



Urban Design Master Plan

Bringelly Road Business Hub, Leppington

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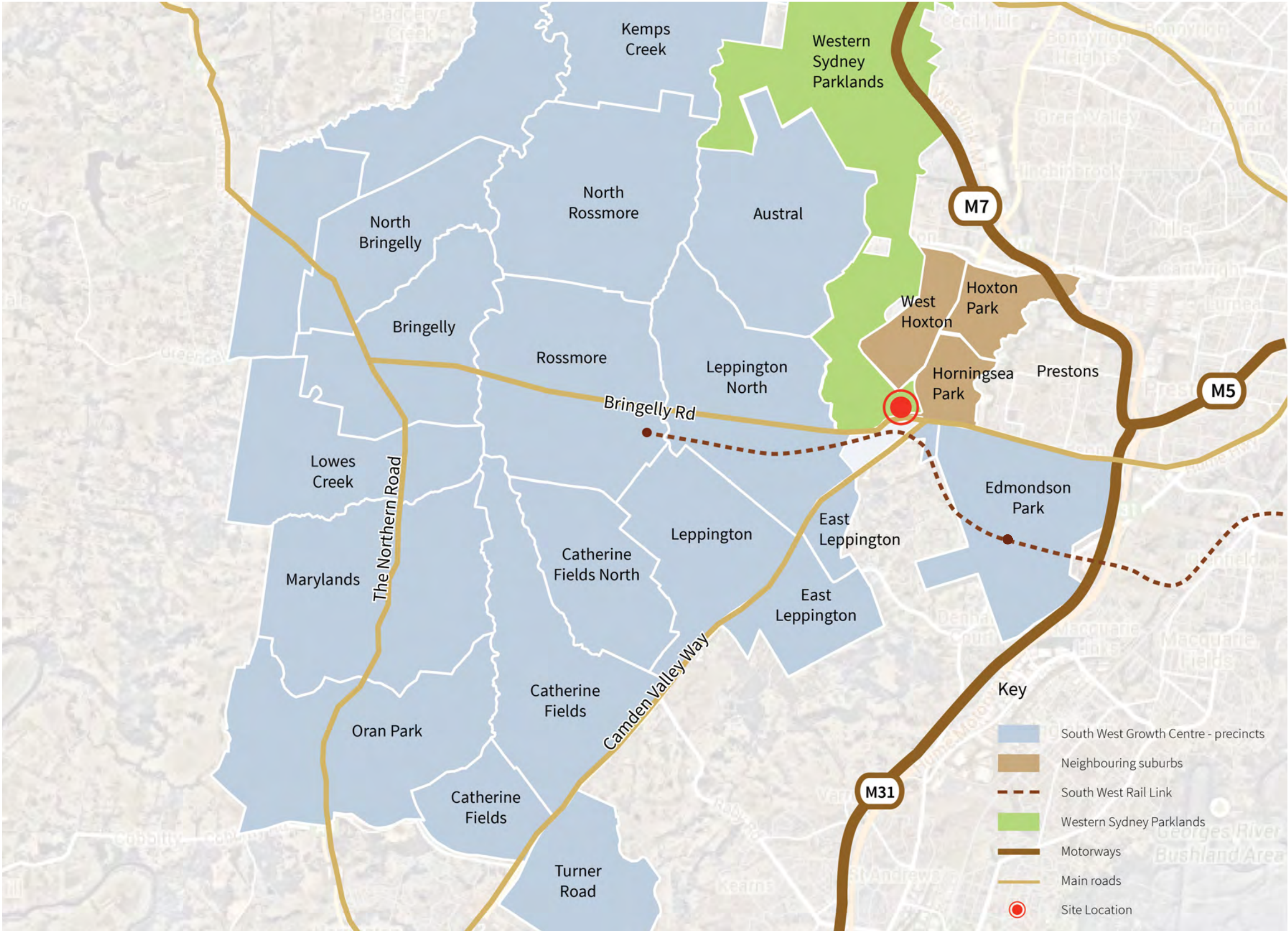
