

HOTEL & RESIDENTIAL LEVELS PLANTING DESIGN

HOTEL & RESIDENTIAL LEVELS - GENERAL

Planting is proposed to levels 3, 11, 12, 13, 14, 15, 16 & the roof level to provide visual and open space amenity. Perimeter planting creates strong horizontal bands to the building facade complementing the architectural form whilst internal planting acts to screen and enrich private outdoor spaces. On level 11, planting within terraced central planter provides amenity to the communal terrace. Planting is also used to provide a green experience within the circulation corridor that frames 2 faces of the central void.

Planting for the residential levels is proposed within three typologies;

- Perimeter planting: located within perimeter planters and comprising smaller dense, darker tonal planting which will maintain internal sightlines across to city views with larger feature species utilised to enclose spaces and frame views;
- Communal Terrace Planting: species tolerant of lower light conditions proposed to the central and perimeter planters within the level 11 communal terrace, featuring palms and tree ferns with a lush understorey of ferns. Feature planting is proposed to larger planter areas where soil volumes will support root systems.
- Balcony Planting: lush cascading planting to the edges of the circulation corridors, providing an intimate and green experience. The layers of planted volume progresses up to roof terrace.

Plant species have been selected to have visual impact from below (looking up at the building) and from within the various garden spaces; defining terrace open spaces and creating visual focal points. A selection of hardy, low maintenance species are proposed which can be applied / adapted to the variable facade aspect and micro-climates.

SOIL DEPTHS

Raised planter soil depths are designed in keeping with the SEPP 65 Residential Flat Design Guideline 'Rule of Thumb' for planting on structure outlined below;

- 300-400mm minimum depth for groundcovers
- 400-600mm minimum depth for shrubs
- Minimum 800mm depth or nine cubic meters soil volume for small trees

LEGEND

- PERIMETER PLANTING
- COMMUNAL TERRACE PLANTING
- BALCONY PLANTING

Refer page 8 for hotel & residential levels planting palettes



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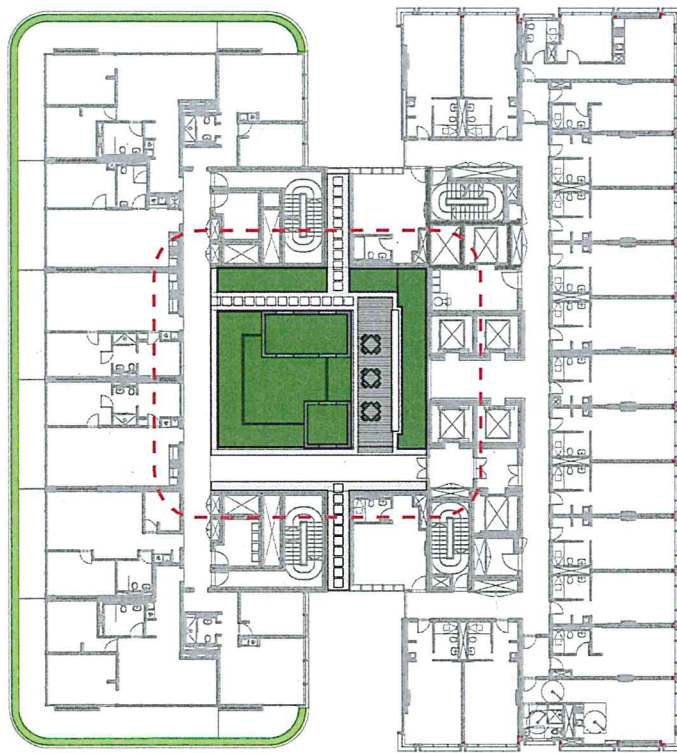
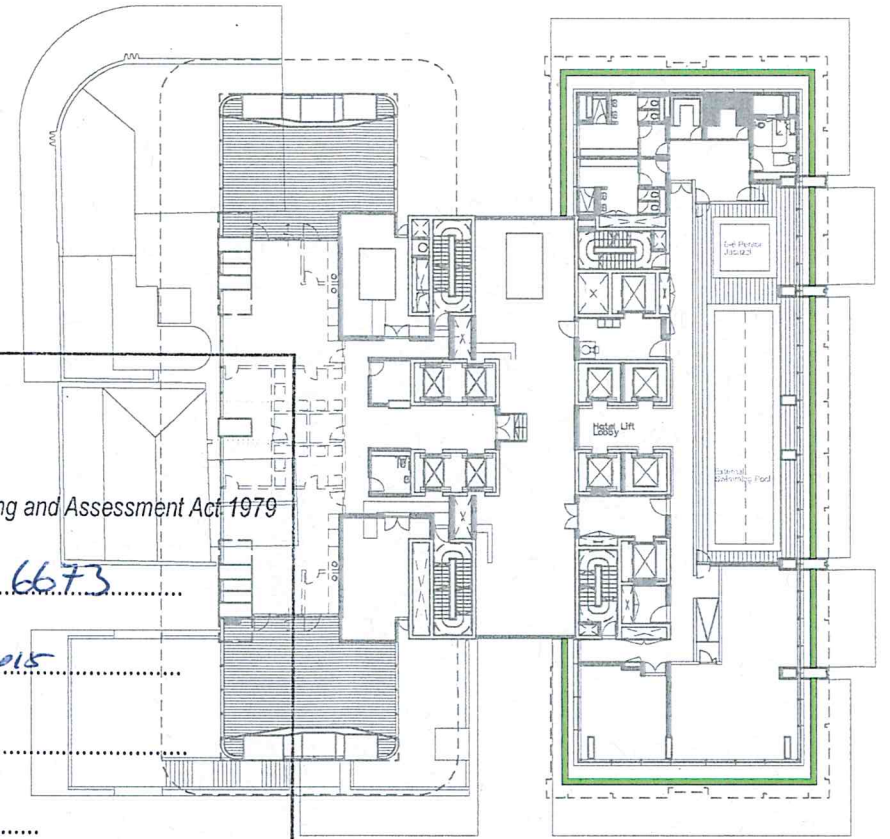
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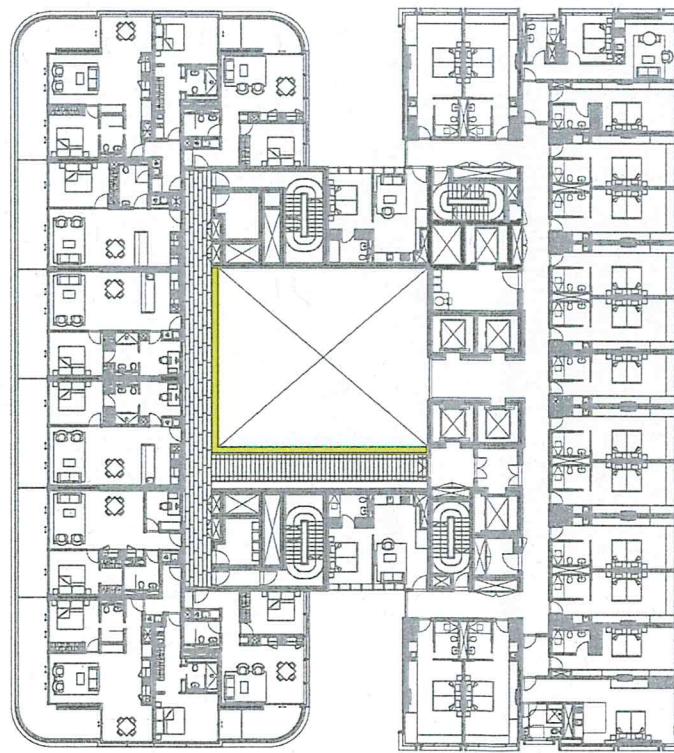
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Sheet No. 71 of 104

