved use of the QuarryWEST project;
- does not involve any significant change to the broad layout of the QuarryWEST project (including the road layout and broader site layout);
- does not significantly affect the development's consistency with any environmental planning instrument (see below); and
- would not result in any significant change to the environmental effects of the development (see Section 4).

Consequently, it is considered that the proposed modification is substantially the same development as that originally granted, and can be considered and determined as a minor modification under Section 96(1A) of the EP&A Act (or alternatively under Section 96(2) of the Act).

Environmental Planning Instruments

The proposal is considered able to be undertaken in a manner that is generally consistent with applicable environmental planning instruments. Consideration of applicable instruments is presented in the following table.



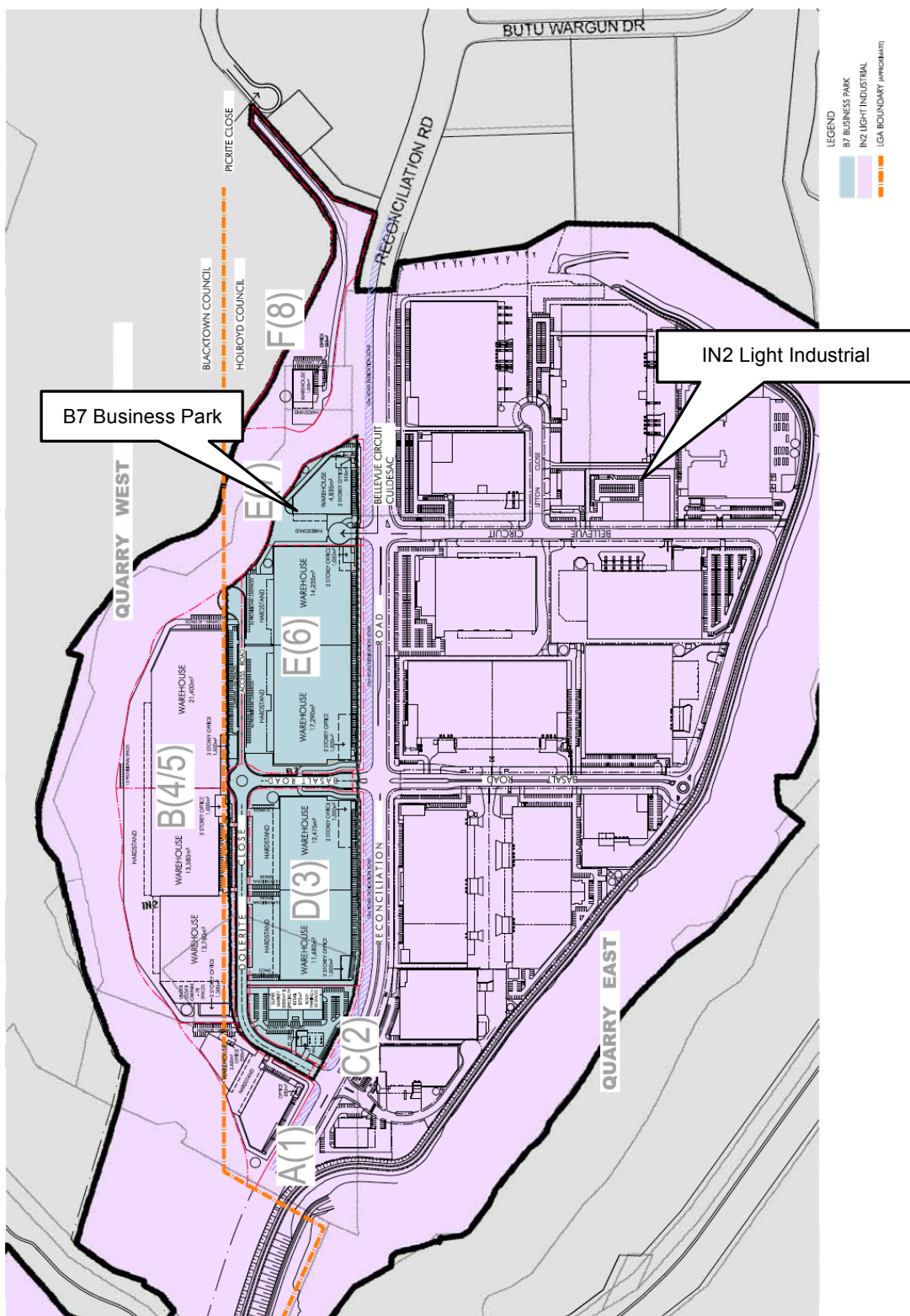
Table 2: Consideration of Environmental Planning Instruments

