

IVANHOE LOT C2

VILLAGE GREEN & COMMUNITY CENTRE

ARCHITECTURAL DESIGN REPORT

CLIENT

Frasers Property Australia



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Competition Render

CHROFI respectfully acknowledges the Traditional Owners, the land traditionally known as Wallumedegal Country, the Wallumedegal People. We pay our respects to elders past, present and emerging.

This is, was and always will be Aboriginal land.

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Project Client:	
Project Name:	Ivanhoe Estate C2 - Village Green & Community Centre
Project Number:	2041

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E	DA Report	19.07.21	LH/HR	HR/SF
F	DA Report	4.08.21	LH/HR	HR/SF

1.0 Introduction

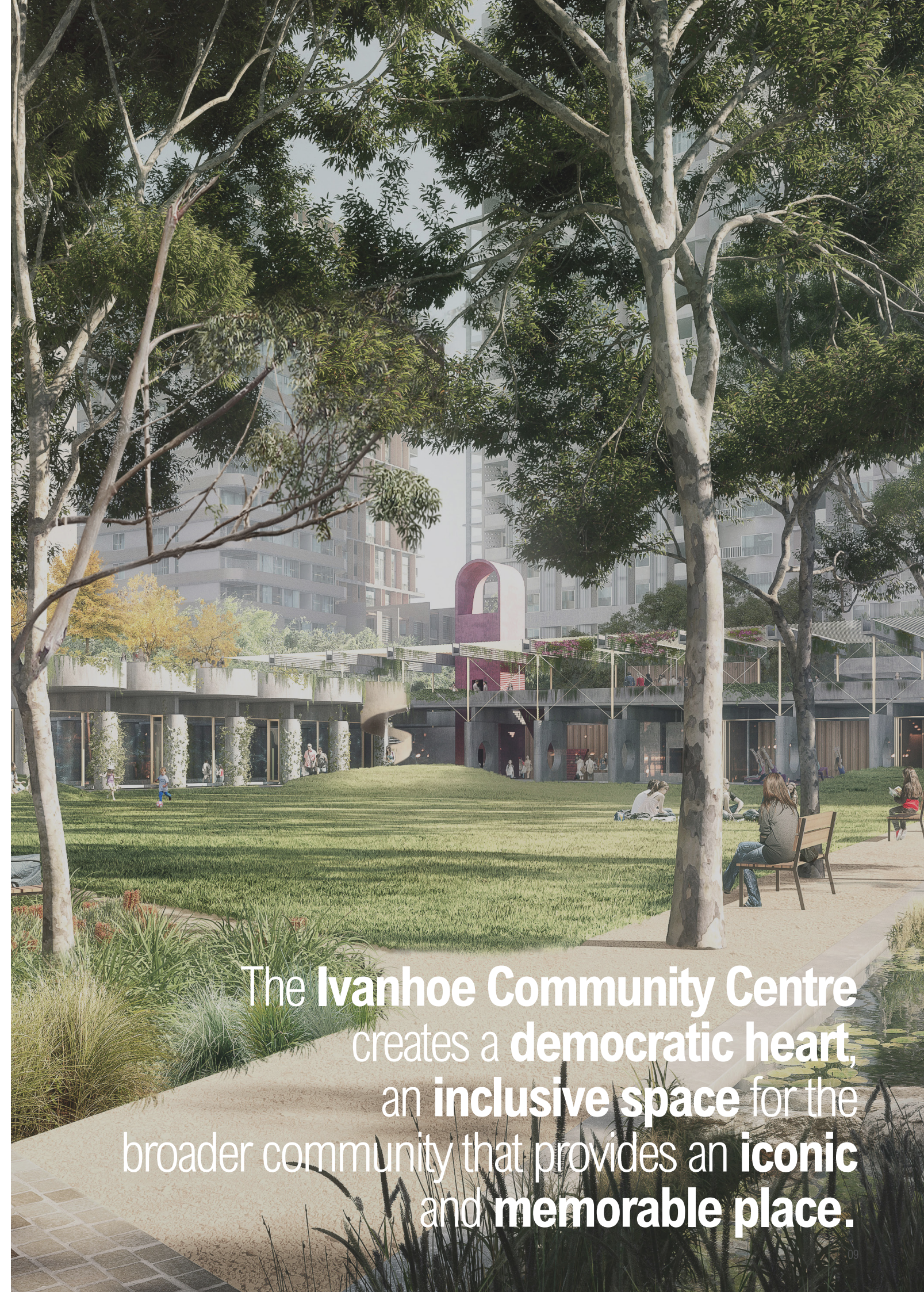
This Design Report has been prepared by CHROFI for Fraser's Property Australia and forms part of a Development Application to the NSW Department of Planning and Environment.

