



1. Composite metal or terracotta spandrel



2. Fixed double-glazed curtain wall facade system



3. Facade patterning



4. Integrated planting



5. Glass louvers



6. Anodized aluminium horizontal sun shades



7. Horizontal Louvres



8. Vertical Aluminium Profile



9. Glass balustrade



10. Operable glass awning windows



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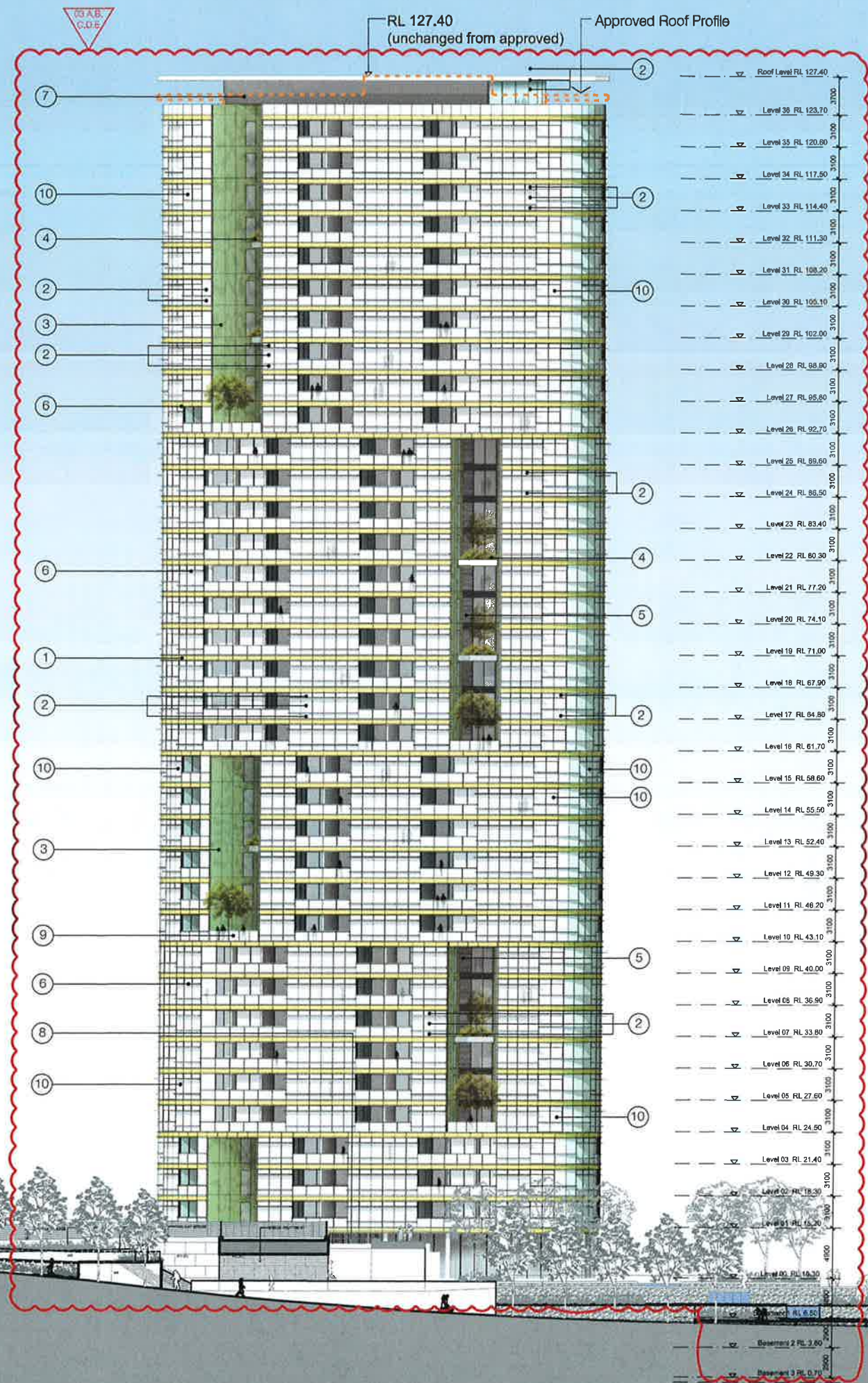
Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 15/12/2015

in respect to MR S96 6603

Signed MR

Sheet No. 12 of 30

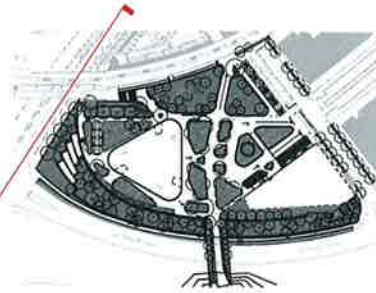


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Revision Summary:

Revision 02 - Section 96 Amendments

- A - Revision to landscape levels: Tower base FFL lowered from 10.0 to 10.20, Tower typical floor to floor height levels reduced from 3.2m to 3.0m.
- B - Expanded at space in rooftop converted to residential 9.0. New floor inserted at Level 30.
- C - New typical floor inserted at level 25.
- D - Amendments to Windows.
- E - New retail base to match existing to point upgrade.