Instrument	Consideration
<i>SEPP (State Significant Precincts) 2005²</i>	<p>The Greystanes SEL is listed as a State significant precinct under Part 22 of Schedule 3 of the State Significant Precincts SEPP. The QuarryWEST Estate site is zoned IN2 Light Industrial and B7 Business Park under Schedule 3 (clause 6, Part 22) of the SEPP (see Figure 6).</p> <p>The proposed modification does not involve any change to the approved uses of the QuarryWEST project (ie. warehousing and distribution, light industry and retail), which are permissible in the applicable zones.</p> <p>Part 22 outlines a number of principal development standards and provisions related to development in the Greystanes SEL. A review of the proposed modification against these development standards is presented in Table 3 below.</p> <p>As indicated in the table, the QuarryWEST project as modified would remain consistent with the applicable development standards under the SEPP, with the exception of building height for one building (ie. Warehouse B2).</p>
<i>SEPP (Infrastructure) 2007</i>	<p><i>SEPP (Infrastructure) 2007</i> aims to facilitate the effective delivery of infrastructure across the State.</p> <p>Clause 104 of the SEPP applies to traffic generating development and ensures that Roads and Maritime Services (RMS) is given the opportunity to make representations on certain traffic generating development applications before a consent authority makes a determination on the proposal.</p> <p>The QuarryWEST project meets the thresholds in schedule 3 of the SEPP (as industry with an area of over 20,000m²), and is therefore traffic generating development for the purposes of the SEPP. The RMS has been consulted in relation to the broader QuarryWEST project.</p> <p>The proposed modification would not alter the existing road network servicing the estate, or materially affect traffic associated with the estate (see Section 4).</p>
<i>SEPP 33 – Hazardous and Offensive Development</i>	<p>SEPP 33 provides definitions for hazardous and offensive industry to enable decisions on developments to be made on the basis of merit, rather than on industry type per se.</p> <p>As required under the development consent (Conditions C21 and C22 of Schedule C), DEXUS is required to ensure that dangerous goods storage does not exceed the thresholds in the Department's <i>Applying SEPP 33</i> guidelines, and to store and handle all dangerous goods in accordance with relevant Australian Standards.</p> <p>The proposed Symbion Facility in Warehouse B2 would involve the storage of some Class 3 dangerous goods. Consideration of this storage against the thresholds in <i>Applying SEPP 33</i> is provided in Section 4 below. As outlined, the proposed storage would not exceed the thresholds in the guideline, and therefore the proposed facility is not considered to be a potentially hazardous industry under SEPP 33.</p>

² Formerly SEPP (Major Development) 2005



<i>Instrument</i>	<i>Consideration</i>
<i>SEPP 55 – Remediation of Land</i>	<p>SEPP 55 aims to provide for a statewide planning approach to the remediation of contaminated land, and in particular, to promote the remediation of contaminated land for the purpose of reducing risk of harm to human health or any other aspect of the environment.</p> <p>Clause 7 of the SEPP requires a consent authority to consider whether the land to which a proposal is contaminated, and if the land is contaminated, to be satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation), prior to granting consent.</p> <p>The proposed modification does not involve any change to the approved project disturbance area and approved land use, or affect any known contaminated land. Condition C7 of schedule C of the development consent for the QuarryWEST project requires DEXUS to submit a Site Audit Statement prior to the commencement of construction in each relevant part of the site, certifying that the relevant part of the site is suitable for the intended land use. Site Audit Statements confirming that the entirety of the QuarryWEST site is suitable for its intended land use were submitted to the Department on 18 November 2015.</p>
<i>SEPP 64 – Advertising and Signage</i>	<p>SEPP 64 aims to ensure that any signage associated with a development, including any advertisement, that is visible from a public place is compatible with the desired amenity and visual character of an area, is suitably located and is of a high quality and finish.</p> <p>The proposed modification does not involve any significant changes to broad signage for the estate, however the location of signage for the facilities in Precinct B would be amended slightly with the proposed changes to layout of the precinct.</p> <p>Condition C27 of schedule C of the development consent requires DEXUS to prepare and implement a detailed Signage Strategy for the estate prior to the installation of permanent signage on the site. The Estate Signage Strategy was submitted to the Department for approval in March 2016, and approved by the Department on 27 June 2016.</p>