It describes the proposed design and architectural response for a site referred to as Lot C2 within Stage 2 of Masterplan State Significant Development Application (SSD8707). It is to be read in conjunction with a separate document prepared by McGregor Coxall, Landscape and Public Domain Report, under which application for design of the parkland and public domain around the site is also proposed.

The Ivanhoe Estate site is located in Macquarie Park near the corner of Epping Road and Herring Road within the Ryde Local Government Area (LGA). The site is approximately 8.2 hectares and will become a benchmark in integrated communities. It will provide over 3000 dwellings with a great mix of market, social and affordable housing. In addition, it will crate a unique vibrancy with active frontages, age care facilities, childcare centres, school, neighbourhood parks, town plazas and a jewel in the crown the Village Green and Community Centre.

In summary, the development proposes:

- Over 3,300m² of open green space between C1 and C3 towers
- A community centre and social enterprise café are located on the upper ground floor, with a total of 700m²
- A pool and gym facility on the ground floor that overlooks the park, with a total area of 1122m²
- Parking is provided within the adjacent C1 residential basement, and is accessed via a public lift which serves all floors.
- The proposal is integrated with the surrounding landscape, consisting of a community plaza, community terrace & garden, playground, central lawn and community veranda & harbour lining key through site links.



The **Ivanhoe Community Centre** creates a **democratic heart**, an **inclusive space** for the broader community that provides an **iconic** and **memorable place**.

2.0 Site and Context

2.1 Site Context

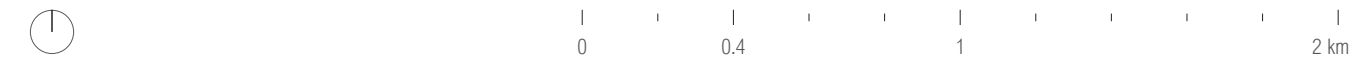
The Ivanhoe Estate is located in the suburb of Macquarie Park within the City of Ryde council in Sydney's north- western suburbs, about 10 kilometres from the Sydney CBD. Macquarie Park is identified as a Strategic Centre along the Global Economic Corridor under "A Plan for Growing Sydney" and as a Priority Precinct within the Epping and Macquarie Park Urban Renewal Area. It is an area of significant government investment in transport, infrastructure and education facilities.

Ivanhoe Estate is located within close proximity to Macquarie University Train Station (1km walk), Macquarie University (500m walk), Macquarie Shopping Centre (1km walk), and Macquarie Park business park. This strategic position creates an appropriate location for which to maximise the number of people living within close proximity to this great mix of attractors and mass transit.

The Ivanhoe Estate sits within a changing context planned to experience significant growth to meet the strategic targets set for the precinct. The diverse and changing context presents a unique opportunity to better tie into the surrounding fabric.



Figure 01: Site context plan



2.2 Site Location

The site is Lot C2 within Stage 2 of the Masterplan Development Application submitted to the Department of Planning and Environment in February of 2018 known as the Ivanhoe Masterplan. It is located near the corner of Epping Road and Herring Road within the Ryde Local Government Area (LGA). C2 is located at the centre of the masterplan, in between two new roads Main St and Neighbourhood St.

The masterplan will be developed in stages and when completed will accommodate around 3,400 residential apartments in a mixed tenure of both market, social and affordable dwellings. Dwellings will be provided in a 'tenure blind' manner such that market, social and affordable dwellings are indistinguishable from each other.

Given this increase in density the proposal will play a critical role of bringing together diverse users both within the development and also from the surrounding neighbourhood to create a democratic heart at the Village Green and Community Centre.