NOT FOR CONSTRUCTION

02	20.05.15	S96 Application	KM	MLB
01	19.09.14	Development Application	KM	MLB
Revision	Date	Description	Initial	Checked

Site 68
Sydney Olympic Park

Elevation
West

Scale: 1:250 @ A1 1:500 @ A3
Drawn: Checked

Project No. S11611
Status: s96 Application
Plot Date: 20/8/2015 10:45 AM
Plot File: S:\116020-116099\11611_s96_application\02_elevation\02_elevation.dwg
Drawing No. [Revision]

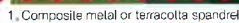
A05.02[02]

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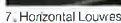
2. Fixed double-glazed curtain wall facade system



4. Integrated planting



6. Anodized aluminum horizontal sun shades



8. Vertical Aluminium Profile



10. Operable glass awning windows

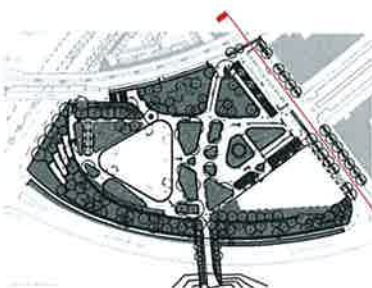


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Revision Summary:

Revision 03 - Section 95 Amendments

- A - Revised to landscape levels. Tower lobby FFL lowered from 10.00 to 10.30. Tower typical floor to floor height levels reduced from 2.2m to 3.1m.
- B - Existing stair space on rooftop converted to residential flats. New floor inserted at Level 35.
- C - New typical floor inserted at level 2's.
- D - Amendments to finishes.

NOT FOR CONSTRUCTION

03	25.05.15	s35 Application	KM	ML
02	27.01.15	Development Application	KM	ML
01	19.09.14	Development Application	KM	ML
Revision	Date	Description	Initial	Code

Site 68
Sydney Olympic Park

Elevation
North

Scale 1:250 @ A1 1:500 @A3

Drawn
Checked

Project No. S11611

s96 Application

20/8/2015 10:46 AM

Source File S:\11500-11629\s11611_ecove_spps\66800_main\cad\plots

Drawing No. _____ [Revision]

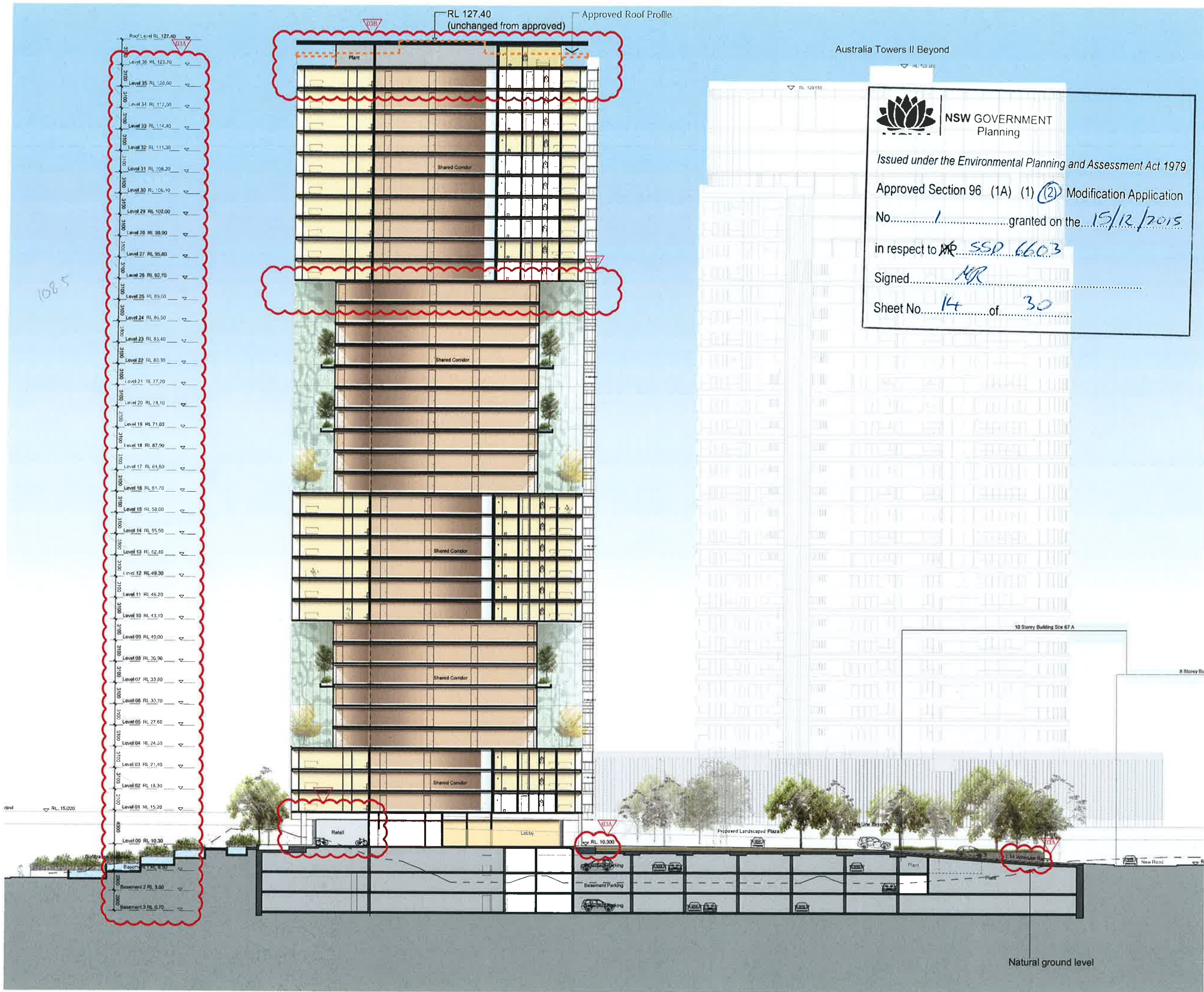
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Revision Summary:	
Revision 03 - Section 96 Amendments	
A.	Revisions to landscape levels. Trees lobby FFL lowered from 0.10 to 0.30. Lower typical floor to floor heights reduces floor 3.2m to 3.1m.
B.	Revisions to space on rooftop converted to residential floor. New floor started at level 35.
C.	New typical floor inserted at level 25.
D.	New retail located within existing footprint at grade.