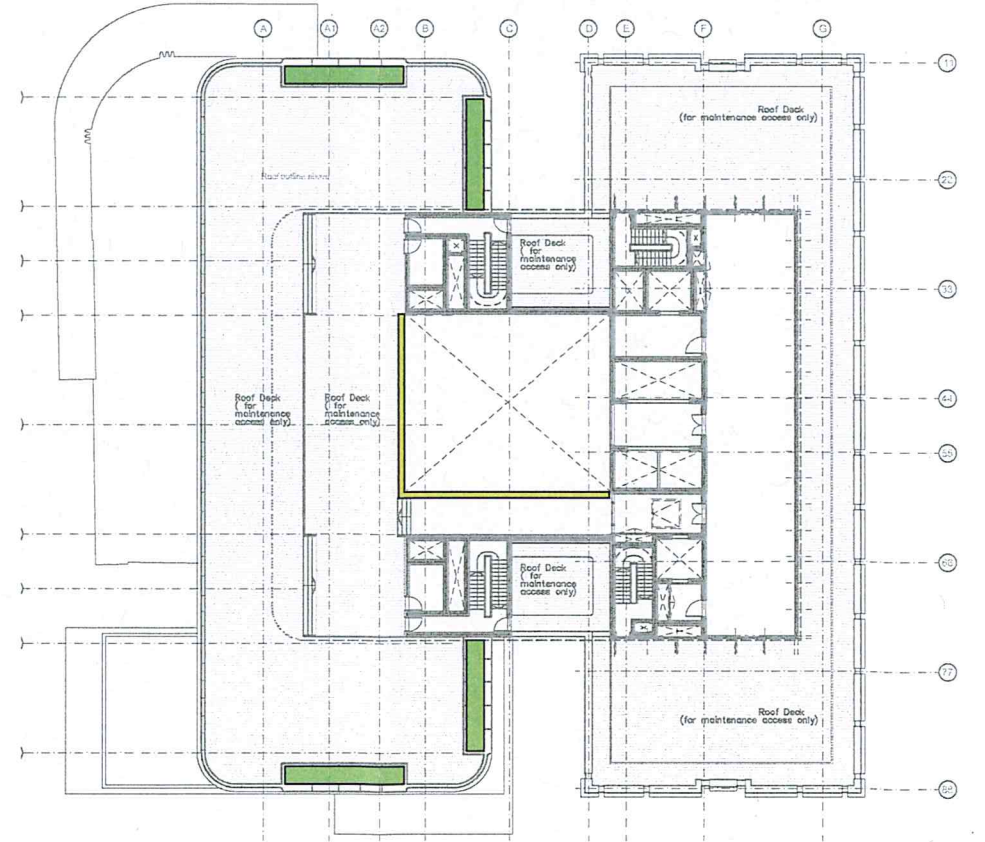
LEVEL 3



LEVEL 11



LEVEL 12 - 16



ROOF

LEVEL 11 - COMMUNAL TERRACE



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LEGEND



PROPOSED PALM & TREE FERN PLANTING



GARDEN BED



DECKED SEATING AREA



WHITE PEBBLE



STEPPING STONE PAVER PATH



RAISED PLANTER TERRACE COVERING LIFT
OVERRUNS- 2M HEIGHT



RAISED PLANTER TERRACE - 1.5m HEIGHT



RAISED PLANTER TERRACE - 1m HEIGHT



RAISED PERIMETER PLANTER - 1m HEIGHT



LOUNGE SEAT



CAFE STYLE SEATING

REFER PAGE 8 FOR L11 COMMUNAL TERRACE
PLANTING PALETTE

LEVEL 11 COMMUNAL TERRACE

Level 11 offers residents a communal terrace space within the base of the central void. This void continues up through all of the residential levels above, providing natural light. At the centre of the communal terrace is a raised planter platform that encases the lift overruns.

A rich palette of plants offers both vertical and cascading qualities to the terraced planter platforms. Species tolerant of lower light conditions have been proposed and provide a lush, sheltered and visually striking shared amenity space for residents.

Balcony planters above the residential void provide armatures for plants to cascade from, forming a vibrant green volume of planting that continues up from the base of the central void.

GROUND FLOOR & PUBLIC DOMAIN PLANTING PALETTE

SUGGESTED SPECIES

PEDESTRIAN LINK & STREETScape PLANTING

Trees:

Waterhousia floribunda
Celtis australis

Understorey/Shrubs:

Alcantarea imperialis *Tachelospermum asiaticum*
Aspidistra elatior *Neomarica gracilis*
Liriope 'Evergreen Giant'
Philodendron 'Xanadu'
Aucuba japonica
Elettaria cardamomum
Ctenanthe setosa 'Grey Star'
Philodendron 'Rojo Congo'



Waterhousia floribunda



Celtis australis



Tachelospermum asiaticum



Neomarica gracilis



Philodendron 'Rojo Congo'



Philodendron 'Xanadu'



Philodendron 'Xanadu'

WATER FEATURE PLANTING

Understorey/Shrubs:

Juncus australis
Juncus usitatus
Nymphaea 'James Brydon'
Nymphaea mexicana
Typha orientalis
Eleocharis sphacelata
Iris species



Typha orientalis



Juncus usitatus



Juncus australis



Nymphaea 'James Brydon'



Nymphaea mexicana



Eleocharis sphacelata



Iris species

FEATURE/ACCENT PLANTING

Feature Trees:

Jacaranda mimosifolia
Waterhousia floribunda
Plumeria rubra




Jacaranda mimosifolia



Waterhousia floribunda



Plumeria rubra

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HOTEL & RESIDENTIAL LEVELS PLANTING PALETTE

SUGGESTED SPECIES

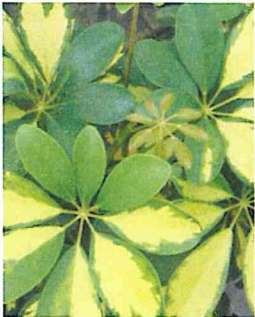
PERIMETER PLANTING

Understorey/Shrubs:

<i>Alcantarea imperialis</i>	<i>Aloe-Aloe cultivars</i>
<i>Aspidistra elatior</i>	<i>Aeonium 'Schwarzkopf'</i>
<i>Clivia miniata</i>	<i>Ctenanthe humilis</i>
<i>Agapanthus orientalis</i>	<i>Xylosma japonica</i>
<i>Philodendron 'Xanadu'</i>	<i>Carpobrotus (Native Pig Face)</i>
<i>Yucca 'Bright Edge'</i>	<i>Murraya paniculata</i>
<i>Strelitzia reginae</i>	<i>Yucca elephantipes 'Silver Star'</i>
<i>Euphorbia tirucalli</i>	<i>Crassula ovata</i>
<i>Fatsia japonica</i>	<i>Liriope 'Evergreen Giant'</i>
<i>Cordyline glauca</i>	<i>Alpinia zerebut variegata</i>
<i>Shefflera aboricola</i>	
<i>Senecio serpens</i>	