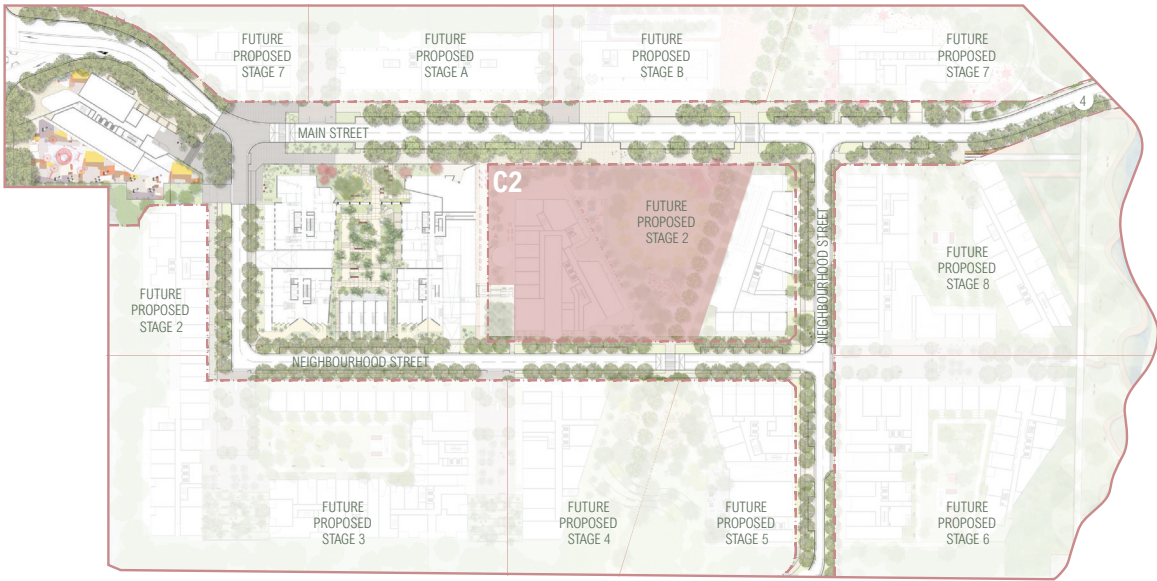


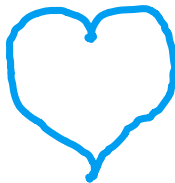
Figure 02: Site staging diagram



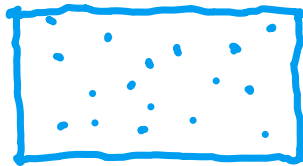
How can we increase the size of usable **green open space** and allow the building to become **part of the park** ?

3.0 Ambition and Site Approach

3.1 Initial Design Ambition



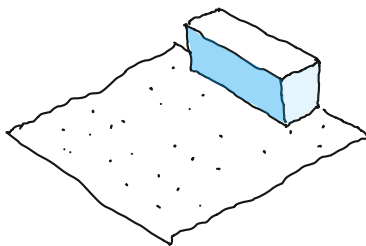
CREATE A
DEMOCRATIC
HEART



OPTIMISE THE SITES
POTENTIAL



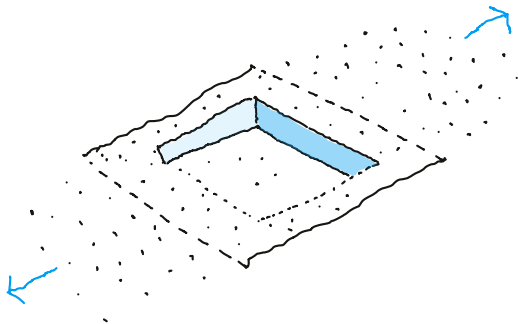
DELIVER AN ICONIC
AND MEMORABLE
PLACE



A DISCRETE OBJECT

The traditional approach with a clear definition between parkland and built form; in other words, a building and a park

