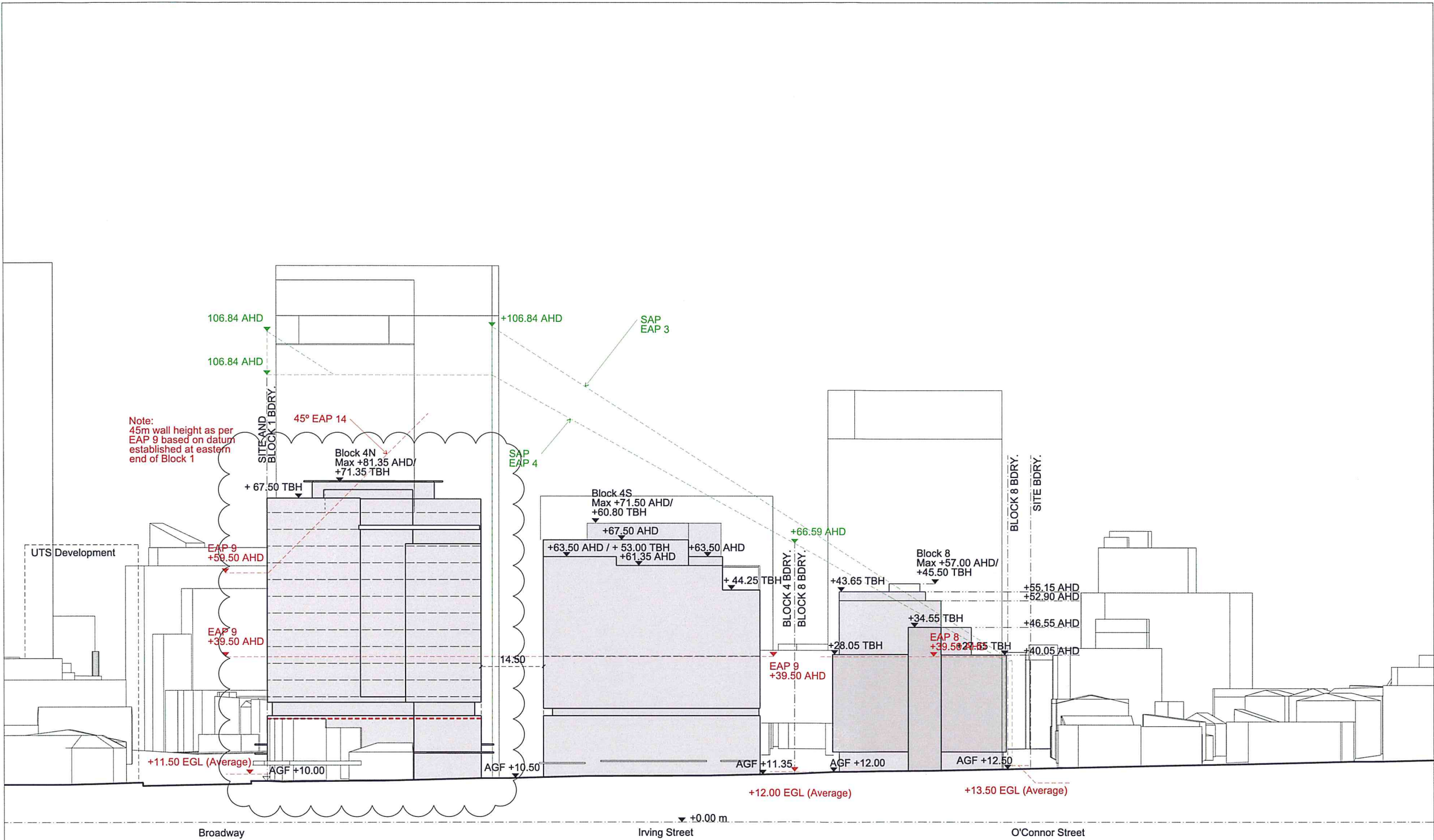
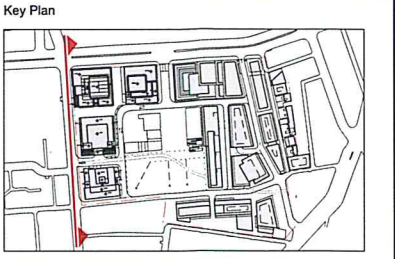




General Notes			
1. Do not scale drawings. Dimensions govern.			
2. All dimensions are in meters unless noted otherwise.			
3. All dimensions shall be verified on site before proceeding work.			
4. Foster + Partners shall be notified in writing of any discrepancies.			
09	05/05/09	Submission DoP - Condition A9	
08	04/12/08	Submission DoP	
07	14/10/08	Submission DoP	
06	04/09/08	Submission DoP - Solar Planes	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
03	07/05/08	Submission amended CP	
02	30/04/08	Submission amended CP	
13	10/11/14	S7SW Amendments (MOD 10)	RP
12	23/01/14	S7SW Amendments (MOD 9)	RP
11	24/01/13	MP06_0171 S7SW MOD 8 Clarifications	ML
10	19/12/12	S7SW Amendments (MOD 8)	RP
Rev.	Date	Reason For Issue	Ck



Notes	
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
FRL	Finished Roof Level
AHD	Street Wall Height in Relation to Existing Ground Level
---	Datum Line
All Heights in AHD (unless noted otherwise)	
TBH	Total Building Height approx. only depending on site level
Proposed Building	
Balcony/ Articulated Facade Zone	
Possible Service Zone	
Maximum Building Envelope	
Roof Feature Permissible as long as Minimum Sun Requirement for Park is met	
SAP	Sun access plane
EGL	Existing ground level as surveyed
Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)	

FRASERS PROPERTY	
Project	Frasers Broadway 20 - 102 Broadway Sydney NSW 2000
Client	Frasers Broadway L11, 488 Kent Street Sydney NSW 2000 T: 02 8823 8800 F: 02 8823 8801

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Title
Concept Plan
West Elevation

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1403	13		



NSW GOVERNMENT
Planning

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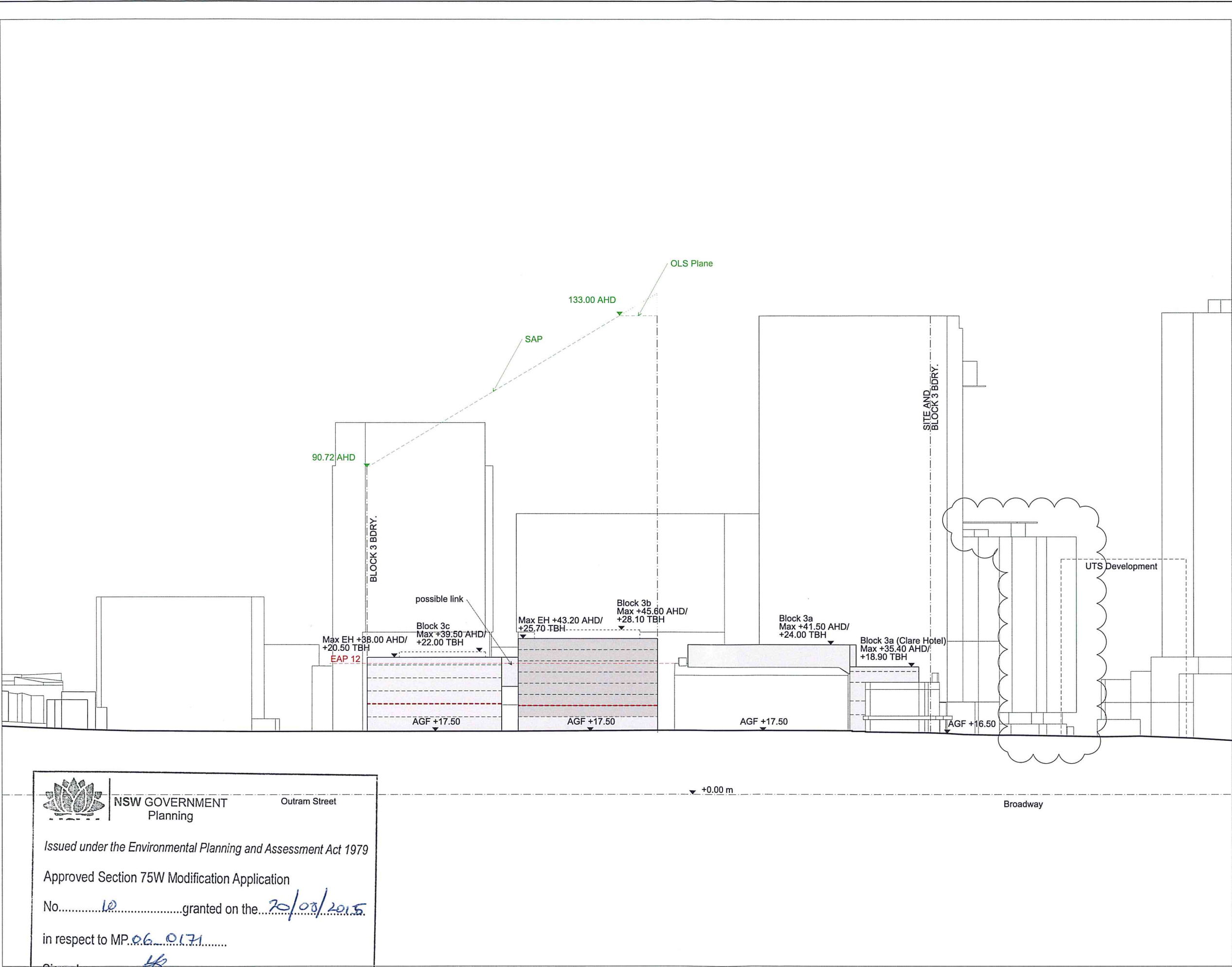
No.....10.....granted on the.....10/03/2015.....

in respect to MP.....06-0171.....

