

1 April 2019

Carolyn McNally, Secretary
Department of Planning and Environment

c/o Shaun Cain, Multiplex Constructions

Our Ref: 16-0011Lcmc1

Re: One Carrington Street Project Section 4.55 Application (s4.55)—Shell House Margaret Street Base Course—Heritage Impact Assessment

Dear Ms McNally,

We refer to the current Section 4.55 application (s4.55, formerly s96) to modify the current development application (DA) for the proposed One Carrington Street development. The scope of the modifications includes changes to the approved scope of works to Shell House at 2-12 Carrington Street. Shell House is listed as a heritage item on Schedule 5 of the *Sydney Local Environmental Plan 2012* (Sydney LEP 2012).

This letter provides an assessment of the potential impacts of the proposed modifications on the heritage significance of the building and any other heritage items in the vicinity. We do not address whether the revised scope of works to adversely affect the historical and Aboriginal archaeological potential of the development site. The letter also makes recommendations where appropriate for mitigation measures to address any additional heritage impacts arising out of the proposed works comprising the s4.55 application.

The content of this letter is limited to consideration of the potential heritage impacts of the proposed modifications to the April 2014 DA, as amended by the previous s96 applications, approved in August and September 2016.

The assessments and recommendations in regard to these modifications should be read in conjunction with the heritage reports prepared for the previous development approvals. These reports are:

- Shell House—Conservation Management Plan, HBO+EMTB, 2005 (2004 CMP);
- One Carrington Street—Heritage Impact Statement, GML Heritage, May 2014 (2014 HIS);
- Shell House House—Schedule of Conservation Works, GML Heritage, October 2015 (2015 SOCW); and
- One Carrington Street Project Section 96 Application—Heritage Impact Assessment (GML Heritage, 15 September 2016)

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GML has also reviewed the preliminary documentation for the proposed changes to the Margaret Street base course of Shell House, prepared by Make + Architectus in 2019.

Background

In March 2014 GML Heritage Pty Ltd (GML) was commissioned by Sovereign Wynyard Centre Pty Limited and its nominee 'Brookfield' to prepare a Heritage Impact Statement (2014 HIS) for the proposed development known as One Carrington Street, Sydney. The development includes the demolition of the Menzies Hotel, 14 Carrington Street, and 301 George Street (formerly referred to as Thakral House); construction of a new commercial office tower; and works to two heritage buildings—the former Shell House, 2–12 Carrington Street, and Beneficial House, 285 George Street.

The project had received Concept Plan approval (No. MP09_0076) in April 2012, but excluded 285 George Street. The applicant was Thakral Holdings Group. The Concept Plan approval was subsequently modified by the addition of 285 George Street. A HIS (One Carrington Street—Heritage Impact Statement, GML Heritage, May 2014) was prepared to satisfy the DGRs. An archaeological assessment (One Carrington Street—Archaeological Assessment and Impact Statement, GML Heritage, March 2014), including Aboriginal and non-Aboriginal archaeology, was also prepared as a separate report. Conservation Management Plans (CMPs) for Shell House (HBO + EMTB, September 2005) and 285–287 George Street (Graham Brooks and Associates, April 2004) had been prepared previously, and provided the conservation policy basis for assessing the heritage impacts of the redevelopment.

A Section 96 application was approved in August 2016, which varied the scope of work to both Shell House and 285 George Street (Beneficial House).

A subsequent S96 application (lodged in September 2016) involved further modifications to the approved scope of work.

Existing Basecourse

Attachment A includes a drawing of the original elevation and a current photograph. Figure 1 shows the basecourse as originally constructed in 1936 with a single service door in the location of the opening enlarged in 1978. Figure 2 is a recent photograph showing the 1978 enlarged opening.

Previous Heritage Advice

2005 CMP

The 2005 CMP identifies that the overall form of the building, including its trachyte basecourse, window pattern and steel framed windows, is original (1936), and notes that the entrance to Margaret Street was enlarged in 1978.

The trachyte basecourse and steel framed windows are identified as being of high heritage significance. The enlarged Margaret Street entry is identified as intrusive.