SEE_MOD 3_Feb17.docx



Table 3: State Significant Precincts SEPP Development Standard Compliance

Clause (Part 22, Sch.3)	Issue	Key Controls Summary	Complies (Yes or No)	Comments / EA Reference
13	Building Height	<ul style="list-style-type: none"> Maximum height in B7 zone is 25 metres Maximum height in IN2 zone is 15 metres 	No	<ul style="list-style-type: none"> The proposal does not involve any change to approved building heights across the estate (ie. up to 13.7 metres), apart from one building (Warehouse B2), which is proposed to be increased to a height of 17.4 metres See additional consideration below
14	Gross Floor Area (GFA)	<ul style="list-style-type: none"> Maximum GFA in B7 zone is 104,000m², of which: <ul style="list-style-type: none"> max. of 6,500m² for retail premises, service stations and vehicle repair stations, with a max. pub GFA of 2,500m² and max. supermarket GFA of 2,000m²; max. GFA for other uses of 97,000m²; and min. GFA of 3,000m² for any building containing office premises; Maximum office GFA in IN2 zone is: <ul style="list-style-type: none"> 50%, for lots within 400 metres of bus stop; and 30%, for lots more than 400 metres of bus stop. 	Yes	<ul style="list-style-type: none"> The proposal does not involve any change to GFA in the B7 zone (ie.68,340m²) The proposal does not involve any change to GFA for retail and service uses (ie. 3,220m²) The proposed warehouses in the IN2 zone (and B7 zone) have ancillary office components less than 30%
15	Floor Space Ratio	<ul style="list-style-type: none"> Maximum floor space ratio in IN2 zone is 0.75:1 	Yes	<ul style="list-style-type: none"> The proposed amended warehouses in the IN2 zone all have FSRs well below 0.75:1 The proposed amended masterplan has an overall FSR of 0.50:1
16	Hotel Accommodation	<ul style="list-style-type: none"> Not applicable 	Yes	<ul style="list-style-type: none"> The project does not involve hotel development
17	Child Care Centres	<ul style="list-style-type: none"> Not applicable 	Yes	<ul style="list-style-type: none"> The project does not involve child care centre development



Clause <i>(Part 22, Sch.3)</i>	Issue	Key Controls Summary	Complies <i>(Yes or No)</i>	Comments / EA Reference
18	Car Parking	<ul style="list-style-type: none"> Car parking rates include: <ul style="list-style-type: none"> Warehouses or distribution centres, 1 space per 300 m²; Offices, 1 space per 40m²; Retail, 1 space per 20m² 	Yes	<ul style="list-style-type: none"> The project has been designed to comply with the applicable car parking rates.
21	Design Excellence	<ul style="list-style-type: none"> Requires buildings to achieve a high level of architectural design merit 	Yes	<ul style="list-style-type: none"> The proposed amended facilities have been designed by prominent architects Nettleton Tribe, and are generally consistent with the approved facilities
22	Architectural Roof Features	<ul style="list-style-type: none"> Allows decorative architectural roof elements above the maximum building height under certain circumstances 	Yes	<ul style="list-style-type: none"> The development does not involve architectural roof elements above the proposed heights, other than as shown on the architectural plans
23	Public Utility Infrastructure	<ul style="list-style-type: none"> Requires infrastructure to be provided, including potable water, electricity, gas and sewerage 	Yes	<ul style="list-style-type: none"> All required infrastructure for the Greystanes SEL has been approved

As outlined in the above table, the proposed modified masterplan complies with all of the development standards in the SEPP, apart from building height for one building (Warehouse B2) located within the IN2 zone. Warehouse B2 is proposed to be increased to a maximum ridge height of 17.4 metres, which is some 2.4 metres above the 15 metre development standard. It is noted that the height of the building at the eaves of the eastern elevation would be approximately 14.9 metres, which complies with the development standard.

Clause 20, Part 22 of Schedule 3 of the State Significant Precinct SEPP provides that the development standards imposed by the SEPP may be varied for development if the consent authority is satisfied that:

- compliance with the development standard is unreasonable or unnecessary in the circumstances of the case; and
- there are sufficient environmental planning grounds to justify contravening the development standard.