NOT FOR CONSTRUCTION

Revision	Date	Description	Initial	Checked
03	25.09.15	s96 Application	KBT	MLS
02	18.09.14	Development Application	KBT	MLS
01	29.08.14	For Information	JB	MLS

Site 68
Sydney Olympic Park

Section
A-A
North-South

Scale
1:250 @ A1 1:500 @A3

Drawn
Checked

Project No.
S11611

Status
s96 Application

Plot Date
23/6/2015 5:11 PM

Plot File
S:\11600-11600\11611_crowe\pdp\11611_msc\11611\pdp\01A

Plot File
J:\08 910312.dwg

Drawing No.
[Revision]

A06.01[03]

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BATESSMART

Site 3 Australia Tower behind

RL 129.600



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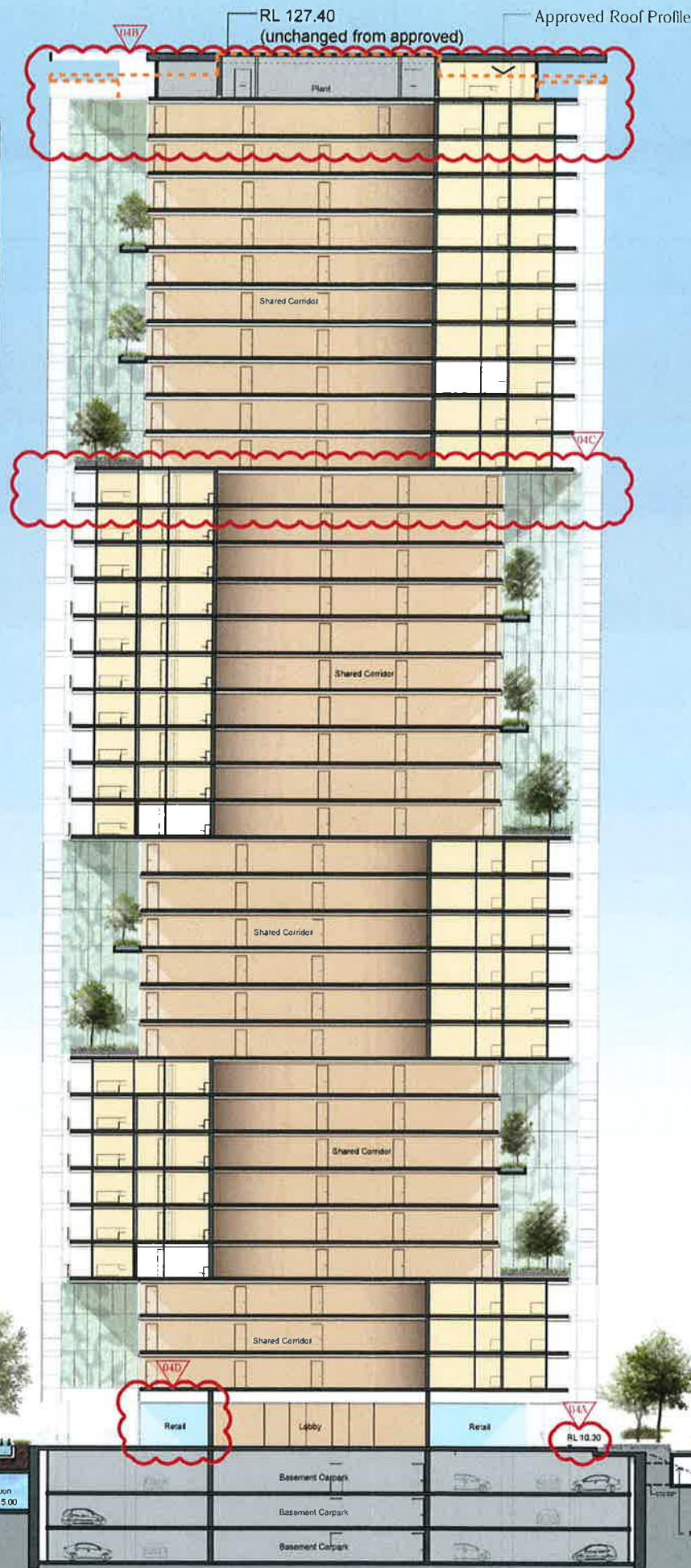
Approved Section 96 (1A) (1) (2) Modification Application

No. 1 granted on the 15/12/2015

in respect to ~~MP~~ SSD 6603.