Policies of the CMP provide for conservation/retention of all remaining original 1938 fabric and specifically state that:

new openings or changes to the existing openings in walls should be avoided, most particularly at the ... Margaret Street facades. Where unavoidable, openings should be made in such a way that the wall configuration can still be interpreted and architectural details are not damaged. [Policy 17, p 89]

Damaged or missing original elements of the building's exterior ... should be restored or reconstructed based on accurate documentary and or physical evidence. [Policy 18, p 89, and specific reference is made to the desired removal of the 1978 enlarged opening on Margaret Street]

New materials, textures and colours should complement, but not compete with, the stonework and glazed tile details and facings. [Policy 29, p 92, and specific reference is made to the desired adaptation to remedy the intrusive 1978 Margaret Street entry]

Future use and management decisions should maximise opportunities to revitalise and enhance the presentation to the public domain at the street level, taking into consideration the potential for active functions for the Carrington Street and Margaret Street doorways... [Policy 32, p 93]

2014 HIS

The 2014 HIS identified that the design at the time complied with the above policies of the 2005 CMP, noting that:

The external walls would be conserved and no new openings are proposed on the principal elevations (to Carrington and Margaret Streets). [p 71]

2015 SOCW

The 2015 SOCW supported improvement and changes to the basecourse based on the original window pattern. Cleaning, repair and repointing of the trachyte basecourse is noted. The current modification is consistent with the 2015 SOCW.

2016 s.96 HIS

In 2016 approval was given for a s.96 application for a range of changes across the whole of the One Carrington site, including to modify openings in the base course of Shell House. The 2016 s.96 HIS assessment of the new glazed doors to be glazed with a steel frame of a pattern and match the retained original windows, would not result in an adverse heritage impact.

Attachment B includes Figure 3, an extract of the architectural drawing of Shell House Margaret Street, showing the 2016 approved configuration and the original 1978 opening to be adapted to two doorways within the architectural rhythm of the Margaret Street elevation.

Reason for Design Change

The 2015 approval retained the existing trachyte basecourse of Shell House as it currently presents to Margaret Street generally. The 2016 approved September s.96 modification involved adaptation of the existing service opening, creating two doorways to the basement. This adaptation would demolish the intrusive service doors, introduced in the 1970s, and returned the basecourse to pattern of fenestration similar to the original design.

Make / MPX have identified, through detailed design development, that:

- The revised basement floor level of Shell House will be approximately 0.85 metres higher than the existing/anticipated floor level (refer to Attachment A).
- Constructing the currently approved new door in the basecourse will not be practical given the change in levels and the steep slope in the street.

- The new basement floor level cannot be lowered to match the external levels on the approved entries due to substation clearances required below the basement.

Make / MPX now propose a new entry farther west, ie at a higher level in the street which will involve change to the existing and approved basecourse detail.

Current Proposal

GML understands that the proposed modification involves:

- removal of the intrusive 1978 Margaret Street service entry and recreation of a pair of windows to the rhythm and detail of the original design, noting that originally there was a window and a door in this location;
- adaptation of an existing original window opening to create a new doorway to the new basement level, including removal of the trachyte base to provide at grade access;
- new installation of new steel frame multipane windows to match the original windows in this location, in conjunction with reuse of salvaged original steel frames where feasible; and
- new work to create or alter openings will utilise salvaged trachyte where possible.

The design detail, including use of new material and salvaged trachyte and steel framed windows, is not fully resolved at this stage.

Attachment C includes Figure 4, an extract of the architectural drawing of Shell House Margaret Street, showing the current proposed configuration, as well a Figure 5, a detailed elevation, showing the revised levels of the basement.

Summary of Heritage Impacts

The proposed changes are generally consistent with the 2015 CMP, in particular in regard to policies 17, 18, 29 and 32, which are concerned with retaining fabric of high significance and removal of intrusive features such as the 1978 service entry. The changes are also consistent with the 2015 SOCW.

Positively, this proposal demolishes the intrusive 1978 service entry to Margaret Street, and recreates the architectural rhythm and design intent of the trachyte basecourse. The 2016 s.96 approval included removal of the entry previously.

