

DRAWING SCHEDULE

- A 0000 TITLE PAGE
- A 1000 SITE ANALYSIS
- A 1010 SITE PLAN
- A 1100 SURVEY PLAN
- A 1200 BASEMENT 01
- A 1201 LOWER GROUND FLOOR
- A 1202 GROUND FLOOR PLAN
- A 1203 LEVEL 01
- A 1204 LEVEL 02
- A 1205 LEVEL 03
- A 1206 LEVEL 04
- A 1207 ROOF GARDEN
- A 1208 ROOF PLAN
- A 1500 ELEVATIONS
- A 1501 ELEVATIONS
- A 1700 SECTION AA
- A 1701 SECTION BB
- A 2000 PERSPECTIVES

UNIT MIX

STUDENT ACCOMMODATION: 40 ROOMS

RESIDENTIAL TOTAL: 13  
1 BED: 13

FSR

SITE AREA: 645.7 SQM  
TOTAL GFA PERMISSIBLE: 1937.1 SQM  
PERMISSIBLE 3:1

RESIDENTIAL: 1.26:1 (815.87 SQM)  
STUDENT ACCOMMODATION: 1.74:1 (1125.27 SQM)  
FSR TOTAL: 3.00:1 (1941.14 SQM)

- External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour
- Internal Walls:**
- Within each unit: single skin brick; wet plaster both sides
  - Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides
- Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65
- Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)
- Ceiling:** Plasterboard - no insulation
- Floor:** Concrete slab (no insul.)
- Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |





Energy Rating

Certificate Number **14570194**

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

4.9 stars

heating **30.5** MJ/m<sup>2</sup>

cooling **41.5** MJ/m<sup>2</sup>

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number **Bruce Carr VIC/BDAV/12/1457**

Assessor Signature  Date **20.05.14**



GHAZI AL ALI

ARCHITECT

175-177 CLEVELAND ST

175-177 CLEVELAND ST, REDFERN, NSW 2016

| Units | Additional Requirements                  |
|-------|------------------------------------------|
| G01   | R1.0 in external walls. + R1.0 in floors |
| 103   | R1.0 in external walls. + R1.0 in floors |

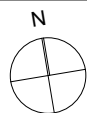


|                         |                             |
|-------------------------|-----------------------------|
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| NOT FOR<br>CONSTRUCTION |                             |
| DA                      |                             |

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ACN: 67167131848

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|                                      |  |                   |                  |
|--------------------------------------|--|-------------------|------------------|
| PROJECT:                             |  |                   |                  |
| <b>175-177 CLEVELAND ST</b>          |  |                   |                  |
| CLIENT:                              |  |                   |                  |
| <b>HIGH QUALITY BUILDING PTY LTD</b> |  |                   |                  |
| SCALE:                               |  | DATE:             | CAD FILE NUMBER: |
| <b>1:200</b>                         |  | <b>20/05/2014</b> |                  |
| DRAWN BY:                            |  | CHECKED 2:        | APPROVED:        |
| <b>JU</b>                            |  | <b>GA</b>         |                  |

|                      |              |                                |
|----------------------|--------------|--------------------------------|
| DRAWING NAME         |              | PROJECT NUMBER<br><b>24.13</b> |
| <b>BASEMENT PLAN</b> |              |                                |
| DRAWING NUMBER       |              | ISSUE                          |
| <b>DA</b>            | <b>A1200</b> | <b>A</b>                       |

**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

**Internal Walls:**

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

**Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

**Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

**Ceiling:** Plasterboard - no insulation

**Floor:** Concrete slab (no insul.)

**Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |

**Energy Rating**

Certificate Number **14570104**

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

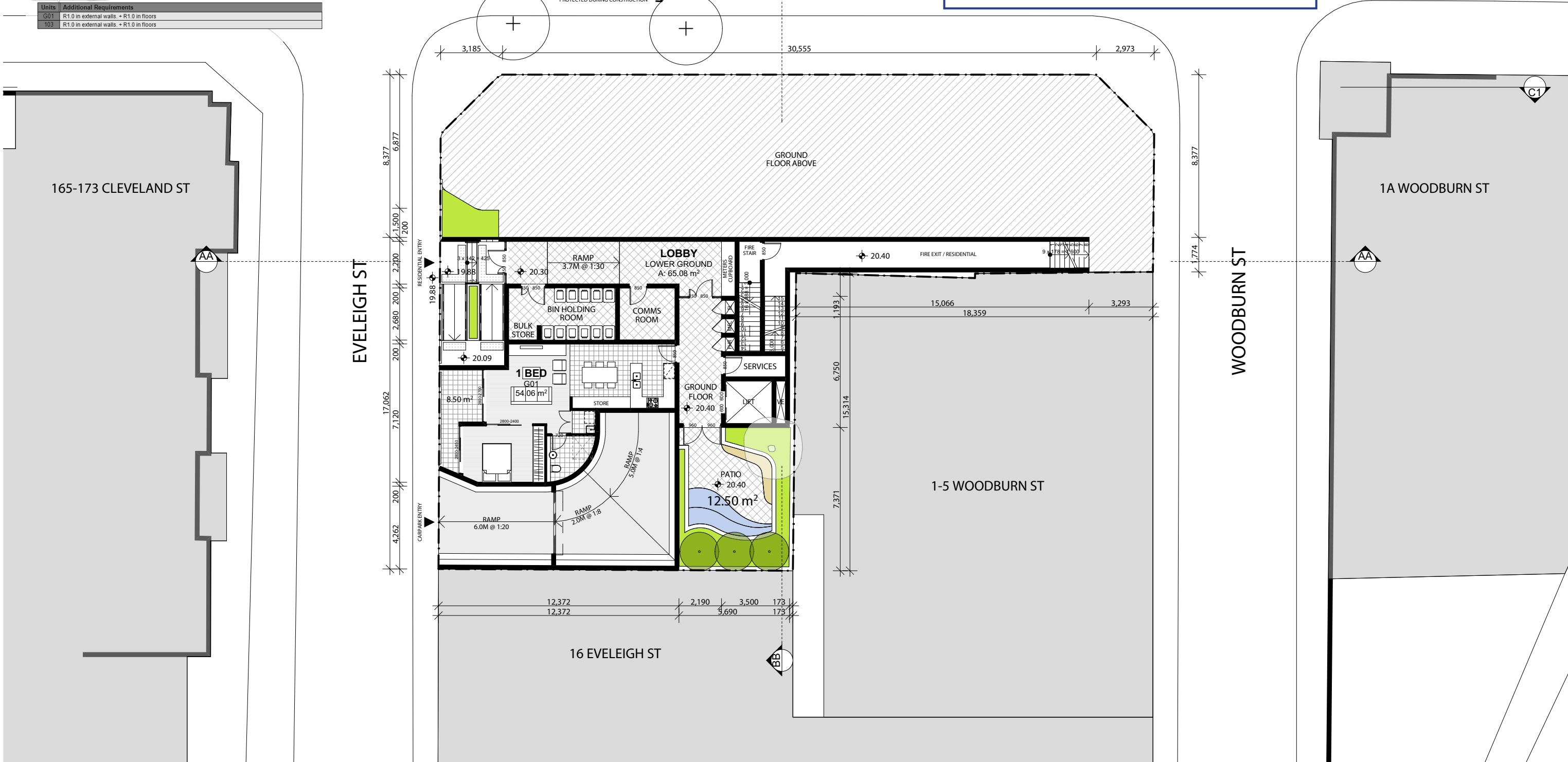
heating **30.5** MJ/m<sup>2</sup>

cooling **41.5** MJ/m<sup>2</sup>

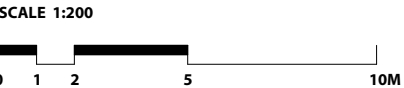
Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number **Bruce Carr VIC/BDAV/12/1457**