In deciding whether to vary the development standard, the consent authority must:

- be satisfied that an applicant's request to vary the development standard addresses the above matters, and that the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone; and
- obtain the concurrence of the Secretary of the Department.

In deciding whether to grant concurrence, the Secretary must consider:

- whether contravention of the development standard raises any matter of significance for State or regional environmental planning;
- the public benefit of maintaining the development standard; and



- (c) any other matters required to be taken into consideration by the Secretary.

With regard to the proposed building height of Warehouse B2, it is considered that compliance with the development standard is unreasonable or unnecessary, and that there are sufficient environmental planning grounds to justify contravening the development standard, as:

- the QuarryWEST estate is located at the base of a former quarry, and is surrounded by the quarry walls which have heights of between 40 and 60 metres (see **Figure 1**);
- the QuarryEAST estate, also within the former quarry, has approved building heights of up to 40 metres for similar industrial buildings. These building heights have been allowed in large part because of the unique nature of the site, within the base of the former quarry, which assists in mitigating any adverse visual amenity impacts associated with taller buildings;
- the Warehouse B2 site is located towards the rear of the QuarryWEST estate adjacent to the western quarry walls, and is well removed from the main public domain areas of the estate and the main public thoroughfare associated with Prospect Highway;
- the proposed height of Warehouse B2 is well below the allowable building height in the B7 zone (ie. 25 metres), which is located immediately to the east of the site, between the Warehouse B2 site and the Prospect Highway;
- the Warehouse B2 site has frontage to Dolerite Way, which is an internal estate road that provides access to land users within the estate only;
- there are no sensitive visual receivers or residences in the vicinity of the Warehouse B2 site that would be affected by the moderate height increase;
- the Warehouse B2 facility, and in particular the eastern façade, has been designed to a very high standard with a range of materials, colours, design elements and articulation. This would assist in minimising the scale and bulk of the facility, and provide visual interest and relief (see Section 4 below for further detail);
- the moderately higher building would assist in improving the sustainability of the facility and the QuarryWEST estate, by reducing the footprint and land take of the warehouse facility (relative to providing a building of the same volume with a lower building height);
- the moderately higher building would assist in maximising the employment opportunities associated with the Warehouse B2 facility, by improving the efficiency of the facility; and
- the moderately higher building would not adversely affect any other land users within or outside the QuarryWEST estate.

Consequently, it is considered that the contravention of the development standard is in the public interest and that the proposed QuarryWEST estate as modified would remain consistent with the objectives of the IN2 Light Industrial zone, which include:

- (a) *‘to provide a wide range of light industrial, warehouse and related land uses,*
- (b) *to encourage employment opportunities,*
- (c) *to minimise any adverse effect of industry on other land uses,*
- (d) *to enable other land uses that provide facilities or services to meet the day to day needs of workers in the area,*
- (e) *to facilitate employment-generating development for a wide range of purposes, including light industry, technology-based industry, manufacturing, warehousing, storage and research.’*



Greystanes SEL Concept Plan and Urban Design Plan

Consideration of the proposed modification against the relevant provisions of the Greystanes SEL concept plan – including the concept plan approval and the development controls under the Greystanes SEL Urban Design Plan (UDP) – is provided in **Appendix E**.

In summary, it is considered that the project as modified remains generally consistent with the concept plan. The only departures from the development standards in the concept plan and UDP remain generally similar to those departures already identified for the approved project, which include:

- setbacks in some areas of the site;
- streetscape, in particular the width of Basalt Road;
- building heights adjacent Basalt Road; and
- landscaping areas for lots in the business precinct.

With regard to setbacks, the approved masterplan for the QuarryWEST project has been designed and approved based on a 4.0 metre minimum landscape setback and 7.5 metre minimum building setback for all public road frontages. The proposed modification does not involve any change to these minimum setbacks, although it does involve some changes to the layout and setbacks of Warehouse B2 and Warehouse B3. In this regard, the setback of Warehouse B2 has been decreased (from approximately 25 metres minimum to 7.5 metres), which is similar to the setback of Warehouse B1, and as approved for Warehouse B1/B2 under the original development consent. The setback of Warehouse B3 from Dolerite Way has been increased considerably with the reduction in size of this warehouse.

