



DEVELOPMENT APPLICATION - LANDSCAPE

26-30 MANN ST, GOSFORD

ISSUE C - 20 AUGUST 2021

PREPARED BY



TURF DESIGN
STUDIO

PREPARED FOR



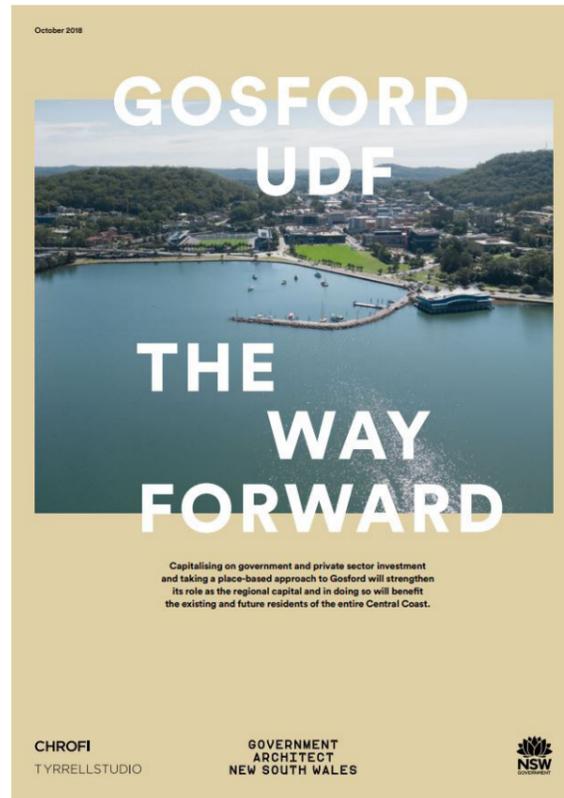
SH GOSFORD RESIDENTIAL PTY
LTD

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STRATEGIC ALIGNMENT

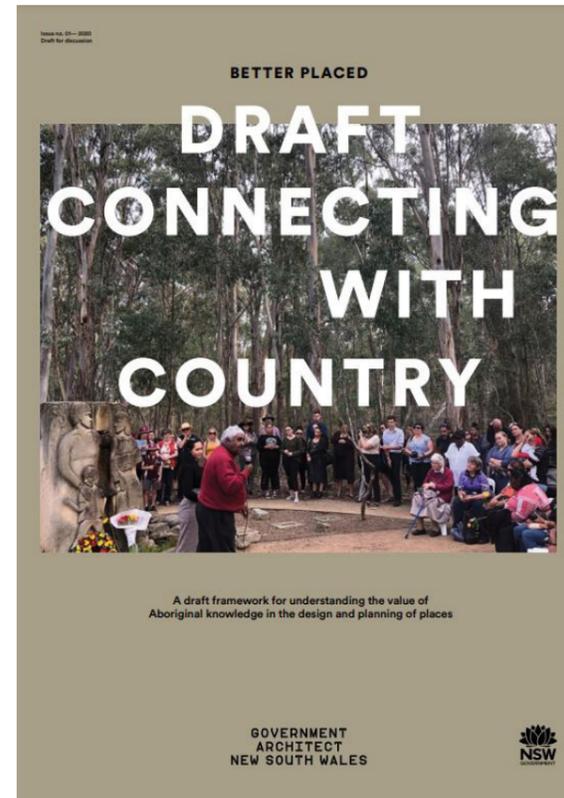
DRG 1/2 Gosford UDF The Way Forward



ALIGNMENT

- The site falls within the City South Precinct of the Gosford UDF with the aim of 'providing a sense of place and a strong identity for Gosford'.
- The through site link design achieves one of the visions of creating a well connected network of place (UDF Vision 4). The link creates a strong visual and landscape connection from Mann Street down to the recently complete Gosford Leagues Club Fields.
- The through site link doesn't just provide a pedestrian connection, rather creating a series of active spaces down to the park through the terracing of bleacher and landscape which 'unlocks the potential to create great places for people. An approach that puts the public domain and its people first' (UDF Vision 3).

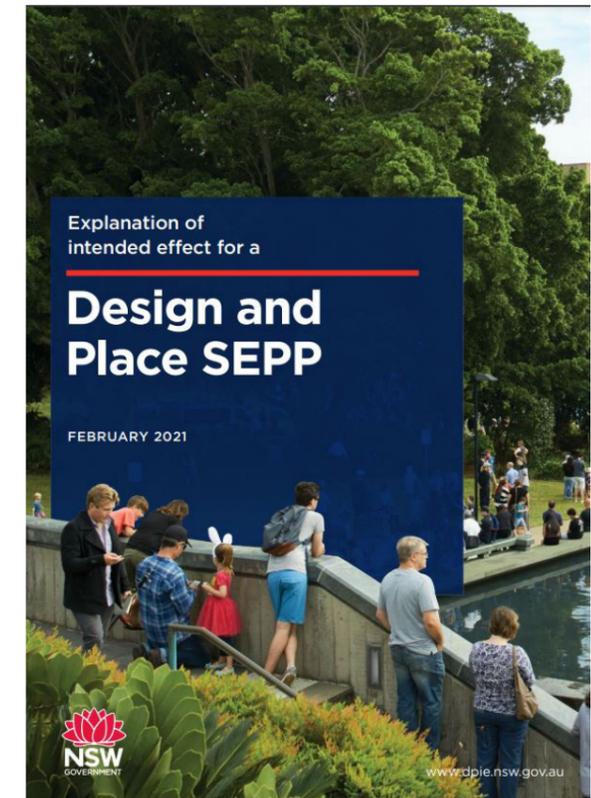
Draft Connection with Country



ALIGNMENT

- The Draft Connecting with Country framework sets a pathway forward to deliver projects with a strong Connection with Country.
- The art strategy undertaken by Guppy Associates Art Management Identifies opportunities for a strong Indigenous representation through the project. Linking the Indigenous themed art within Gosford Leagues Club field. The Engagement Methodology outlined in the report embraces the principles outlined within the draft framework.

Draft Design & Place SEPP



ALIGNMENT

- The design Strives to adopt the 5 Key principles of the Designing with Place SEPP
 1. Design places with beauty and character
 2. Design inviting public spaces
 3. Develop productive and connected places
 4. Design sustainable and greener places
 5. Design resilient and diverse places
- The landscape design achieves the key principles through its unique design connecting to the natural sandstone materiality of Gosford used in the through site link. The diverse selection of landscape species primarily consist of endemic species from the Gosford region embracing the natural beauty and resilience of the region within the site.

CONTEXTUAL ALIGNMENT

26-32 MANN STREET MASTRERPLAN



ALIGNMENT

- The landscape DA report acknowledges that a Landscape masterplan was submitted and approved with conditions under a FEAR.
- The landscape design will address Cause 9 including details on species, materials & landscape treatment, Urban element & soil depths/Volumes.
- Arrangement and access to the through site link which demonstrates the link to be no narrower than 5m at the Mann Street entrance
- Demonstrate all Public Areas will be all abilities accessible
- Incorporation of the public art where necessary
- Incorporation of landscaping for wind mitigation.

GOSFORD LEAGUES CLUB FIELD



ALIGNMENT

- The Landscape design recognises the significance of the recently upgraded Leagues Club field and its cultural and landscape contribution to Gosford. The design intends to embrace the landscape themes and values with opportunities to carry on the First Nations seasonal landscape and public art journey from river to ridge through the site.

FEAR CONDITION RESPONSE

FEAR CONDITION	ACHIEVED	RESPONSE	DRAWINGS REFERENCE
C9. PUBLIC DOMAIN AND LANDSCAPING			
<p>Future development application(s) shall include a Public Domain and Landscape Report (Landscape Plan) providing details and justification for the design and treatment of all areas of public domain, through site links and landscaping and the relationship of these spaces with existing and proposed buildings, spaces, structures and connections.</p> <p>The Landscape Plan must:</p> <p>a) be generally in accordance with the:</p> <p>i) concept landscape report titled 'Central Coast Quarter 26 Mann Street Masterplan Report Issue A' prepared by Turf Design Studio and dated August 2019</p> <p>ii) arboricultural report titled 'Arboricultural Impact Assessment' prepared by Urban Forestry Australia and dated December 2019</p>	✓	The landscape plans are in general accordance with the principles of 'Central Coast Quarter 26 Mann Street Masterplan Report Issue A and the arborist report.	L-DA-17-36
b) include relevant details of the species to be planted (preferably species indigenous to the area), landscape treatments, including any paving and seating areas, soil depths and volumes and any other relevant information	✓	Species selected are primary indigenous to the area, carrying on the Indigenous planting character of Gosford park and is seamlessly integrated into the podiums and rooftops	L-DA-8 & L-DA-37-38
c) Consider, and incorporate where necessary, the recommendations of the Public Art Strategy (FEAR C17)	✓	A public art strategy has been completed by Guppy Associates the through site link landscape plans have been coordinated to represent the public art opportunities.	L-DA-21-22
d) Confirm method(s) / arrangement(s) to ensure the on-site through site links are publicly accessible 24 hours-a-day 7 days-a-week	✓	Refer to landscape plans.	L-DA-21-22
e) Demonstrate the Mann Street entrance to the through site link (northern arm) is no narrower than 5m	✓	Refer to landscape plans.	L-DA-21-22
f) show that all publicly accessible areas will have all abilities access.	✓	Refer to architects plans	-
C27. WIND ASSESSMENT			
c) includes mitigation measures to address adverse wind condition where necessary, including amendment to the building elements within the envelope if necessary to provide for planting on the site. In the event that the Wind Impact Assessment recommends landscaping / planting mitigation measures, these shall be shown on the Landscape Plan (FEAR C9).	✓	<p>Ground Floor – Refer to architects plan</p> <p>Level 2 – Impermeable screen on planter to be a total height of 1.8m.</p> <p>Level 4 – The non-accessible area can be made accessible if a screen is placed so that it connects to the canopy structure (see figure). The private access way would then go around the screen eastwards and then connect into the public space. The 1.2m total height screen also can extend further east to eliminate the need for the southern-most 3m high screen.</p>	-
SEAR CONDITION	ACHIEVED	RESPONSE	DRAWINGS REFERENCE
4. PUBLIC DOMAIN AND LANDSCAPING			
<ul style="list-style-type: none"> Outline the scope of public domain improvements, pedestrian linkages, street activation, and landscaping to be provided as a part of the proposed development. 	✓	The public domain has been improved through the upgrade of the paving treatment along Baker street the addition of bike parking promoting active transport and the addition of landscape and seating. A Publicly accessible through site link has been created improving the connection Mann street to the park creating new seating and landscape opportunities improving the amenity and create a unique place for people to relax and view the park and Brisbane Waters.	L-DA-17-26
<ul style="list-style-type: none"> Demonstrate how the proposal considers and integrates with the recently completed Leagues Club Field adjacent to the site; Address all landscaping and public domain requirements of as per the Future Environmental Assessment Requirements of SSD Concept Approval SSD-10114; 	✓	The landscape plans are in general accordance with the principles of 'Central Coast Quarter 26 Mann Street Masterplan Report Issue A and the arborist report.	L-DA-17-36
<ul style="list-style-type: none"> Demonstrate how the proposal: <ul style="list-style-type: none"> - maximises permeability throughout the development and to adjoining sites; - maximises street activation within the town centre; - provides sufficient open space for future residents; - provides access for people with disabilities; and - minimises potential vehicle, bicycle and pedestrian conflicts. 	✓	<ul style="list-style-type: none"> - A new through site link has been design Connection Mann street to Gosford Leagues Club Park - Baker Street frontage create a new active frontage to the park increasing activation of Gosford Leagues Club Park - The communal Open space create a variety of amenities for the residents - 1:20 walkways have been provided to achieve access for people with disabilities. - Not applicable the is not a road design within the site. 	<p>L-DA-17-26</p> <p>L-DA-17-26</p> <p>L-DA-27-36</p> <p>L-DA-17</p>