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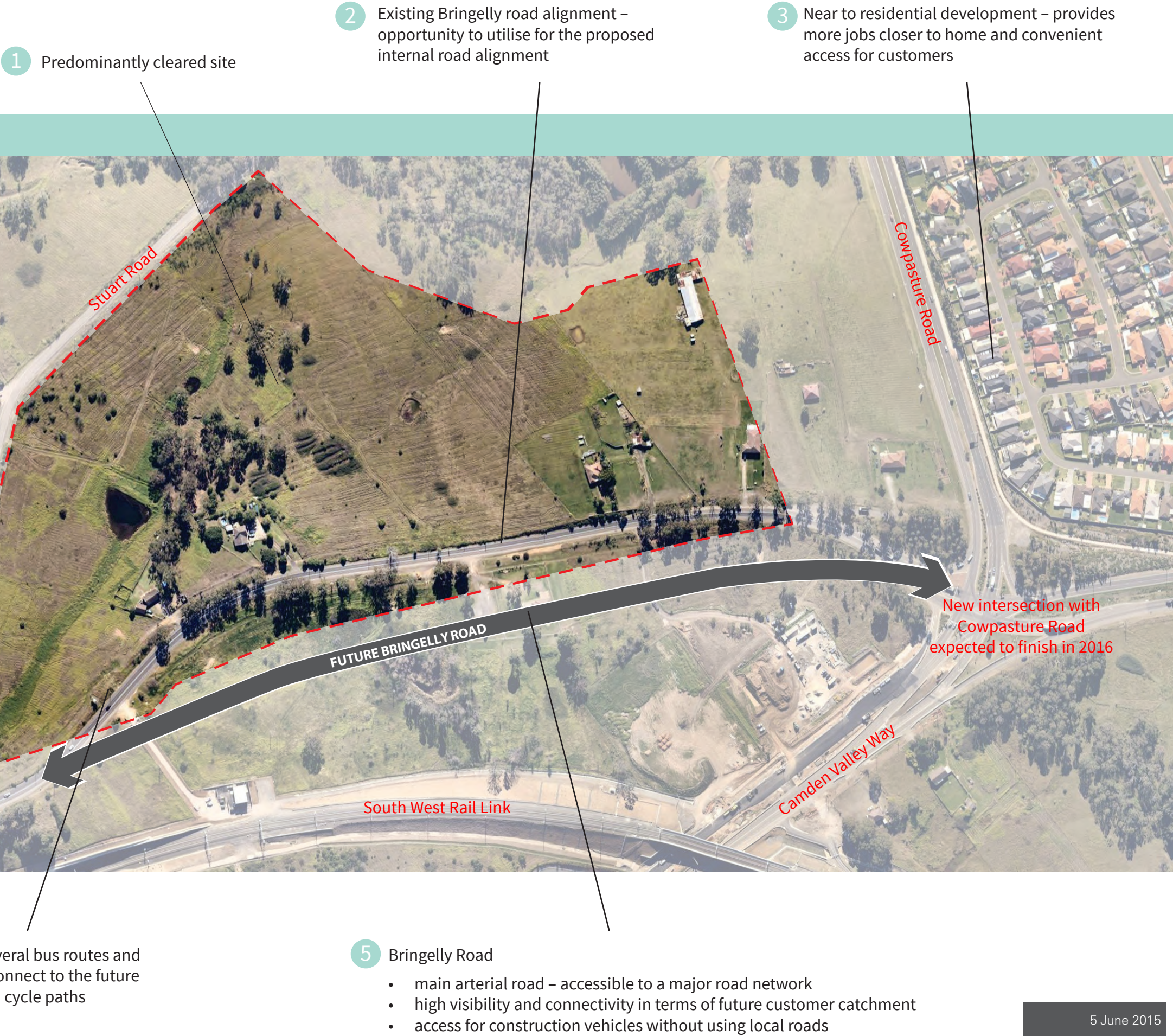
Prepared for :
Western Sydney Parklands Trust