Signed..... MR

Sheet No. 15 of 30



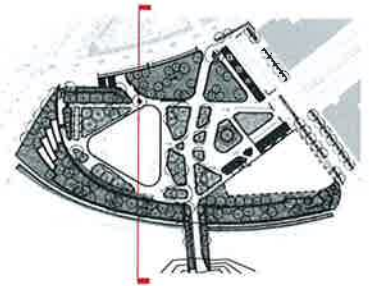
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Level 35	RL 120.60	Level 0	RL 10.30
Level 34	RL 117.50	Basement 1	RL 6.50
Level 33	RL 114.40	Basement 2	RL 3.70
Level 32	RL 111.30	Basement 3	RL 0.70
Level 31	RL 108.20		
Level 30	RL 105.10		
Level 29	RL 102.00		
Level 28	RL 98.90		
Level 27	RL 95.80		
Level 26	RL 92.70		
Level 25	RL 89.60		
Level 24	RL 86.50		
Level 23	RL 83.40		
Level 22	RL 80.30		
Level 21	RL 77.20		
Level 20	RL 74.10		
Level 19	RL 71.00		
Level 18	RL 67.90		
Level 17	RL 64.80		
Level 16	RL 61.70		
Level 15	RL 58.60		
Level 14	RL 55.50		
Level 13	RL 52.40		
Level 12	RL 49.30		
Level 11	RL 46.20		
Level 10	RL 43.10		
Level 09	RL 40.00		
Level 08	RL 36.90		
Level 07	RL 33.80		
Level 06	RL 30.70		
Level 05	RL 27.60		
Level 04	RL 24.50		
Level 03	RL 21.40		
Level 02	RL 18.30		
Level 01	RL 15.20		
Proposed landscape footbridge below			

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Revision Summary:	
Revision 04 - Section 96 Amendments	
A	Revisions to landscape levels. Terrace lobby HLL, level of floor 10.70 to 10.30. Terrace typical floor to floor height levels under as from 3.2m to 3.1m.
B	Two new plant spaces on rooftop converted to mechanical floor. New floor marked at Level 35.
C	New typical floor marked at level 23.
D	New level typically within existing footprint at grade.

NOT FOR CONSTRUCTION

Rev	Date	Description	Initial	Checked
04	25.05.15	s96 Application	KM	MLS
03	27.01.15	Development Application	KM	MLS
02	19.05.14	Development Application	KM	MLS
01	01.09.14	For Information	JD	MLS

Site 68
Sydney Olympic Park

Section
B-B
East-West

Scale
1:250 @ A1 1:500 @ A3

Drawn: Checked:

Project No.: S11611

Status: s96 Application

Plot Date: 23/6/2015 5:12 PM

Plot File: S:\1600-11659-s11611_project\cap\06-00_mechanical\06A00A06.02[04].dwg

Drawing No.: [Revision]

A06.02[04]

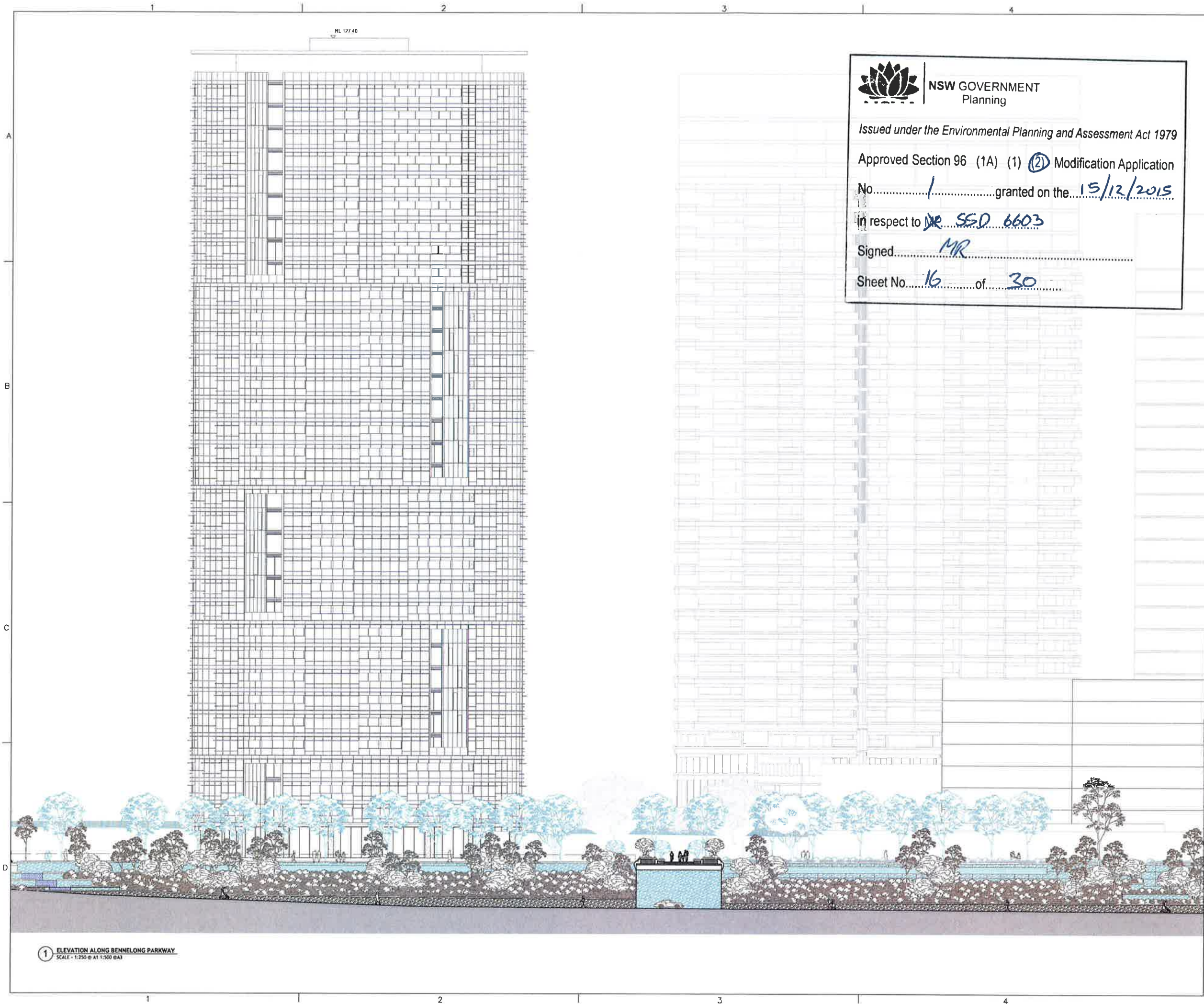
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Sheet No. 16 of 30

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04	23.06.2015	S96 APPLICATION	CZ	MH
03	20.05.2015	FOR DA	CZ	MH
02	11.02.2015	FOR DA	CZ	MH
01	06.11.2014	FOR DA	CZ	NH
P1	11.09.2014	Preliminary For Discussion	CZ	MH

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Architect

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Project

SOP SITE 68 - Main Site

Drawing Title

Landscape Elevation AA

Drawing Status

S96 APPLICATION

Drawing No.