Assessor Signature *Bruce Carr* Date **20.05.14**



LOWER GROUND FLOOR PLAN @ 1:200



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DA

Drawing Original Size

A3

Issue

Date

Description

A

20/05/14

FOR DA

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PROJECT:

175-177 CLEVELAND ST

CLIENT:

HIGH QUALITY BUILDING PTY LTD

SCALE:

1:200

DATE:

20/05/2014

CAD FILE NUMBER:

DRAWN BY:

JU

CHECKED 1:

GA

CHECKED 2:

APPROVED:

DRAWING NAME

LOWER GROUND FLOOR PLAN

DRAWING NUMBER

DA

PROJECT NUMBER

24.13

ISSUE

A

**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

**Internal Walls:**

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

**Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

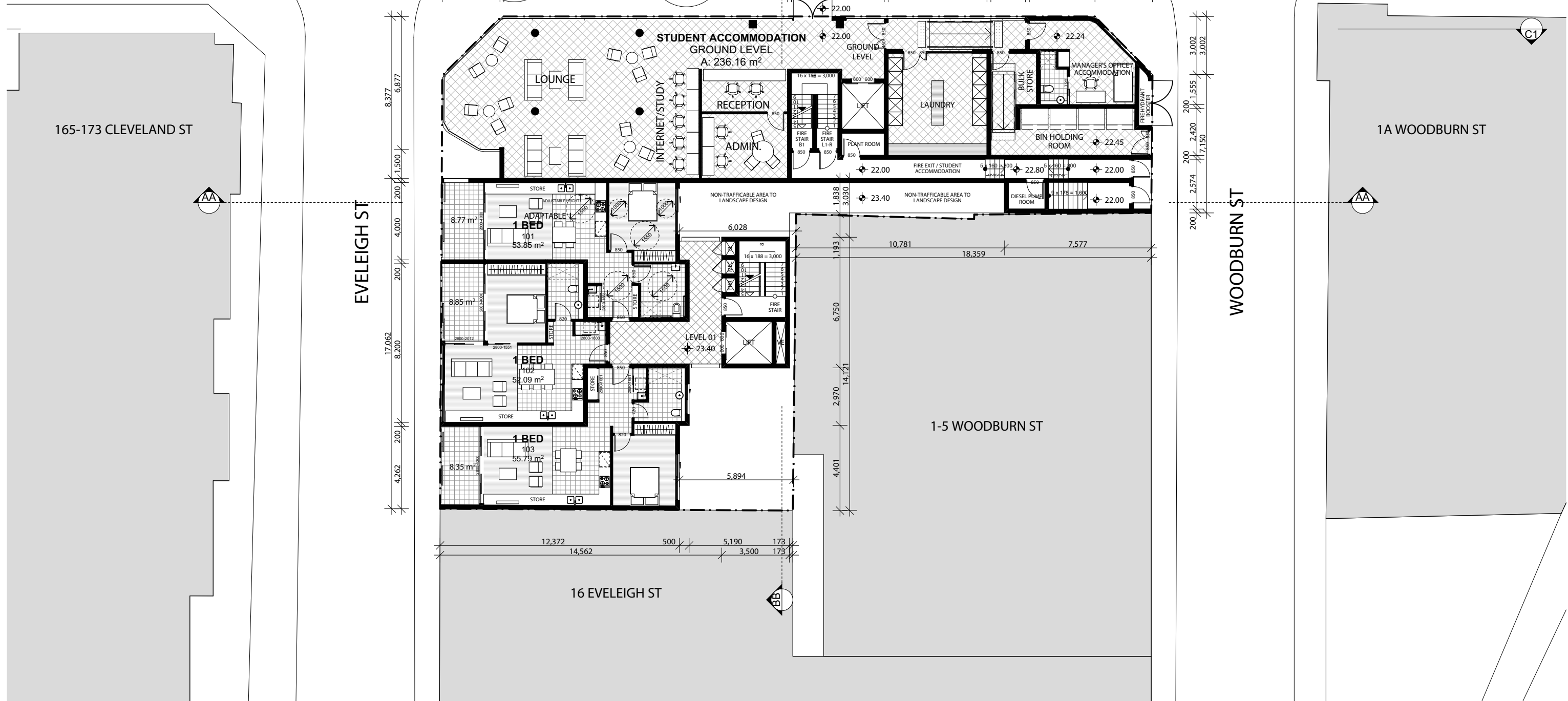
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**Ceiling:** Plasterboard - no insulation

**Floor:** Concrete slab (no insul.)

**Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |



**Energy Rating**

Certificate Number **14570104**

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

4.9 stars

heating **30.5** MJ/m<sup>2</sup>

cooling **41.5** MJ/m<sup>2</sup>

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number **Bruce Carr VIC/BDAV/12/1457**