SITE ANALYSIS | URBAN CONTEXT



Street level development context

LEGEND

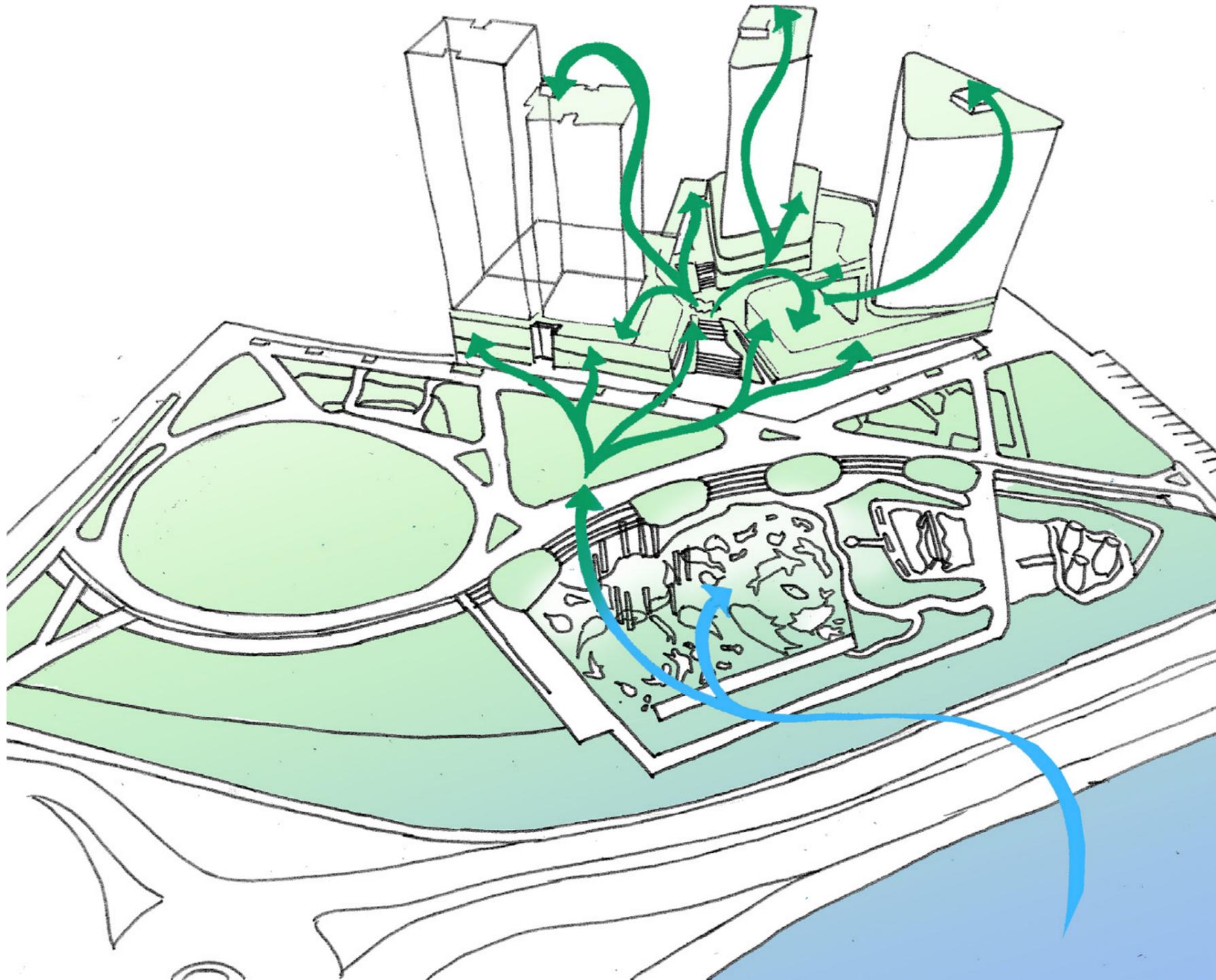
- | | | | |
|--|---------------|--|--------------------|
| | Site | | Commercial/retail |
| | Open space | | Residential |
| | Train station | | Government |
| | Train line | | Cultural |
| | Bus stop | | Future Development |

VISION | LANDSCAPE

26-30 Mann Street sets a new benchmark for communal living. The landscape design will create a strong connection to the adjoining Leagues Club Field, embracing and continuing the Indigenous character from the park up through into the towers landscape.

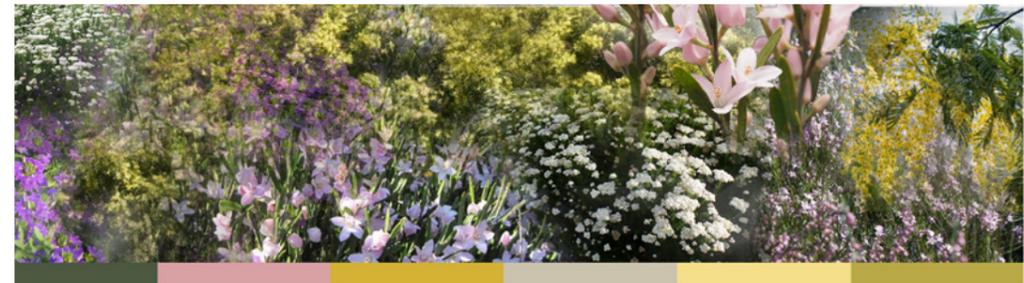


LANDSCAPE PRINCIPLES | CONNECTING TO COUNTRY



SEASON JOURNEY FROM OCEAN TO MOUNTAINS

Drawing inspiration from the local character and culture of the Gosford region, a strong sense of connection from Ocean to mountains is fostered and celebrated. The Indigenous planting character of Gosford park is seamlessly integrated into the podiums and rooftops, creating a destination enriched with Darkinjung tradition.



PLACE PRINCIPLES | LANDSCAPE



CONNECTED

Connection to country

Drawing upon inspiration from the local character and culture of the Gosford region, a strong sense of connection from ocean to mountains is fostered and celebrated.



INTEGRATED

Connecting to the park

Materiality and amenities connect with the local character of the foreshore park



SOCIAL

Genuine, social places for all

A diverse offering of best practice communal open space that is tailored to individual groups, whilst remaining adaptable and flexible to changing needs.



COMFORTABILITY

Year round environmental comfort

The primary objective for all external spaces is environmental comfort - how it feels to be there throughout the year, day and night.

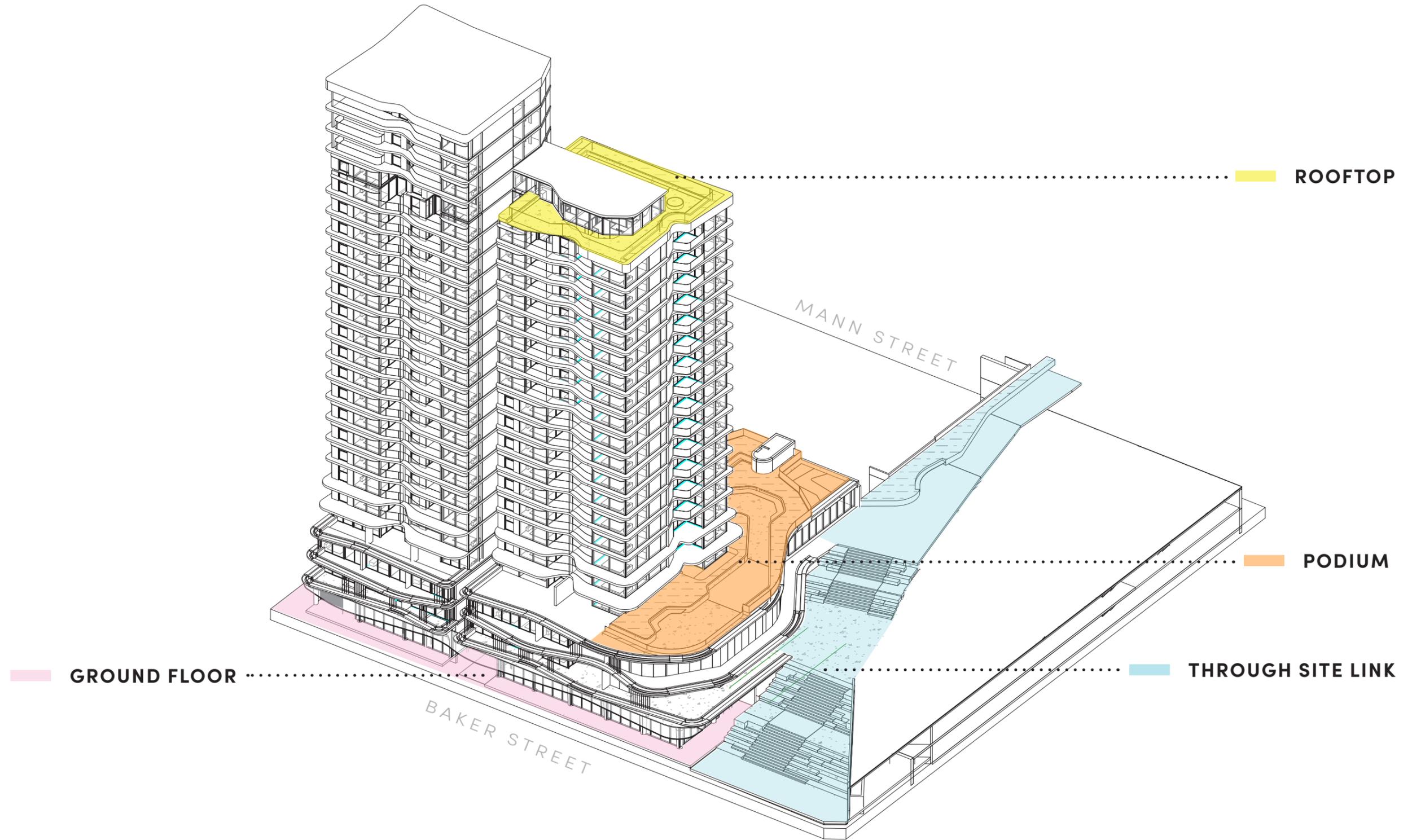


DIVERSITY

Maximising the communal experience

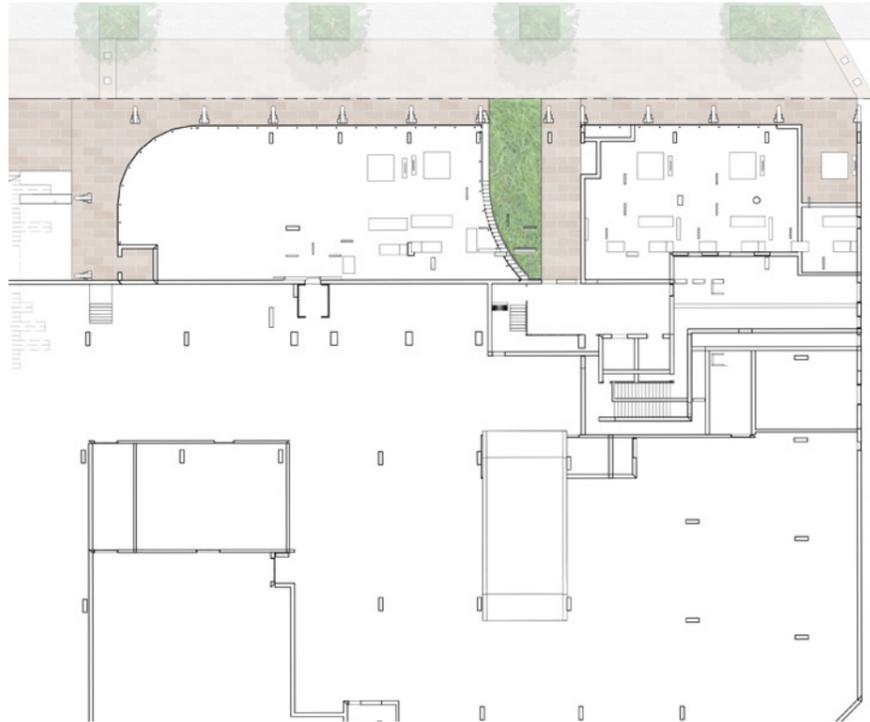
Exploring and maximising the placemaking potential of the communal areas, focused on creating a diversity of active and passive spaces connected through the landscape.

PLACES | LANDSCAPE



EVOLUTION OF DESIGN | BAKER STREET

DRG 1/2



COMMENT:

- Further exploration of the relationship between private and common spaces required.
- Further detail required to explain the proposed interface of the development with the adjoining field & baker street
- Seating & shading opportunities to be explored while mainting appropriate pedestrian movement & capitalising on views

RESPONSE:

- Utilising the existing level change to provide both public and commercial ammenity. A combination of bleacher seating with timber tops and timber seating with backrests and arm rests nestled amongst planters afford a greater usability of the space
- Commercial shading umbrellas are a cost effective and flexible solution allowing shade to be controlled with no intervention to the building facade.
- Sandstone bollards are used as a means of vehicle management and pedestrian protection whilst allowing access to the shared street, commercial residencies and adjoining park. Sandstone was chosen in order to tie in with the character of the park.