Signed.....[Signature].....

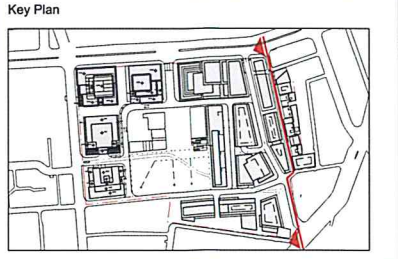
01 West Elevation
Sheet No.....21.....of.....30.....





General Notes
1. Do not scale drawings. Dimensions govern.
2. All dimensions are in meters unless noted otherwise.
3. All dimensions shall be verified on site before proceeding work.
4. Foster + Partners shall be notified in writing of any discrepancies.

03	10/11/14	S75W Amendments (MOD 10)	RP
02	23/01/14	S75W Amendments (MOD 9)	RP
01	14/10/08	Submission DoP	
00	04/09/08	Submission DoP - Solar Planes	
Rev.	Date	Reason For Issue	CK



Notes	
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
FRL	Finished Roof Level
AHD	Street Wall Height in Relation to Existing Ground Level
---	Datum Line
	All Heights in AHD (unless noted otherwise)
TBH	Total Building Height approx. only / depending on site level
	Proposed Building
	Balcony/ Articulated Facade Zone
---	Possible Service Zone
---	Maximum Building Envelope
---	Roof Feature Permissible as long as Minimum Sun Requirement for Park is met
SAP	Sun access plane
EGL	Existing ground level as surveyed
Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)	

FRASERS PROPERTY

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Title
Concept Plan
Kensington St - East Elevation

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	04/09/08	
Number	Revision		
A-1404	03		

 **NSW GOVERNMENT Planning**

Outram Street

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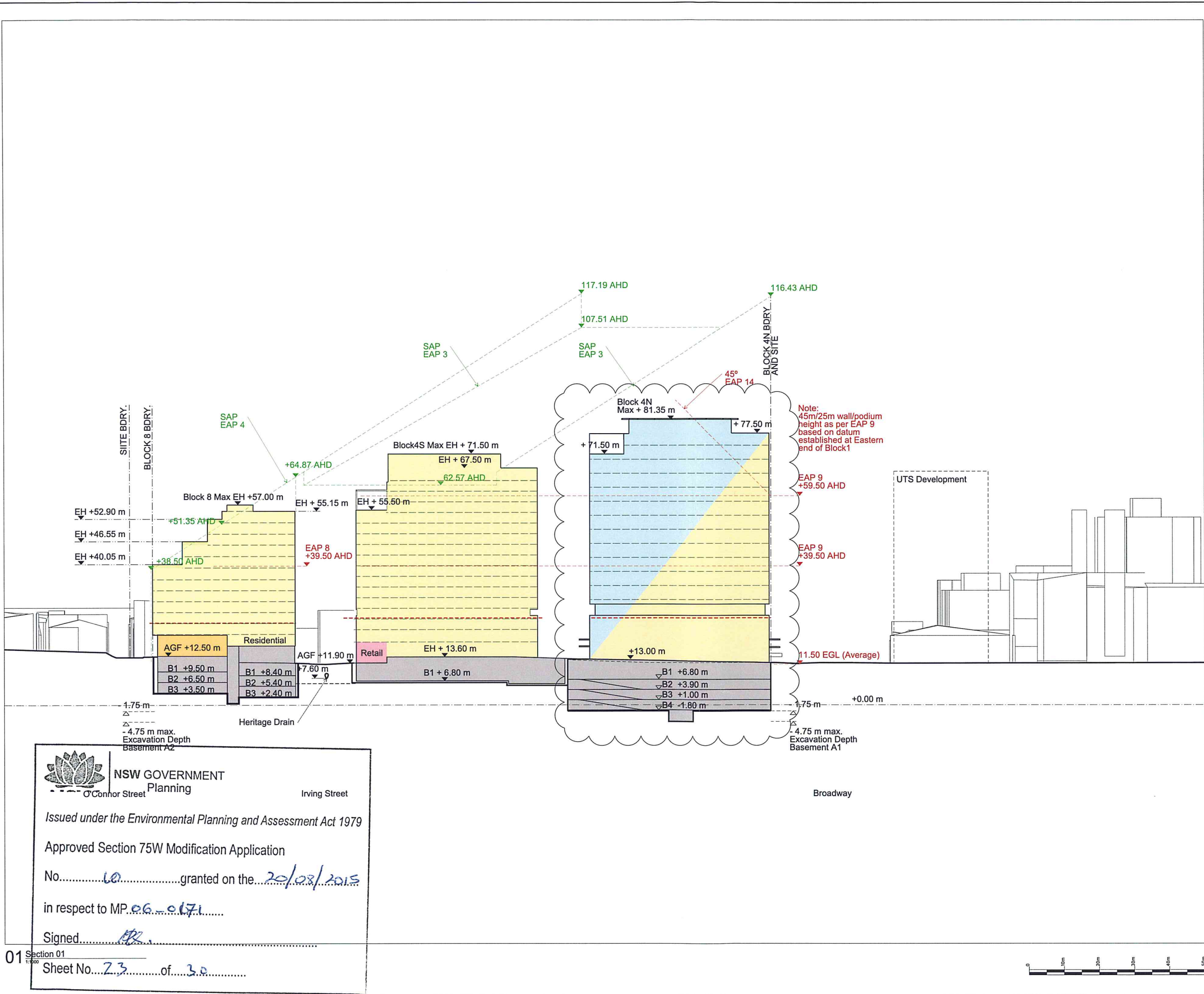
No. 10 granted on the 20/08/2015

in respect to MP 06 0171

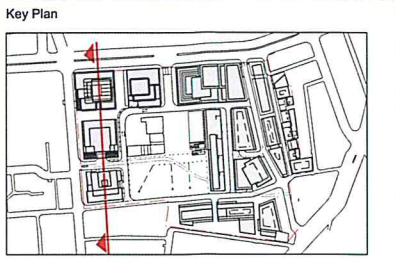
Signed HR

01 Kensington St - East Elevation

Sheet No. 22 of 30



General Notes			
1. Do not scale drawings. Dimensions govern.			
2. All dimensions are in meters unless noted otherwise.			
3. All dimensions shall be verified on site before proceeding work.			
4. Foster + Partners shall be notified in writing of any discrepancies.			
09	04/12/08	Submission DoP	
08	14/10/08	Submission DoP	
07	04/09/08	Submission DoP - Solar Planes	
06	27/05/08	Submission amended DoP	
05	15/05/08	Submission DoP	
04	07/05/08	Submission amended CP	
03	30/04/08	Submission amended CP	
02	22/04/08	Revised submission CP	
13	10/11/14	S75W Amendments (MOD 10)	RP
12	23/01/14	S75W Amendments (MOD 9)	RP
11	24/01/13	MP06_0171 S75W MOD 8 Clarifications	ML
10	19/12/12	S75W Amendments (MOD 8)	RP
Rev.	Date	Reason For Issue	Ck



Notes	
	Retail
	Residential
	Commercial
	Roof
	Basement
	Live and Work
	Possible Service Zone
	Possible Service Zone Balcony/ Articulated Facade Zone
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
	All Heights in AHD
AHD	Street Wall Height in Relation to Existing Ground Level
	Datum Line
	Maximum Building Envelope
	Roof Feature permissible as long as minimum sun requirement for park is met
B0 13.9 m	Approximate heights to be considered during next planning stages
ED maxED	= Excavation - approximate depths to be considered during next planning stages
Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)	

FRASERS PROPERTY

Project Frasers Broadway
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Title