The minor adverse impact of the proposed new doorway, which involves modification of an original window, is offset by the deletion of a similar window that was previously altered for a fire panel access two bays to the west on the same elevation (2016 s.96 approval). The new doorway will utilise the materiality, pattern and detail of the original windows and doors.

Overall, this proposed modification respects the architectural rhythm and detail of the building and its trachyte plinth course and will not result in any adverse heritage impact on Shell House.

Impacts on Other Heritage Items in the Vicinity

Heritage items in the vicinity include:

- Wynyard Park;

- Lisgar House; and
- Beneficial House

The proposed change to the Margaret Street Elevation will have no visual impact on heritage items in the vicinity.

Summary Conclusion

The revised scope of works under the current s.96 application is required due to the revised basement floor level being higher than originally anticipated, which necessitates a revised entry to the building from Margaret Street as proposed.

This change is considered acceptable in heritage terms, subject to the detailed design resolution being carefully undertaken with due utilisation of the materiality, pattern and detail of the original windows and doors. Measures to ensure a satisfactory outcome for the building are outlined in the recommendations below.

Recommendations

- Detailed design of the Margaret Street plinth course changes should ensure that the relevant heritage conditions of the Concept Plan Approval Schedule 3, as well as any heritage requirements of subsequent approvals, are met.
- The detailed design of the new doorway proposed to replace the original steel framed window dating from 1938 on the Margaret Street frontage, and the pair of windows already converted into a service door, should consider and utilise the materiality, pattern and detail of the original windows and doors.
- Specialist heritage advice should be incorporated into the detailed design and construction phases to guide works to the Margaret Street plinth, in particular for the recreation of openings, the use of salvaged/new trachyte (or use of other materials). A stonemason experienced in the repair and replacement of trachyte should carry out the work.

We can be contacted if you require further details regarding heritage impact.

Yours sincerely,
GML Heritage



Catherine Macarthur
Associate

Attachments:

- A—Images of Shell House, Carrington Street Base Course
- B—Drawings—Extract of Documentation (approved scope of works)
- C—Drawings—Extract of Documentation (current proposed works)