S96-MS-LE-001

Revision

04



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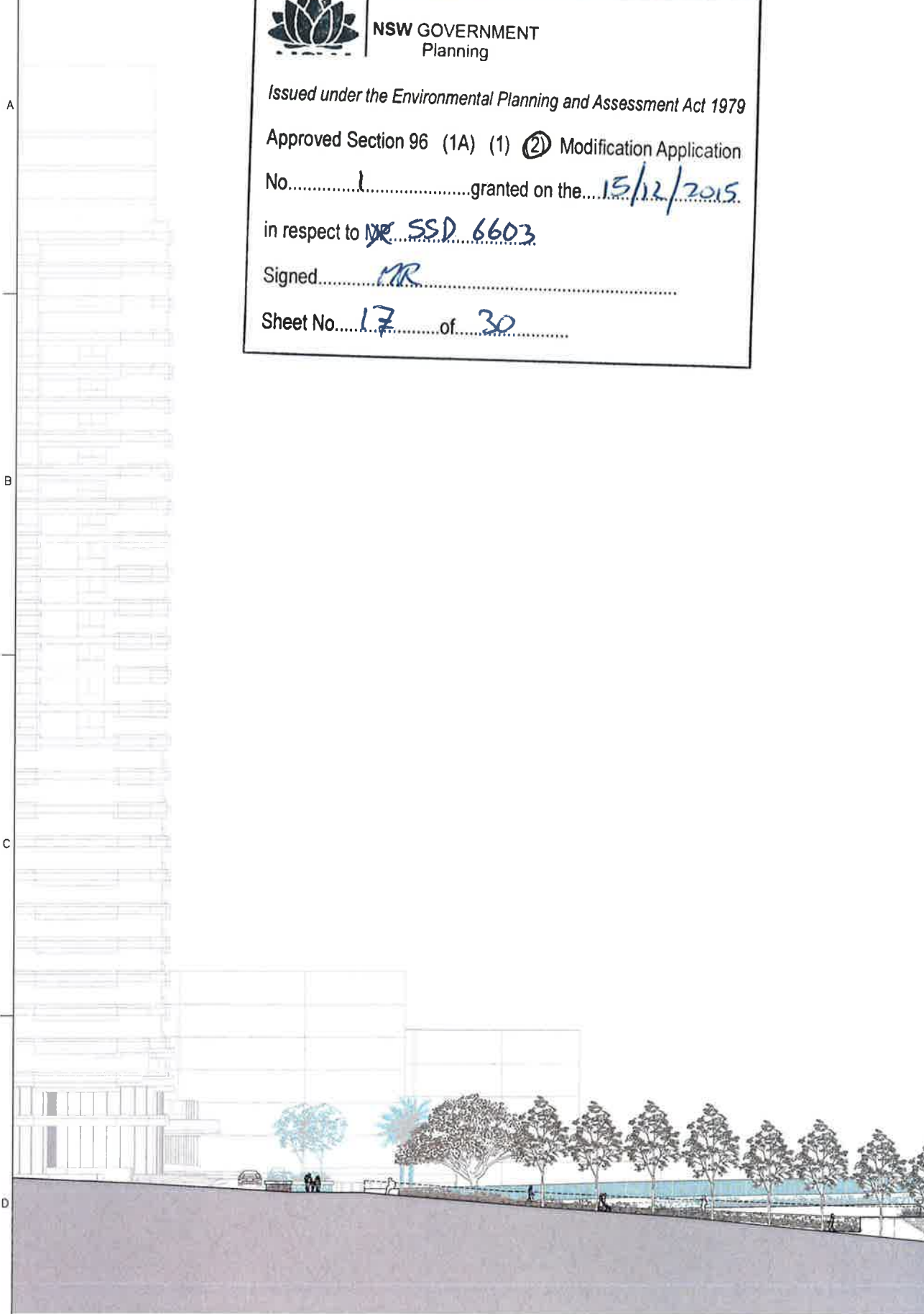
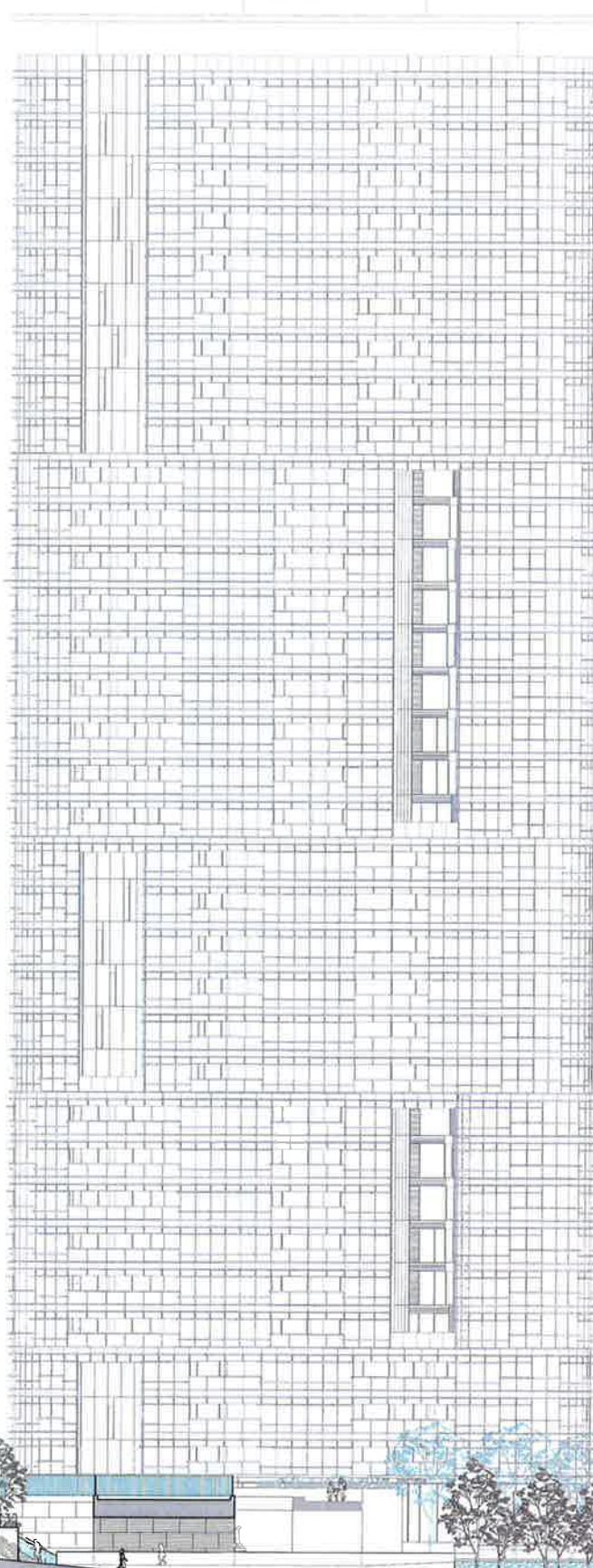
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① ELEVATION ALONG AUSTRALIAN AVENUE
SCALE - 1:250 @ A1 1:500 @A3