DRG 3



COMMENT:

- Detail coordination between Baker street promenade both north & south, interface to the Leagues Club Field Park and interface with Mann street to be considered in order to create consistency within the overall public realm strategy.
- Further investigation requested regarding width and locations of various functional zones including outdoor seating, primary & public circulation during unpleasant weather.
- Consideration of the proposed bollards - is there a more space efficient alternative as a means of vehicle seperation eg raised edge

CURRENT DESIGN



RESPONSE:

- Proposed paving and street scape is to tie in with the materiality of the northern end of Baker street and the ATO building interface by continuing sandstone coloured cement unit paving through the site.
- Sandstone bollards initially proposed remain as best solution for vehicle seperation and organisation. This strategy both ties into the character of the adjoining park and allows for continuity within the streetscape by carrying the flush edge of Baker street and the ATO building interface through the site.
- Stairs have been proposed in order to open up movement paths and connection between the park and share street.
- The introduction of pot plants to soften the frontage and continue the landscape vision of bringing the green of the park up into the site
- Re-orientation of upper level commercial seating to create seperation and privacy between customers utilising the bleacher seating.

EVOLUTION OF DESIGN | THROUGH SITE LINK

DRG 1/2



COMMENT:

- Deep Soil plan required
- Introduce additional tree species to introduce canopy & variety where soil permits.
- Establish heirachy through planting and tree species

RESPONSE:

- Introduction of Angophora costata & Eucalyptus spp. along with the proposed Livistona australis to provide shade and tie in with the planting character of the adjoining park. The larger tree species will be located at the lower set of bleacher stairs where deep soil is available to provide shade and increase ammenity. Cabbage Tree Palms will populate the upper set of bleachers allowing the views of Brisbane Waters from Mann Street to be retained.
- Turf provided deep soil plans and details of both tree and understory planting species in order to establish heirachy throughout the link

DRG 3



COMMENT:

- Through site link requires further development through an investigation into improved sight line from Mann Street to Brisbane Waters.
- Increase the public character of the link by connecting in to the materiality of Mann Street.

CURRENT DESIGN



RESPONSE:

- Adjusted the levels of the through site link in order to achieve more distinct views of Brisbane Waters from Mann Street.
- Proposed concrete within the through site link ties in to the insitu concrete pavement of both Mann street and Gosford Leagues club park, defining the link as public domain.

EVOLUTION OF DESIGN | PODIUM

DRG 1/2



COMMENT:

- Provide details regarding visual & acoustic privacy of private open space
- Further development required for south west corner of podium

RESPONSE:

- Incorporating a slab extension shade structure to improve usability and comfortability, whilst retaining the flexible nature of the space for both strata programmed activities and general use

DRG 3



COMMENT:

- Detail of visual and acoustic privacy of private open space was generally endorsed for this stage of the project. Further detailing will be required for the DA phase

CURRENT DESIGN



RESPONSE:

- Typical section provided showing appropriate visual privacy has been provided

LANDSCAPE DESIGN STATEMENT



PROJECT OVERVIEW

The Central Coast Quarter will set the precedence for new mixed use developments within the Gosford region. Maximising opportunities to blend the natural landscape with the urban form, the development will deliver contemporary urban character, aligned with the 'regional' city principles that the city is moving toward. The Landscape design draws inspiration for the adjoining park, drawing the native landscape of the park up through the development connecting the development to the park.

PUBLIC/PUBLICLY ACCESSIBLE DOMAIN

GROUND LEVEL

The Baker Street entry will be a grand urban space, connecting the park to the retail, blurring the boundaries between park and development. The ground level will feel welcoming to the public facilitating public use through the selection of hard and softscape elements including bleacher seating, cycle parking and planting character.

The bleacher seating will be orientated towards the park, providing users of the space with a 'moment' to reflect and capture the broad views of canopy, water and planting beyond.

THROUGH SITE LINK

Drawing inspiration from the adjacent parkland development, the through site link brings the park into the urban sphere. Planting cascades from building facades and planters guide the stairways through, creating a green avenue for movement. The greening of the urban space will soften architectural forms, with the threading of green into the precinct connecting from the ground floor and podium spaces to the park. Public art will be imbedded into the through site link continuing the Indigenous themed stories told in the park adding further connection to the park and public nature of the through site link.

PODIUM LANDSCAPE

All podium landscapes will provide soil depths and volumes consistent with minimum requirements of the AGD. Podium landscaping is focused to the building edges and podium rooftop to maximise solar access and visual prominence from the surrounding public domain and windows above.

The planting palette for the podium areas has been developed to provide a lush and rich indigenous themed urban oasis suited to the local climate. Complimentary foliage, colour and textures have been selected to ensure visual harmony and seasonal variation, whilst ensuring hardiness and low maintenance. Planting mixes in lieu of monoculture planting adds further resilience.

ROOFTOP

The rooftop landscape is an important communal space for the building. It enjoys unimpeded views across the Brisbane water and afternoon sun – which will be a peak period of use for the residents. It has been designed to create a seamless spatial connection between inside and out, and includes a variety of seating types – including movable seating and lounges – to provide diversity of use and experience.

MATERIALITY & URBAN ELEMENTS

Proposed materiality for the project connects with the existing public domain palette and local character; combining concrete and sandstone in the ground plane – consistent with the recently upgraded park. The application of these materials is proposed in a way that creates a unique sense of place for the site whilst complementing the surrounding urban context and contributing to the sense of public domain continuity.

Detailed design of elements such as paving, furniture, fencing and lighting will be developed further during detailed design. In particular, opportunities for embedding site-specific narratives into the ground plane will be further explored as a public art opportunity.

VIEWS/PRIVACY

The design acknowledges the opportunity to provide communal open space that takes advantage of key views over Brisbane Waters. In doing so, visual privacy has also been addressed through tree and plant selection. The desire for an outlook to public areas is balanced with the need for privacy internally and externally, during day and night.

AMENITY

The design incorporates a variety of amenities such as flexible communal areas for larger gatherings. This aligns with the need to provide a rich collection of spaces and activities for people of all ages and backgrounds. Many of these spaces are sheltered by either planting or awnings, which will provide summer shade.

ACCESSIBILITY

All residents of the new development can access and enjoy the communal areas. Universal access has been incorporated into communal and play spaces, connecting walkways and building entries without compromising design quality. Gently graded pathways provide accessibility for all age groups and degrees of mobility, ensuring that residents can access site amenities comfortably. Paths are rationally laid out into a clear and identifiable network, assisting orientation for visitors and access to and from building entries and service areas.

LANDSCAPE DESIGN STATEMENT



LIGHTING

Lighting of external spaces will be provided to ensure access points are well lit, improving visibility and the sense of safety. Lighting of the communal open space will ensure safe levels of illumination for movement, whilst considering the impact on private residences. Unobtrusive lighting will be incorporated where appropriate to enable night time recreational use.

Public domain lighting will ensure adequate levels of illumination to address CPTED, and will be delivered in an artful way to express key features of the design – architectural façade elements, landscape features, and wayfinding signage.

DRAINAGE & IRRIGATION

The detailed design will specify drainage cell to all soft landscape zones on structure.

Consideration has been given to the incorporation of low water demand and low maintenance plant species in all areas to reduce mains consumption and fertiliser contamination of drainage water.

Permanent irrigation will be provided to all soft landscape areas.

SOIL

The planting comprises of a complementary mix of indigenous and exotic species. Therefore, soil requirements will differ according to varying soil chemistries enjoyed by individual species. For indigenous vegetation, soil profiles will be provided which have modest nutrient levels, particularly phosphorus. Suggested material would equal Australian Native Landscapes 'Low P' mixture. In areas where exotic species are to be planted, an industry standard organic soil mixture will be provided. Consideration will be given to the planting arrangement to ensure that species that are sensitive to nutrient will be grouped together.

PLANT ESTABLISHMENT & MAINTENANCE

A landscape maintenance contractor will be engaged to keep all plant material in a state of health and vigour after practical completion. The appointed contractor must provide a proposed maintenance works program for approval. The landscape contractor must keep a logbook of all maintenance works undertaken and include 'works to date' information. Works will include, but not be limited to:

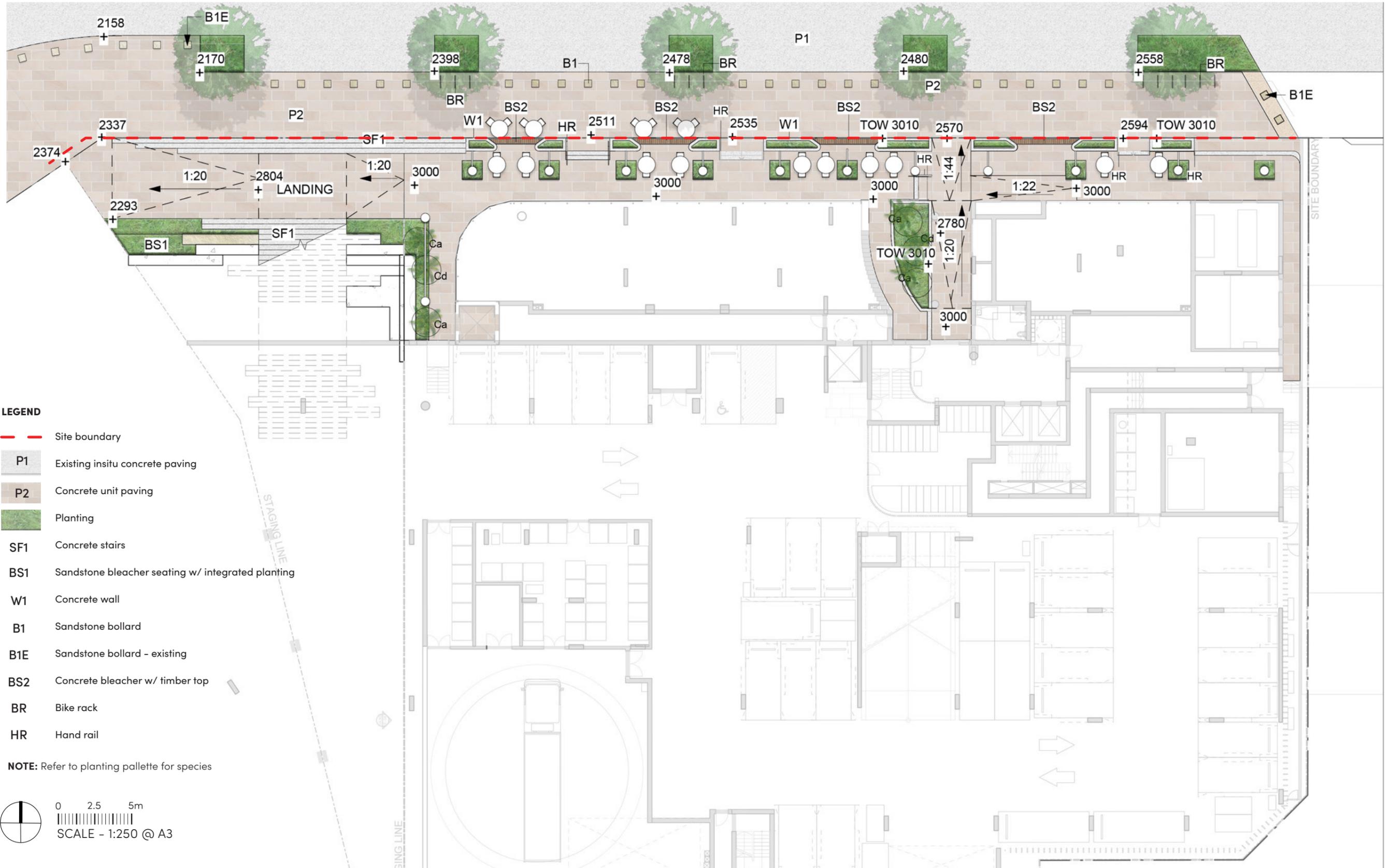
Monitoring the irrigation system on a regular basis to ensure plants are not under or over irrigated,

Replacing dead plant material to achieve a complete cover of planting without obvious gaps in planting at final completion, Replenishment of mulch as required to provide cover to the soil surface minimising weed encroachment, Suppression of weed growth, Low phosphorus nutrient will be provided to indigenous plant groupings, and a broad spectrum fertilizer applied to exotic plant groupings to satisfy differing chemical requirements, Selective pruning / crown lifting / canopy shaping of trees to remove potential future structural defects, establish branching above head height, etc.