Attachment A—Images of Shell House, Carrington Street Base Course

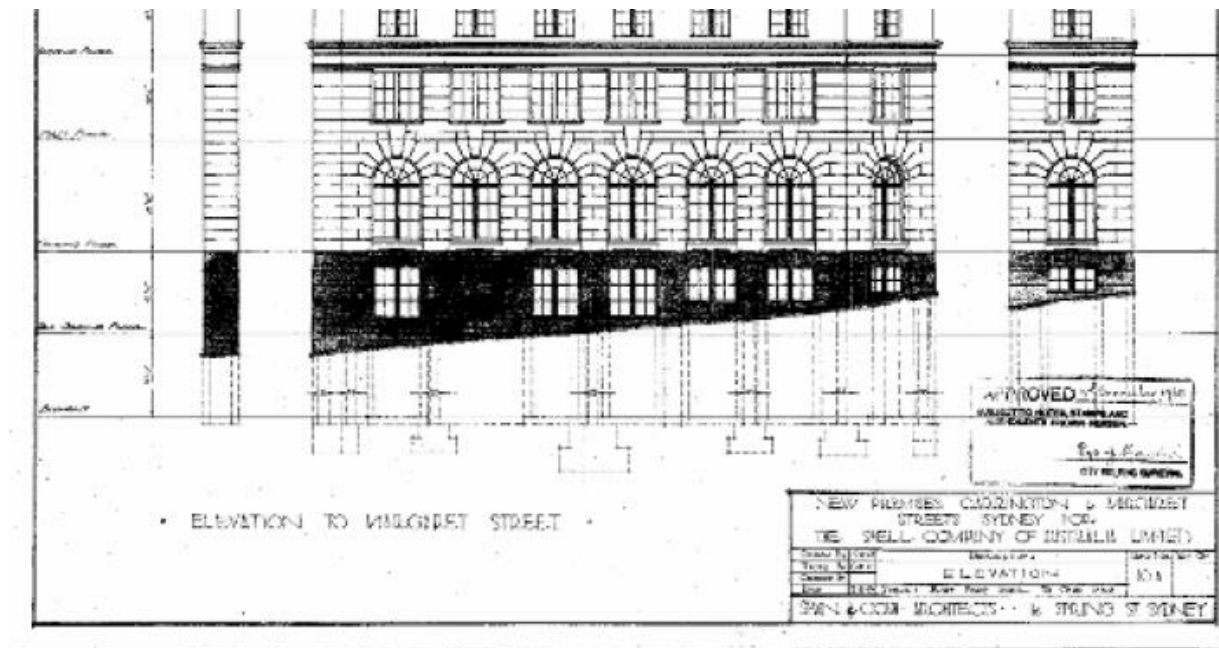


Figure 1 Margaret Street—as originally built in 1938 and until the 1970s. (Source: GML 2017)



Figure 2 Margaret Street—Existing Elevation (in 2017) showing where two 1930 openings were adapted to provide a service entry in the 1970s. (Source: GML 2017)

Attachment B—Extract of Documentation (approved scope of works)

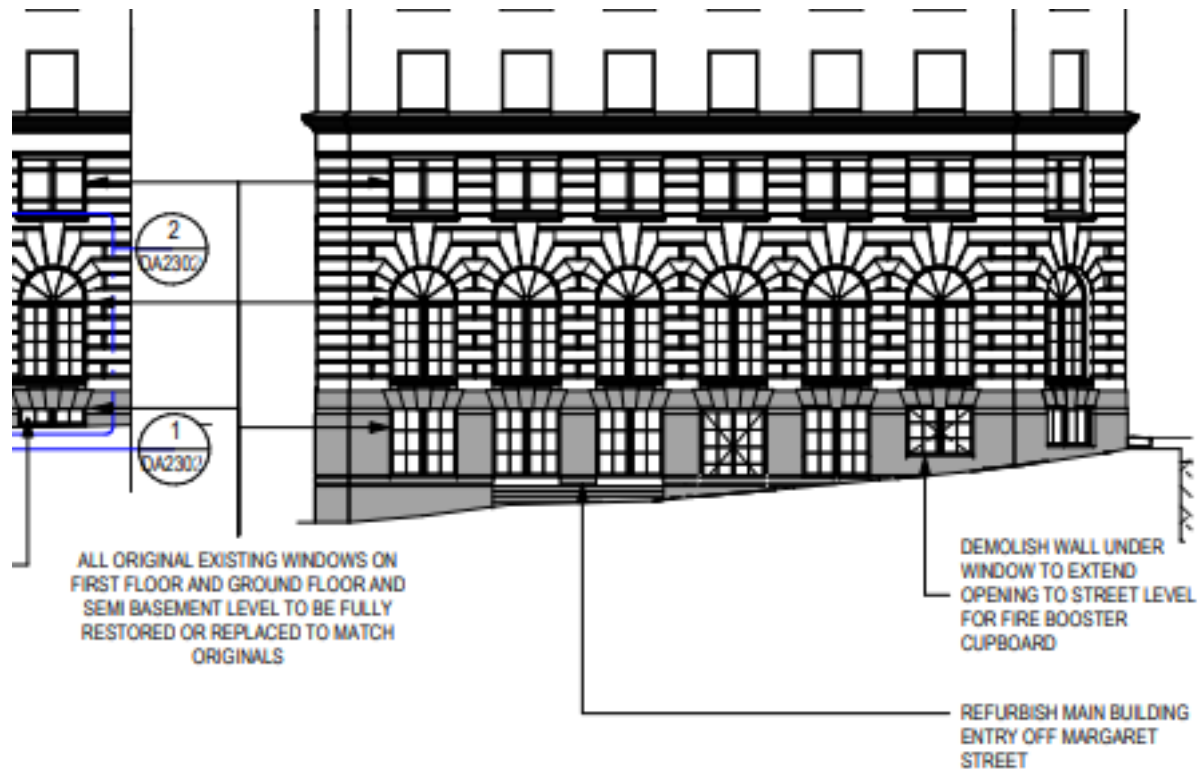


Figure 3 Proposed Shell House Elevation—extract showing changes to the Margaret Street (North) Elevation as approved in the 2016 s.96 modification. (Source: Make + Architectus, DA2300, Proposed Shell House Elevations, Rev06, 27 October 2017)