With regard to building heights, the UDP reflects the building height standards in the State Significant Precincts SEPP in the industrial precinct, namely 15 metres. The proposed modification does not involve any changes to building heights across the estate, apart from the Warehouse B2 facility which is proposed to have a maximum building height of 17.4 metres. For the reasons outlined above, it is considered that this departure is reasonable and warranted in this case.

The proposed modification does not involve any change to the other existing departures.

4 Environmental Impacts of Proposed Modification

Consideration of the environmental effects of the proposed modification is presented in the following table.

In summary, it is considered that the proposal would not result in any significant change to the environmental effects of the project as approved.

Table 4: *Consideration of Environmental Effects*

Issue	Consideration
<i>Design and Visual</i>	<p>It is considered that the proposed modifications to the layout of the QuarryWEST masterplan would not result in any adverse impacts to the design quality of the project or visual amenity of the locality as a whole. The revised masterplan retains the same architectural design theme as the approved masterplan.</p> <p>The proposed amendments to the buildings in Precinct B are not expected to result in any significant adverse local visual impacts. The buildings are located towards the rear of the estate and would not be readily visible from the key public thoroughfare of</p>



<i>Issue</i>	<i>Consideration</i>
	<p>Prospect Highway (Reconciliation Road). Rather, the main visual receivers would be internal industrial neighbours and commuters on the internal estate road Dolerite Way, which would comprise mostly users of, and visitors to, the QuarryWEST estate. These visual receivers would have generally a low visual sensitivity.</p> <p>The layout of Warehouse B2 has essentially been 'flipped', such that the main loading area has been moved from the eastern side of the warehouse fronting Dolerite Way, to the western side of the warehouse where it would be largely screened from the public domain. This could be considered to improve the streetscape of Dolerite Way, by removing these operational areas from the street frontage. Whilst the setback to Dolerite Way has been reduced, it is noted that the proposed setback is similar to the setback of the neighbouring Warehouse B1, complies with the approved setback controls for the estate (ie. 7.5 metres), and is similar to the setback for Warehouses B2/B3 as approved in the original development consent.</p> <p>To ensure that the reduced setback and increased height of Warehouse B2 does not result in any adverse visual amenity impacts, the eastern façade of the building has been designed to a very high standard, with the key design measures including:</p> <ul style="list-style-type: none"> • orienting the ancillary office on the north-eastern corner of the warehouse to assist in breaking up the facade; • incorporating a range of quality building materials (including insulated wall panel, translucent panel, composite aluminium cladding, extensive glazing to offices and mesh screening); • incorporating a range of building colours and decorative design elements (see Figure 5); and • incorporating façade articulation elements, including architectural downpipes and aluminium blade sunshades. <p>It is considered that these elements would assist in mitigating any adverse visual impacts associated with the Warehouse B2 facility, and indeed would facilitate the construction of a landmark warehouse facility within the QuarryWEST estate.</p> <p>The setback of Warehouse B3 to Dolerite Way would be increased from 7.5 metres to over 50 metres as a result of the proposal, and much of the facility would not be readily visible from the public domain. Notwithstanding, the facility has been designed to address the private access road, with the ancillary office located to the street frontage. The facility also provides generous setbacks to the private access road (ie. approximately 10 metres).</p>
<i>Soil and Water</i>	<p><i>Erosion and Sedimentation</i></p> <p>The proposed modification does not involve any change to the approved disturbance area of the project, and as such would not change the erosion and sedimentation risks.</p> <p>As required under the development consent, DEXUS will implement and maintain erosion and sediment control measures in accordance with Landcom's (2004) <i>Managing Urban Stormwater: Soils and Construction</i> manual (the 'Blue Book').</p> <p><i>Site Contamination</i></p> <p>The proposed modification does not involve any change to the approved disturbance area of the project, and as such does not change the risks associated with potential site contamination.</p> <p>As required under the development consent, DEXUS is required to provide a Site Audit Statement to the Department certifying that the relevant part of the site is suitable for</p>