Concept Plan
Section 1

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number		Revision	
A-1451		13	

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Planning

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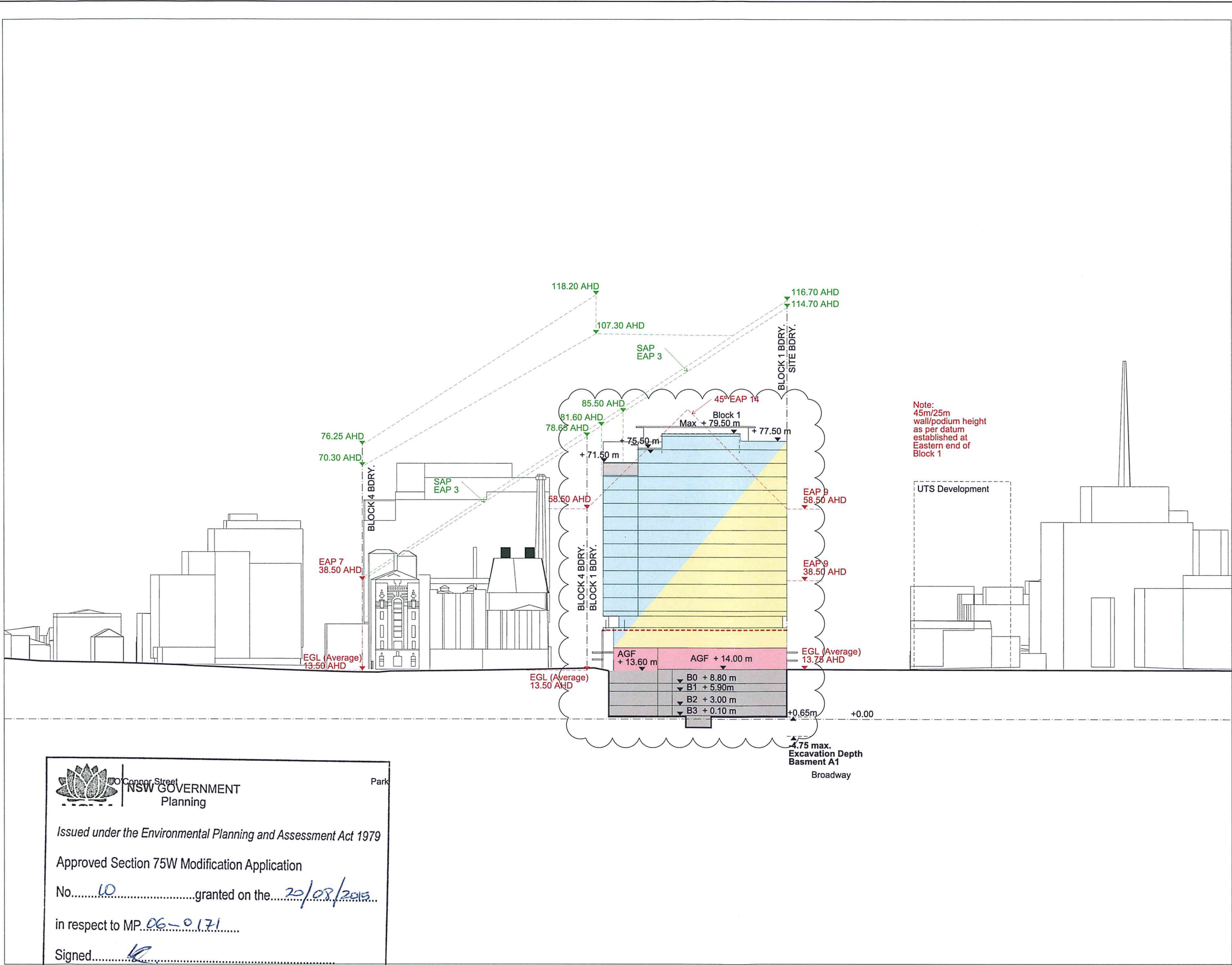
No.....10.....granted on the...20/08/2015

in respect to MP 06-0171

Signed.....[Signature].....

01 Section 01
Sheet No.....23.....of.....30

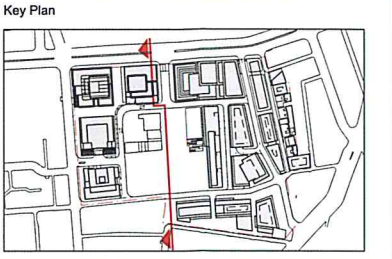




General Notes

1. Do not scale drawings. Dimensions govern.
2. All dimensions are in meters unless noted otherwise.
3. All dimensions shall be verified on site before proceeding work.
4. Foster + Partners shall be notified in writing of any discrepancies.

09	04/12/08	Submission DoP	
08	14/10/08	Submission DoP	
07	04/09/08	Submission DoP - Solar Planes	
06	27/05/08	Submission amended DoP	
05	15/05/08	Submission DoP	
04	07/05/08	Submission amended CP	
03	30/04/08	Submission amended CP	
02	22/04/08	Revised submission CP	
13	10/11/14	S75W Amendments (MOD 10)	RP
12	23/01/14	S75W Amendments (MOD 9)	RP
11	24/01/13	MP06_0171 S75W MOD 8 Clarifications	ML
10	19/12/12	S75W Amendments (MOD 8)	RP
Rev.	Date	Reason For Issue	Ck



Notes

	Retail
	Residential
	Commercial
	Roof
	Basement
	Live and Work
----	Possible Service Zone
	Balcony/ Articulated Facade Zone
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
	All Heights in AHD
AHD	Street Wall Height in Relation to Existing Ground Level
----	Datum Line
-----	Maximum Building Envelope
-----	Roof Feature permissible as long as minimum sun requirement for park is met
BO 13.9 m	Approximate heights to be considered during next planning stages
ED maxED	= Excavation - approximate depths to be considered during next planning stages

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
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Title			
Concept Plan			
Section 2			
Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1452	13		

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Planning

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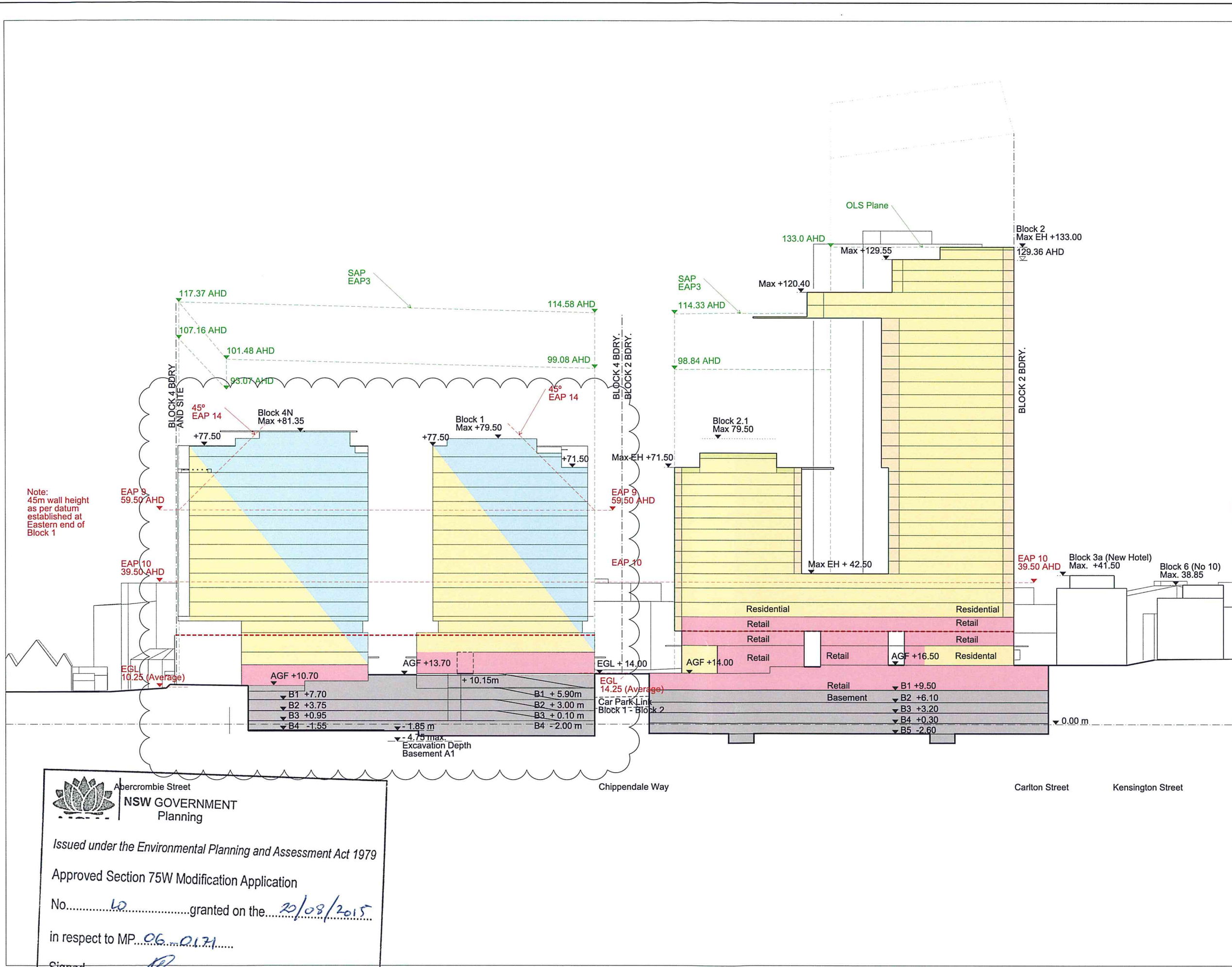
Approved Section 75W Modification Application