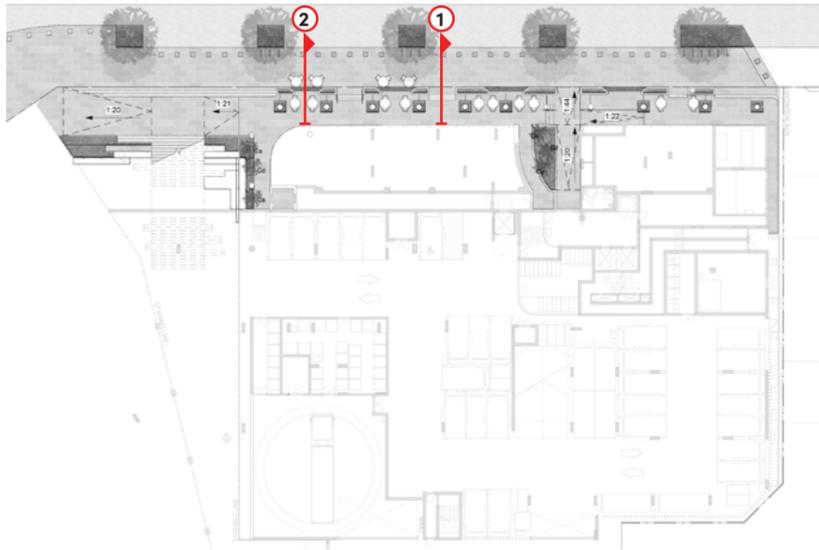
BAKER STREET CONTEXT PLAN



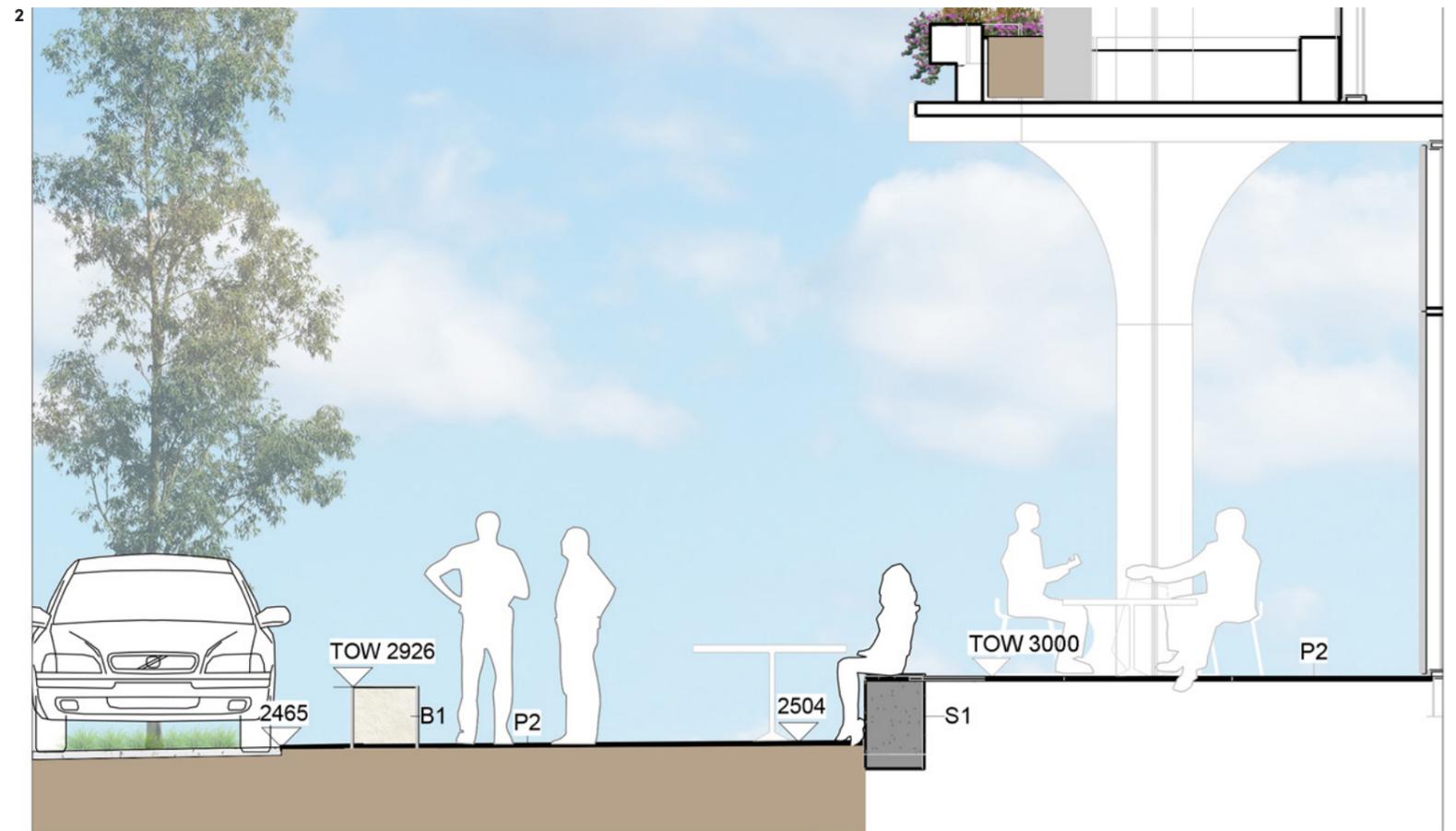
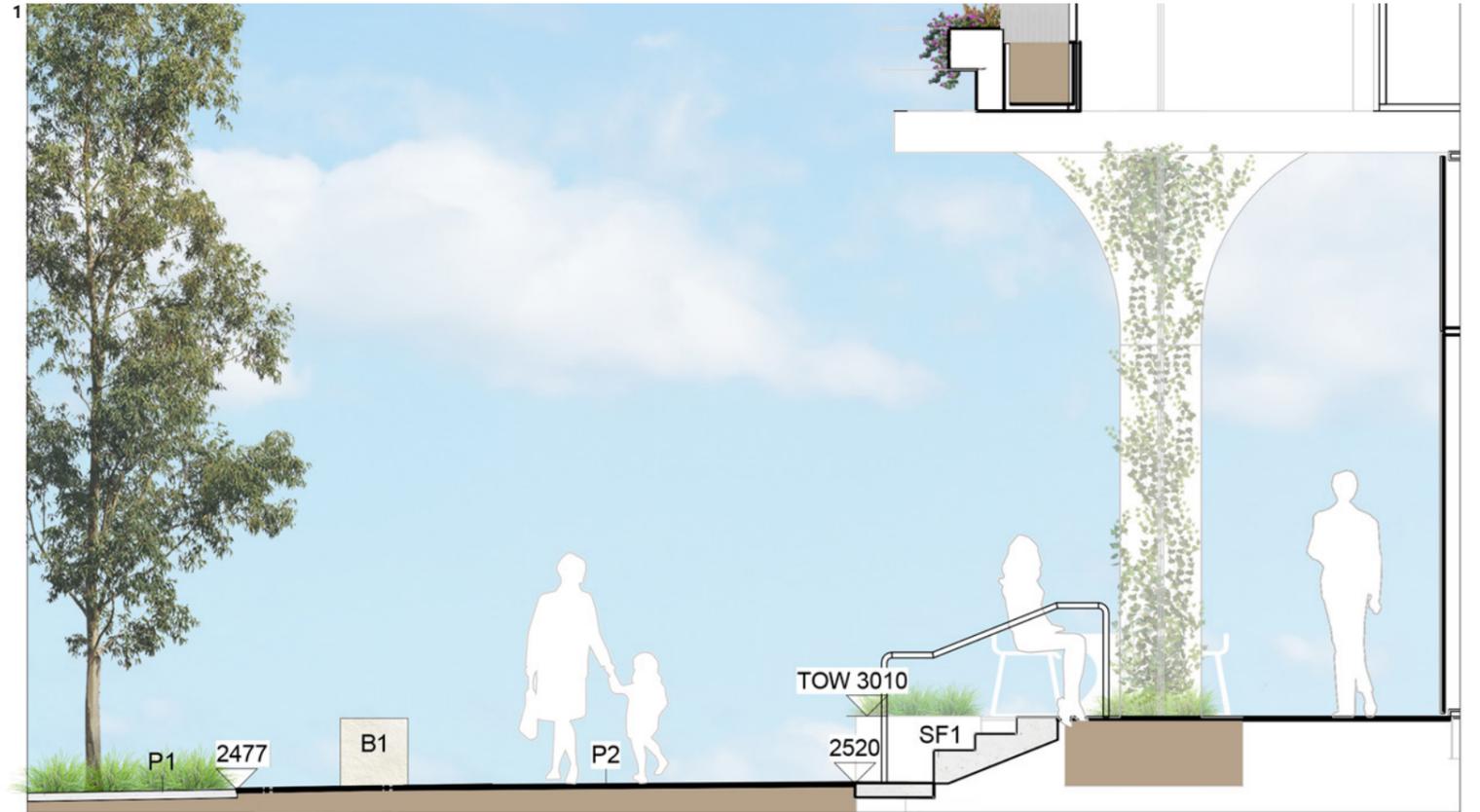
GROUND FLOOR LANDSCAPE PLAN



SECTION GROUND FLOOR



0 0.5 1m
SCALE - 1:50 @ A3



3D VIEW GROUND FLOOR



THROUGH SITE LINK LANDSCAPE PLAN

LEGEND

-  Site boundary
 -  BS1 Sandstone bleacher seating
 -  P3 Concrete paving
 -  Planting
 -  *Livistona australis*
 -  SF1 Concrete stairs
 -  BS1 Sandstone bleacher stair
 -  Indicative locations for public art
- NOTE:** Refer to planting palette for species
-  0 2.5 5m
SCALE - 1:250 @ A3



Public Art precedents

THROUGH SITE LINK DETAIL WEST LANDSCAPE PLAN

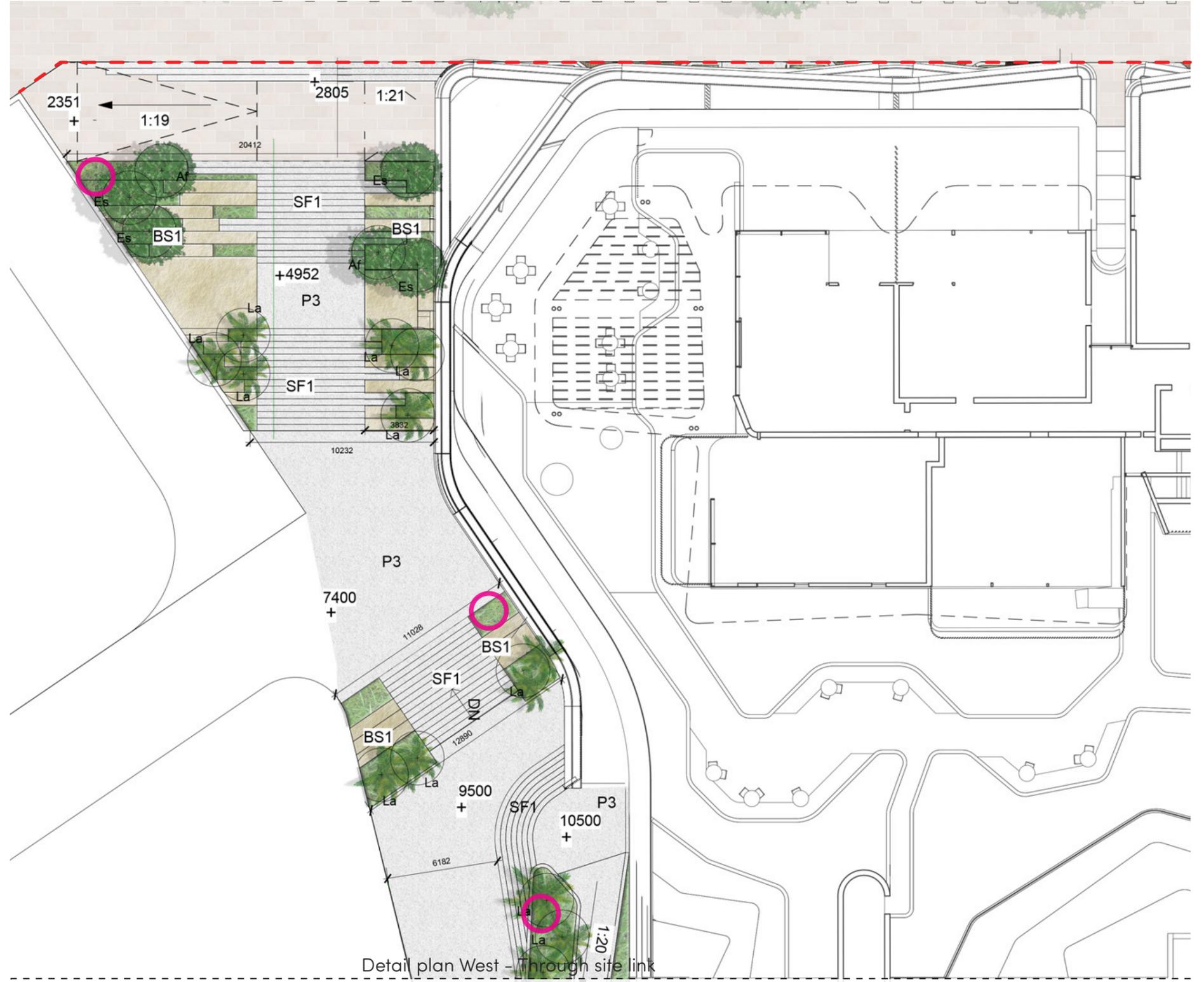


Public Art precedents

LEGEND

- Site boundary
- BS1 Sandstone bleacher seating
- P3 Concrete paving
- Planting
- Livistona australis
- SF1 Concrete stairs
- BS1 Sandstone bleacher stair
- Indicative locations for public art