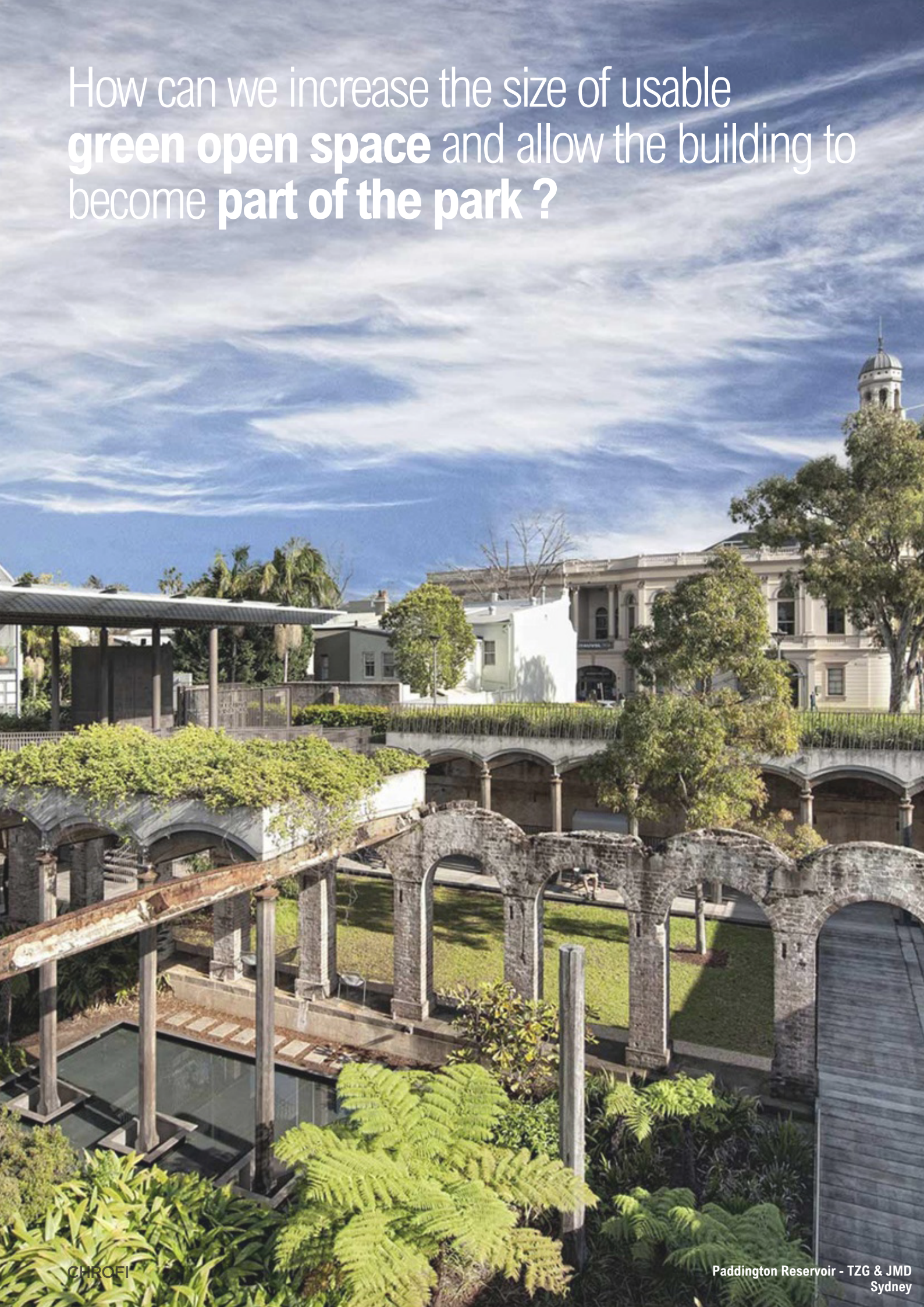
VS



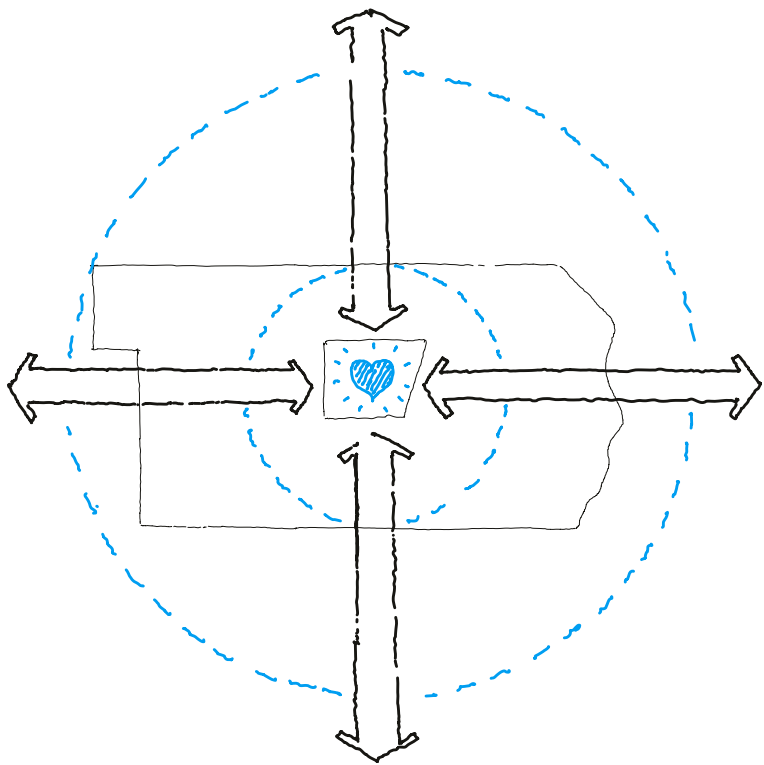
AN INTEGRATED APPROACH

An approach where the building form and parkland coalesce to define rich spatial relationships, while providing flexibility for a broad range of uses.