Alcantarea imperialis



Schefflera aboricola



Clivia miniata



Agapanthus orientalis



Philodendron 'Xanadu'



Yucca 'Bright Edge'



Strelitzia reginae



Euphorbia tirucalli

LEVEL 11 COMMUNAL TERRACE PLANTING

Palms & Trees Ferns:

Cycas revoluta
Cyathea australis
Cyathea cooperi
Chamaedorea seifrizii

Understorey/Shrubs:

<i>Aspidistra elatior</i>	<i>Pteris cretica 'Variegata'</i>
<i>Chlorophytum comosum</i>	<i>Davallia pyxidata</i>
<i>Calochlaena dubia</i>	<i>Plectranthus verticillatus</i>
<i>Blechnum gibbum 'Silver Lady'</i>	<i>Cordyline fruticosa 'Rubra'</i>
<i>Calathea zebrina</i>	<i>Monstera deliciosa</i>
<i>Philodendron 'Imperial Green'</i>	<i>Asplenium nidus</i>



Cyathea cooperi



Cycas revoluta



Chamaedorea seifrizii



Philodendron 'Imperial Green'



Blechnum gibbum 'Silver Lady'



Davallia pyxidata

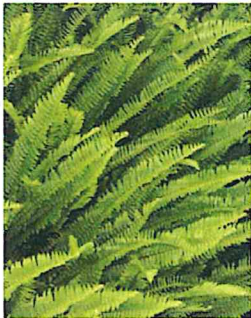


Calathea zebrina

BALCONY PLANTING

Small Trees:

Nephrolepis cordifolia
Cissus rhombifolia
Chlorophytum comosum



Nephrolepis cordifolia



Cissus rhombifolia



Chlorophytum comosum



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Sheet No.....74.....of.....104.....

Client Central Park JV No.2	Architect Foster + Partners	Landscape Architect ● Jeppe Aagaard Andersen & Turf Design Studio Landscape Architects Denmark Sydney p: +61 2 9527 3380 f: +61 2 9527 2307 95	Project CENTRAL PARK BLOCK 4N	Document Title PLANTING PALETTE	Project No. 0721	Revision no. B	Page No. 8
					Scale	Date June 2015	
					Draw Status SSDA		

A2



STREET

ABERCROMBIE

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16.205

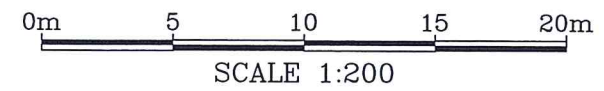
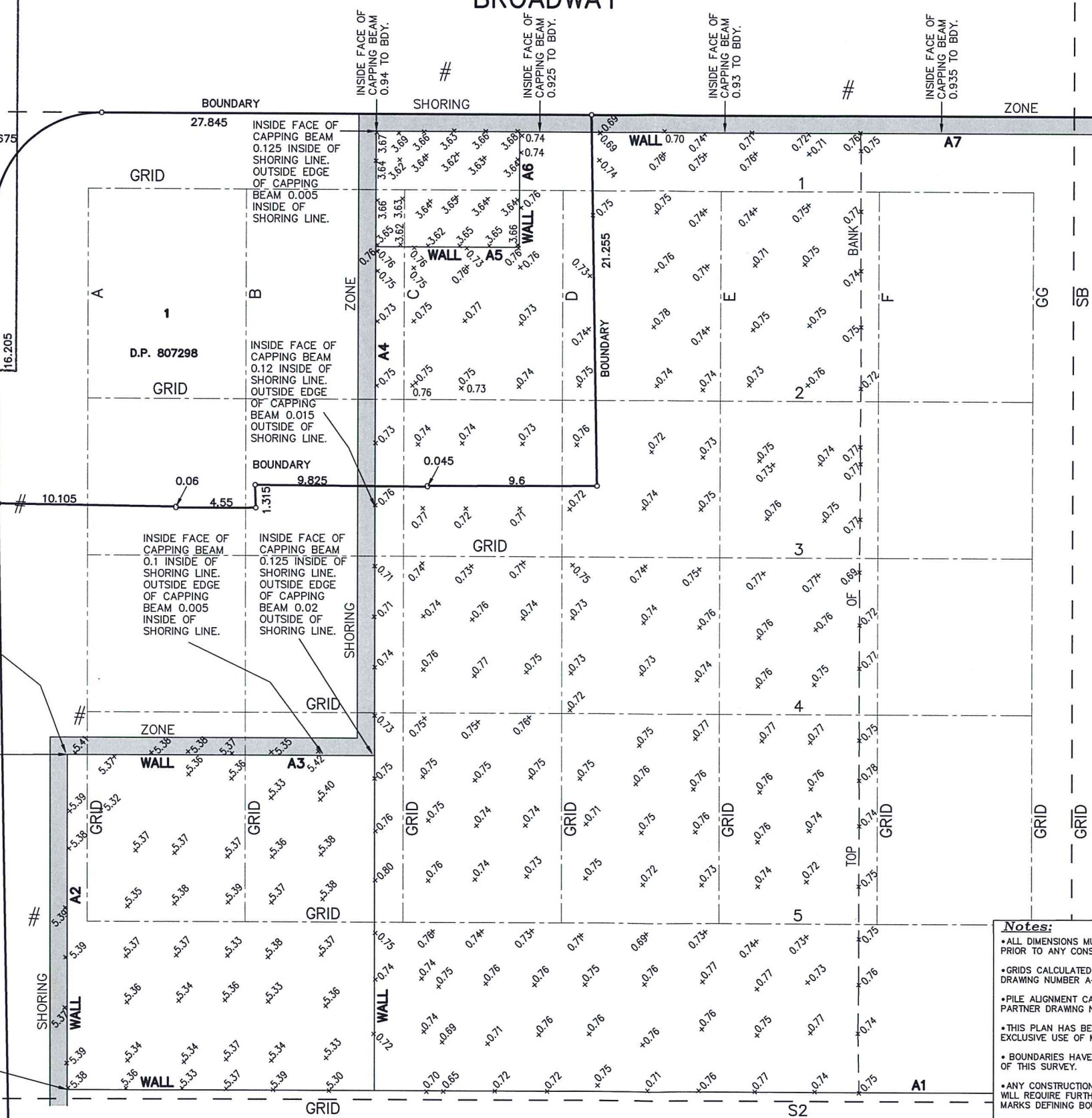
ARC 6.675

INSIDE FACE OF CAPPING BEAM 0.08 INSIDE OF SHORING LINE.

INSIDE FACE OF CAPPING BEAM 0.1 INSIDE OF SHORING LINE.

INSIDE FACE OF CAPPING BEAM 0.095 INSIDE OF SHORING LINE.

BROADWAY



NOTES ON CAPPING BEAM:
DENOTES OUTSIDE EDGE OF CAPPING BEAM INACCESSIBLE.
-CAPPING BEAM GENERALLY 0.89 WIDE.

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SOURCE: S.C.I.M.S.