No. 10 granted on the 20/08/2015

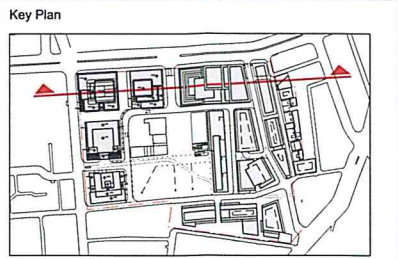
in respect to MP 06-0171

Signed [Signature]

01 Section 02
1:1000
Sheet No. 24 of 30



General Notes			
1. Do not scale drawings. Dimensions govern.			
2. All dimensions are in meters unless noted otherwise.			
3. All dimensions shall be verified on site before proceeding work.			
4. Foster + Partners shall be notified in writing of any discrepancies.			
09	04/12/08	Submission DoP	
08	14/10/08	Submission DoP	
07	04/09/08	Submission DoP - Solar Planes	
06	27/05/08	Submission amended DoP	
05	15/05/08	Submission DoP	
16	10/11/14	S75W Amendments (MOD 10)	RP
15	23/01/14	S75W Amendments (MOD 9)	RP
14	23/05/13	Clouds Added	
13	20/05/13	SSDA Comments	
12	14/05/13	SSDA Comments	
11	24/01/13	MP06_0171 S75W MOD 8 Clarifications	ML
10	19/12/12	S75W Amendments (MOD 8)	RP
Rev.	Date	Reason For Issue	Ck



Notes	
	Retail
	Residential
	Commercial
	Roof
	Basement
	Live and Work
	Possible Service Zone
	Balcony/ Articulated Facade Zone
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
	All Heights in AHD
AHD	Street Wall Height in Relation to Existing Ground Level
	Datum Line
	Maximum Building Envelope
	Roof Feature permissible as long as minimum sun requirement for park is met
B0 13.9 m	Approximate heights to be considered during next planning stages
ED maxED	Excavation - approximate depths to be considered during next planning stages

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000
Client Frasers Broadway
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Title
Concept Plan
Section 4

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number			Revision
A-1454			16



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Approved Section 75W Modification Application

No. 10 granted on the 20/08/2015

in respect to MP 06-0171

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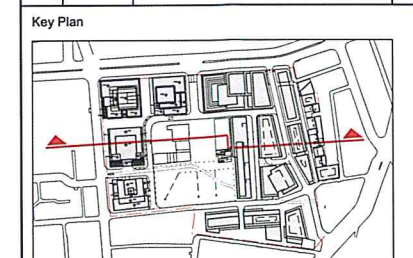
Sheet No. 25 of 30



1. Do not scale drawings. Dimensions govern.
2. All dimensions are in meters unless noted otherwise.
3. All dimensions shall be verified on site before proceeding work.
4. Foster + Partners shall be notified in writing of any discrepancies.

11	04/12/08	Submission DoP	
10	16/10/08	Submission DoP	
08	14/10/08	Submission DoP	
07	04/07/08	Submission DoP, Block 3+10 amended	
06	27/05/08	Submission amended DoP	
05	15/05/08	Submission DoP	
04	07/05/08	Submission amended CP	
03	30/04/08	Submission amended CP	
02	22/04/08	Revised submission CP	

15	10/11/14	S75W Amendments (MOD 10)	RP
14	23/01/14	S75W Amendments (MOD 9)	RP
13	24/01/13	MP06_0171 S75W MOD 8 Clarifications	ML
12	19/12/12	S75W Amendments (MOD 8)	RP
Rev.	Date	Reason For Issue	Ck



Notes

	Retail
	Residential
	Commercial
	Roof
	Basement
	Live and Work
-----	Possible Service Zone
	Balcony/ Articulated Facade Zone
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
	All Heights in AHD
AHD	Street Wall Height in Relation to Existing Ground Level
-----	Datum Line
-----	Maximum Building Envelope
	Roof Feature permissible as long as minimum sun requirement for park is met
B0 13.9 m	Approximate heights to be considered during next planning stages
ED maxED	Excavation - approximate depths to be considered during next planning stages

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

FRASERS PROPERTY

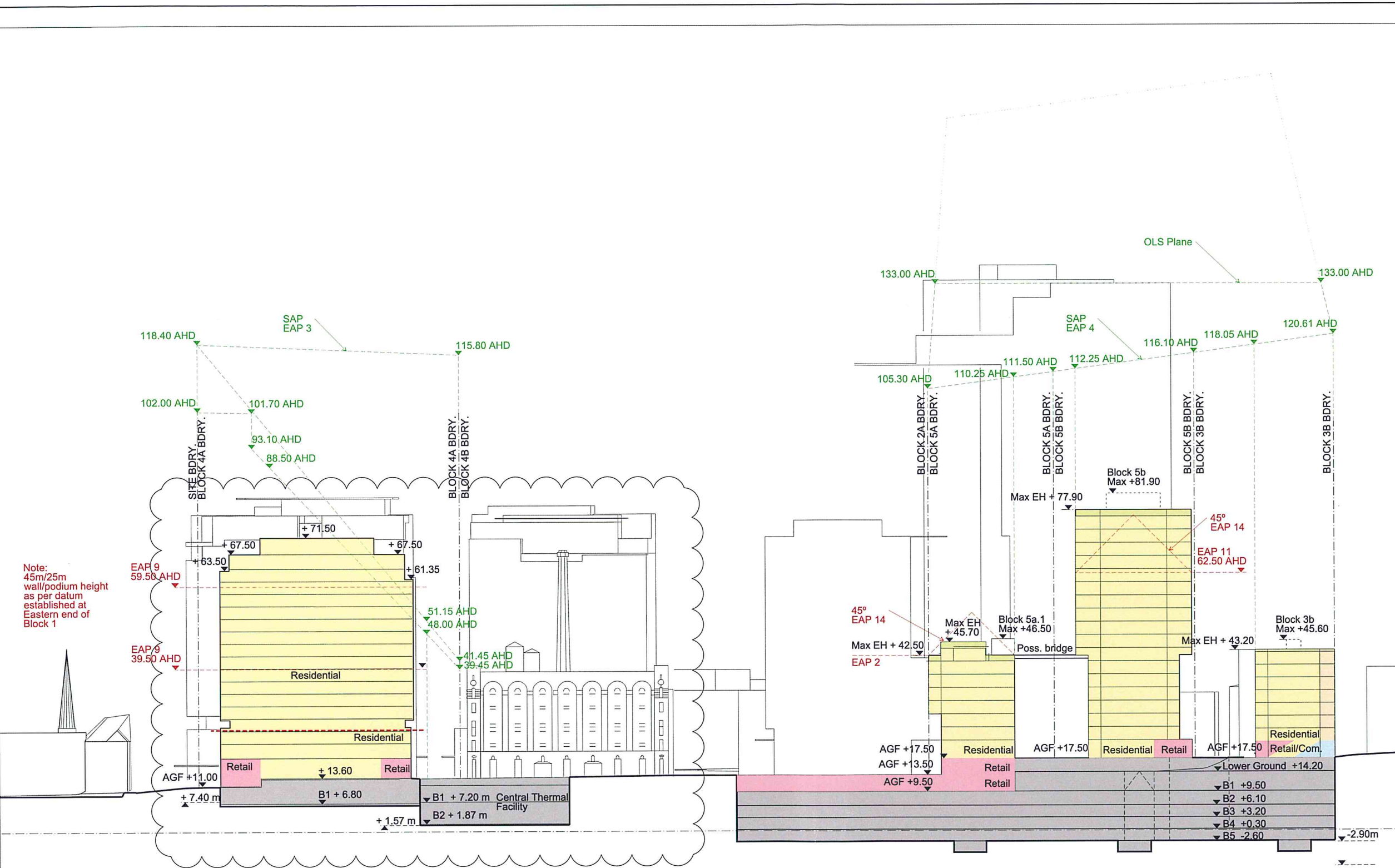
Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
T: 02 8823 8800 F: 02 8823 8801

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Title Concept Plan Section 5			
Project No. 1645	Scale @ A3 1:1000	Date 14/03/08	Drawn By
Number A-1455	Revision 15		



Abercrombie Street
Central Park avenue

NSW GOVERNMENT Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 10 granted on the 20/08/2015

in respect to MP 06-0171

Signed [Signature]

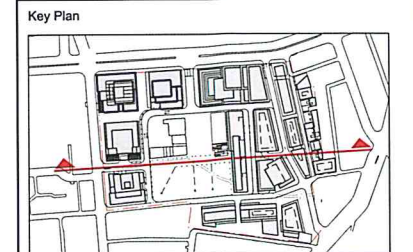
01 Section 05
Sheet No. 26 of 30



1. Do not scale drawings. Dimensions govern.
2. All dimensions are in meters unless noted otherwise.
3. All dimensions shall be verified on site before proceeding work.
4. Foster + Partners shall be notified in writing of any discrepancies.