Issue	Consideration
	<p>commercial/industrial development, prior to construction of the relevant facility. Site Audit Statements confirming that the entirety of the QuarryWEST site is suitable for its intended land use were submitted to the Department on 18 November 2015.</p>
	<p><i>Groundwater Management</i></p> <p>The proposal does not involve any significant change to excavation or site levels associated with the approved project, or any significant change to the impervious areas assumed in estate planning (see below). Accordingly, the proposal is not expected to result in any change to groundwater flows or quality, or affect the operation of the Groundwater Management Strategy for the Greystanes SEL.</p> <p>This Groundwater Management Strategy details measures to drain and treat groundwater from the base of the quarry. The strategy forms part of the concept plan approval, and the construction of the groundwater management infrastructure has been approved as part of Boral's Greystanes SEL project approval (refer to the EIS for the original QuarryWEST project for further information).</p>
	<p><i>Stormwater Management</i></p> <p>As detailed in the EIS for the approved QuarryWEST project, the Greystanes SEL concept plan provides for a detailed Stormwater Management Strategy for the employment lands. The plan was designed to manage both the quality and quantity of surface water flow in a sustainable manner prior to its ultimate discharge to Prospect Creek. The strategy includes:</p> <ul style="list-style-type: none">• on-site treatment (business precinct only);• gross pollutant traps in lots;• stormwater drains/pipes in the internal road network;• vegetated open bio-filtration channels around the perimeter of the estate; and• a precinct detention basin at Widemere East, along with a 5 megalitre harvesting dam. <p>The perimeter stormwater channels and the precinct detention basin have been designed to convey stormwater events up to the 100 year ARI event, with discharge maintained at pre-development levels to minimise the risk of flooding.</p> <p>The 5 megalitre harvesting dam at Widemere East has been designed to collect and store peak low stormwater flows for pumping to the Cumberland Country Golf Club for re-use purposes. Boral, DEXUS and the golf club have entered into an agreement for the water re-use, which includes a minimum 25 year contractual obligation for water harvesting by the golf club.</p> <p>The Stormwater Management Strategy (and an accompanying Stormwater Maintenance Plan) forms part of the concept plan approval, and the construction of the estate stormwater infrastructure has been approved as part of Boral's Greystanes SEL project approval. The Stormwater Maintenance Plan includes a stormwater monitoring program for the estate.</p> <p>The EIS for the approved QuarryWEST project included a stormwater concept prepared by Costin Roe Consulting, in accordance with the wider Stormwater Management Strategy for the Greystanes SEL.</p> <p>The stormwater concept included a series of bio-retention basins in the landscaping areas throughout the site, providing a total of 3,000m² of bio-retention. Modelling undertaken in the EIS demonstrated that the concept would comply with the applicable stormwater quantity and quality requirements.</p>



Issue	Consideration																							
	<p>Costin Roe has amended the stormwater concept to reflect the minor layout changes associated with the proposed modifications, and reviewed the concept against the applicable stormwater requirements (see Appendix C).</p> <p>The review confirms that the overall impervious surface area associated with the proposed masterplan remains generally consistent with the approved masterplan layout (with landscaping representing 17% of site area), and therefore stormwater runoff rates would remain consistent with the approved stormwater concept.</p> <p>Whilst the proposed stormwater concept includes minor adjustments to the layout of the bio-retentions within the site, the review also confirms that the minimum required 3000m² of bio retention, consistent with the approved project, has been provided. Consequently, the proposed stormwater concept would not involve any significant change to stormwater quantity and quality associated with the project.</p> <p>As required under the development consent (Condition D3 of Schedule D), DEXUS is required to prepare a specific Stormwater Management Plan for each facility to the satisfaction of the Department, prior to the commencement of construction of each facility.</p>																							
Noise	<p>A noise impact assessment was undertaken as part of the EIS for the QuarryWEST project, which found that the project would comfortably comply with the applicable construction, operation, sleep disturbance and traffic noise criteria at the nearest sensitive receiver locations, namely the residential area of Nelsons Ridge to the east of the quarry. The predicted operational noise levels are reproduced in Table 4A below.</p> <p>The comfortable compliance is largely due to the nature of the Greystanes SEL site, which is separated from surrounding land uses by the walls of the former Prospect Quarry. These walls, at up to 60 metres high, act to effectively attenuate noise emissions.</p> <p>Table 4A: Operational Noise Predictions, dB_{LAeq(15min)}</p> <table><tr><th rowspan="2">Receiver Location</th><th rowspan="2">Predicted Noise Level</th><th colspan="3">Intrusive Noise Criteria</th></tr><tr><th>Day</th><th>Evening</th><th>Night</th></tr><tr><td>Nelsons Ridge A</td><td>16</td><td></td><td></td><td></td></tr><tr><td>Nelsons Ridge B</td><td>20</td><td>40</td><td>42</td><td>38</td></tr><tr><td>Nelsons Ridge C</td><td>15</td><td></td><td></td><td></td></tr></table> <p><i>Note: With regard to time periods:</i></p> <ul style="list-style-type: none">• Day is the period from 7am to 6pm on Monday to Saturday, and 8am to 6pm on Sunday and public holidays;• Evening is the period from 6pm to 10pm; and• Night is the period from 10pm to 7am on Monday to Saturday, and 10pm to 8am on Sundays and public holidays. <p>The proposed minor changes to the layout of the QuarryWEST Estate are not expected to result in any material change to the noise emissions from the estate, and consequently it is expected that the project as modified would continue to comply with the noise criteria in the development consent.</p>	Receiver Location	Predicted Noise Level	Intrusive Noise Criteria			Day	Evening	Night	Nelsons Ridge A	16				Nelsons Ridge B	20	40	42	38	Nelsons Ridge C	15			
Receiver Location	Predicted Noise Level			Intrusive Noise Criteria																				
		Day	Evening	Night																				
Nelsons Ridge A	16																							
Nelsons Ridge B	20	40	42	38																				
Nelsons Ridge C	15																							
Air Quality	<p>The proposed modification does not involve any significant change to air emissions associated with the approved project.</p> <p>As required under the development consent, DEXUS is required to implement all</p>																							