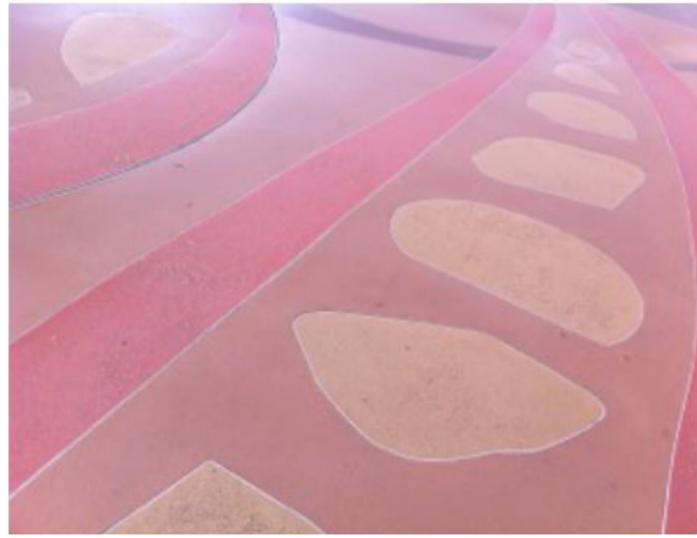
NOTE: Refer to planting palette for species



Detail plan West - Through site link

Detail plan East - Through site link

THROUGH SITE LINK DETAIL EAST LANDSCAPE PLAN

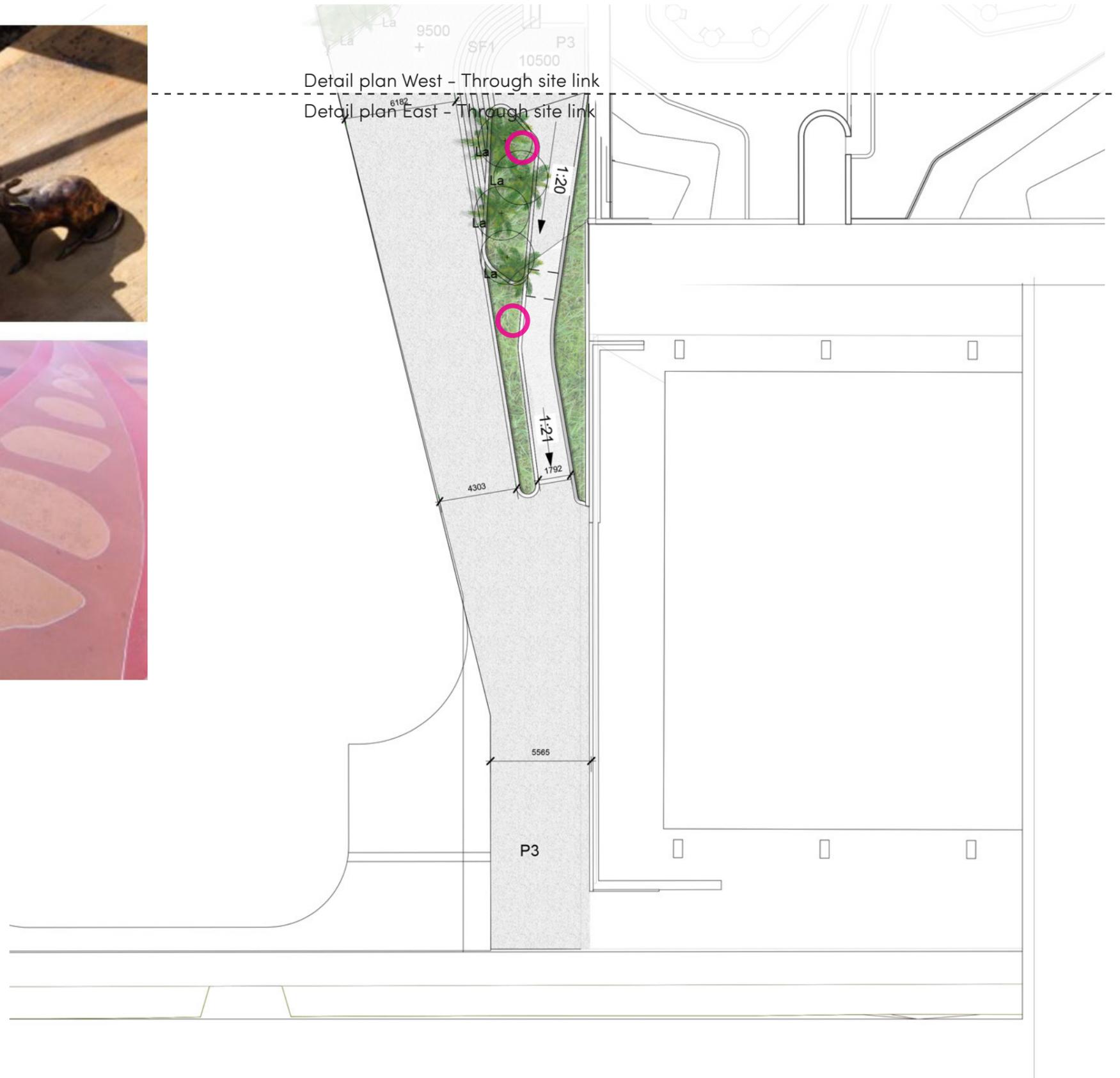


Public Art precedents

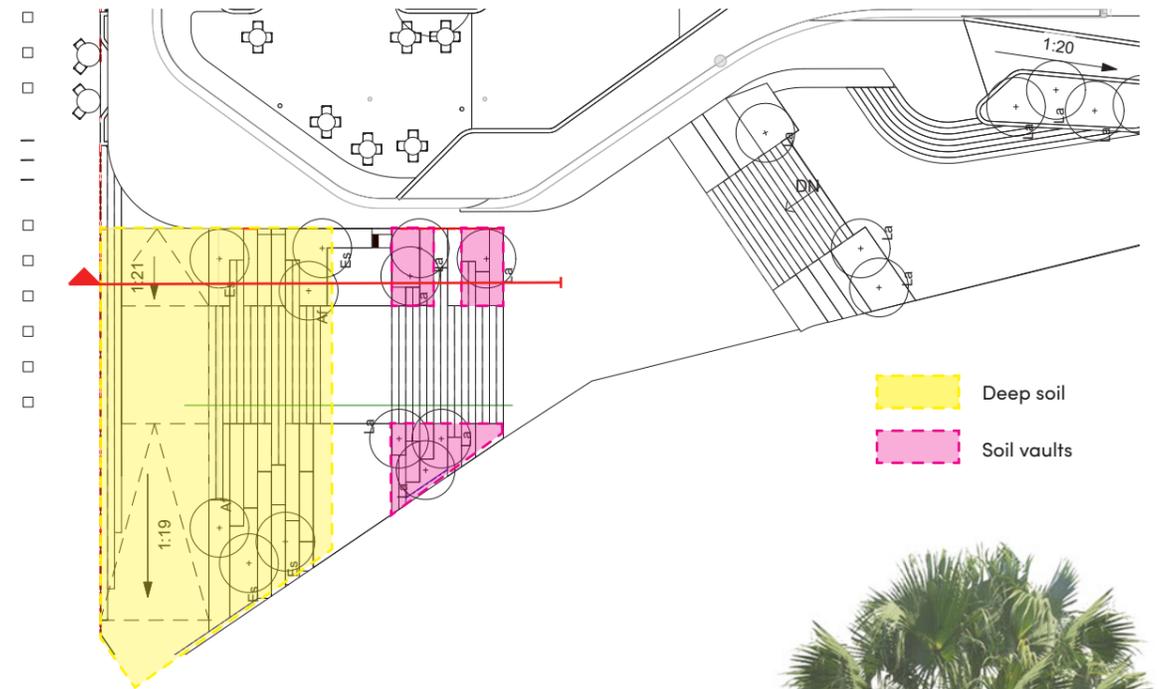
LEGEND

- P3 Insitu concrete pavement
- Planting
- La Livistona australis
- Indicative locations for public art

NOTE: Refer to planting palette for species



SECTION 1 THROUGH SITE LINK



1. LOWER BLEACHER



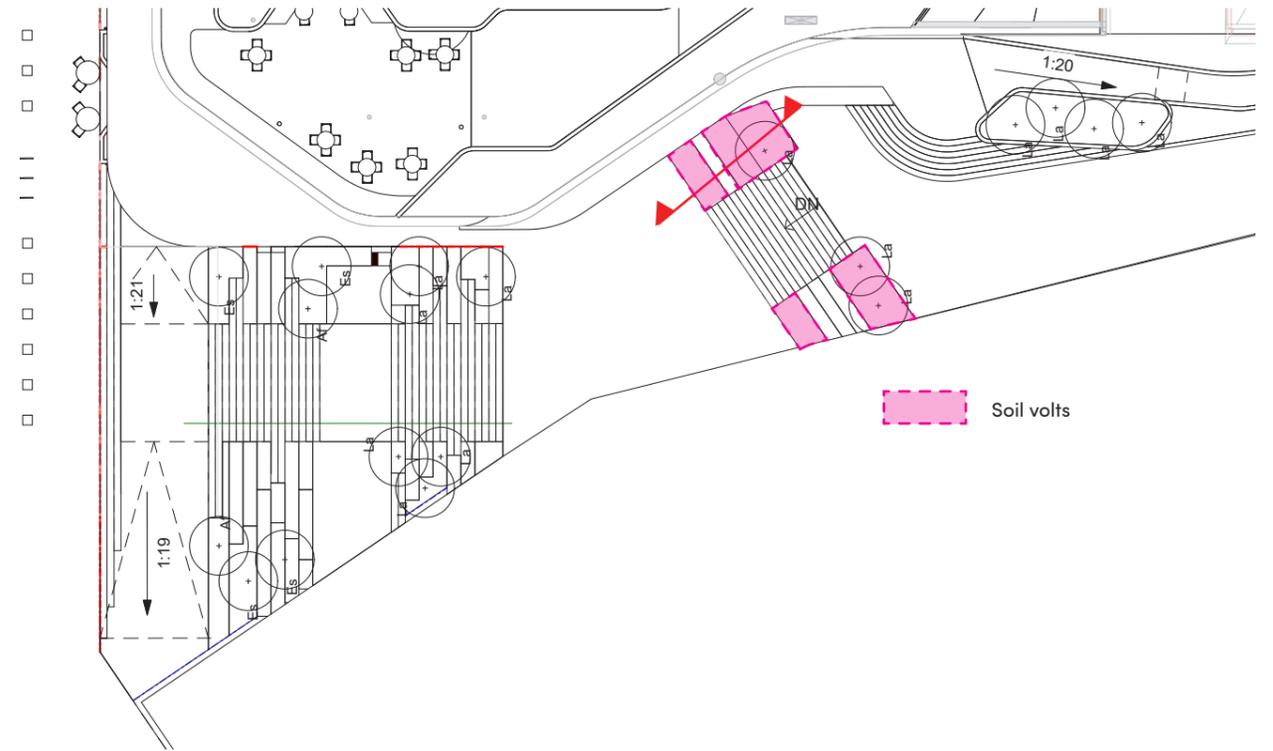
- TREES**
- Angophora costata
 - Eucalyptus spp.
 - Livistona australis