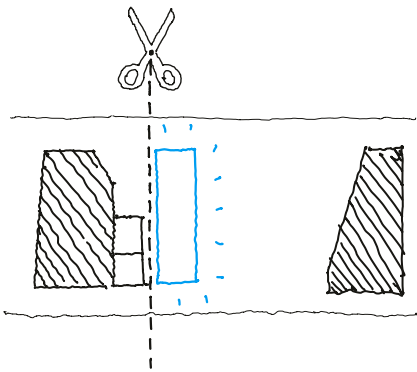
The site's potential is maximised, utilising the existing ground levels so park and building become one. By integrating landscaping and reducing visible built form the park extends beyond and into the surrounding development.



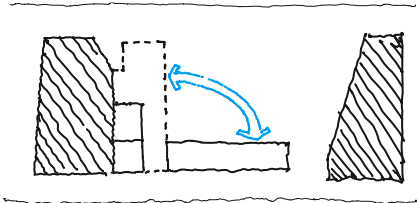
3.2 Site Approach



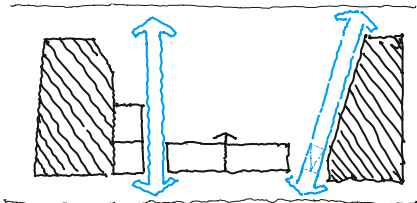
HOW DO WE CREATE A DEMOCRATIC HEART FOR MID TOWN?
Create an inclusive space that caters to the broader community



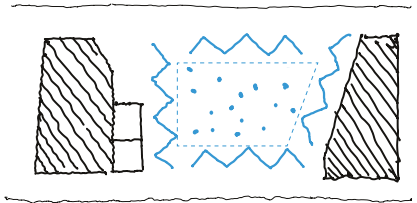
1. CREATE A PUBLIC IDENTITY
Organise the built form so that it is clearly independent from surrounding development



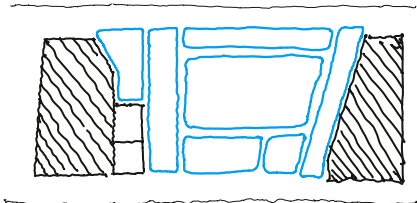
2. ROTATE VOLUME
Rotating the swimming pool to the southern edge allows the maximum amount of sun and light into the space.



3. DEMOCRATIC MOVEMENT
Allow the natural movement through the site to create democratic spaces for all



4. CREATE AN ACTIVE EDGE
Create places for activity at the outer edge of the park
Prospect and refuge



5. DIVERSITY OF SPACES
Provide a diverse range of places, spaces and recreational opportunities
A space for all

4.0 Design Approach

To democratise the park for all users, the ambition is to create a place where landscape and building are inseparable. By sleeving the built form into the sloping topography, much of the built form sits under the park.

Over the fullness of time, the buildings are designed in a way to be recessive to the landscape, softened by shade, play, colour and water elements. In this way, the park is extended right to the street and beyond the site.



Park Güell by Antoni Gaudí
Barcelona, Spain

4.1 Design Principles

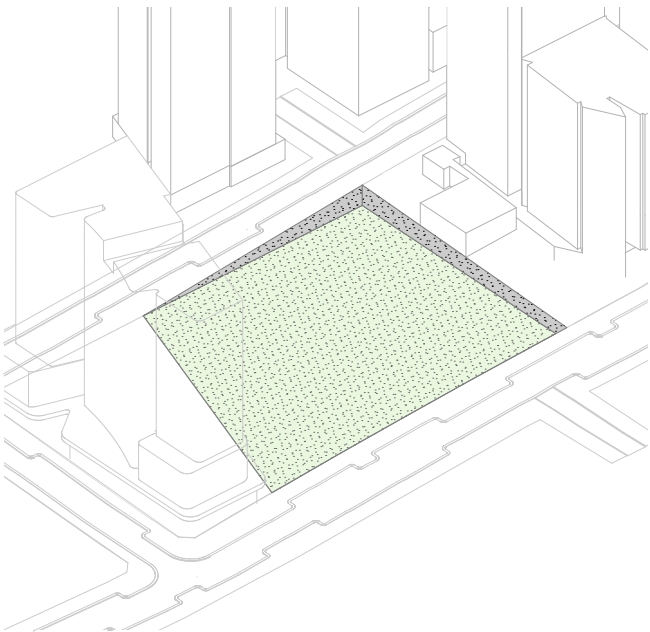
The following diagrams provide an overview how the proposal addresses and responds to the context, site characteristics, streetscape and existing and future character of the Ivanhoe locality.