Assessor Signature *Bruce Carr* Date **20.05.14**

SCALE 1:200



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**DA**

Drawing Original Size **A3**

A 20/05/14 FOR DA

Issue Date Description

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**URBAN DESIGN:**

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**PROJECT:**

**175-177 CLEVELAND ST**

**CLIENT:**

**HIGH QUALITY BUILDING PTY LTD**

**SCALE:**

**1:200**

**DATE:**

**20/05/2014**

**CAD FILE NUMBER:**

**DRAWN BY:**

**JU**

**CHECKED 1:**

**GA**

**CHECKED 2:**

**APPROVED:**

**DRAWING NAME:**

**GROUND FLOOR PLAN**

**DRAWING NUMBER:**

**DA**

**PROJECT NUMBER:**

**24.13**

**ISSUE:**

**A**

GROUND FLOOR PLAN @ 1:200

**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

**Internal Walls:**

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

**Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

**Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

**Ceiling:** Plasterboard - no insulation

**Floor:** Concrete slab (no insul.)

**Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |



### Energy Rating

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Bruce Carr VIC/BDAY/12/1457

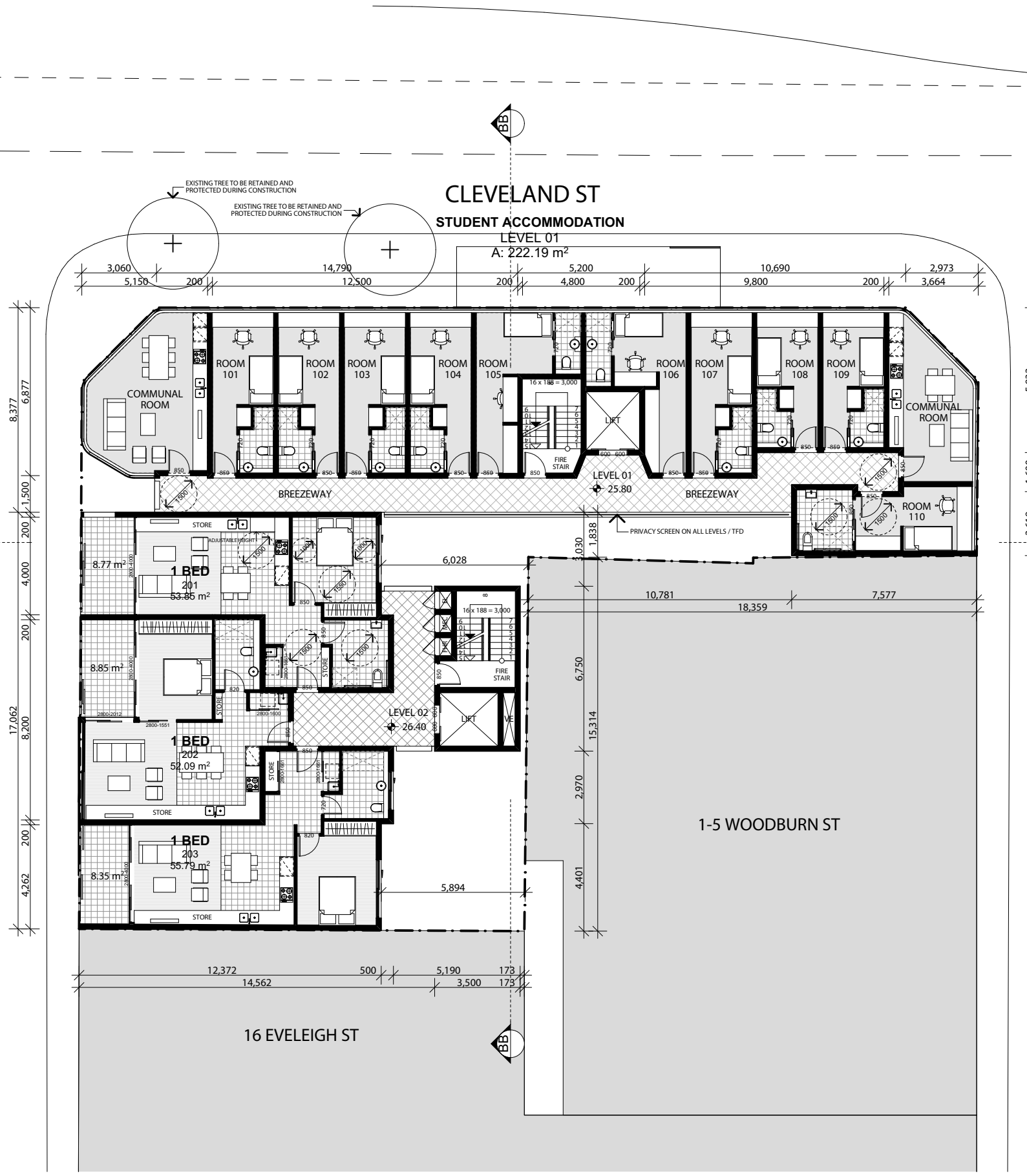
Assessor Signature *Bruce Carr* Date 20.05.14

Certificate Number 14570104

4.9 stars

heating 30.5 MJ/m<sup>2</sup>

cooling 41.5 MJ/m<sup>2</sup>



LEVEL 01 @ 1:200

SCALE 1:200



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Project

175-177 CLEVELAND ST  
HIGH QUALITY BUILDING PTY LTD

Scale

1:200

Date

20/05/2014

CAD File Number

Drawn By

JU

Checked 1

GA

Checked 2

Approved

Drawing Name

LEVEL 01

Drawing Number

DA

Project Number

24.13

Issue

A

**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

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☒ multi-unit development (attach listing of ratings)  
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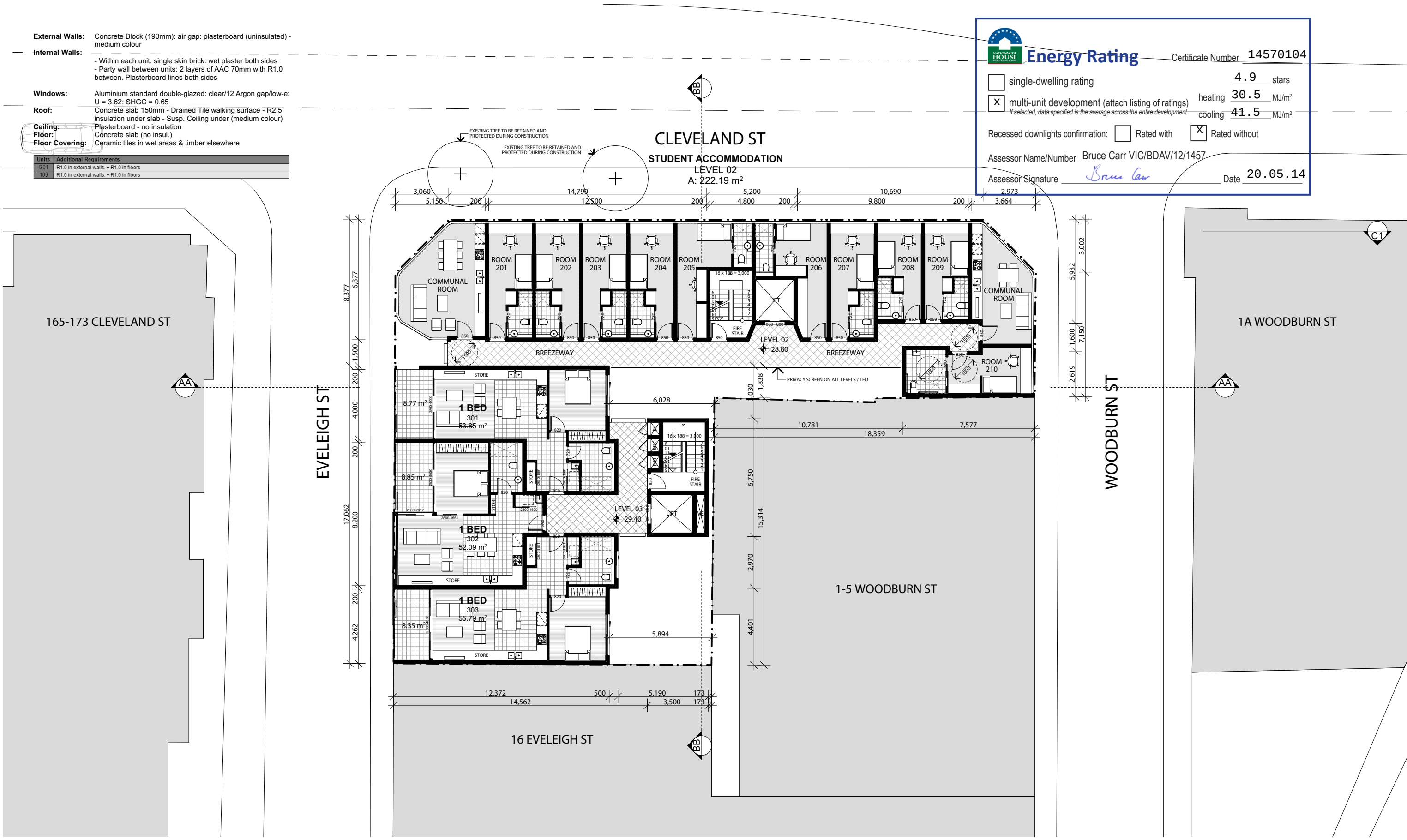
heating 30.5 MJ/m²

cooling 41.5 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Bruce Carr VIC/BDAV/12/1457