Version No:	Date:	Version Details:	Approved By:	File name:
1	5 June 2015	Planning Application	GK	Appendix A - Urban Design Masterplan - Bringelly Road Business Hub

Context



Opportunities



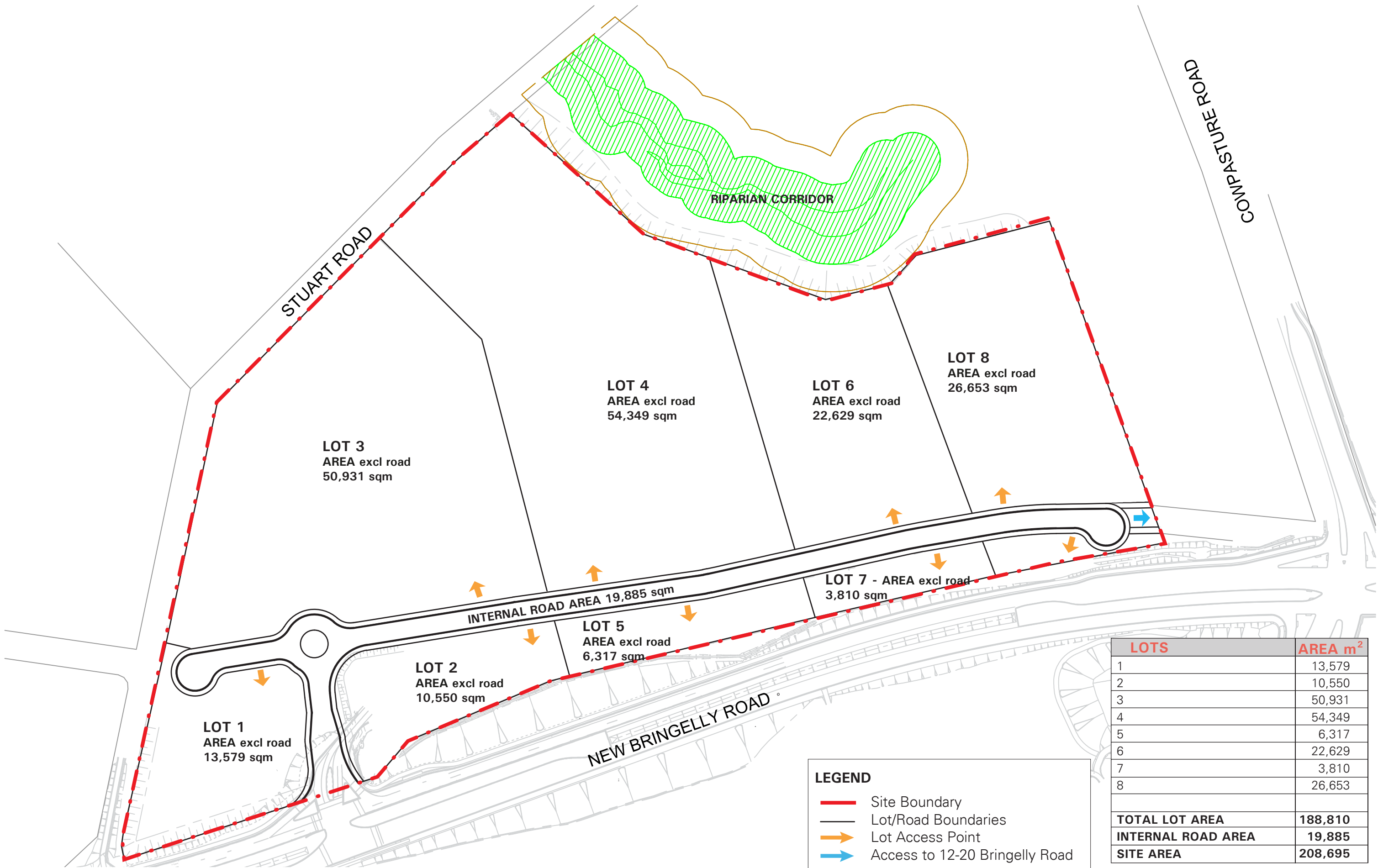
Constraints

- 1 Topography for the site – uneven, sloping – requires bulk earthworks to level lots to make suitable for development
- 2 Riparian corridor – constrains development to the north, and requirement for a vegetation buffer
- 3 Residential land uses to the north east and east – land use conflicts – potential for noise, and traffic impacts



- 4 Service easements across existing Bringelly Road alignment
- 5 Existing development on the site – houses and dams – need to be demolished for development

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Prepared for : Western Sydney Parklands Trust
 JBA - Urban Development Services
 ABN 84 060 735 104 ACN 060 735 104 www.jbaplanning.com.au
 Level 7, 77 Berry Street North Sydney NSW 2060 t +61 2 9956 6962

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9	5_6_15	Site Plan	GK	SITE PLAN_18_12_14_



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Site Plan

Drawing No.: 4



SITE AREA : 208,695 sqm

BUILDING FOOTPRINTS	AREA m ²
A	3,017
B	9,357
C	10,382
D	10,849
E	13,275
LOT 1,3,4 (Large Format Retail)	46,880
F	10,360
G	12,389
LOT 6,8 (Industrial)	22,749
H	563
I	782
J	563
K	481
L	481
LOT 2,5,7 (Service Centre)	2,870
TOTAL INDICATIVE	72,449

LEGEND

- Site Boundary
- Lot/Road Boundaries
- Large Format Retail Use
- Industrial Use
- Service Centre Use
- Car Access point
- Truck Access Point

Indicative Building Footprint Plan

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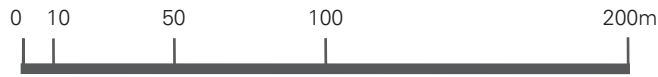


COMPTON ROAD



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 ABN 84 060 735 104 ACN 060 735 104 www.jbaplanning.com.au
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1	5_6_15	Indicative Master Plan	GK	



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Indicative Master Plan
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1	5_6_15	Indicative Car Parking Scheme	GK	

Indicative Car Parking Scheme

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Drawing No.: 7



Revision No.	Revision Date	Revision Details	Approved By:	File name:
1	5_6_15	Built Form Controls	GK	

3D Perspectives



Indicative Perspective 1

View looking north east - New Bringelly road alignment shown to the right.