Pool & Gym:

The built form sits on the lower level on grade with the Village Green park. The pool and gym facilities have a direct relationship to the activity in the park and provide good passive surveillance to these spaces. The building optimises the sites sloping topography to reduce the visible scale, with key facades exposed to the park, providing Northern/Eastern light and direct relationships to C3 retail/F&B edges. The rooftop spaces are then utilised as habitable spaces to host community gardens and through site connections.

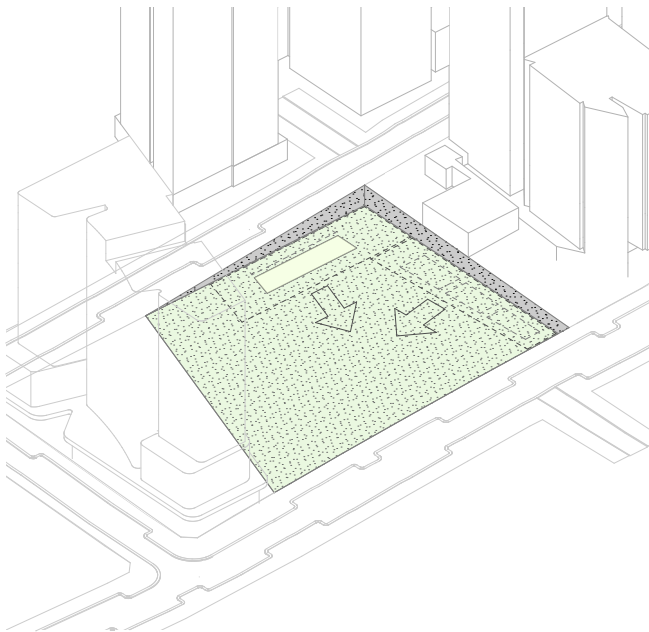
Community Centre and Social Enterprise cafe:

The Built form is arranged as a single storey linear building along the North/South through-site link connection between Main St and Neighbourhood St. The social enterprise cafe activates a North facing plaza, while a flexible community space sits underneath a landscaped pergola overlooking the Village Green to the East. At the Southern end, a second community space opens directly onto the community gardens adjacent Neighbourhood St.



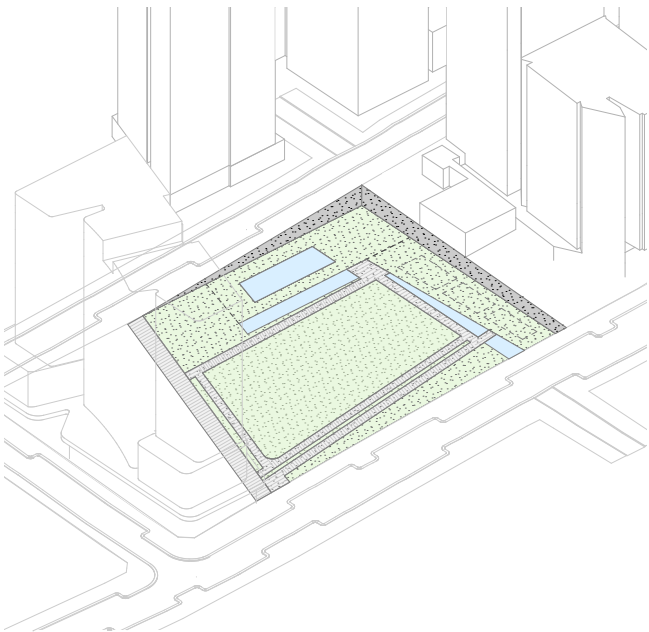
1. SITE

How to optimise the site with a sloping topography?
Lower level park approx. RL - +49.50