Assessor Signature *Bruce Carr* Date 20.05.14



LEVEL 02 @ 1:200

SCALE 1:200



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175-177 CLEVELAND ST

CLIENT:  
HIGH QUALITY BUILDING PTY LTD

SCALE:  
1:200

DRAWN BY:  
JU

DATE:  
20/05/2014

CHECKED 1:  
GA

CAD FILE NUMBER:

CHECKED 2:

APPROVED:

DRAWING NAME  
LEVEL 02

DRAWING NUMBER  
DA

PROJECT NUMBER  
24.13

ISSUE  
A

**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

**Internal Walls:**

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

**Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

**Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

**Ceiling:** Plasterboard - no insulation

**Floor:** Concrete slab (no insul.)

**Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |

**Energy Rating**

Certificate Number **14570104**

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

stars **4.9**

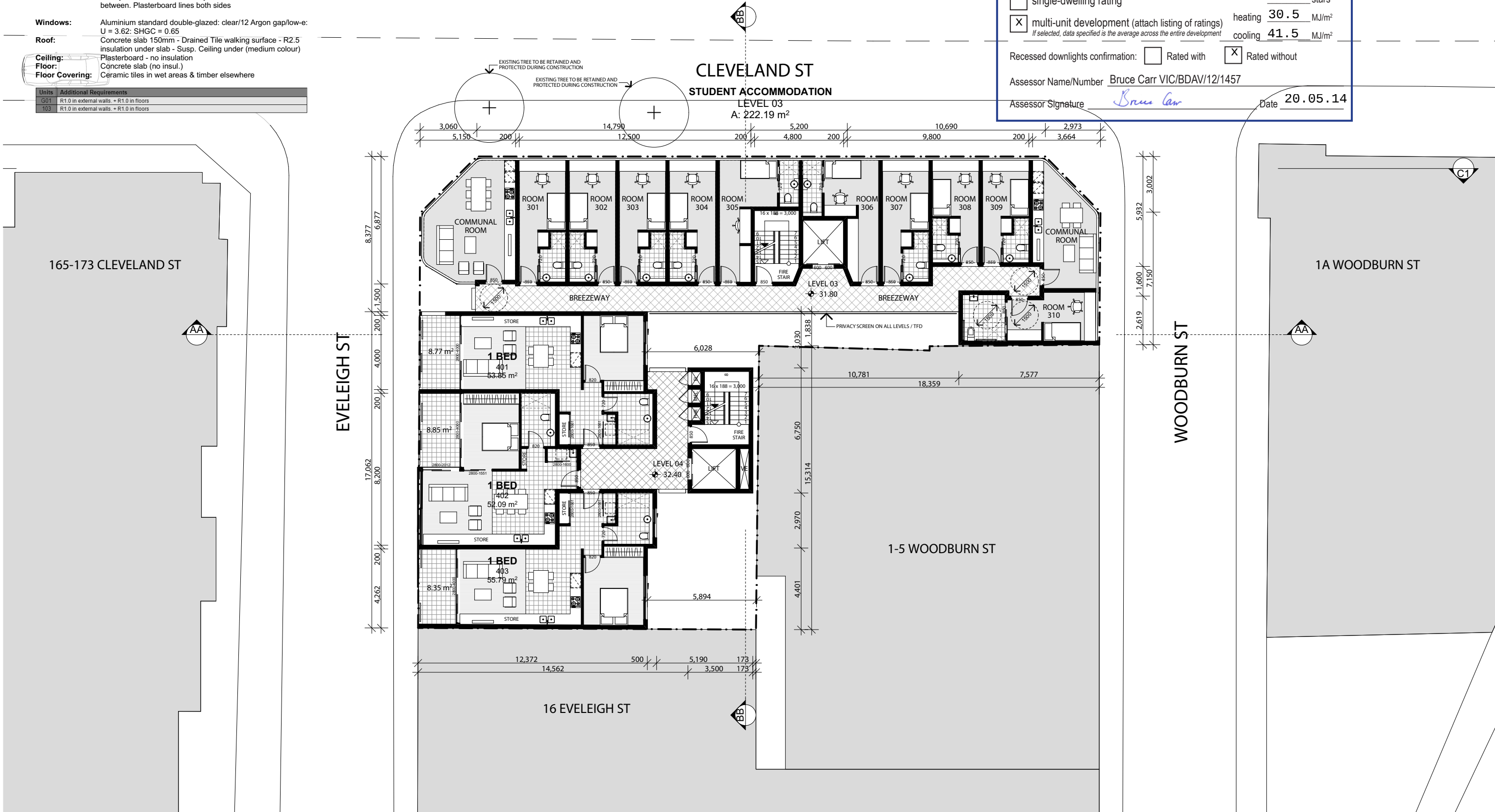
heating **30.5** MJ/m²

cooling **41.5** MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number **Bruce Carr VIC/BDAV/12/1457**

Assessor Signature *Bruce Carr* Date **20.05.14**



SCALE 1:200

0 1 2 5 10M

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NOT FOR CONSTRUCTION

DA

A3

Drawing Original Size

A

20/05/14

FOR DA

Issue

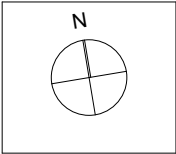
Date

Description

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**PROJECT:**

**175-177 CLEVELAND ST**

**CLIENT:**

**HIGH QUALITY BUILDING PTY LTD**

**SCALE:**

**1:200**

**DATE:**

**20/05/2014**

**CAD FILE NUMBER:**

**DRAWN BY:**

**JU**

**CHECKED 1:**

**GA**

**CHECKED 2:**

**APPROVED:**

**DRAWING NAME:**

**LEVEL 03**

**DRAWING NUMBER:**

**DA**

**PROJECT NUMBER:**

**24.13**

**ISSUE:**

**A**

**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

**Internal Walls:**

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

**Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

**Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

**Ceiling:** Plasterboard - no insulation

**Floor:** Concrete slab (no insul.)

**Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |

Energy Rating

Certificate Number 14570104

☐ single-dwelling rating

4.9 stars

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

heating 30.5 MJ/m<sup>2</sup>  
cooling 41.5 MJ/m<sup>2</sup>

Recessed downlights confirmation:

☐ Rated with

☒ Rated without

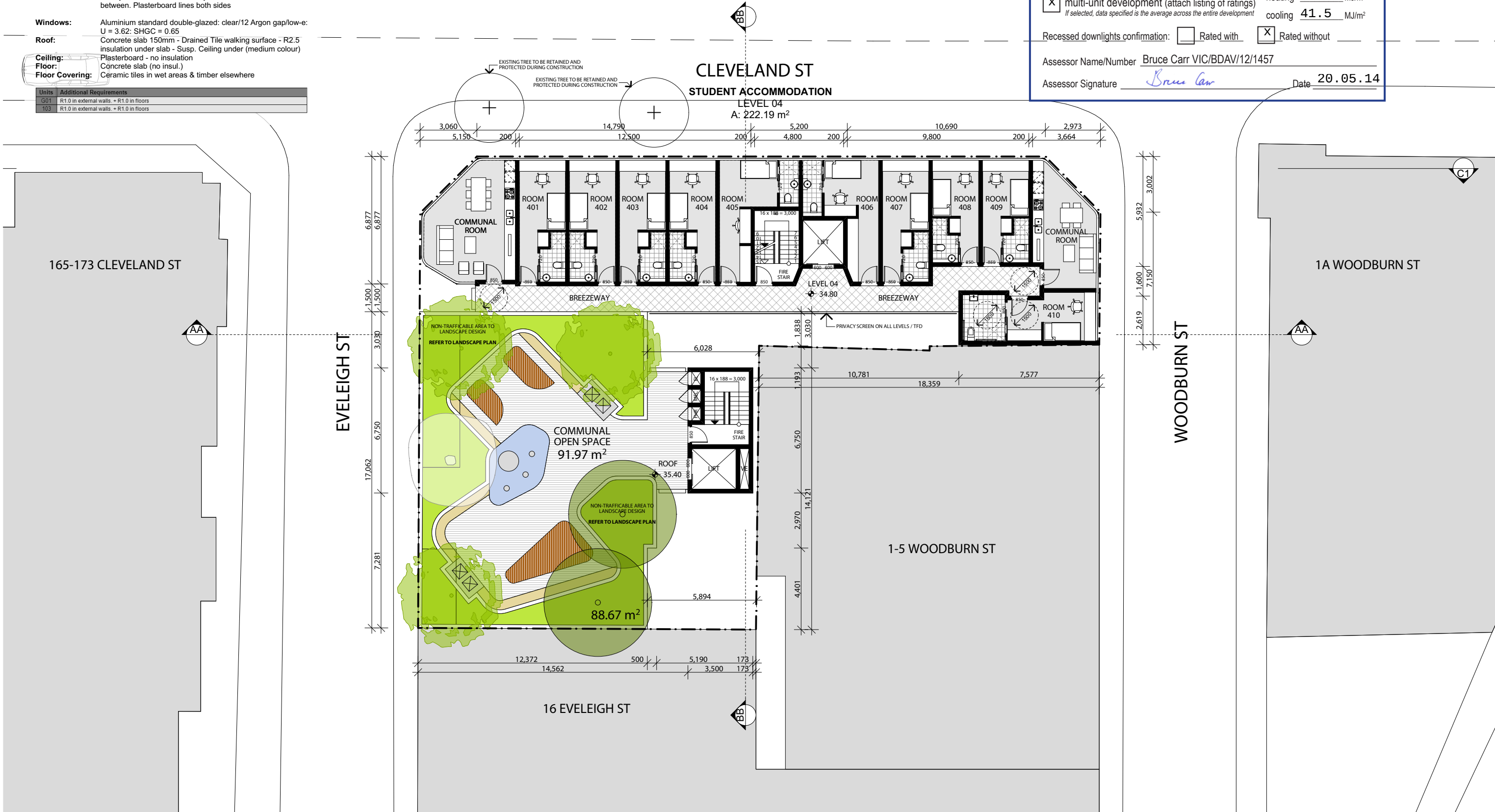
Assessor Name/Number

Bruce Carr VIC/BDAV/12/1457

Assessor Signature

*Bruce Carr*

Date 20.05.14



SCALE 1:200



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DA

Drawing Original Size A3

A 2400x3400 FOR DA

Issue Date Description

A 20/05/2014 FOR DA

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PROJECT:  
175-177 CLEVELAND ST  
CLIENT:  
HIGH QUALITY BUILDING PTY LTD  
SCALE:  
1:200  
DATE:  
20/05/2014  
CAD FILE NUMBER:  
DRAWN BY:  
JU  
CHECKED 1:  
GA  
CHECKED 2:  
APPROVED:

DRAWING NAME  
LEVEL 04  
DRAWING NUMBER  
DA  
PROJECT NUMBER  
A1206  
ISSUE  
24.13  
A

**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

**Internal Walls:**

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

**Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

**Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

**Ceiling:** Plasterboard - no insulation

**Floor:** Concrete slab (no insul.)

**Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |

**Energy Rating**

Certificate Number14570104

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

4.9 stars

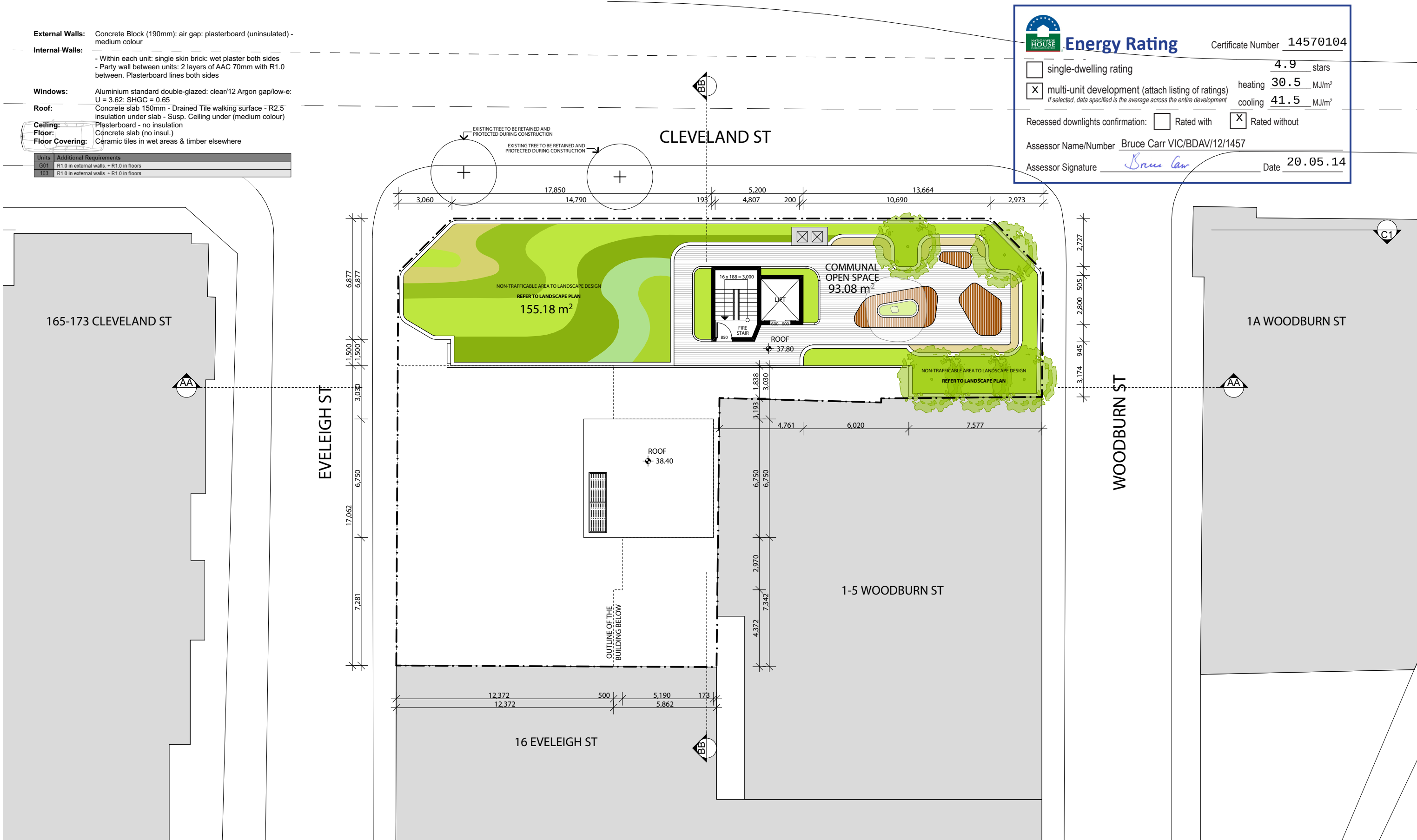
heating30.5 MJ/m²

cooling41.5 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/NumberBruce Carr VIC/BDAV/12/1457