B	PRELIMINARY	20/08/14
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PLAN
OF EXCAVATION AS BUILT
SURVEY OF BLOCK 1 + 4N

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SURVEY REFERENCE 33761		SCALE 1:200	DATE 20/08/14
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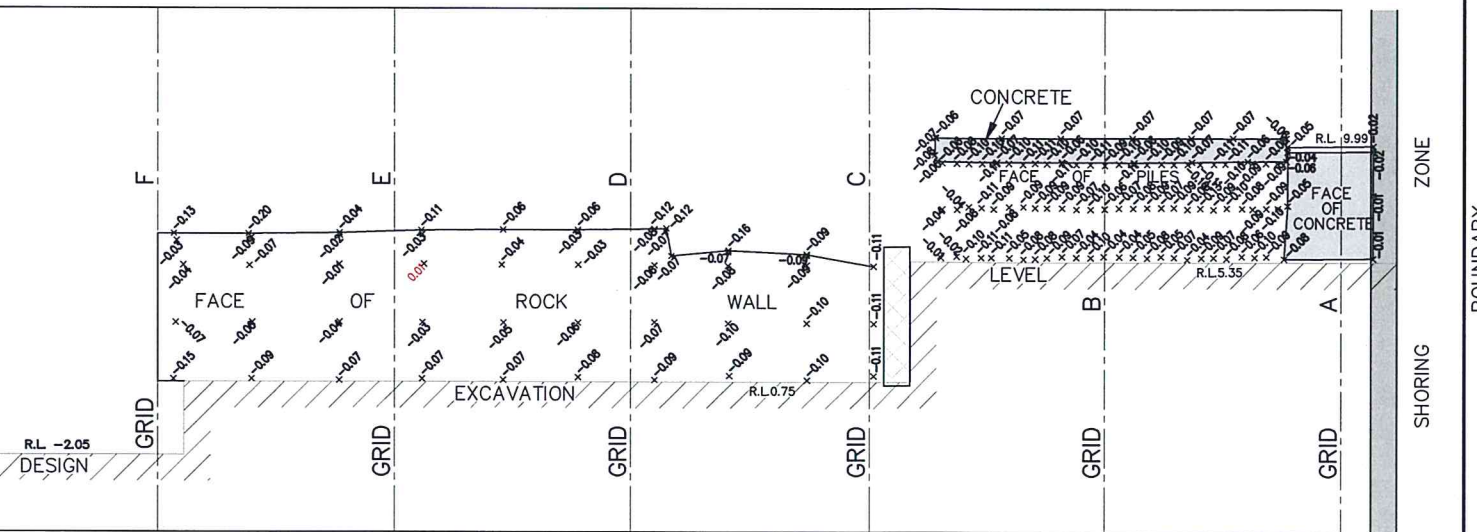
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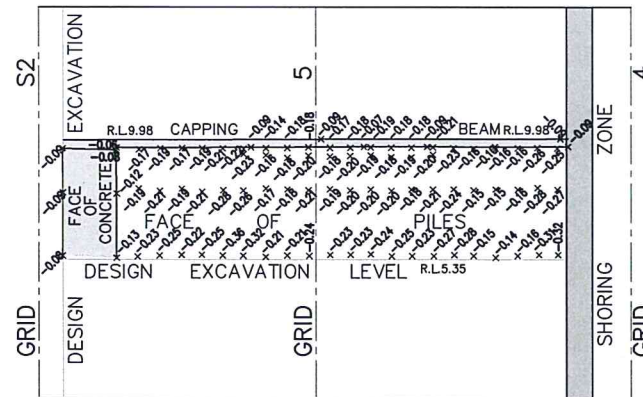
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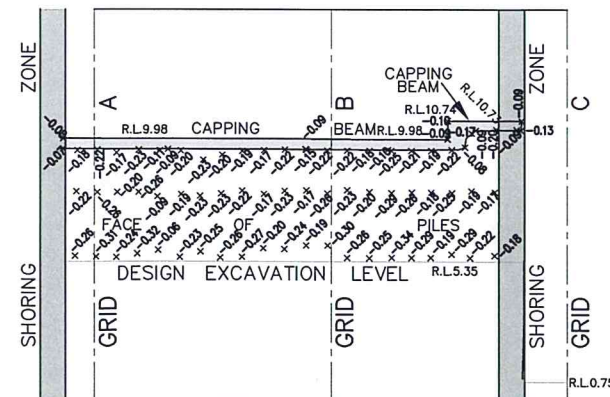
Sheet No. **76** of **GG 104**