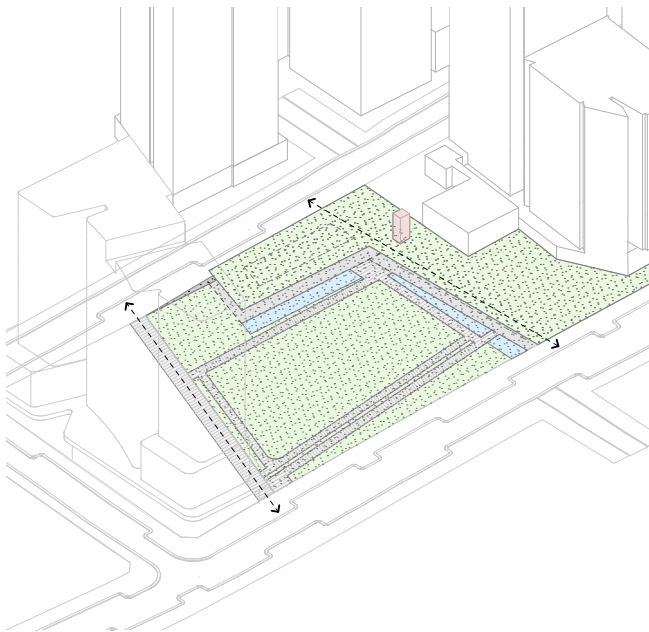
2. INSERT BUILT FORM WITHIN THE PARK

Insert the pool and gym program within the park along sandstone cutting/
C1 basement to reduce the visible scale when viewed from the street.
Insert kids play to the Northern edge to provide passive containment from
the street and shading from Northern sun along cutting.



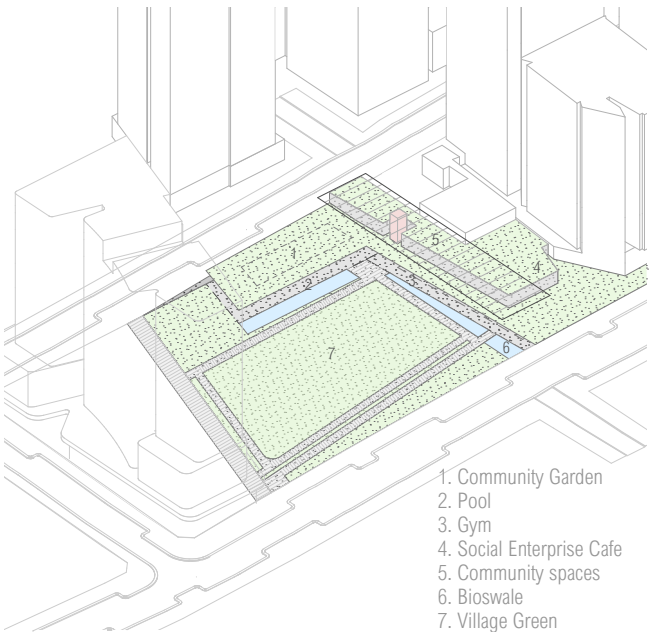
3. INSERT ACTIVE EDGES & MOVEMENT

Insert pathways and seating to the edges of the village green.
Provide reflective pond and Bioswale to building edge to provide privacy
buffer to internal spaces.



4. OVERLAY UPPER LEVEL PARK & THROUGH LINKS

Insert upper level park and through site links to sit above pool/gym and
connect both Main St & Neighbourhood St.