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04	23.06.2015	S96 APPLICATION	CZ	MH
03	20.06.2015	FOR DA	CZ	MH
02	11.02.2015	FOR DA	CZ	MH
01	06.11.2014	FOR DA	CZ	MH
P1	11.09.2014	Preliminary For Discussion	CZ	MH

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Architect

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Project

SOP SITE 68 - Main Site

Drawing Title

Landscape Elevation BB

Drawing Status

S96 APPLICATION

Drawing No.	Revision
S96-MS-LE-002	04



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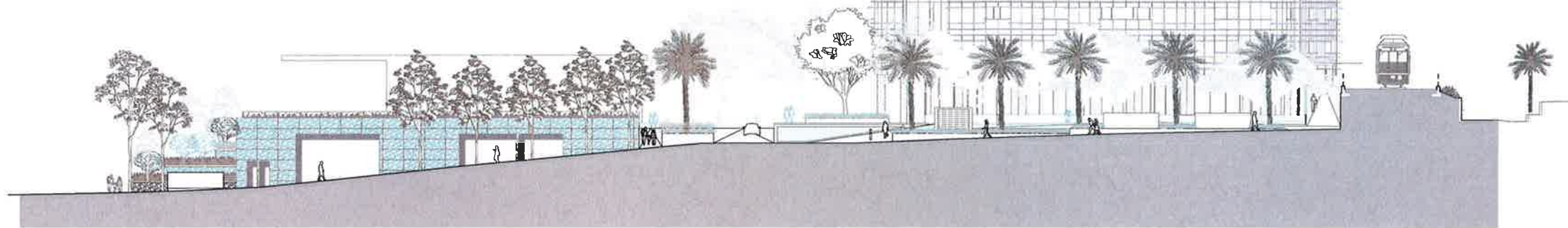
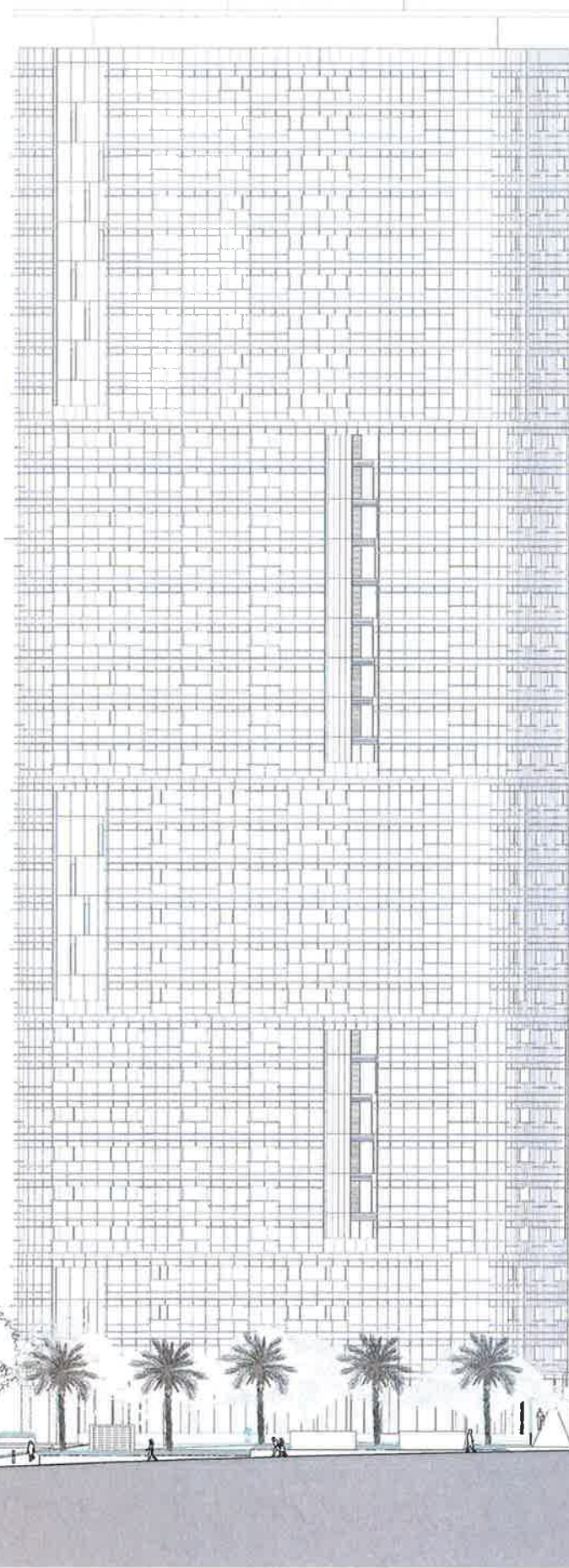
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1 ELEVATION ALONG NEW ROAD 3
SCALE: 1:250 @ A1 1:500 @ A3