SOUTH ELEVATION – WALL A1



WEST ELEVATION – WALL A2

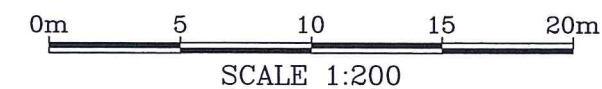


NORTH ELEVATION – WALL A3

□ DENOTES SCAFFOLDING

LEGEND

–0.04 DENOTES WALL IS 0.04m AWAY FROM THE EXCAVATION
0.04 DENOTES WALL IS 0.04m TOWARDS THE EXCAVATION



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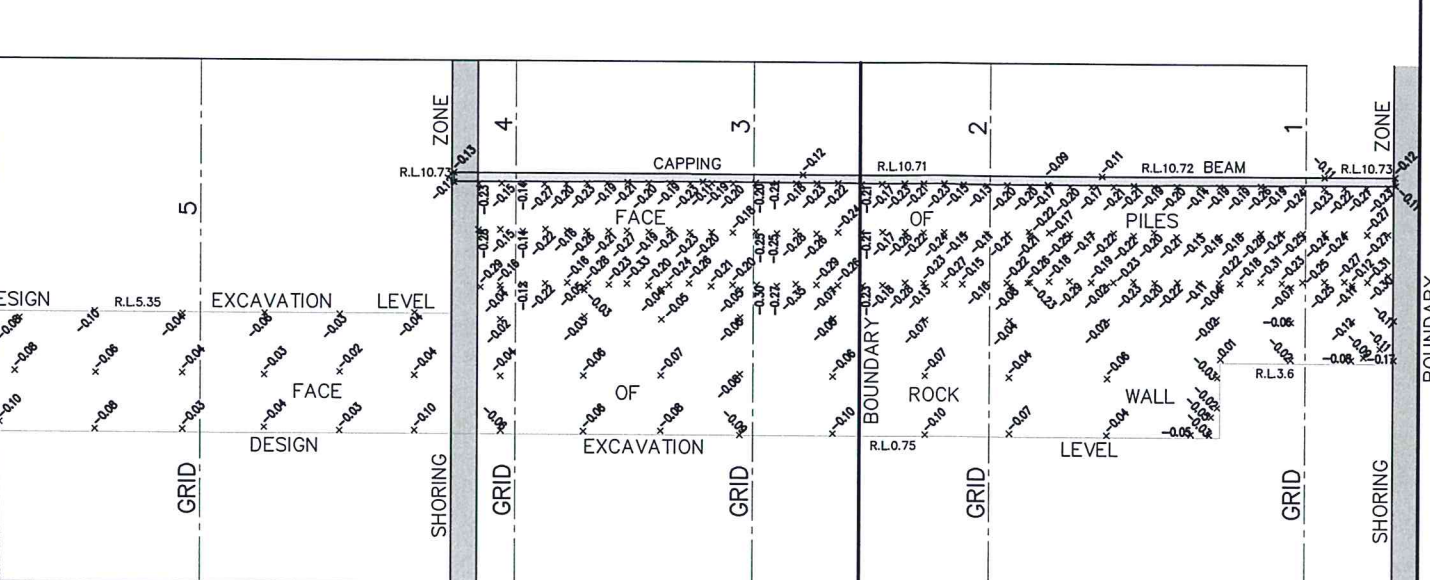
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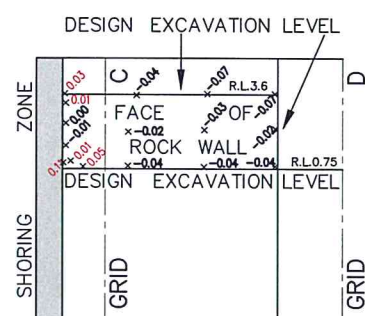
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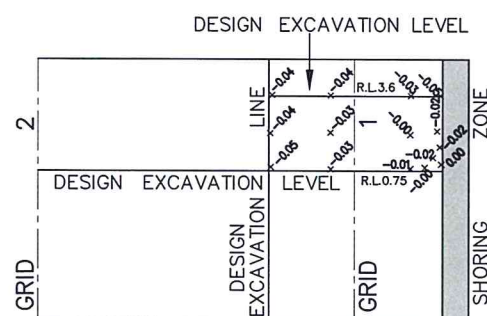
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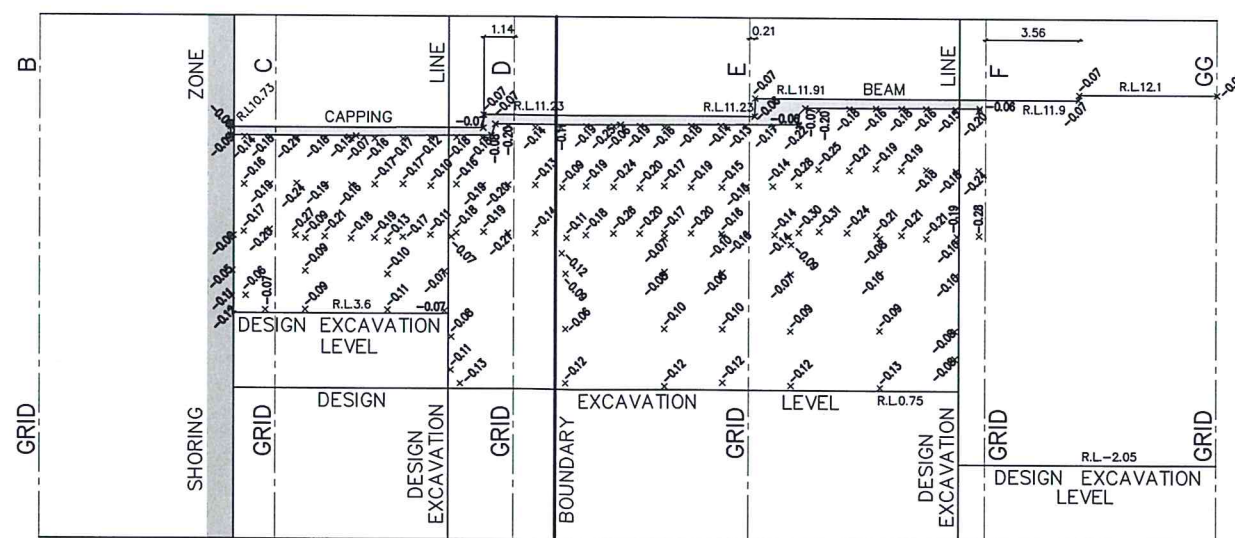
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NORTH ELEVATION — WALL A5



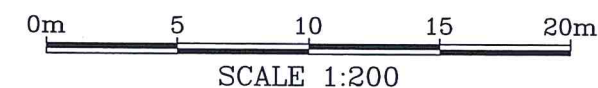
WEST ELEVATION – WALL A6



NORTH ELEVATION - WALL A7

LEGEND

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0.04 DENOTES WALL IS 0.04m TOWARDS THE EXCAVATION



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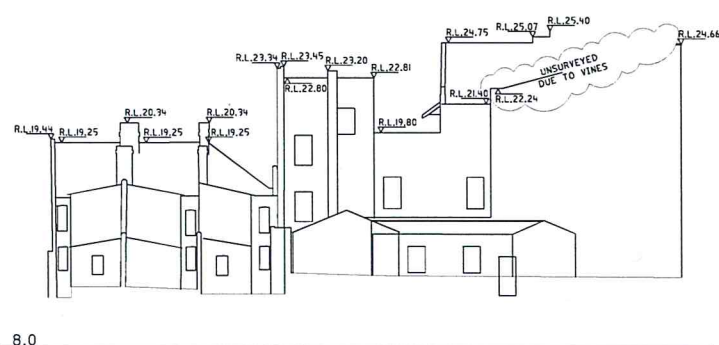
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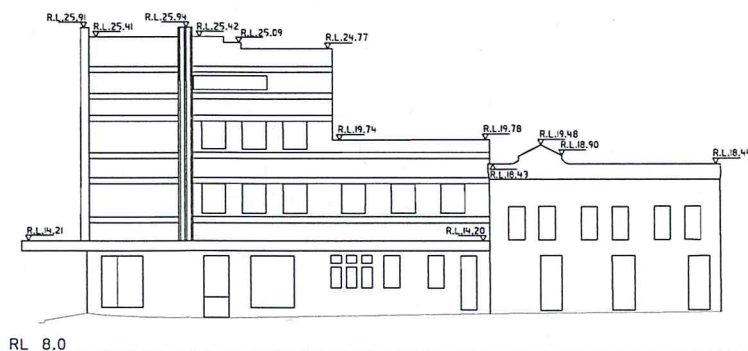
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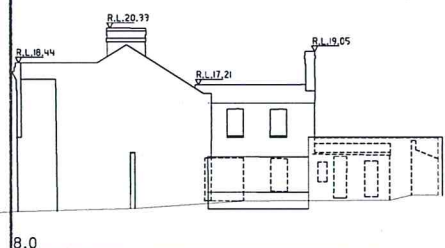
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EASTERN ELEVATION BUILDING 42A, 42B,
42C & BUILDING 40