Issue	Consideration
	reasonable and feasible measures to minimise and manage dust, odour and visual air pollution associated with the project.
<i>Greenhouse Gas (GHG) and Energy Efficiency</i>	<p>The proposal is not expected to significantly change the total GHG emissions associated with operation of the QuarryWEST Estate.</p> <p>As required under the development consent (Condition C22 of Schedule C), DEXUS is required to minimise energy use and GHG emissions on site.</p>
<i>Flora and Fauna</i>	The proposed modification does not involve any changes to the approved disturbance area of the site, which is a former quarry with negligible vegetation or habitat value.
<i>Heritage</i>	<p>The proposed modification does not involve any changes to the approved disturbance area of the site, or significant changes to the broad estate layout, and would not adversely impact any identified heritage sites. No known heritage sites or items have been identified in Precinct B of the estate.</p> <p>As outlined in the original EIS, the QuarryWEST project provides for the installation of interpretive heritage elements (in particular a jaw crusher and associated rocks associated with the former Prospect Quarry) within the landscaping area of the retail area of the site (ie. Precinct C), in accordance with the approved Heritage Interpretation Plan for the Greystanes SEL. The proposed modification does not involve any change to this precinct or the heritage interpretation strategy.</p>
<i>Traffic and Parking</i>	<p><i>Traffic Generation and Road Network</i></p> <p>The EIS for the approved QuarryWEST project included a traffic assessment undertaken by Transport & Urban Planning Pty Ltd (T&UP), which predicted that the project would generate some 888 two way trips in the AM peak hour and 1,158 two way trips in the PM peak hour.</p> <p>T&UP has undertaken a review of the traffic implications of the proposed modification (see Appendix F). Given that the proposal would result in a small decrease in overall floor areas associated with the estate masterplan, the review indicates that the proposed modification would result in a small decrease to traffic volumes associated with the estate (to 842 two way trips in the AM peak hour and 1,131 two way trips in the PM peak hour). The review also considers that the proposed modification would not result in any change to traffic patterns, given the minor changes to the broad layout of the masterplan.</p> <p>Overall, the intersections providing vehicle access to the QuarryWEST estate would retain the same satisfactory level of service and similar average vehicle delays as previously assessed for the approved development, given the minor change in traffic generation for the proposed modification and no change in traffic patterns for vehicles accessing the estate.</p> <p><i>Internal Circulation</i></p> <p>The internal road network within the QuarryWEST Estate (including Basalt Road West, Dolerite Way and Charley Close) has been designed to accommodate industrial traffic (including B-doubles), and the proposed modification does not involve any change to these roadways.</p> <p>The modified warehouse layouts and associated hardstand areas have been designed in a manner that is consistent with the approved project, including:</p>