Assessor SignatureBruce CarrDate20.05.14



ROOF GARDEN @ 1:200

SCALE 1:200



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DA

A3

Drawing Original Size

Issue

Date

Description

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PROJECT:

175-177 CLEVELAND ST  
HIGH QUALITY BUILDING PTY LTD

DRAWING NAME

ROOF GARDEN

DRAWING NUMBER

DA

PROJECT NUMBER

A1207

ISSUE

A

**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

**Internal Walls:**

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

**Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

**Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

**Ceiling:** Plasterboard - no insulation

**Floor:** Concrete slab (no insul.)

**Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |



**Energy Rating**

Certificate Number **14570104**

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

heating **4.9** stars

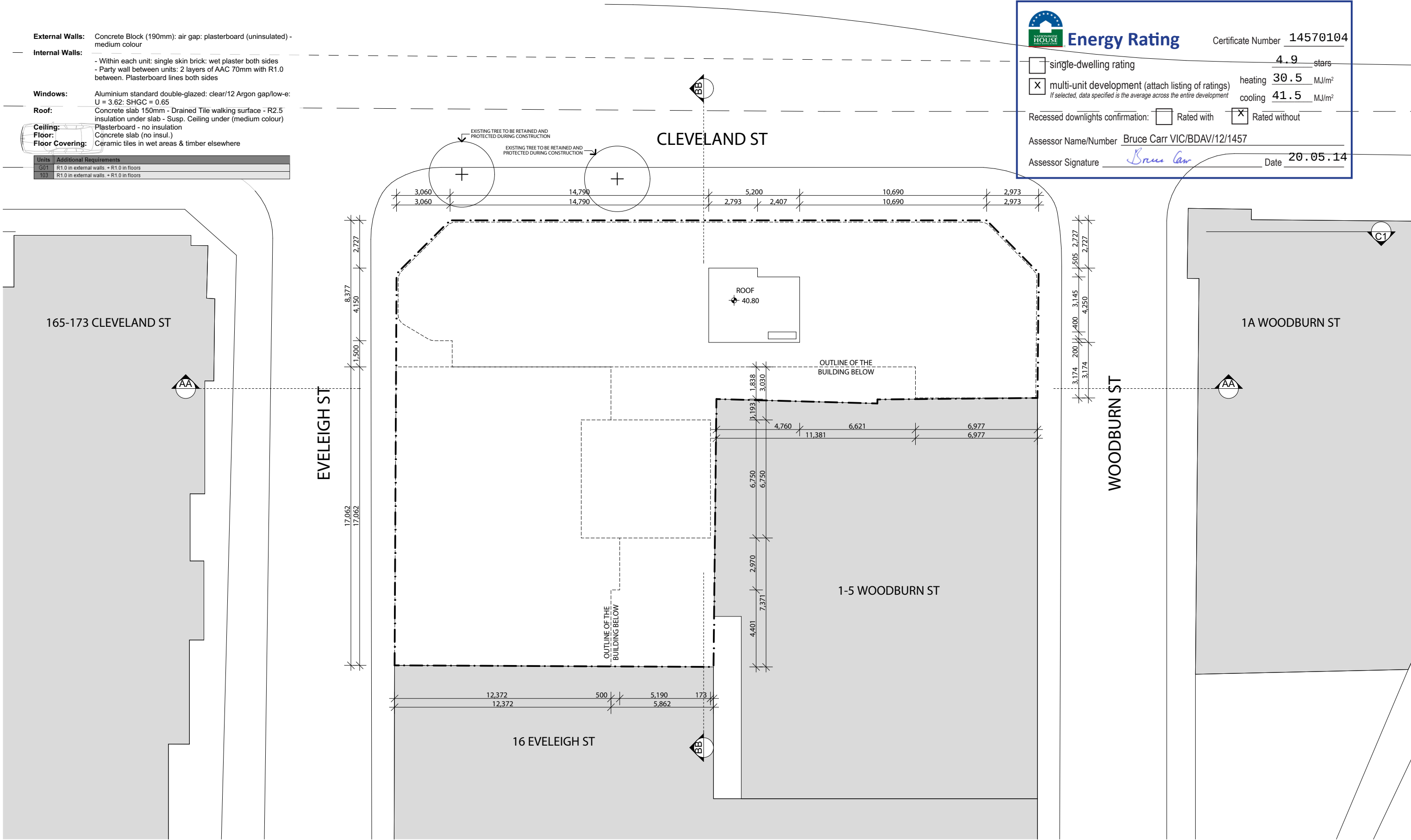
heating **30.5** MJ/m<sup>2</sup>

cooling **41.5** MJ/m<sup>2</sup>

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number **Bruce Carr VIC/BDAV/12/1457**

Assessor Signature *Bruce Carr* Date **20.05.14**



ROOF PLAN @ 1:200

SCALE 1:200



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DA

Drawing Original Size

A3

Issue

Date

Description

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20/05/14

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PROJECT:

**175-177 CLEVELAND ST**

CLIENT:

**HIGH QUALITY BUILDING PTY LTD**

SCALE:

**1:200**

DATE:

**20/05/2014**

CAD FILE NUMBER:

DRAWN BY:

**JU**

CHECKED 1:

**GA**

CHECKED 2:

APPROVED:

DRAWING NAME

**ROOF PLAN**

DRAWING NUMBER

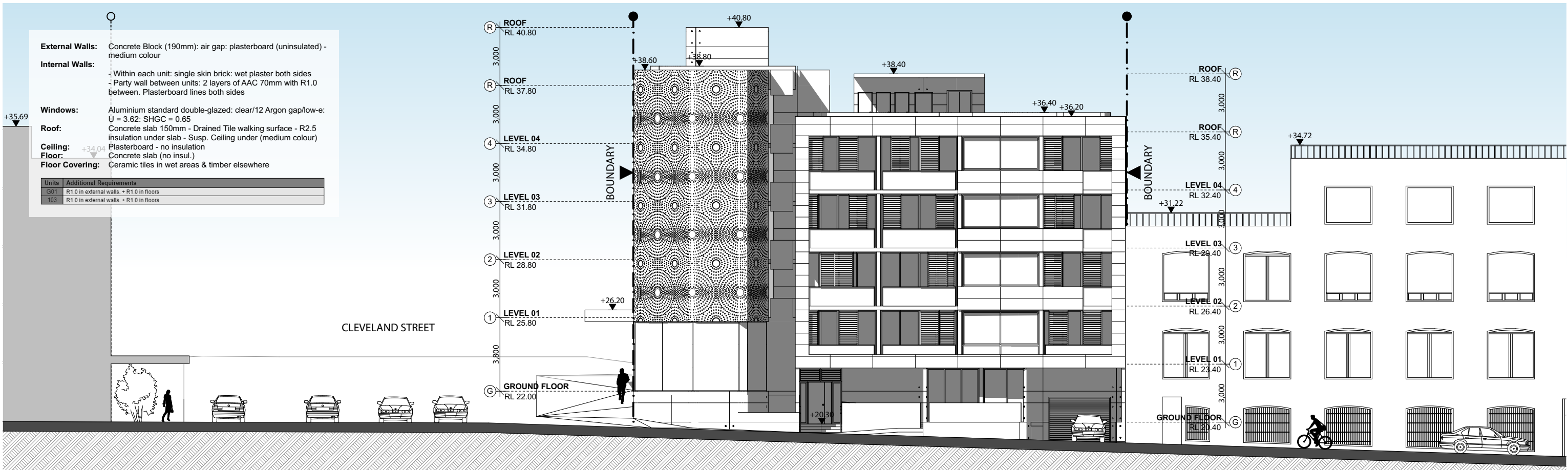
**DA**

PROJECT NUMBER

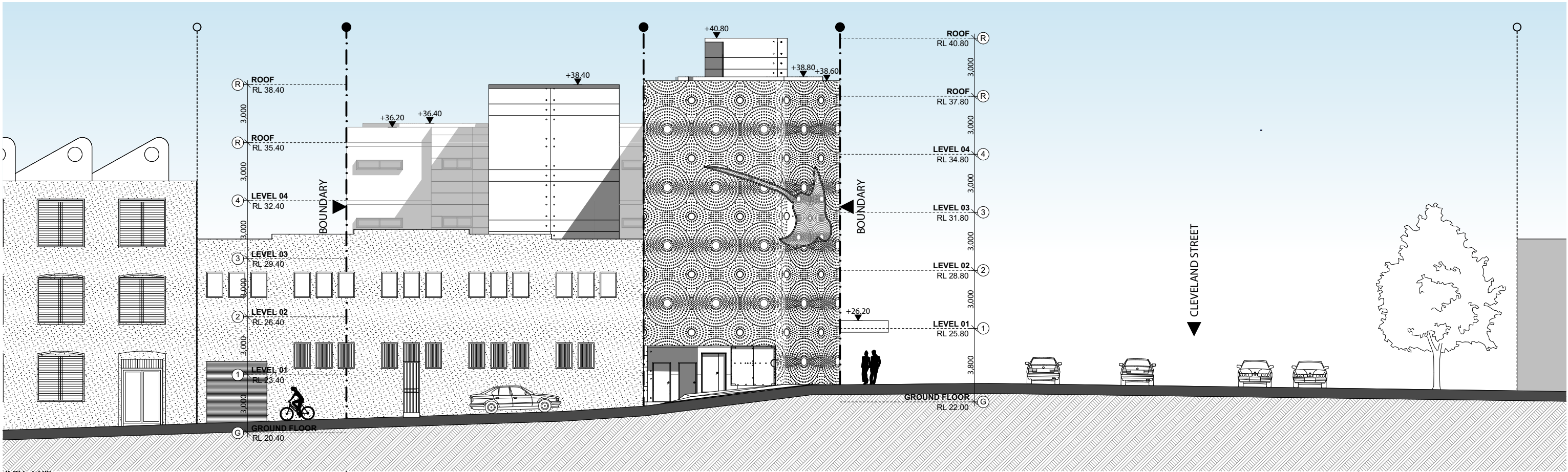
**24.13**

ISSUE

**A**

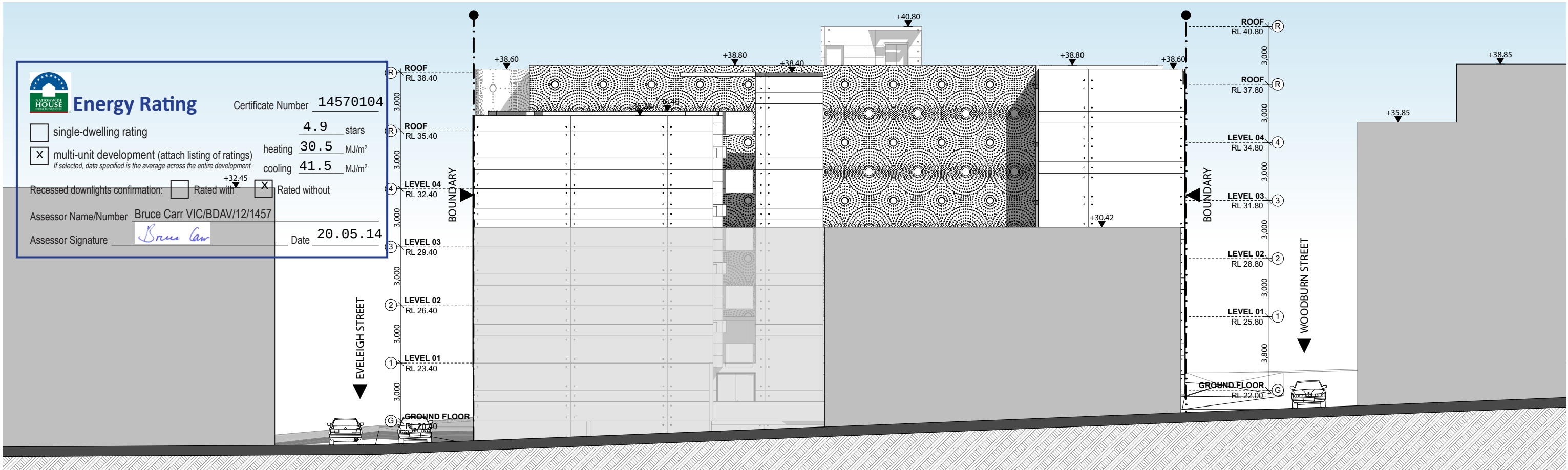
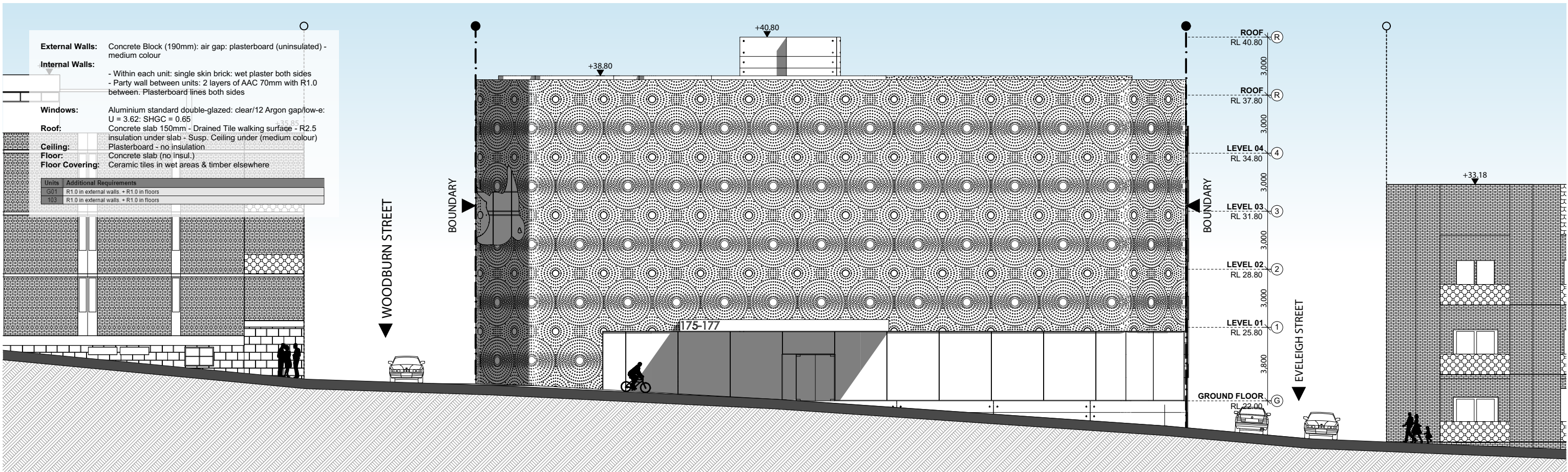