Attachment C— Extract of Documentation (Current Proposed Works)

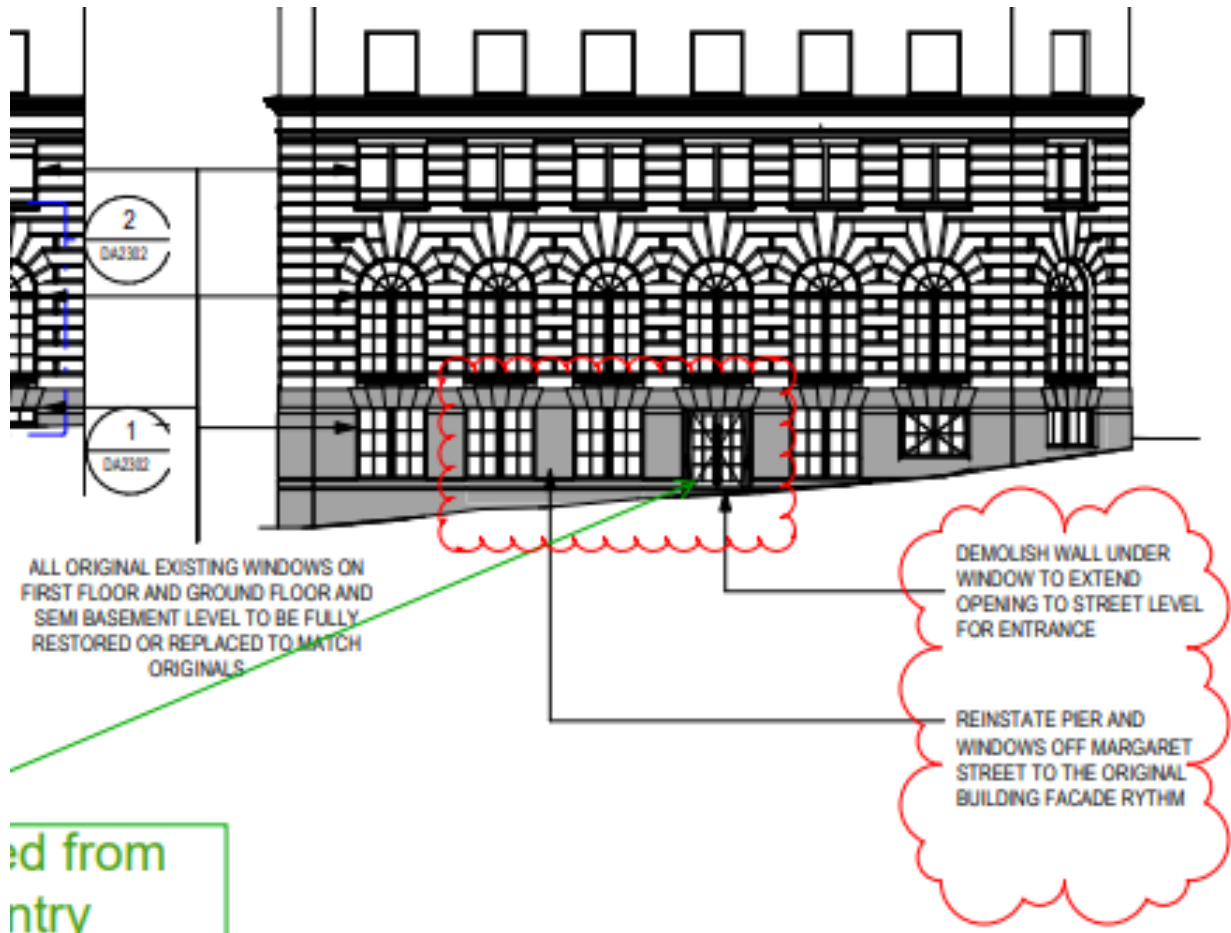


Figure 4 Proposed Shell House Elevation—extract showing proposed new changes to the Margaret Street (North) Elevation. (Source: Make + Architectus, DA2300, Proposed Shell House Elevations, Rev08, February 2019)