P2

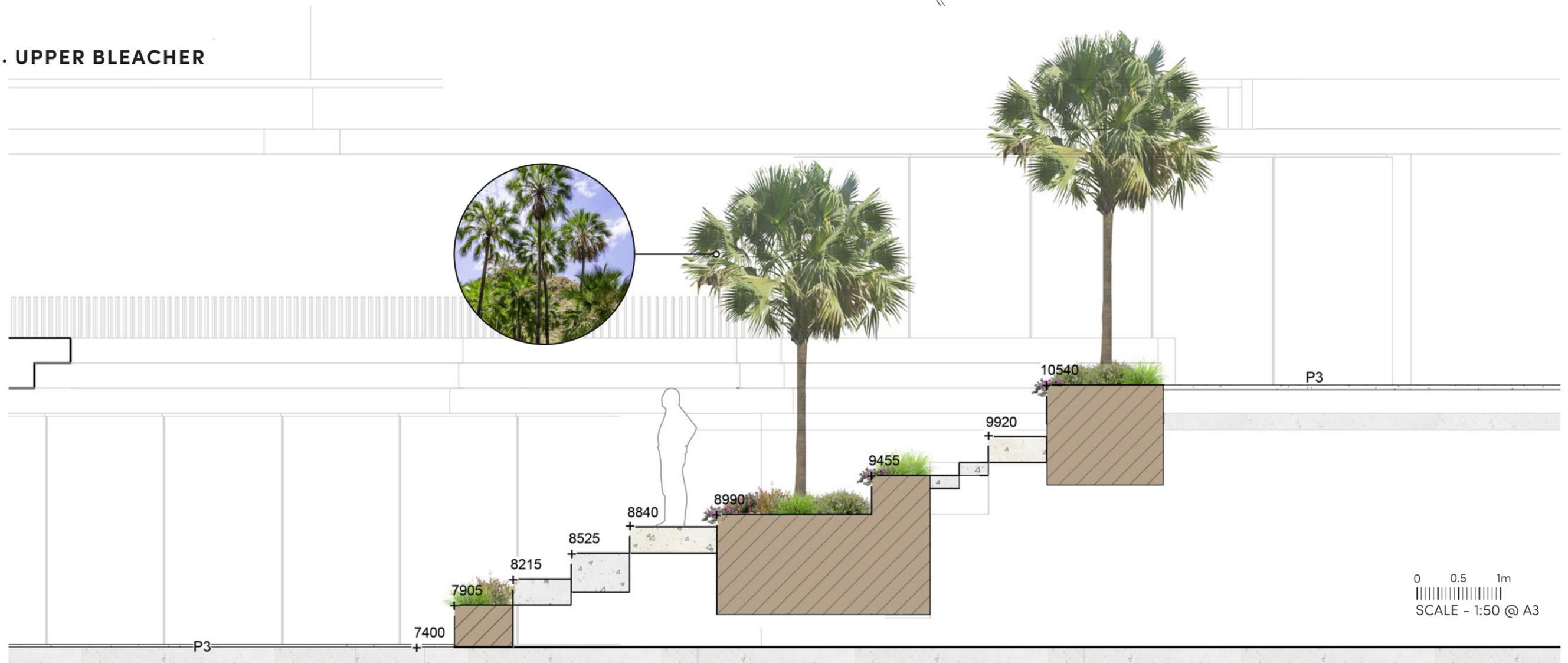
SECTION 2 THROUGH SITE LINK

TREES

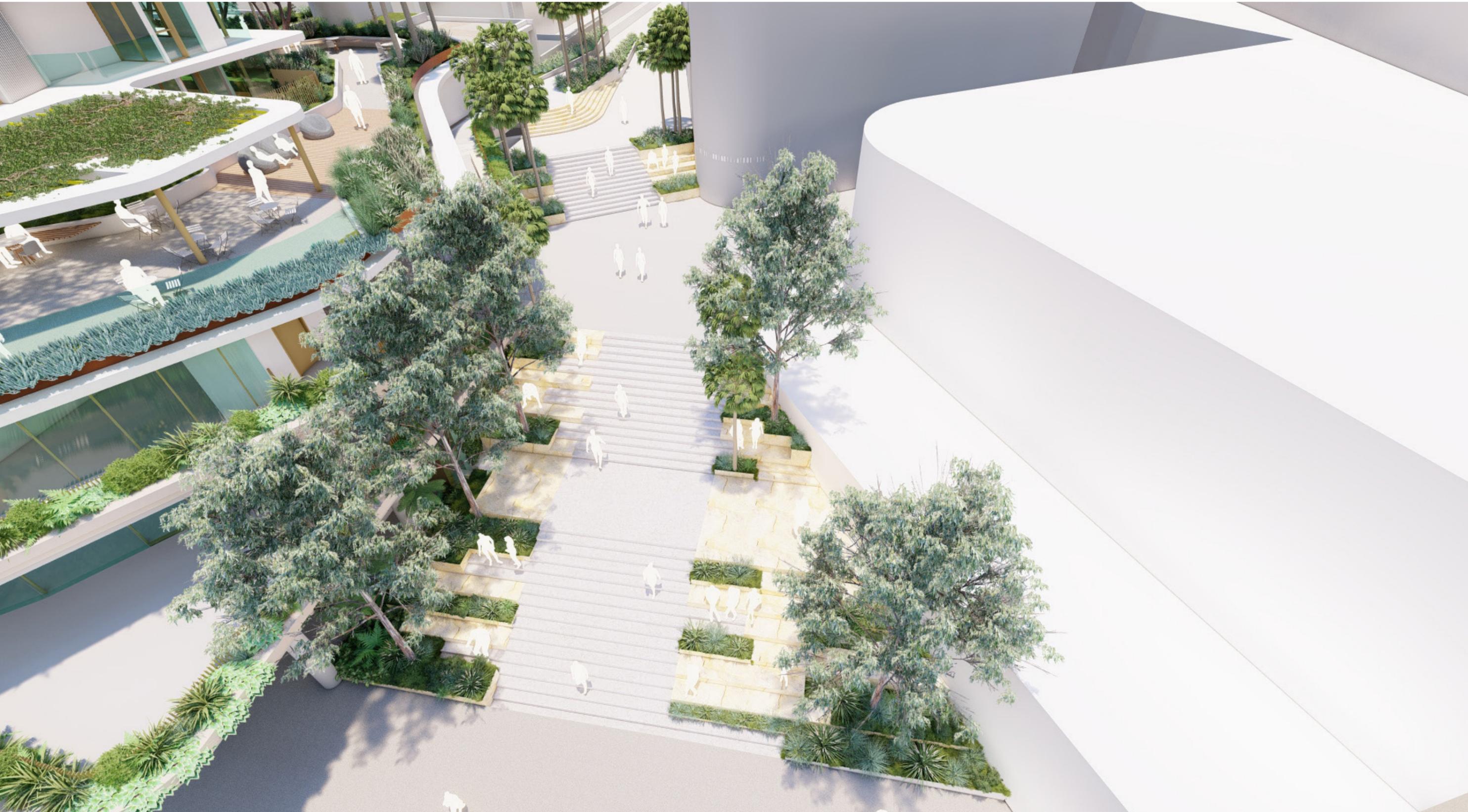
Livistona australis



2. UPPER BLEACHER



3D VIEW THROUGH SITE LINK



3D VIEW THROUGH SITE LINK



PODIUM LANDSCAPE PLAN

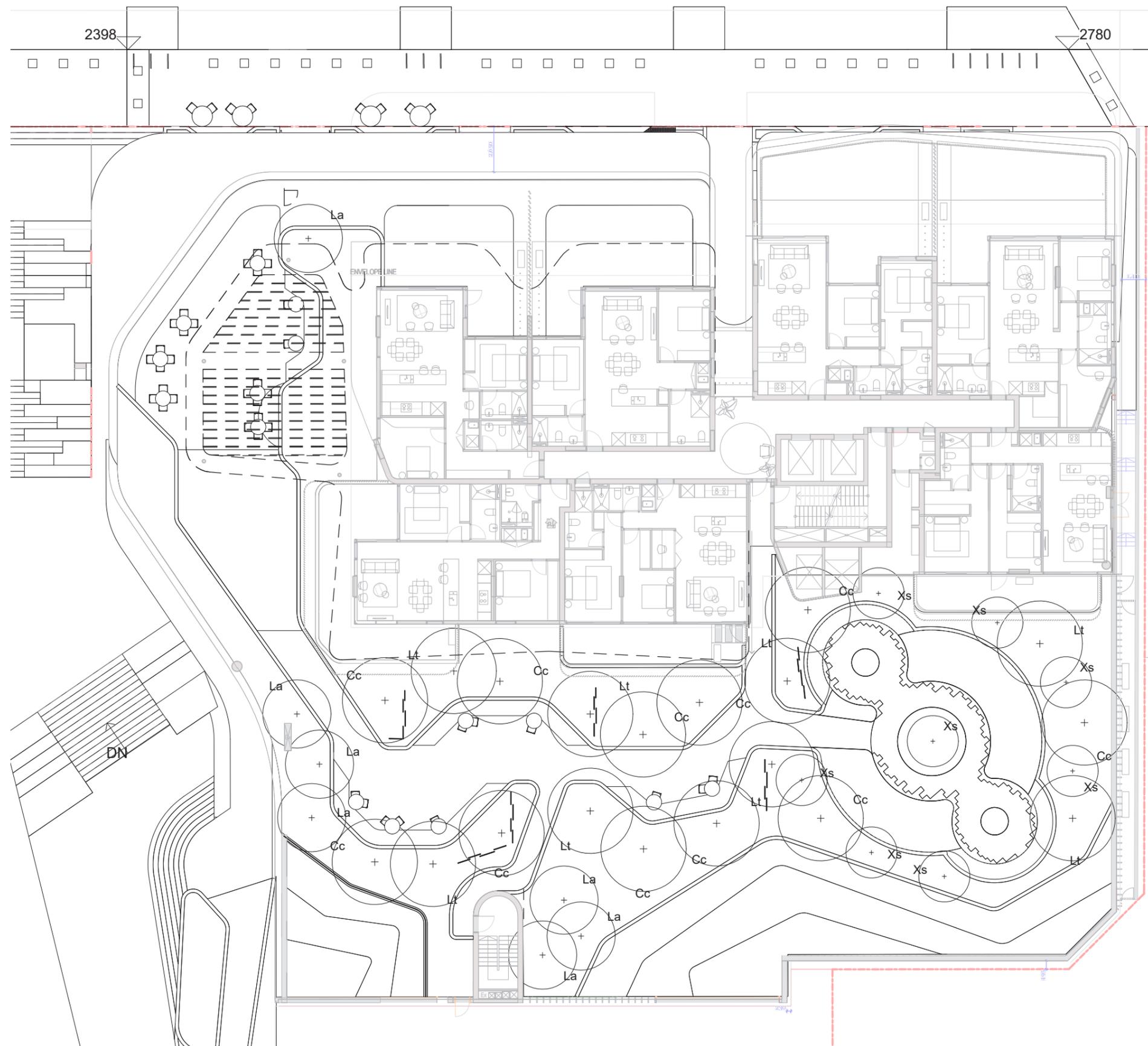


LEGEND

- | | | | |
|--|--|--|----------------------------|
| | Timber decking | | Planting |
| | Sandstone unit paving w/ gravel edging | | Indigenous garden planting |
| | Two-tone ballast | | Artificial turf |
| | Concrete unit paving | | Sandstone boulders |
| | Sandstone blocks | | Bean bags |
| | Timber seating | | Flexible furniture |
| | Concrete wall | | Wind mitigation screen |
| | Corten wall | | |