10	04/12/08	Submission DoP	
09	16/10/08	Submission DoP	
08	14/10/08	Submission DoP	
07	04/09/08	Submission DoP - Solar Planes	
06	04/07/08	Submission DoP, Block 3+10 amended	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
03	30/04/08	Submission amended CP	
02	22/04/08	Revised submission CP	
01	21/04/08	Submission amended concept plan	
00	07/04/08	Final coordination	

12	10/11/14	S75W Amendments (MOD 10)	RP
11	23/01/14	S75W Amendments (MOD 9)	RP
Rev.	Date	Reason For Issue	Ck



Notes

	Retail
	Residential
	Commercial
	Roof
	Basement
	Live and Work
-----	Possible Service Zone
	Balcony/ Articulated Facade Zone
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
	All Heights in AHD
AHD	Street Wall Height in Relation to Existing Ground Level
-----	Datum Line
-----	Maximum Building Envelope
-----	Roof Feature permissible as long as minimum sun requirement for park is met
BO 13.9 m	Approximate heights to be considered during next planning stages
ED maxED	= Excavation - approximate depths to be considered during next planning stages

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

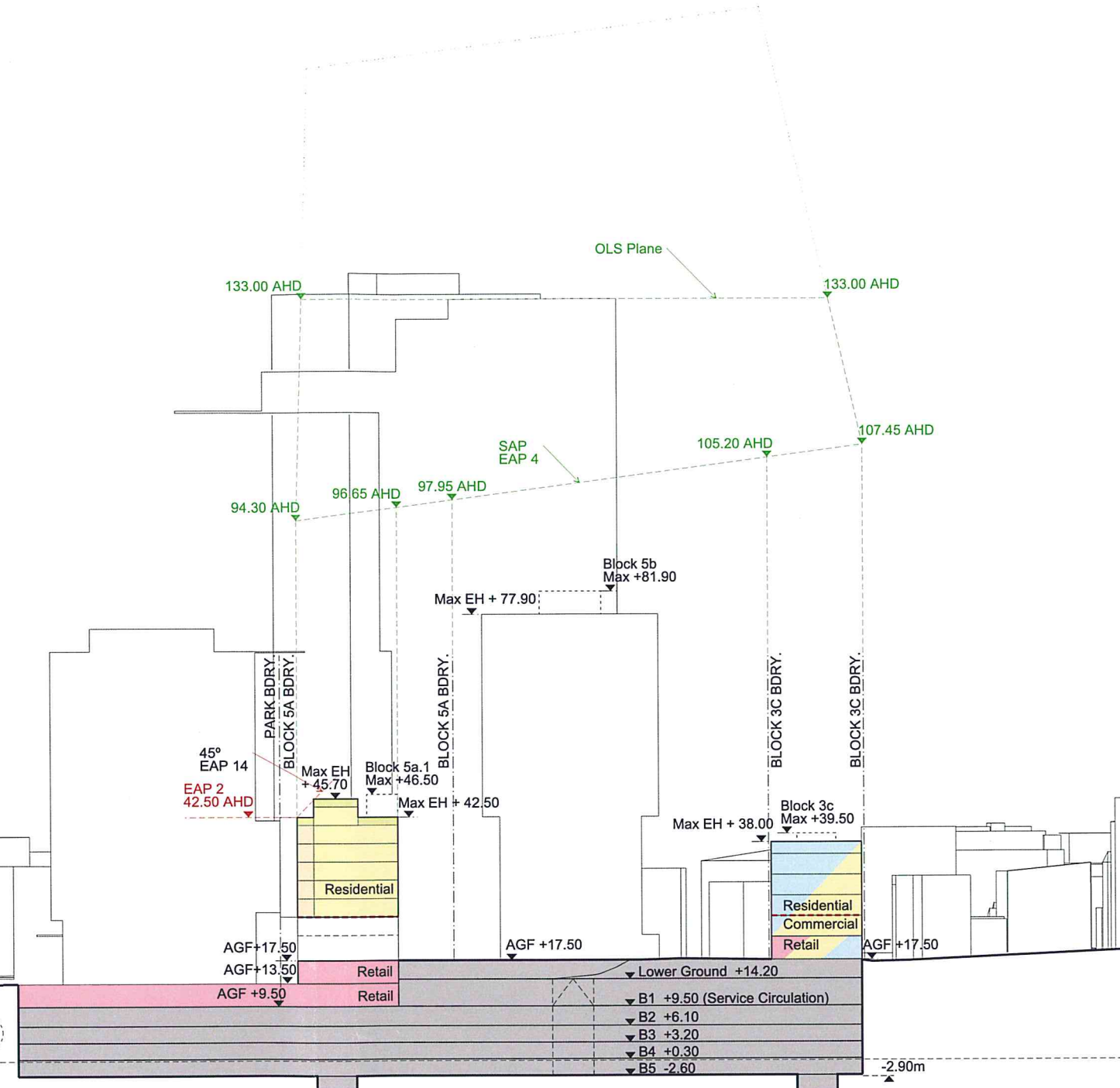
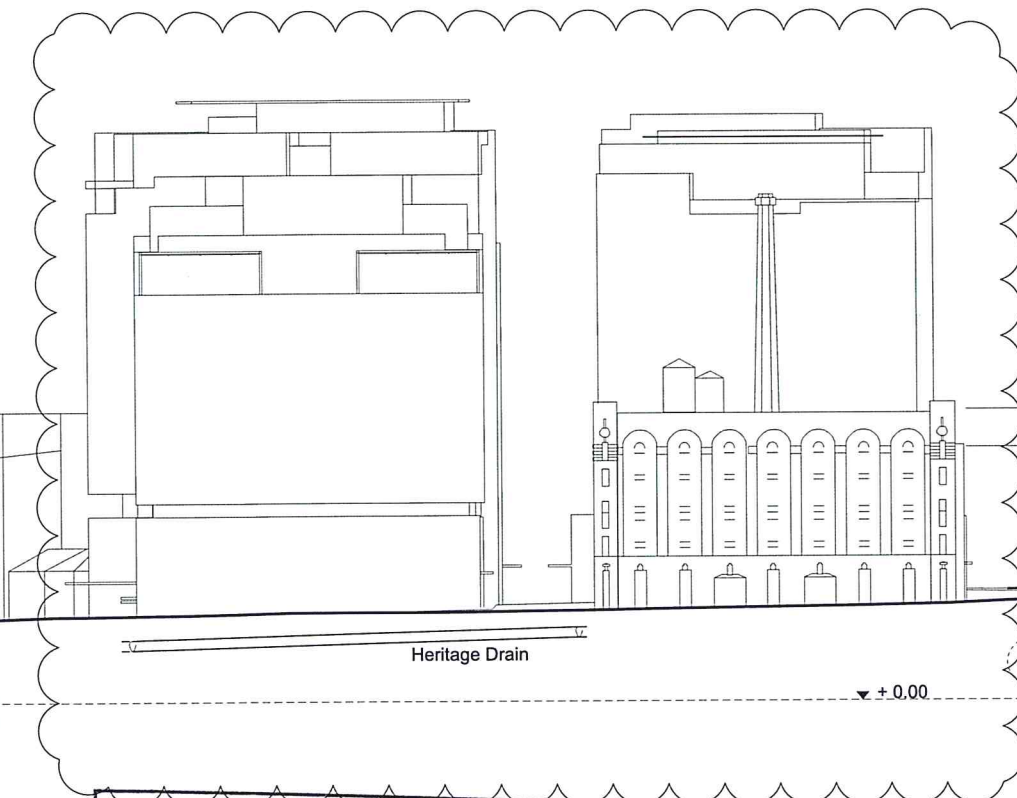
Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
T: 02 8823 8800 F: 02 8823 8801