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3D Perspectives



Indicative Perspective 2

View looking west- New Bringelly road alignment shown to the left.

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3D Perspectives

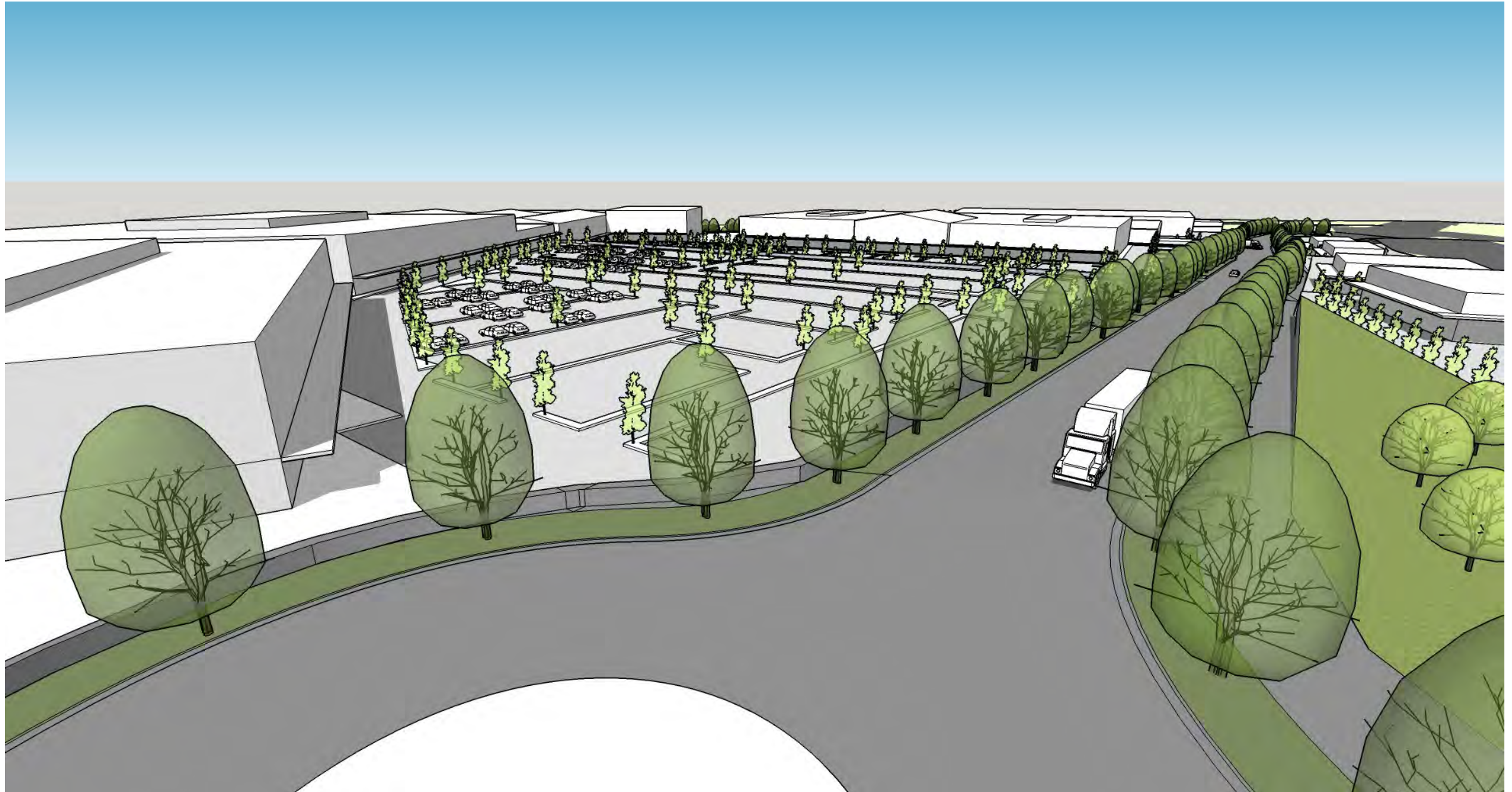


Indicative Perspective 3
View looking south east- Stuart road

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3D Perspectives



Indicative Perspective 4

View looking north east- Large format retail uses

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3D Perspectives



Indicative Perspective 5

View looking south west- Large format retail uses and retaining wall screening

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1	22_6_15	Perspective Locations	GK	



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Perspective Locations
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