PODIUM TREE PLAN



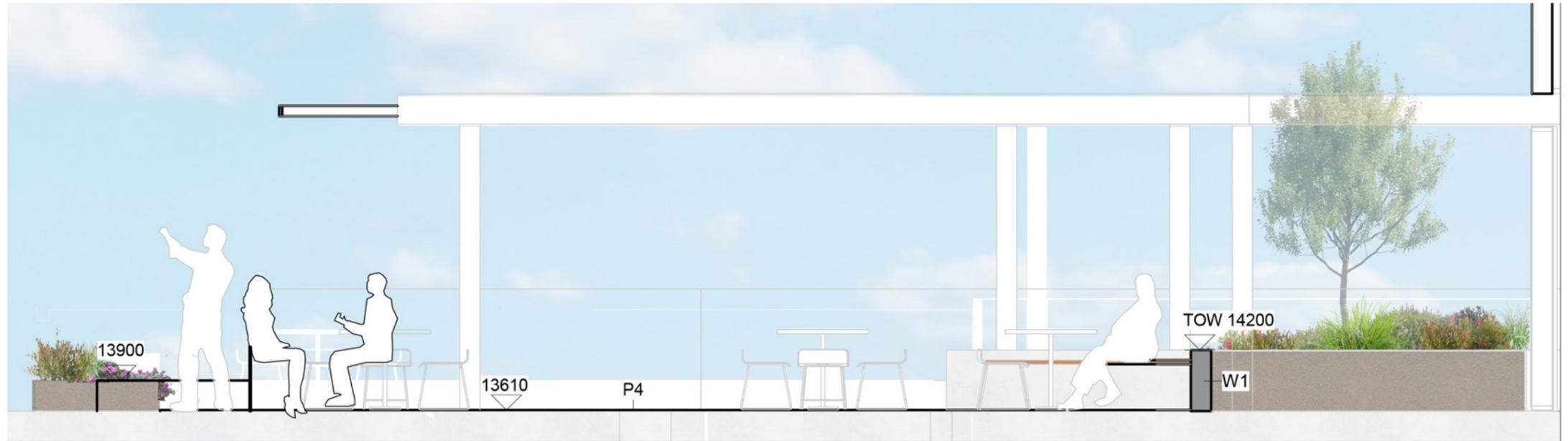
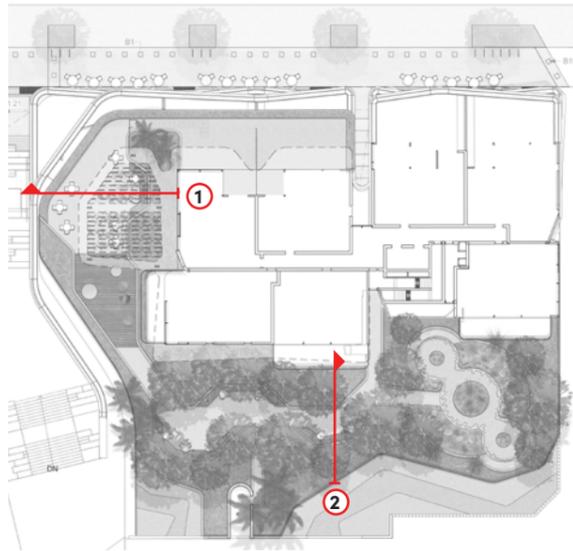
LEGEND

- Cc Callistemon citrinus
- Lt Leptospermum trinervium
- Xs Xanthorrhoea Sp.
- La Livistona australis