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03	20.05.2015	FOR DA	CZ	MH
02	11.02.2015	FOR DA	CZ	MH
01	06.11.2014	FOR DA	CZ	MH
P1	11.09.2014	Preliminary For Discussion	CZ	MH
Rev	Date	Description	Drawn	Checked

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BATESMART.

Project

SOP SITE 68 - Main Site

Drawing Title

Landscape Elevation CC

Drawing Status

S96 APPLICATION

Drawing No.

S96-MS-LE-003

Revision

04



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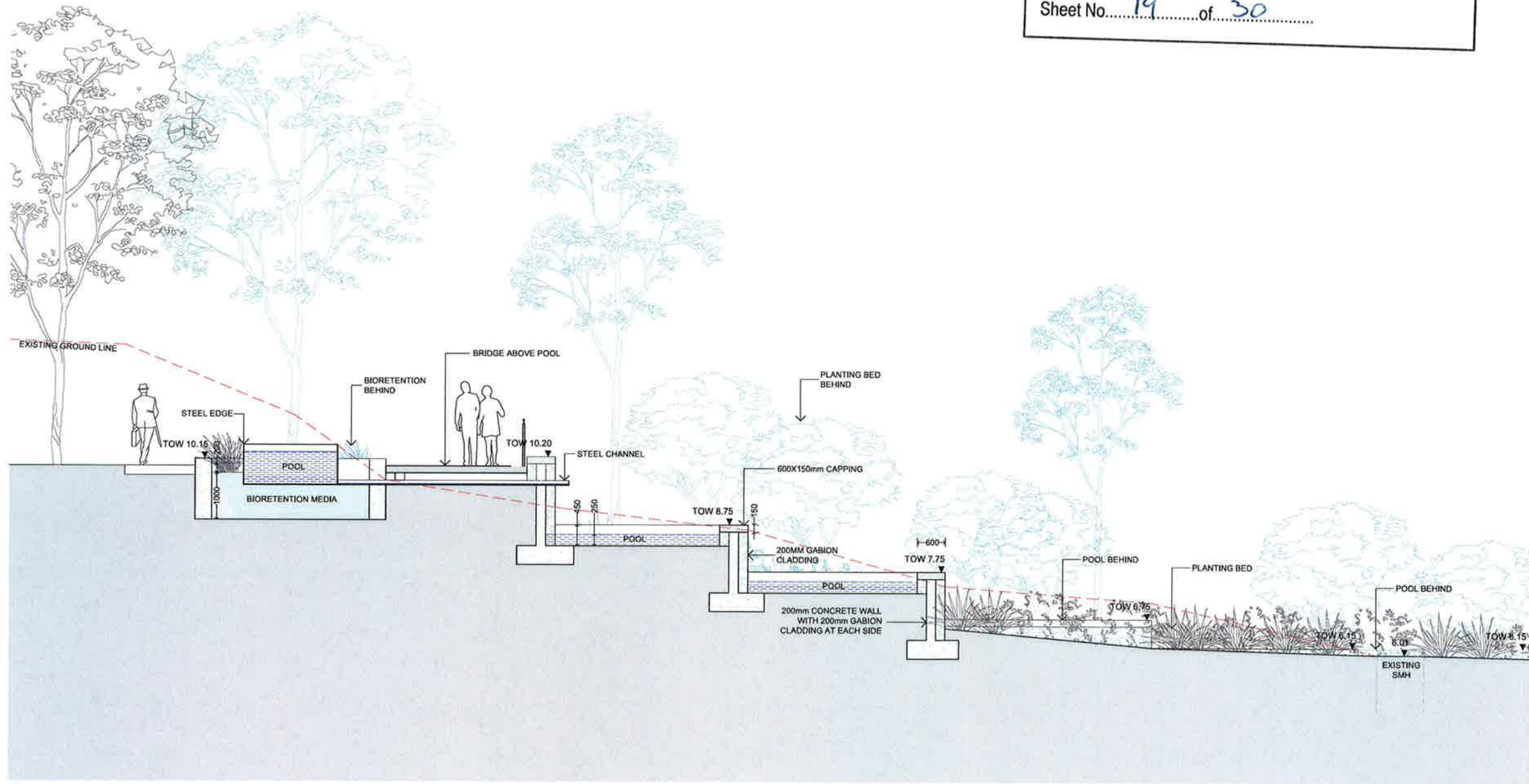
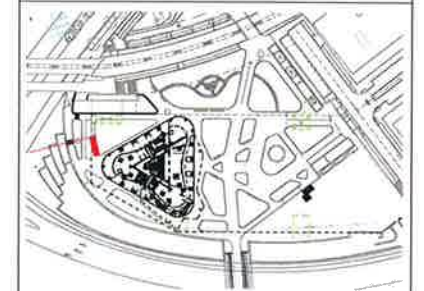
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1 SECTION AA
SCALE - 1:50 @ A1 1:100 @A2