WEST ELEVATION @ 1:200



EAST ELEVATION @ 1:200





**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

**Internal Walls:**

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

**Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

**Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

**Ceiling:** Plasterboard - no insulation

**Floor:** Concrete slab (no insul.)

**Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |

**Energy Rating**

Certificate Number **14570104**

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)  
If selected, data specified is the average across the entire development

heating

cooling

stars

MJ/m<sup>2</sup>

MJ/m<sup>2</sup>

Recessed downlights confirmation: ☐ Rated with ☐ Rated without

Assessor Name/Number **Bruce Carr VIC/BDAV/12/1457**

Assessor Signature *Bruce Carr* Date **20.05.14**



SECTION AA @ 1:200

SCALE 1:200

0 1 2 5 10M

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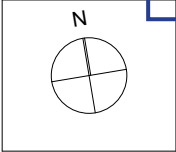
A3

Drawing Original Size

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Issue Date Description

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|                                                 |                            |                  |           |
|-------------------------------------------------|----------------------------|------------------|-----------|
| PROJECT:<br><b>175-177 CLEVELAND ST</b>         |                            |                  |           |
| CLIENT:<br><b>HIGH QUALITY BUILDING PTY LTD</b> |                            |                  |           |
| SCALE:<br><b>1:200</b>                          | DATE:<br><b>20/05/2014</b> | CAD FILE NUMBER: |           |
| DRAWN BY:<br><b>JU</b>                          | CHECKED 1:<br><b>GA</b>    | CHECKED 2:       | APPROVED: |

|                                   |       |                                |
|-----------------------------------|-------|--------------------------------|
| DRAWING NAME<br><b>SECTION AA</b> |       | PROJECT NUMBER<br><b>24.13</b> |
| DRAWING NUMBER<br><b>DA</b>       | A1700 |                                |
| ISSUE<br><b>A</b>                 |       |                                |

**External Walls:** Concrete Block (190mm); air gap: plasterboard (uninsulated) - medium colour

**Internal Walls:**

- Within each unit: single skin brick; wet plaster both sides
- Party wall between units: 2 layers of AAC 70mm with R1.0 between. Plasterboard lines both sides

**Windows:** Aluminium standard double-glazed: clear/12 Argon gap/low-e: U = 3.62; SHGC = 0.65

**Roof:** Concrete slab 150mm - Drained Tile walking surface - R2.5 insulation under slab - Susp. Ceiling under (medium colour)

**Ceiling:** Plasterboard - no insulation

**Floor:** Concrete slab (no insul.)

**Floor Covering:** Ceramic tiles in wet areas & timber elsewhere

| Units | Additional Requirements                 |
|-------|-----------------------------------------|
| G01   | R1.0 in external walls + R1.0 in floors |
| 103   | R1.0 in external walls + R1.0 in floors |



Energy Rating

Certificate Number 14570104

☐ single-dwelling rating 4.9 stars

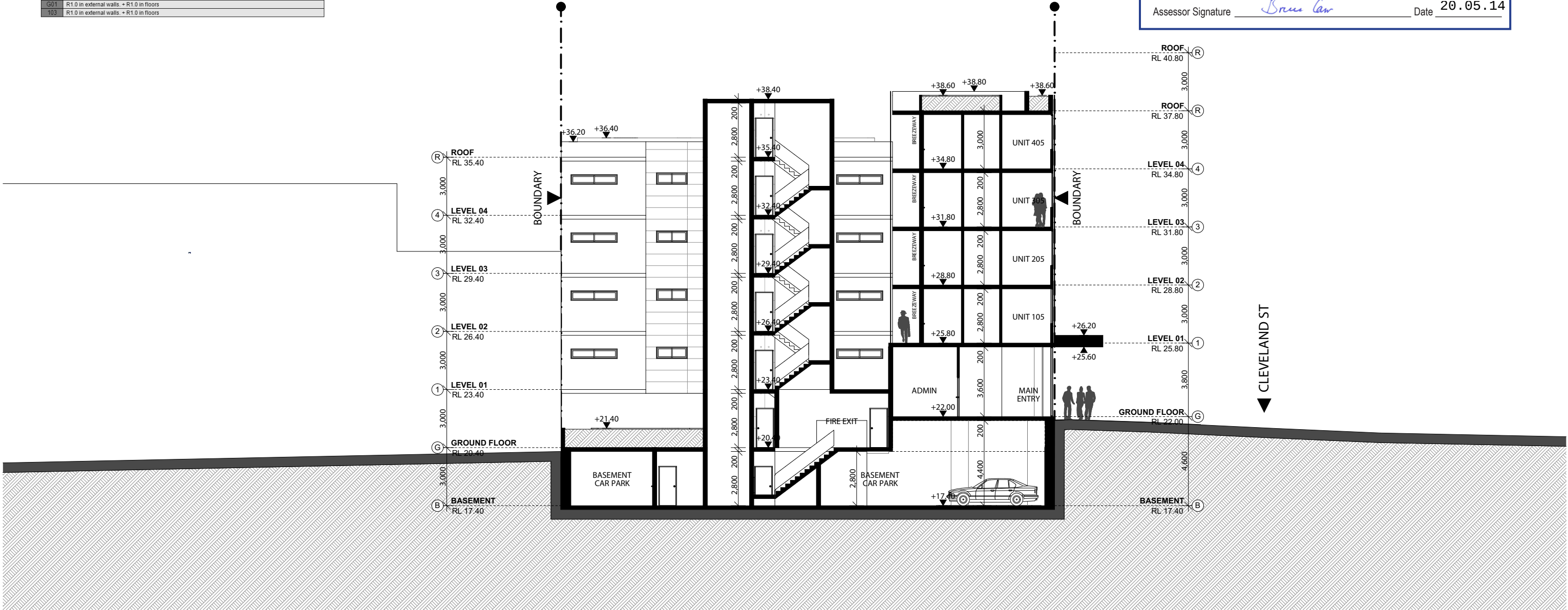
☒ multi-unit development (attach listing of ratings) heating 30.5 MJ/m²

If selected, data specified is the average across the entire development cooling 41.5 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Bruce Carr VIC/BDAV/12/1457

Assessor Signature *Bruce Carr* Date 20.05.14



SECTION BB @ 1:200

SCALE 1:200



FOR DA PURPOSES ONLY  
NOT FOR CONSTRUCTION

DA

Drawing Original Size A3

Issue

Date

Description

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N

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**ACCESS SOLUTIONS**

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PROJECT:

**175-177 CLEVELAND ST**

CLIENT:

**HIGH QUALITY BUILDING PTY LTD**

SCALE:

**1:200**

DATE:

**20/05/2014**

CAD FILE NUMBER:

DRAWN BY:

**JU**

CHECKED 1:

**GA**

CHECKED 2:

APPROVED:

DRAWING NAME

**SECTION BB**

DRAWING NUMBER

**DA**

PROJECT NUMBER

**24.13**

ISSUE

**A**