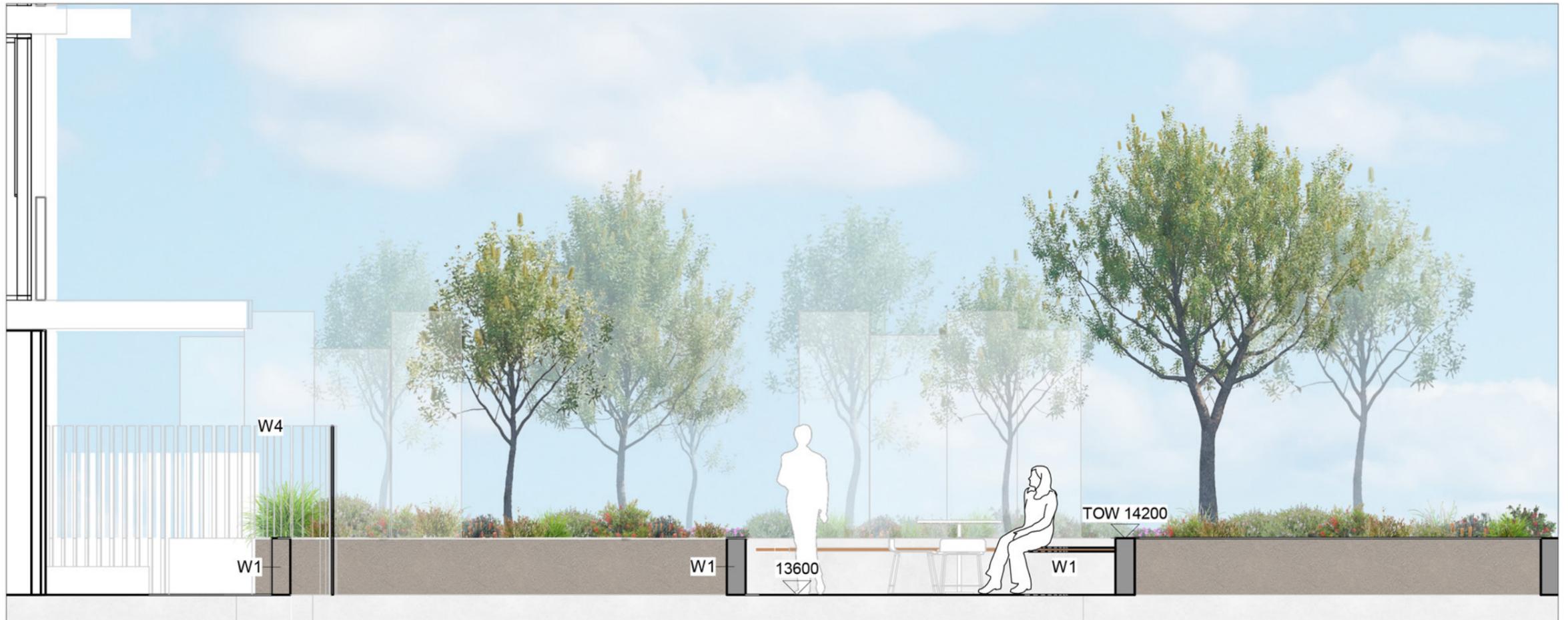


SECTION 1 + 2 PODIUM

1. FLEXIBLE GATHERING SPACE

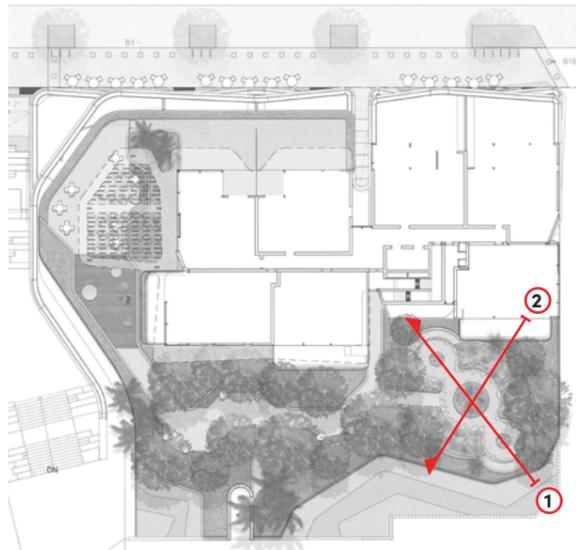


2. OUTDOOR OFFICE

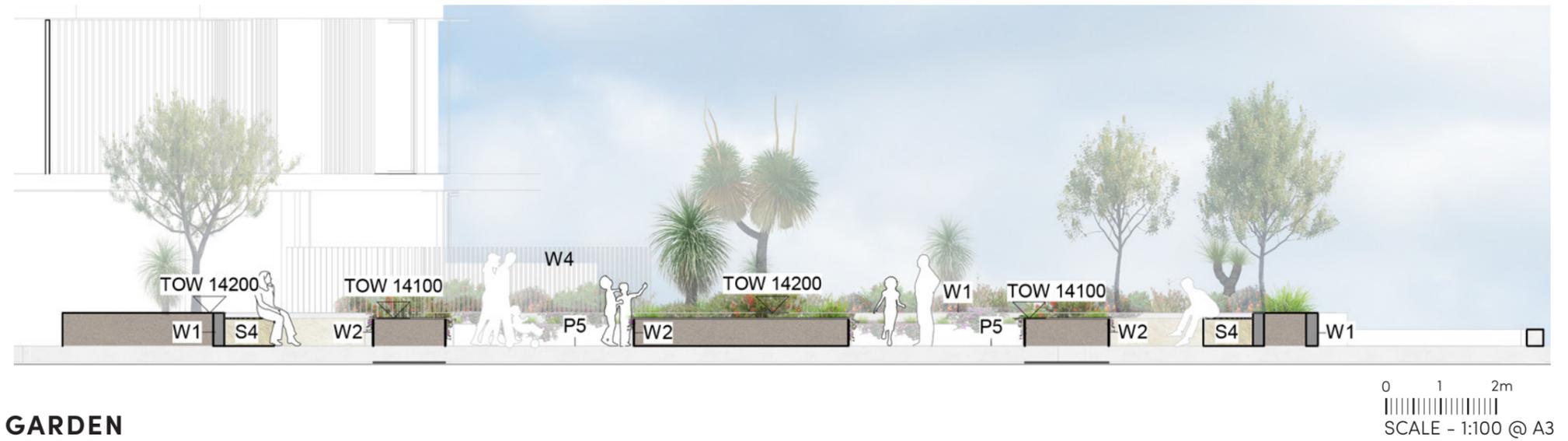


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SCALE - 1:50 @ A3

SECTION 3 + 4 PODIUM



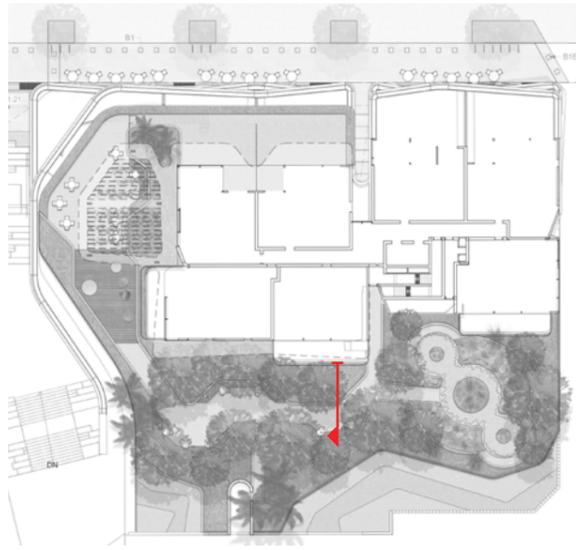
3. INDIGENOUS BUSHTUCKER GARDEN



4. INDIGENOUS BUSHTUCKER GARDEN



SECTION 5



5. PRIVATE OPEN SPACE



0 0.5 1m
SCALE - 1:50 @ A3

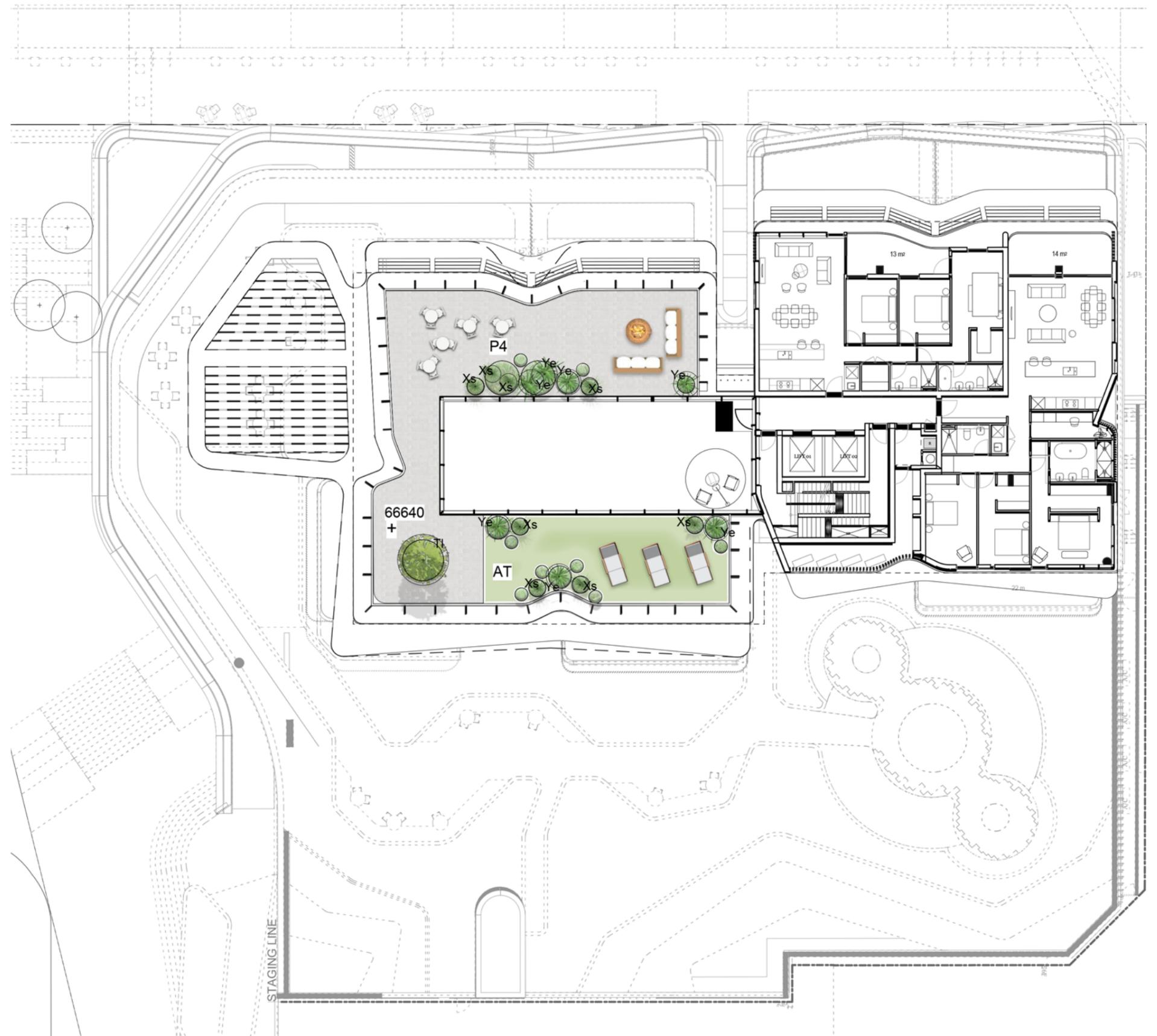
3D VIEW PODIUM



3D VIEW PODIUM



ROOFTOP LANDSCAPE PLAN



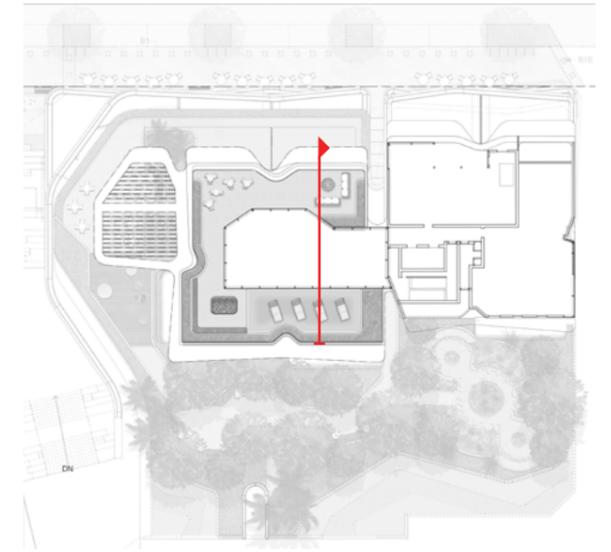
LEGEND

P4 Concrete paving	Flexible furniture
AT Artificial turf	Lounge chairs
Pot plants	Fire pit
Tl <i>Tristanopsis laurina</i>	Sunbathing bed
Ye <i>Yucca elaphantipes</i>	
Xs <i>Xanthorrhoea</i> spp.	

NOTE: Refer to planting palette for species



SECTION ROOFTOP



3D VIEW ROOFTOP



PLANTING PALETTE

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY	QUANTITY
GROUND FLOOR							
TREES							
Ca	Cyathea australis	Rough-tree Fern	6m	5m	45L	As shown	4
Cd	Cyathea dealbata	Silver Fern	5m	3m	45L	As shown	2
UNDERSTOREY MIX 1 - GULLY							
	Philodendron 'Rojo Congo'	Rojo Congo	0.65m	0.8m	300mm	500mm c	-
	Asplenium nidus	Bird's Nest Fern	0.6-1m	1.5m	300mm	500mm c	-
	Sticherus flabellatus	Umbrella Fern	0.8m	1.5m	300mm	500mm c	-
	Doodia aspera	Rasp Fern	0.4m	0.6m	300mm	500mm c	-
	Commelina cyanea	Scurvy Weed	0.3m	1m	150mm	300mm c	-
	Blechnum cartilagineum	Soft water fern	1.5m	1.5m	300mm	1m	-
UNDERSTOREY MIX 2 - GENERAL PLANTING							
	Patersonia sericea	Native Iris	0.4m	0.3m	150mm	500mm c	-
	Lomandra longifolia	Mat Rush	1m	0.6m	150mm	500mm c	-
	Scaevola ramosissima	Purple Fan Flower	0.4m	0.5m	150mm	500mm c	-
	Ficinea nodosa	Knobby club-rush	1m	0.6m	300mm	500mm c	-
	Poa poiformis	Coast tussock-grass	0.5m	0.5m	150mm	500mm c	-
	Hibbertia scandens	Snake Vine	0.5m	1-5m	150mm	500mm c	-
	Philodendron xanadu	Xanadu	1m	1m	300mm	500mm c	-
THROUGH SITE LINK							
TREES							
La	Livistona australis	Cabbage Tree Palm	20m	3-5m	6-9m	As shown	16
Af	Angophora floribunda	Rough-barked Apple	20m	10m	400L	As shown	2
Es	Eucalyptus spp.		15m	5m	400L	As shown	4
UNDERSTOREY							
	Prostanthera ovalifolia	Mint Bush	1.5	1.5	150mm	500mm c	-
	Lomandra longifolia	Mat Rush	1m	0.6m	150mm	500mm c	-
	Banksia spinulosa	Birthday Candles	1m	1m	150mm	500mm c	-
	Ficinea nodosa	Knobby club-rush	1m	0.6m	300mm	500mm c	-
	Hardenbergia violaceae 'Meema'	Meema	0.5	2m	150mm	500mm c	-
	Rhagodia spinescens	Spiney Saltbush	0.5-1m	1.5m	150mm	500mm c	-
	Scaevola ramosissima	Purple Fan Flower	0.4m	0.5m	150mm	500mm c	-
	Doryanthes excelsa	Gynea Lily	2-4m	2-3m	300mm	1m c	-
	Carpobrotus glaucescens	Pigs Face	0.2m	2m	150mm	500mm c	-

NOTE: planting palettes are indicative and may change through the detailed design phase and availability at time of procurement

TREES



Cyathea australis



Livistona australis



Angophora floribunda



Eucalyptus spp.

SHRUBS



Prostanthera ovalifolia



Philodendron 'Rojo Congo'



Doryanthes excelsa



Lomandra longifolia



Banksia spinulosa



Isolepis nodosa



Rhagodia spinescens



Scaevola ramosissima

CASCADING GROUNDCOVERS



Carpobrotus glaucescens



Hibbertia scandens

PLANTING PALETTE

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	DENSITY	QUANTITY
PODIUM LEVEL							
TREES							
La	Livistona australis	Cabbage Tree Palm	20m	3-5m	6-9m	As shown	7
Lt	Leptospermum trinervium	Flaky-barked Tea-tree	4m	2m	400L	As shown	8
Xs	Xanthorrhoea spp.	Grass Tree	2-4m	1.5m	400L	As shown	8
Cc	Callistemon citrinus	Crimson Bottlebrush	3m	3m	100L	As shown	11
UNDERSTOREY- MIX 1							
As	Acmena smithii	Lilly Pilly	3m	1.5m	100L	1000mm c	-
	Carpobrotus glaucescens	Pigs Face	0.2m	2m	150mm	500mm c	-
	Lomandra longifolia	Mat Rush	0.4 - 1 m	0.6	150mm	500mm c	-
	Ficinia nodosa	Knobby club-rush	1m	0.6m	300mm	500mm c	-
	Rhagodia spinescens	Salt bush	0.5-1m	1.5m	150mm	500mm c	-
	Prostanthera ovalifolia	Mint Bush	1.5m	1.5m	150mm	1000mm c	-
	Grevillea buxifolia	Grey Spider Flower	0.5-2m	2m	150mm	1000mm c	-
	Banksia spinulosa	Birthday Candles	1	1	150mm	500mm c	-
	Acmena smithii 'minor'	Dwarf Lily Pilly	0.4-1.5m	0.5-2m	150mm	500mm c	-
	Dianella caerulea	Blue-flax Lily	1m	0.5 -2m	150mm	300mm c	-
UNDERSTOREY - MIX 2 - BUSH TUCKER							
	Austromyrtus dulcis	Midgen Berries	0.5-1m	0.5-1m	300mm	500mm c	-
	Doryanthes excelsa	GyMEA Lily	2-4m	2-3m	300mm	1000mm c	-
	Acacia suaveolens	Sweet Wattle	1-2m	1-4m	300mm	1000mm c	-
	Hardenbergia violacea	Native Sarsparilla vine	0.5m	2m	150mm	500mm c	-
	Banksia spinulosa	Birthday Candles	1.5m	2.5m	150mm	500mm c	-
	Pennisetum alopecuroides 'Pennstripe'	Fountain Grass	0.45m	0.45m	150mm	300mm c	-
	Prostanthera rotundifolia	Round-leaved Mintbush	0.5 -2m	1.5-2.5m	300mm	500mm c	-
	Enchylaena tomentosa	Ruby Saltbush	0.4-1m	0.5-1m	150mm	500mm c	-
	Ficinia nodosa	Knobby club-rush	1m	0.6m	300mm	500mm c	-
	Melaleuca viminalis 'Little John'	Weeping Bottle brush	0.6-1.2m	0.6-0.9m	150mm	500mm c	-
	Alpinia caerulea	Native Ginger	2m	1-2m	300mm	500mm c	-
	Hibbertia scandens	Snake Vine	0.5m	1-5m	150mm	500mm c	-
	Carpobrotus glaucescens	Pigs Face	0.2m	2m	150mm	500mm c	-
ROOFTOP							
TREES							
Tl	Tristanopsis laurina	Water Gum	7m	4m	200mm	As shown	1
Ye	Yucca elaphantipes	Spineless Yucca	2-2.5m	1.5m	45L	As shown	7
Xs	Xanthorrhoea spp.	Grass Tree	0.5-1.5	1m	45L	As shown	8
UNDERSTOREY							
	Philodendron xanadu	Xanadu	1m	1m	300mm	500 centres	-
	Hymeosporum flavum 'Gold Nugget'	Native Frangipani	0.5-0.75m	0.5-0.75m	150mm	500 centres	-
	Casuarina glauca 'Cousin It'	She Oak	0.1-0.2m	1-2m	150mm	500 centres	-
	Carpobrotus glaucescens	Pigs Face	0.2m	2m	150mm	500 centres	-

NOTE: planting palettes are indicative and may change though the detailed design phase and availability at time of procurement

TOTAL PROPOSED TREES: 78
TOTAL PROPOSED PLANTING: 872m²

TREES



Tristanopsis laurina



Livistona australis



Leptospermum trinervium



Xanthorrhoea spp.



Callistemon citrinus



Acmena smithii



Angophora floribunda



Eucalyptus spp.

SHRUBS



Prostanthera ovalifolia



Acacia suaveolens



Pennisetum alopecuroides



Lomandra longifolia



Banksia spinulosa



Isolepis nodosa



Rhagodia spinescens



Melaleuca viminalis

CASCADING GROUNDCOVERS



Carpobrotus glaucescens



Hibbertia scandens



Hardenbergia violacea



Casuarina glauca 'Cousin It'

PLANTING CHARACTER



MATERIAL PALETTE

PAVING



CONCRETE UNIT PAVING (P4)



CONCRETE UNIT PAVING - SANDSTONE COLOUR (P2)



FEATURE SANDSTONE PAVEMENT W/ GRAVEL EDGE (P5)



GRAVEL EDGING (G1)

FURNITURE & FIXTURES



MOVABLE SEATING



POT PLANT GREENING



BIKE RACKS (BR)

WALLS



CONCRETE RETAINING WALLS (W1)



SANDSTONE BLEACHER SEATING (BS1)



ROOFTOP LOUNGE & FIREPIT



SANDSTONE BOLLARDS (B1)



TIMBER & CONCRETE BLEACHER SEATS (BS2)



CORTEN STEEL RETAINING WALL (W2)



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