Rev	Date	Description	Drawn	Checked
04	23.06.2015	S96 APPLICATION	CZ	MH
03	20.05.2015	FOR DA	CZ	MH
02	11.02.2015	FOR DA	CZ	MH
01	07.11.2014	FOR DA	CZ	MH
P2	19.09.2014	Preliminary For Discussion	CZ	MH
P1	12.09.2014	Preliminary For Discussion	CZ	MH

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Project:

SOP SITE 68 - Main Site

Drawing Title:

Landscape Section AA

Drawing Status:

S96 APPLICATION

Drawing No.:

S96-MS-LS-001

Revision:

04



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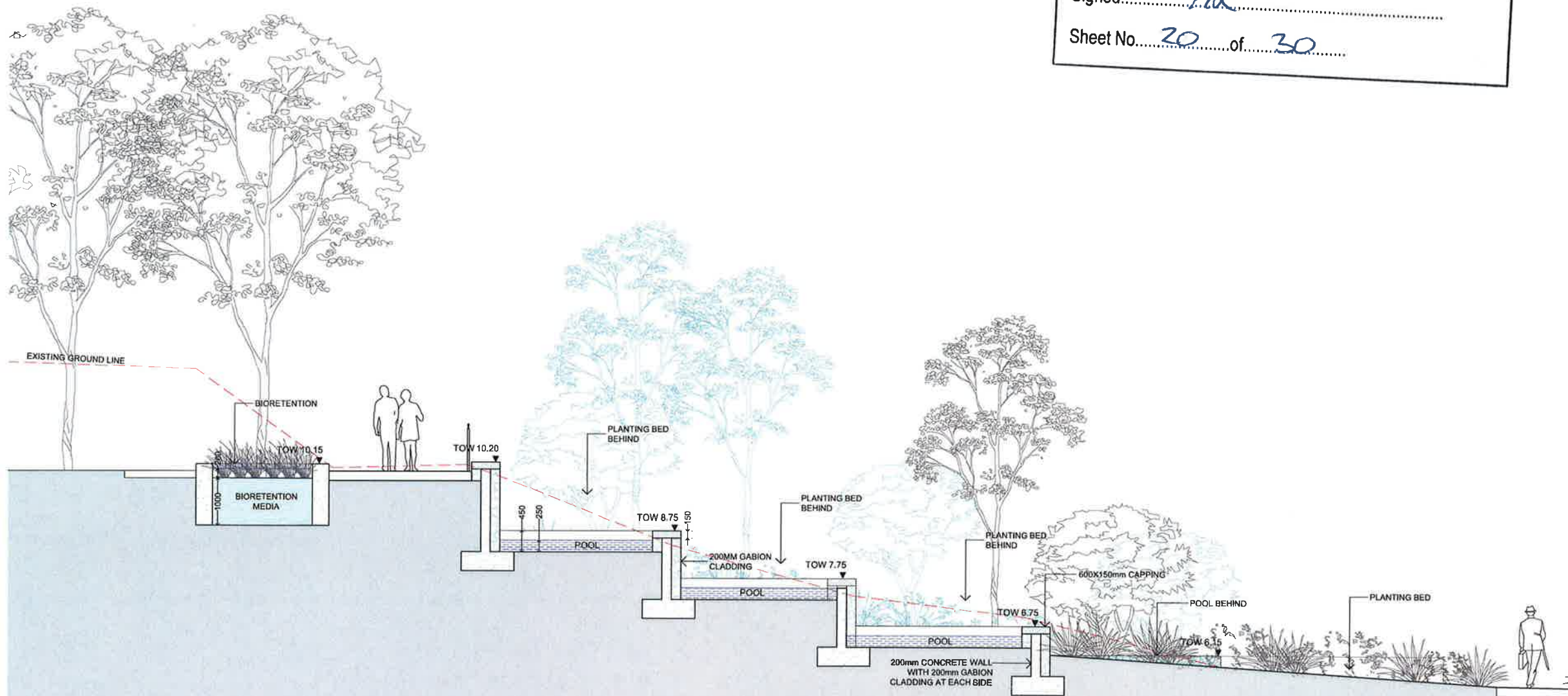
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in respect to MR SSP 6603

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1 SECTION BB
SCALE - 1:50 @ A1 1:100 @ A3

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Rev	Date	Description	Drawn	Checked
04	23.06.2015	S96 APPLICATION	CZ	MH
03	20.05.2015	FOR DA	CZ	MH
02	11.02.2015	FOR DA	CZ	MH
01	07.11.2014	FOR DA	CZ	MH
P2	18.09.2014	Preliminary For Discussion	CZ	MH
P1	12.09.2014	Preliminary For Discussion	CZ	MH

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Architect

BATESSMART

Project

SOP SITE 68 - Main Site

Drawing Title

Landscape Section BB

Drawing Status

S96 APPLICATION

Drawing No.

S96-MS-LS-002

Revision

04