<i>Issue</i>	<i>Consideration</i>
	<ul style="list-style-type: none"> ensuring that development lots are accessed via the secondary road network only, with no direct access from Prospect Highway; separation of car and truck driveways where practicable; ensuring cars and trucks are able to enter and exit all lots in a forward direction; and designing facilities to accommodate the largest vehicle which will use each warehouse, including rigid trucks (up to 12.5 metres long), semi-trailers (19 metres) and B-doubles (up to 26 metres). <p>The traffic review confirms that all driveways and internal roads are/will be designed to fully comply with Australian Standard (AS2890.2) requirements for the largest vehicle that will visit the development, and that driveway locations will provide adequate sight distance.</p> <p><i>Car Parking</i></p> <p>The proposed masterplan has been designed to comply with the applicable car parking rates in the development consent (Condition C5 of Schedule C) and the State Significant Precincts SEPP for each development lot. As indicated in Table 1, proposed parking supply for the QuarryWEST Estate comfortably meets the minimum parking requirements. Parking supply for each of the development lots is shown in Appendix D.</p> <p>Disabled parking spaces have been designed and would be provided in accordance with AS 2890.6 (2009).</p> <p><i>Pedestrian and Bicycle Facilities</i></p> <p>The proposed modification does not involve any change to the estate pedestrian and bicycle facilities, other than minor changes associated with the proposed changes to the masterplan layout. Bicycle parking and changing facilities would be provided in accordance with Condition C5 of Schedule C of the development consent.</p>
<i>Hazards</i>	<p>The proposed Symbion Facility in Warehouse B2 would involve the storage of some dangerous goods, in particular pharmaceutical-related flammable liquids (Class 3 dangerous goods) including up to approximately:</p> <ul style="list-style-type: none"> 9,000 L of water miscible flammable liquids; 1,000 L of non-miscible flammable liquids; and 4,600 kg of aerosols. <p>As outlined in Section 3, SEPP 33 and the Department's <i>Applying SEPP 33</i> guidelines are used to ascertain whether a proposal is a hazardous industry. If a proposed development involves storage of dangerous goods in excess of the thresholds in the SEPP 33 guidelines then it is deemed to be a 'potentially hazardous industry', and a more detailed Preliminary Hazard Analysis (PHA) is required to assess whether the development is a 'hazardous industry'.</p> <p>With a total storage of Class 3 dangerous goods of up to approximately 15 tonnes, the applicable threshold distance at which the proposed Symbion Facility storage is considered potentially hazardous is about 5 metres to off-site industrial land uses, and 7 metres to off-site sensitive land uses.</p> <p>The proposed warehouse and dangerous goods storage is located in excess of these distances to the boundary, and therefore the proposed storage would not exceed the</p>



Issue	Consideration
	SEPP 33 thresholds. As such, the proposed facility is not considered to be potentially hazardous.
	As required under the development consent (Conditions C21 and C22 of Schedule C), DEXUS is required to ensure that dangerous goods storage does not exceed the thresholds in the Department's <i>Applying SEPP 33</i> guidelines, and to store and handle all dangerous goods in accordance with relevant Australian Standards.
Waste	The proposed modification would not significantly alter the generation or management of wastes associated with the approved QuarryWEST project.
	As required under the development consent (Condition C24 of Schedule C), DEXUS is required to monitor and minimise waste generation associated with the project.
Utilities and Services	The proposal is not expected to affect the capacity of utilities and services associated with the approved project.

5 Conclusion

It is considered that the proposed MOD 3 modification represents a relatively minor modification of the QuarryWEST project as approved.

Having regard to all the salient environmental, social and economic issues, it is considered that the proposed modification represents continued orderly use of the land. It is respectfully requested that the Department, having due regard for the information submitted in this document, grants approval to the proposed modification.

Should you have any enquiries in relation to this matter, please do not hesitate to contact me on 0400 392 861.

Yours faithfully,

PJEP – Environmental Planning

Phil Jones

Principal Environmental Planner

Cc: DEXUS, Tactical Group

Attachments:	Appendix A	Revised Architectural Design Plans
	Appendix B	Revised Landscape Design Plans
	Appendix C	Revised Civil Design Plans/Review (including Stormwater Review)
	Appendix D	Detailed Area Schedule
	Appendix E	Greystanes SEL Concept Plan Consideration
	Appendix F	Traffic Assessment



APPENDIX A



APPENDIX B



APPENDIX C



APPENDIX D



APPENDIX E



APPENDIX F