Foster + Partners

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Title
Concept Plan
Section 6

Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number	Revision		
A-1456	12		



01 Section 06
1:1000

NSW GOVERNMENT
Central Park Avenue
Planning

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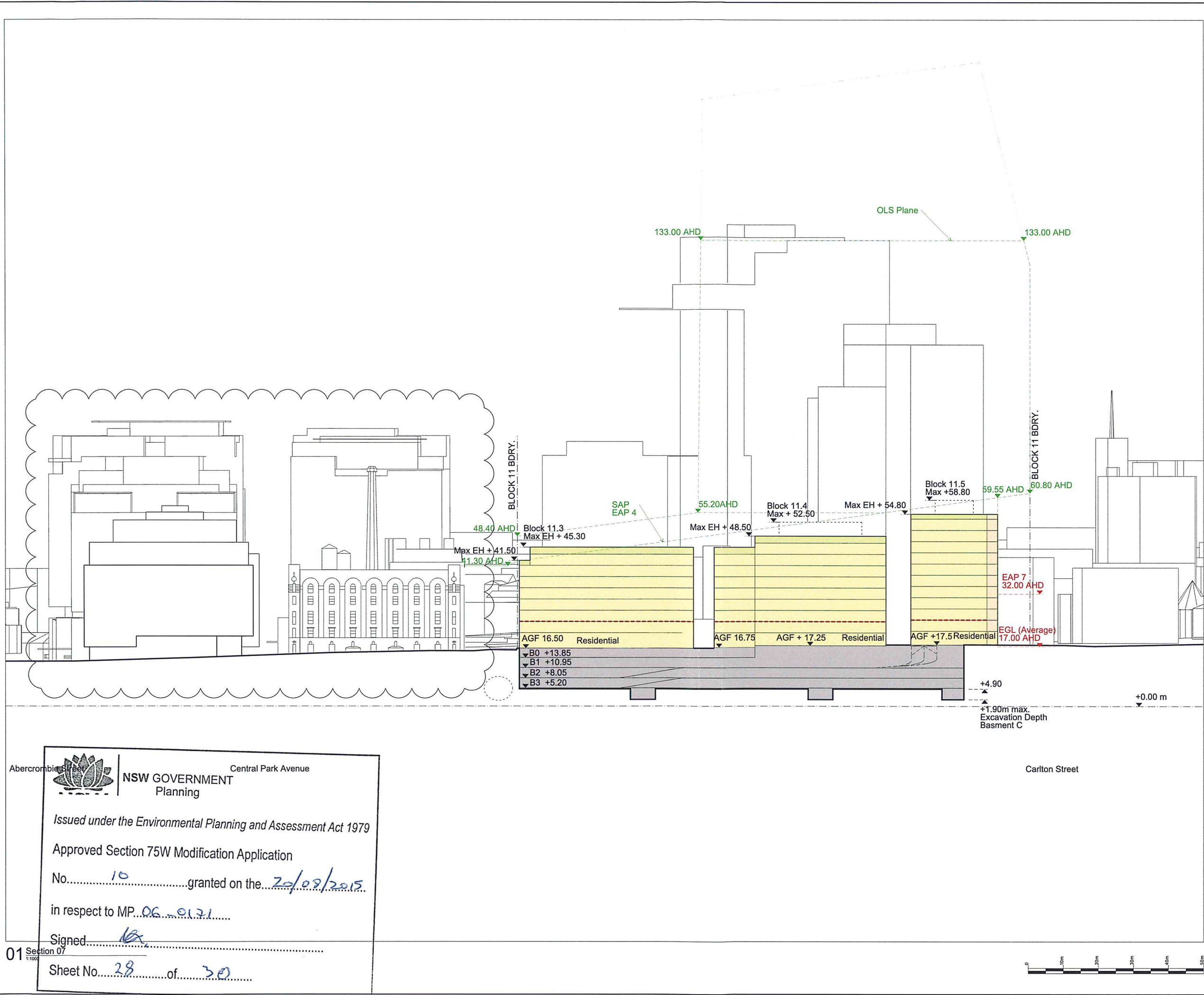
No. 10 granted on the 20/09/2015

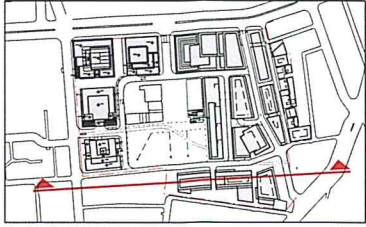
in respect to MP. 06-0171

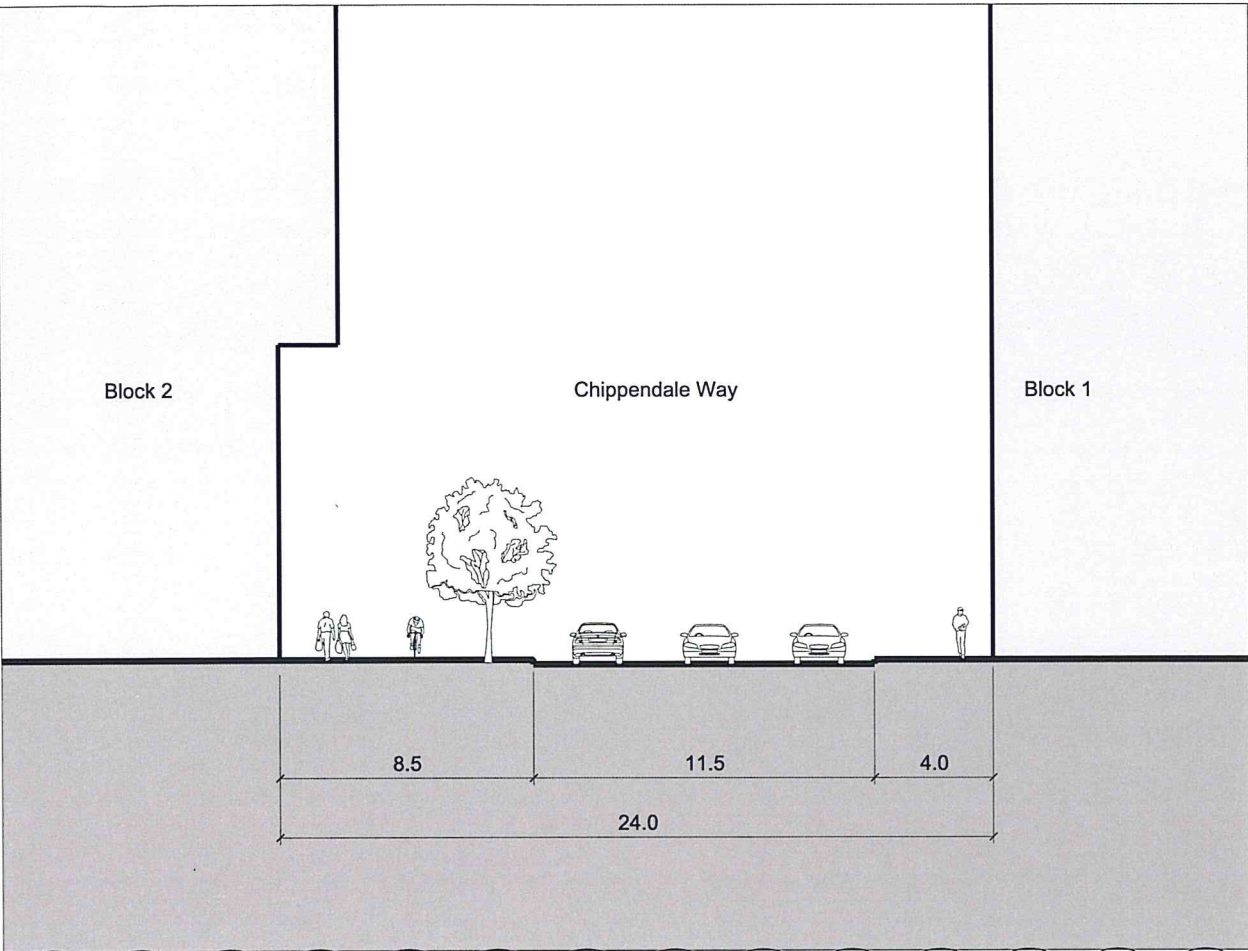
Signed [Signature]