RL 8.0

WESTERN ELEVATION BUILDING 42A, 42B,
42C & BUILDING 40



RL 8.0

SOUTHERN ELEVATION
BUILDING 42C

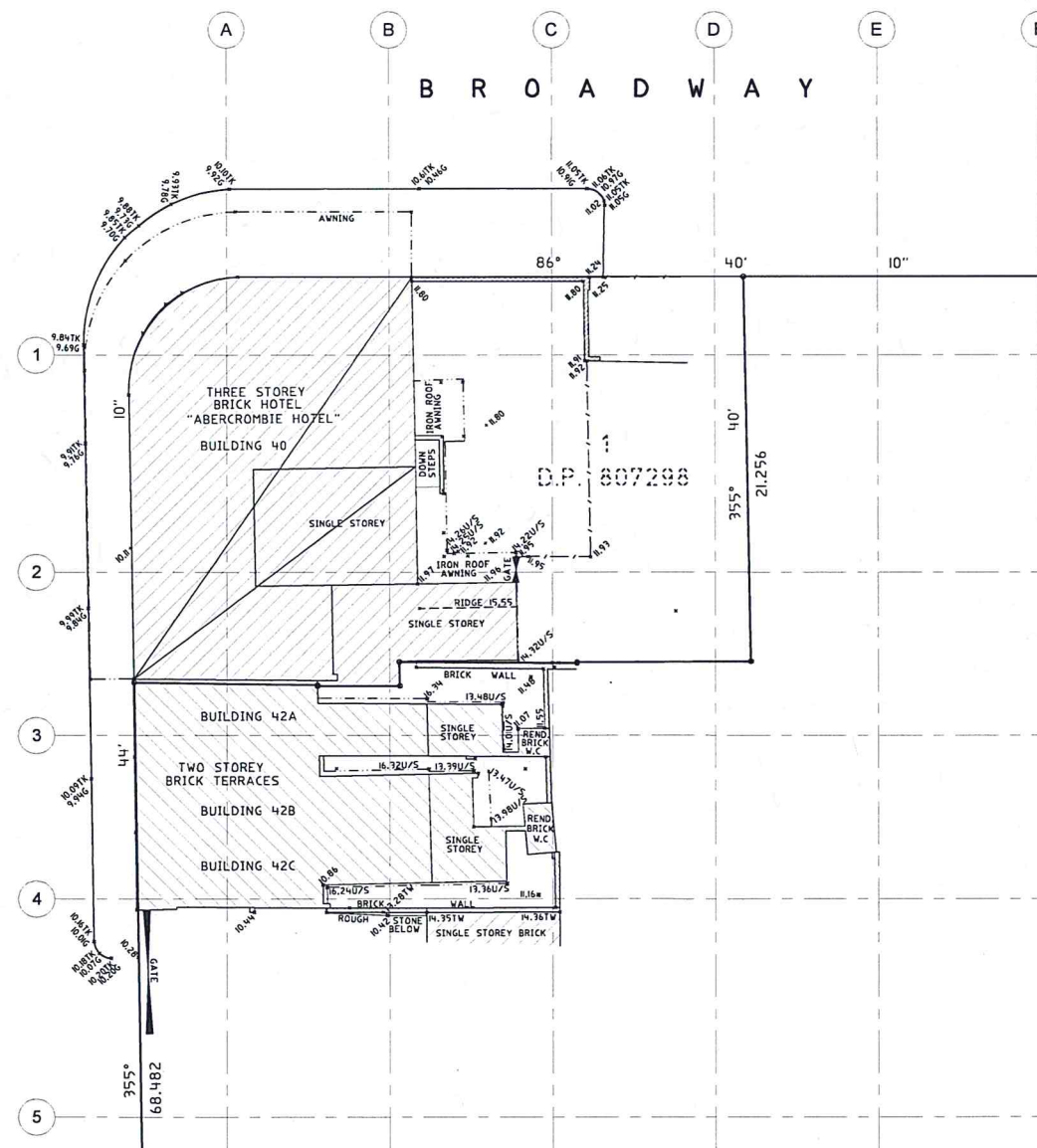


RL 8.0

NORTHERN ELEVATION BUILDING 40

LEGEND	
17.391K	DENOTES TOP OF KERB
17.36	DENOTES KERB GUTTER
FLY/3	DENOTES FLOOR LEVEL
17.30U/S	DENOTES UNDERSIDE EAVE, AWNING
17.53TW	DENOTES TOP OF WALL
17.3BW	DENOTES BOTTOM OF WALL

ABERCROMBIE STREET



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DATUM: A.H.D.
B.M. ADOPTED: PM 42338
R.L.: 16.71
SOURCE: S.C.I.M.S.

REV.	AMENDMENTS	DATE
E	Parapet heights and Grids added	13/12/13
D	BAR ADDED TO GF IN HOTEL	27/11/13
C	HERITAGE GATE PHOTOS ADDED	12/04/10
B	HERITAGE GATE AND HOTEL ADDED	30/09/08
A	FINAL ISSUE	24/09/08