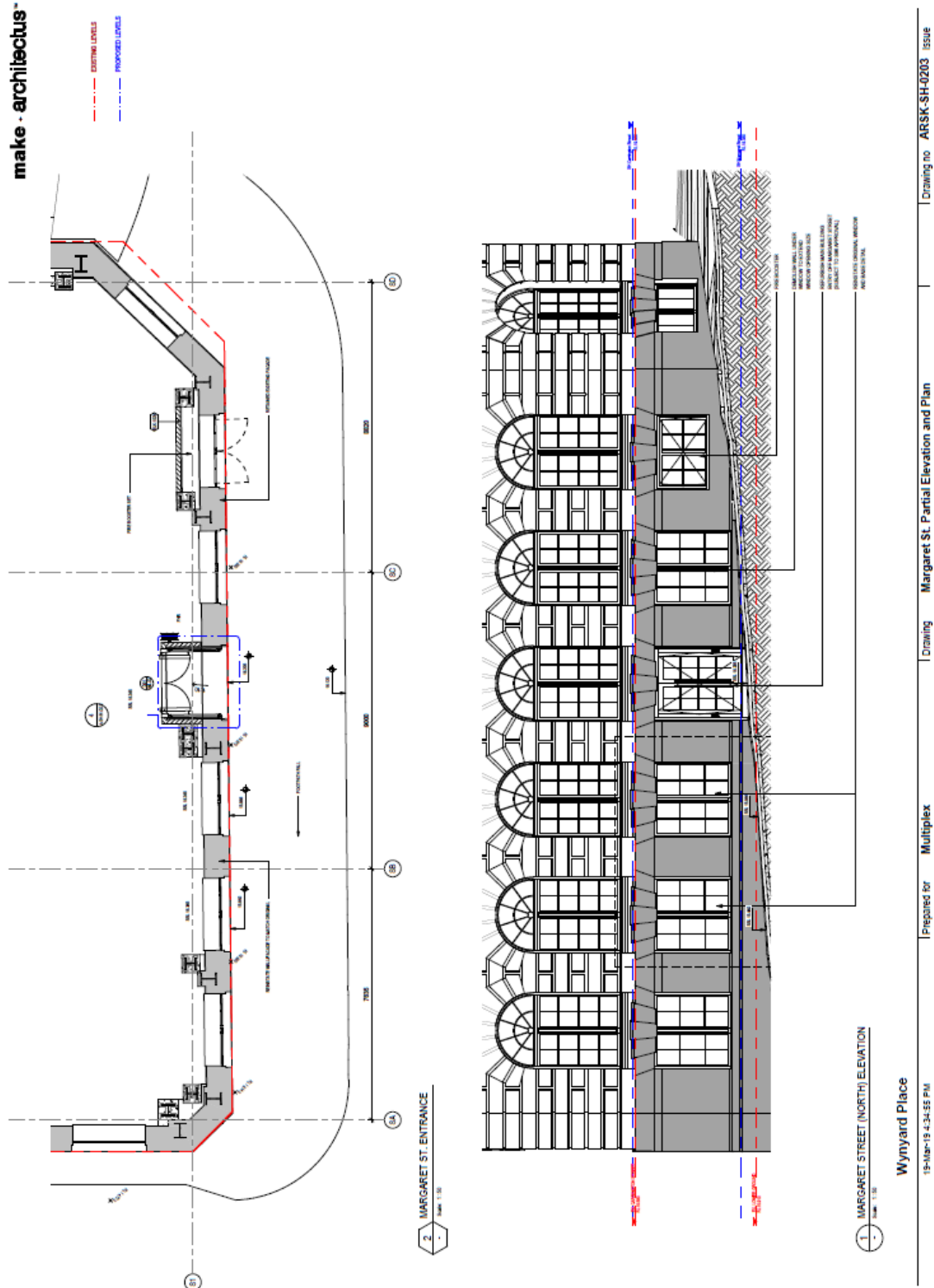


Figure 5 Proposed Shell House Plan and Elevation—showing levels and details of proposed new changes to the Margaret Street (North) Elevation. (Source: Make + Architectus, ARSK-SH-0203, 19 March 2019)