Sheet No. 27 of 30

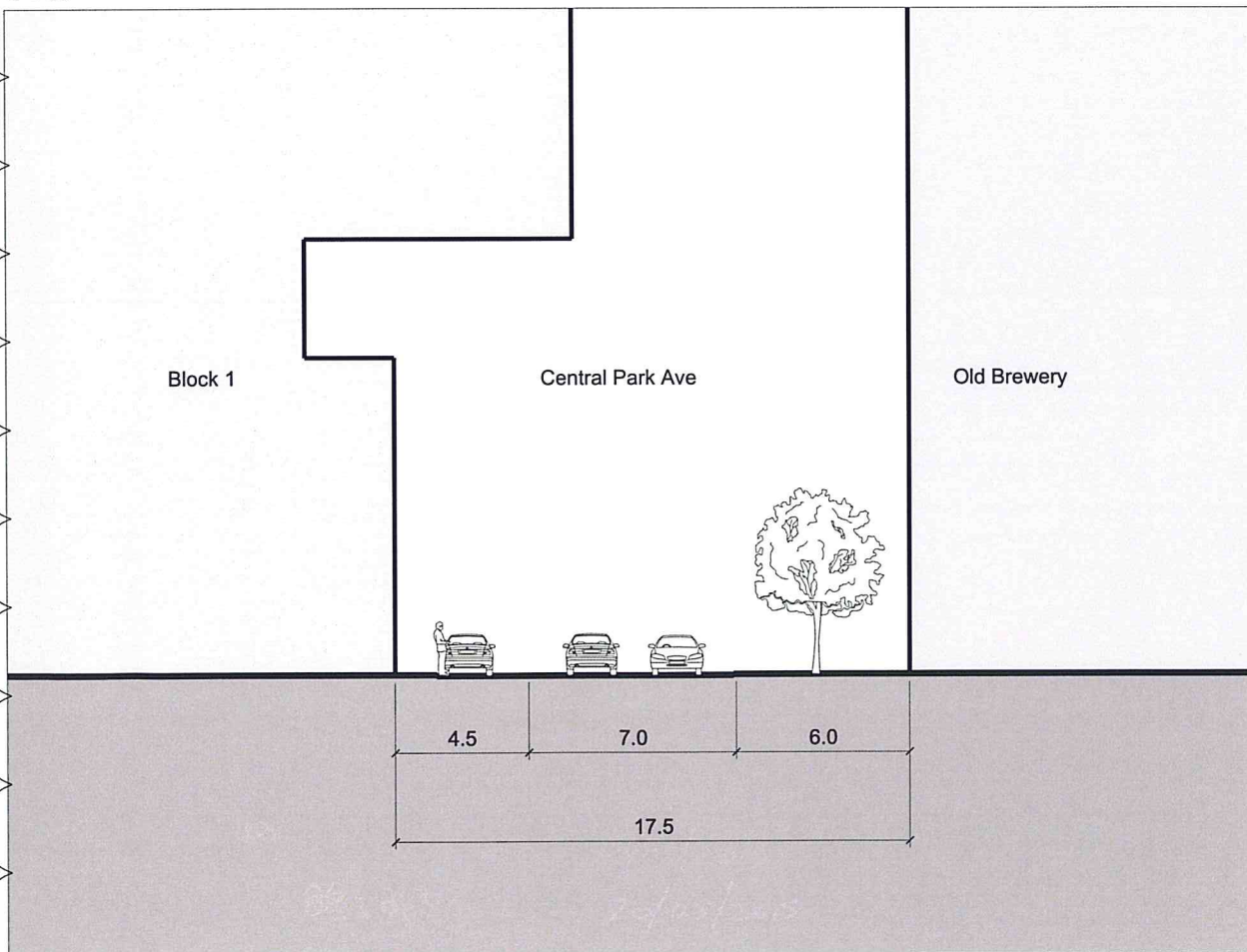




General Notes 1. Do not scale drawings. Dimensions govern. 2. All dimensions are in meters unless noted otherwise. 3. All dimensions shall be verified on site before proceeding work. 4. Foster + Partners shall be notified in writing of any discrepancies.			
09	23/01/14	S75W Amendments (MOD 9)	RP
08	04/12/08	Submission DoP	
07	14/10/08	Submission DoP	
06	04/09/08	Submission DoP - Solar Planes	
05	27/05/08	Submission amended DoP	
04	15/05/08	Submission DoP	
03	30/04/08	Submission amended CP	
02	22/04/08	Revised submission CP	
01	21/04/08	Submission amended concept plan	
00	07/04/08	Final coordination	
-	31/03/08	For information (90% issue)	
10	10/11/14	S75W Amendments (MOD 10)	RP
Rev.	Date	Reason For Issue	Ck
Key Plan			
			
Notes			
	Retail		
	Residential		
	Commercial		
	Roof		
	Basement		
	Live and Work		
-----	Possible Service Zone		
	Balcony/ Articulated Facade Zone		
Max EH	Maximum Eaves Height		
AGF	Assumed Groundfloor Level		
	All Heights in AHD		
AHD	Street Wall Height in Relation to Existing Ground Level		
-----	Datum Line		
-----	Maximum Building Envelope		
-----	Roof Feature permissible as long as minimum sun requirement for park is met		
B0 13.9 m	Approximate heights to be considered during next planning stages		
ED maxED	= Excavation - approximate depths to be considered during next planning stages		
Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)			
FRASERS PROPERTY			
Project	Fraser's Broadway 20 - 102 Broadway Sydney NSW 2000		
Client	Fraser's Broadway L11, 488 Kent Street Sydney NSW 2000 T: 02 8823 8800 F: 02 8823 8801		
Foster + Partners			
Riverside, 22 Hester Road London SW11 4AN T +44 (0)20 7738 0455 F +44 (0)20 7738 1107			
Title Concept Plan Section 7			
Project No.	Scale @ A3	Date	Drawn By
1645	1:1000	14/03/08	
Number			Revision
A-1457			10



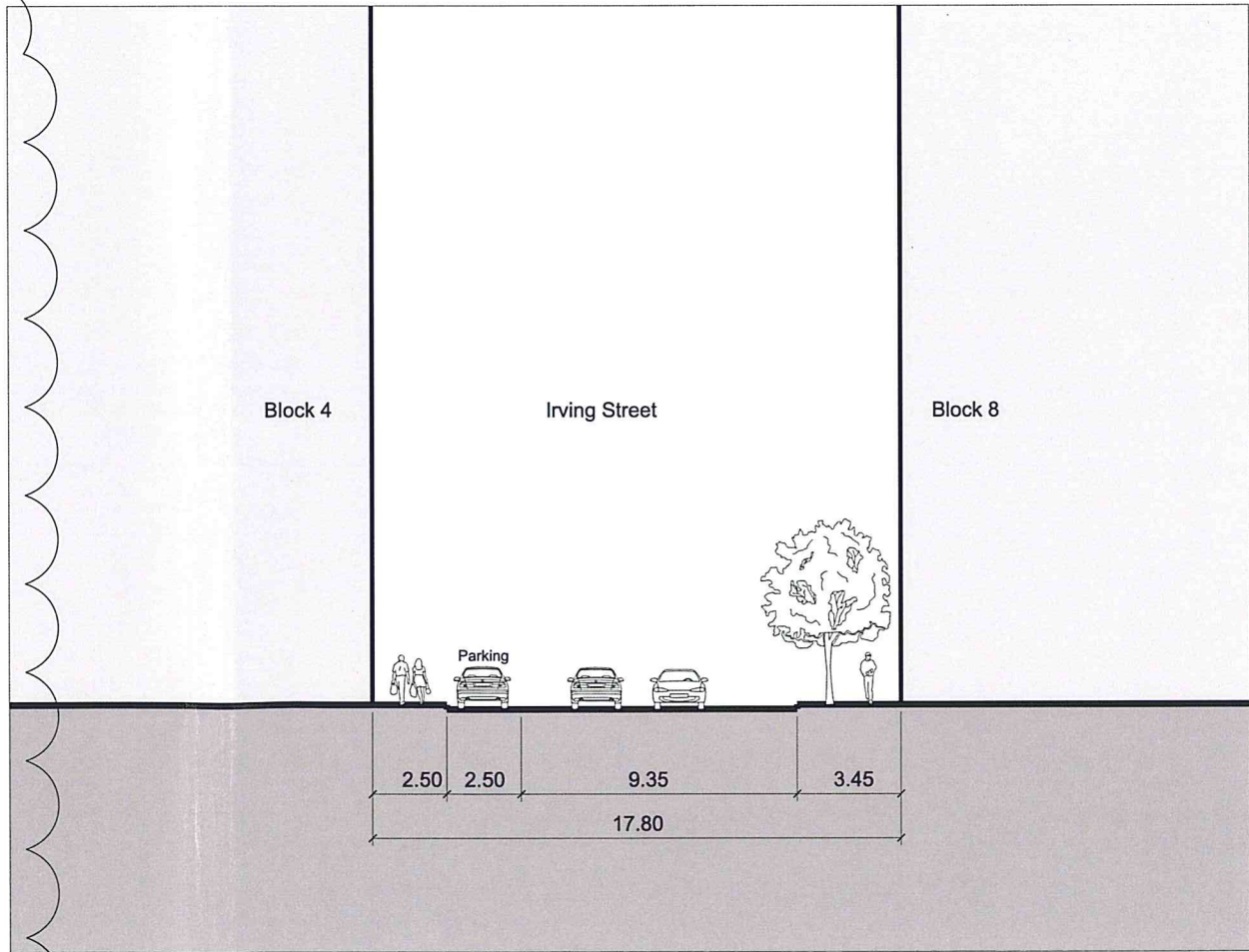
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03 Section
1:250