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CLIENT: Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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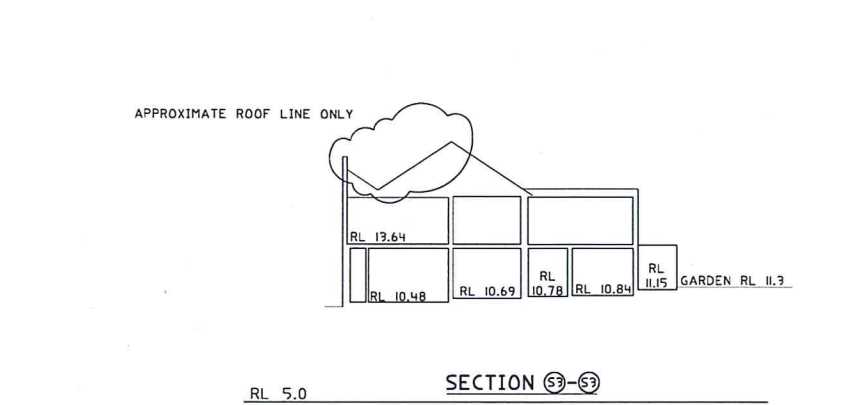
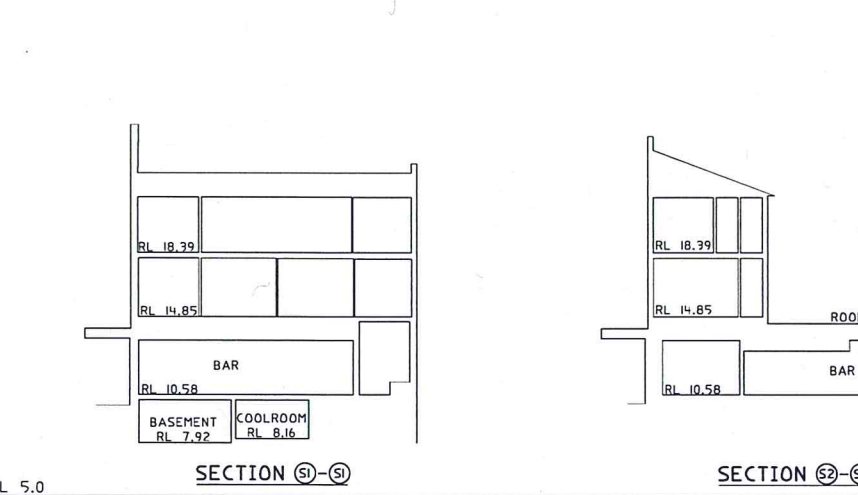
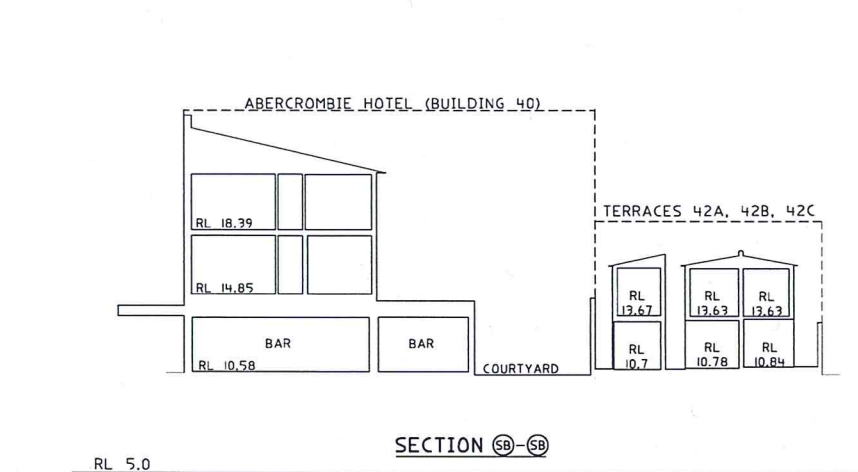
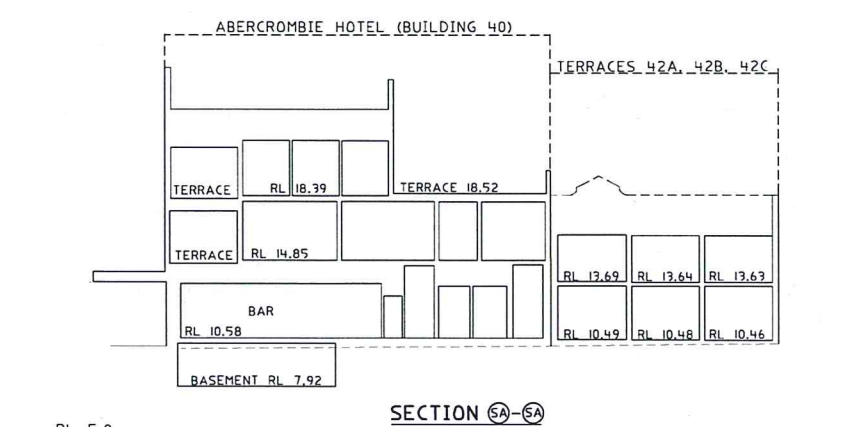
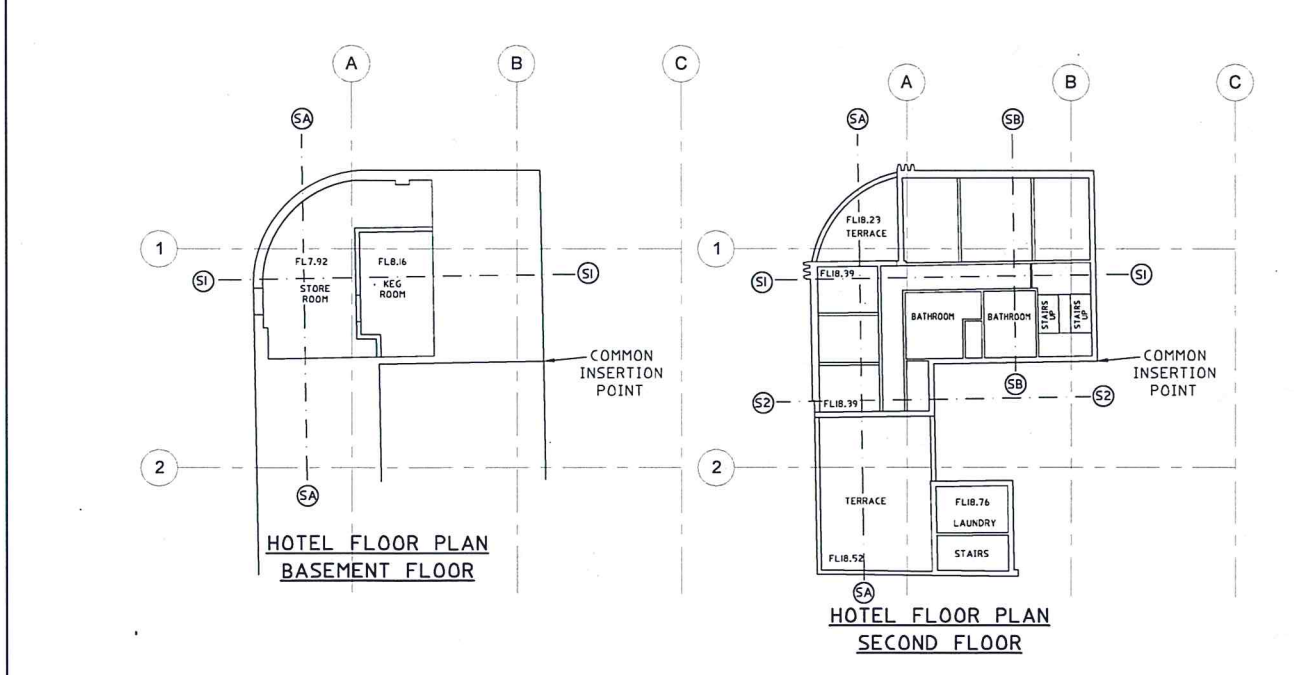
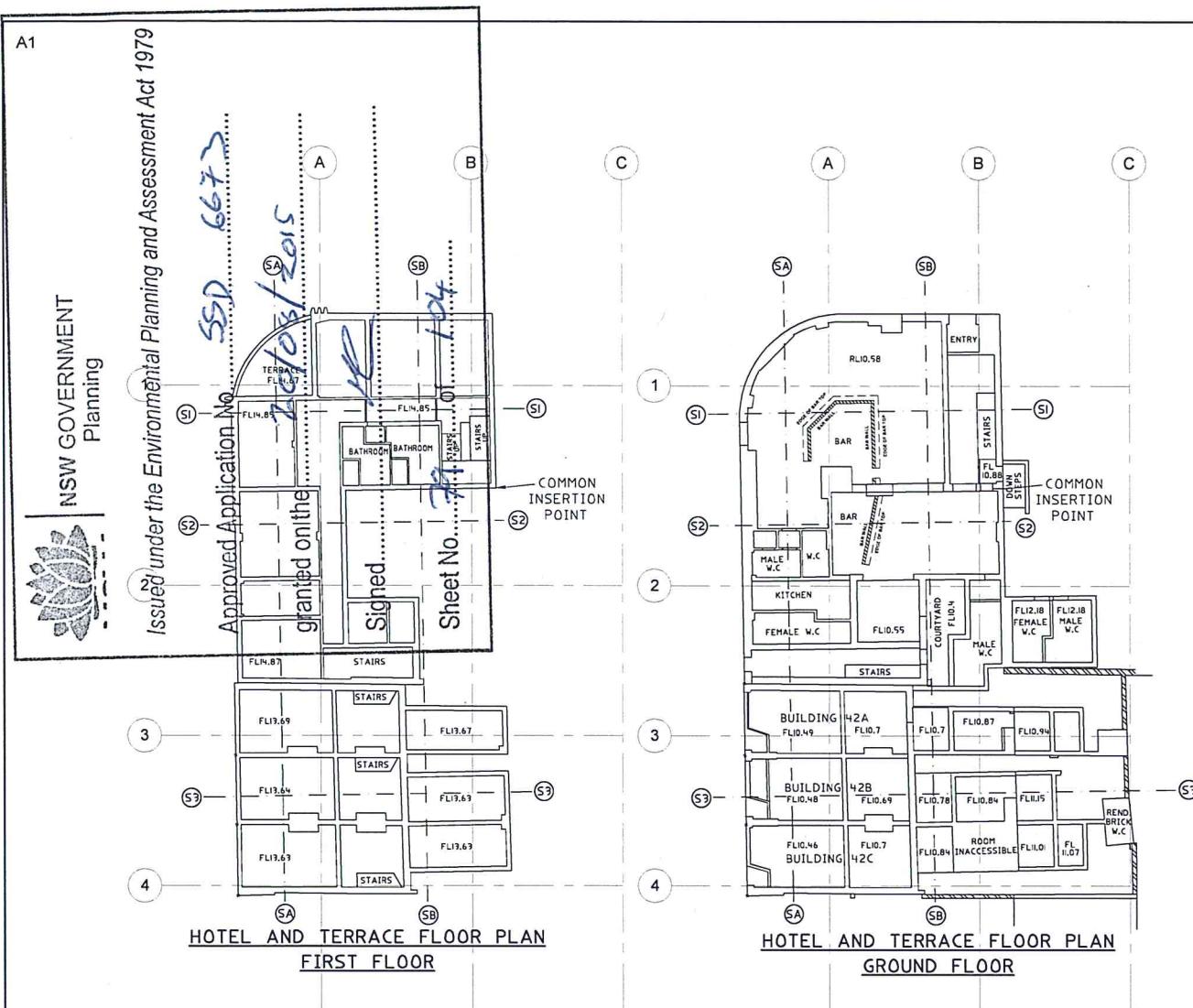
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- *CONTOURS ARE INDICATIVE ONLY. CONTOUR INTERVAL 0.25m.
- *USERS OF THIS DRAWING HAVE A DUTY OF CARE TO CONTACT 'DAL BEFORE YOU DIG' FREE CALL 1100 OR FOR SPEED OF RESPONSE VISIT www.dalbeforeyoudig.com.au
- *SERVICE & UTILITIES SHOWN ON PLAN HAVE BEEN LOCATED BY PHYSICAL EVIDENCE ON SITE &/OR BY REFERENCE TO SERVICE PLANS FROM STATUTORY AUTHORITIES. SOME PITS MAY NOT HAVE BEEN OPENED TO VERIFY THE TYPE OF UTILITY. NEITHER EXCAVATION NOR POT-HOLING HAVE BEEN CARRIED OUT TO CONFIRM UNDERGROUND LOCATION. SERVICE DETAILS SHOULD BE CONFIRMED WITH THE RELEVANT SERVICE AUTHORITY DURING DESIGN & PRIOR TO ANY CONSTRUCTION.
- *TELSTRA ADVISES THAT THIS SITE IS WITHIN THE PROXIMITY OF SOME OF THEIR MAJOR NETWORKS. AS PART OF YOUR DUTY OF CARE PLEASE CONTACT THE NETWORKING INTEGRITY AND COMPLIANCE GROUP (1800 653935) PRIOR TO PROCEEDING WITH ANY WORK.
- *AS PART OF YOUR DUTY OF CARE PLEASE CONTACT THE FOLLOWING:

AGILITY GAS	Ph: 132909
ENERGY AUSTRALIA	Ph: 131003
INTEGRAL ENERGY	Ph: 131003
SYDNEY WATER	Ph: 132992
OPTUS-VISION	Ph: 1800 505777

- *THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF FRASERS PROPERTY AND NORTHROP.
- *THE POSITION OF SURVEYED DATA IN RELATION TO THE BOUNDARY IS APPROXIMATE AND DIAGRAMMATIC ONLY AS BOUNDARIES HAVE NOT BEEN DEFINED AS PART OF THIS SURVEY. BOUNDARIES SHOULD BE MARKED IF CONSTRUCTION IS PROPOSED ON THE SITE.
- *THE POSITION OF SURVEYED DATA HAS BEEN LOCATED AND IS SHOWN TO TOPOGRAPHIC ACCURACY. IF CLEARANCES TO BOUNDARIES OR OTHER FEATURES ARE CRITICAL, AND DIMENSIONS ARE NOT SHOWN FURTHER SURVEY MAY BE REQUIRED.
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HORIZONTAL DATUM:

CO-ORDINATE SYSTEM: SITE

MARKS ADOPTED:

VERTICAL DATUM:

DATUM:	A.H.D.
B.M. ADOPTED:	PM 42338
R.L.	16.71
SOURCE:	S.C.I.M.S.

REV.	AMENDMENTS	DATE
E	Parapet heights and Grids added	13/12/13
D	BAR ADDED TO GF IN HOTEL	27/11/13
C	HERITAGE GATE PHOTOS ADDED	12/04/10
B	HERITAGE GATE AND HOTEL ADDED	30/09/08
A	FINAL ISSUE	24/09/08

FRASERS PROPERTY

PROJECT: Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

CLIENT: Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
T: 02 88238800 F: 02 8823 8801

PLAN

SHOWING ELEVATIONS AND SECTIONS THROUGH THE ABERCROMBIE HOTEL AND TERRACES ON THE CORNER OF ABERCROMBIE STREET AND BROADWAY, CHIPPENDALE

D S & P

Degotardi Smith & Partners
CONSULTING SURVEYORS ESTABLISHED 1957

11/19-23 Bridge Street | Pymble
NSW 2073 | Australia
T: (+61) 2 9440 1100
F: (+61) 2 9440 1055
E: surveys@degotardi.com.au
W: www.degotardi.com.au



L.G.A. SYDNEY		SHEET 2 OF 2	
SURVEYED M.P.	DRAWN M.P. & P.L.G.	CHECKED	APPROVED
SURVEY REFERENCE 31420		SCALE 1:200	DATE 30/09/08
DRAWING NUMBER 31420A17.DWG		REV. E	



Sheet No. 80 of 104

BENCH MARK
DRILL HOLE & WING
R.L. 11.42 (A.H.D.)

NOTES

- CONTOURS ARE APPROXIMATE ONLY. CONTOUR INTERVAL 0.5m.
 - LOT DIMENSIONS ARE TAKEN FROM THE TITLE DIAGRAM.
 - ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF FRASER'S
 - THE POSITION OF SURVEYED WATER HAS BEEN LOCATED AND IS SHOWN TO TOPOGRAPHIC ACCURACIES IF CLEARANCES TO BOUNDARIES OR OTHER FEATURES ARE CRITICAL AND DIMENSIONS ARE NOT SHOWN FURTHER SURVEY MAY BE REQUIRED.
 - BOUNDARIES HAVE BEEN DEFINED AS PART OF THIS SURVEY.
 - ANY CONSTRUCTION ON OR NEAR BOUNDARIES WILL REQUIRE FURTHER SURVEY IN ORDER THAT MARKS DEFINING BOUNDARIES CAN BE PLACED.
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HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: SITE

MARKS ADOPTED:

VERTICAL DATUM:

DATUM: A.H.D.
B.M. ADOPTED: P.M.42338
R.L. 16.71
SOURCE: S.C.I.M.S.

A	FINAL	27/11/19
REV.	AMENDMENTS	DATE

FRASERS PROPERTY

PROJECT: Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

CLIENT: Frasers Broadway
L11, 498 Kent Street Sydney NSW 2000
T: 02 88238800 F: 02 8823 8801

PLAN

**SHOWING DETAIL AND LEVELS
OVER PART LOT 2 IN D.P.1142053
AND THE AUSTRALIAN HOTEL
ABERCROMBIE STREET AND BROADWAY
CHIPPENDALE**

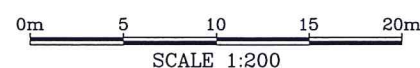


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w. www.degotardi.com.au



L.G.A. SYDNEY		SHEET 1 OF 1	
SURVEYED S.N.	DRAWN T.F.	CHECKED S.N.	APPROVED P.G.
SURVEY REFERENCE 31420		SCALE 1:200	DATE 27/11/13
DRAWING NUMBER 31420A047.dwg			REV. A



EASEMENT FOR ELECTRICITY
PURPOSES 2, 3, 5.91, 9.145 WIDE
/ AND VARIABLE LIMITED IN
STRATUM (VIDE D.P 649583)