02 Section
1:250



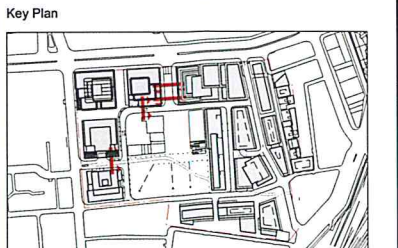
04 Section
1:250

Omitted

NSW GOVERNMENT
Planning
Issued under the Environmental Planning and Assessment Act 1979
Approved Section 75W Modification Application
No.....10.....granted on the 20/08/2015
in respect to MP..06-0171..
Signed.....[Signature].....
Sheet No.....29.....of.....30.....

General Notes
1. Do not scale drawings. Dimensions govern.
2. All dimensions are in meters unless noted otherwise.
3. All dimensions shall be verified on site before proceeding work.
4. Foster + Partners shall be notified in writing of any discrepancies.

Rev.	Date	Reason For Issue	Ck
07	10/11/14	S75W Amendments (MOD 10)	RP
06	23/01/14	S75W Amendments (MOD 9)	RP
05	19/12/12	S75W Amendments (MOD 8)	RP
04	14/10/08	Submission DoP	
03	15/05/08	Submission DoP	
02	30/04/08	Submission amended CP	
01	21/04/08	Submission amended concept plan	
00	07/04/08	Final coordination	
-	31/03/08	For information (90% issue)	
-	19/03/08	For information (80% issue)	
-	14/03/08	For information (40% issue)	



Notes
FOR SECTION LINES REFER TO A-1258

FRASERS PROPERTY

Project Frasers Broadway
20 - 102 Broadway Sydney NSW 2000

Client Frasers Broadway
L11, 488 Kent Street Sydney NSW 2000
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Foster + Partners

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F +44 (0)20 7738 1107

Title
Concept Plan
Street Sections

Project No. 1645	Scale @ A3 1:250	Date 14/03/08	Drawn By
Number A-1458			Revision 07



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

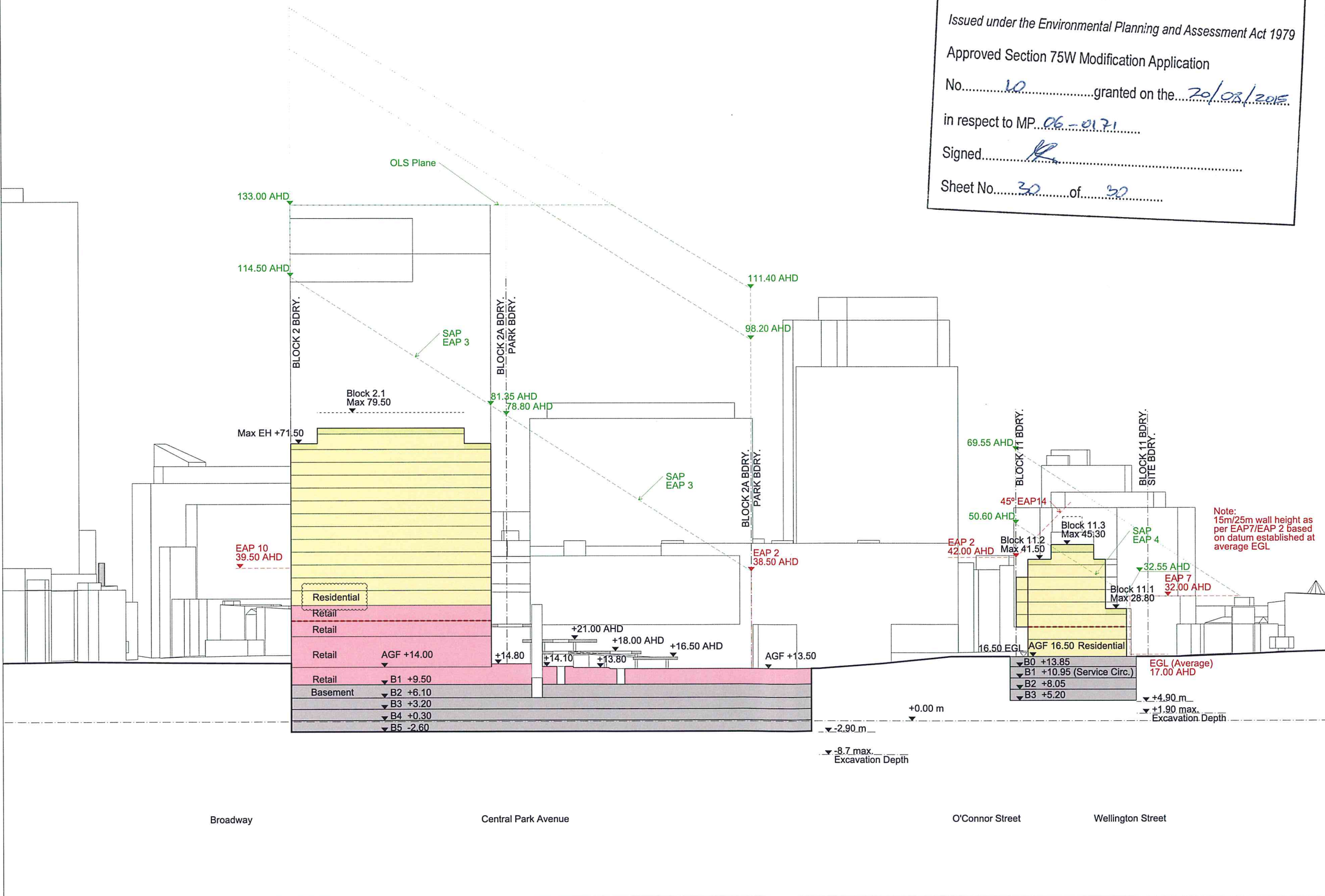
Approved Section 75W Modification Application

No. 10 granted on the 20/08/2015

in respect to MP 06-0171

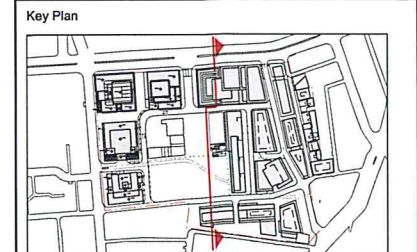
Signed [Signature]

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General Notes
1. Do not scale drawings. Dimensions govern.
2. All dimensions are in meters unless noted otherwise.
3. All dimensions shall be verified on site before proceeding work.
4. Foster + Partners shall be notified in writing of any discrepancies.

Rev.	Date	Reason For Issue	Ck
07	10/11/14	S75W Amendments (MOD 10)	RP
06	23/01/14	S75W Amendments (MOD 9)	RP
05	23/05/13	Clouds Added	
04	20/05/13	SSDA Comments	
03	14/05/13	SSDA Comments	
02	16/10/08	Submission DoP	
00	04/09/08	Submission DoP - Solar Planes	



Notes	
	Retail
	Residential
	Commercial
	Roof
	Basement
	Live and Work
	Possible Service Zone
	Balcony/ Articulated Facade Zone
Max EH	Maximum Eaves Height
AGF	Assumed Groundfloor Level
	All Heights in AHD
AHD	Street Wall Height in Relation to Existing Ground Level
	Datum Line
	Maximum Building Envelope
	Roof Feature permissible as long as minimum sun requirement for park is met
B0 13.9 m	Approximate heights to be considered during next planning stages
ED maxED	Excavation - approximate depths to be considered during next planning stages

Note: Additional roof elements such as plant rooms, balustrades, antenna's a.o. are only permitted within a 30° angle measured from eaves line (to avoid increased shadow, to prevent a cluttered skyline)

FRASERS PROPERTY

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Title
Concept Plan
Section 18

Project No. 1645	Scale @ A3 1:1000	Date 04/09/08	Drawn By
Number A-1460		Revision 07	

01 Section 18
1:1000