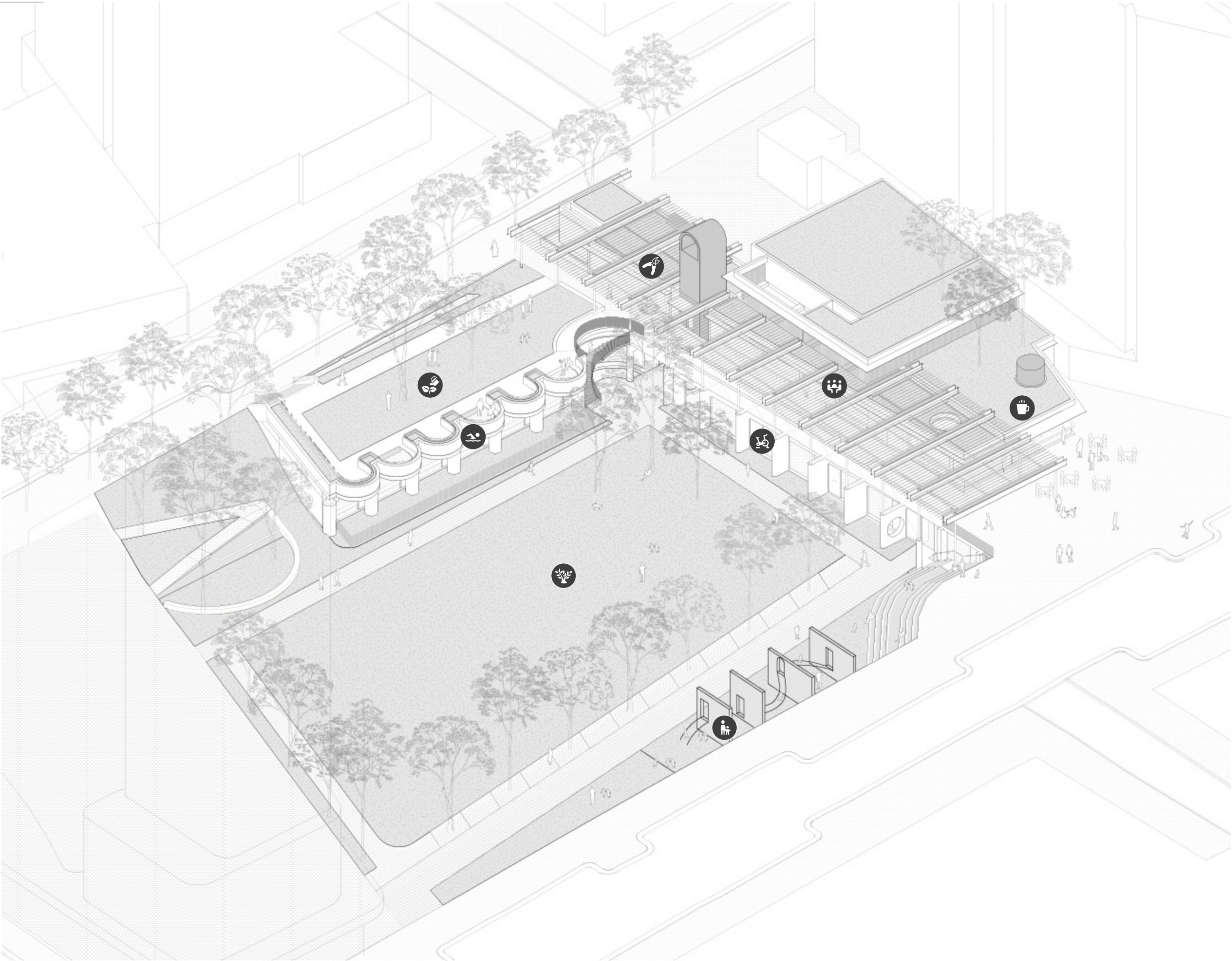
5. INSERT COMMUNITY ACTIVITY & VERANDA

Insert community spaces and cafe along the upper level through site link.

4.2 Uses

LEGEND

-  Cafe
-  Community Space 1
-  Community Space 2
-  Community Garden
-  Indoor Swimming Pool
-  Gym
-  Park
-  Kids Playground

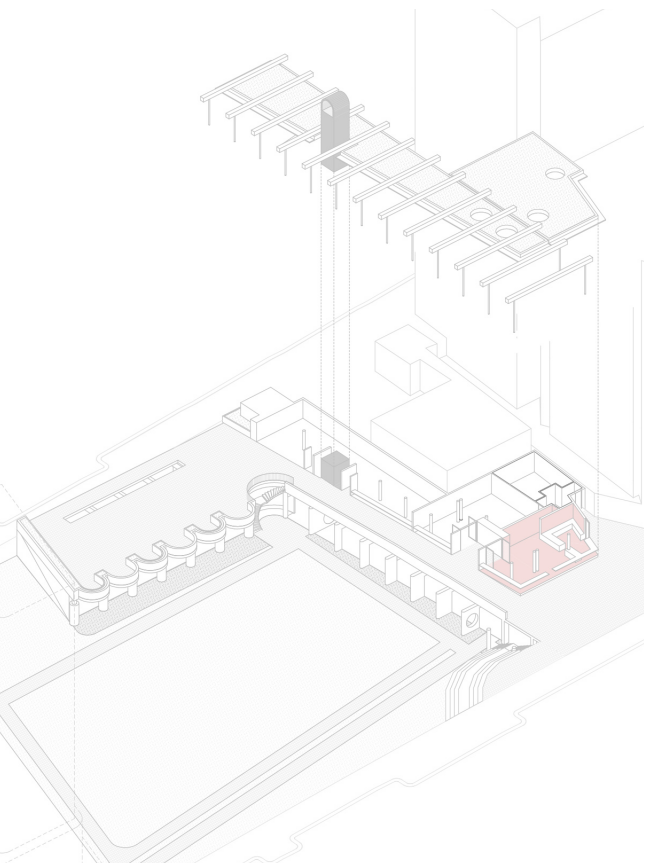
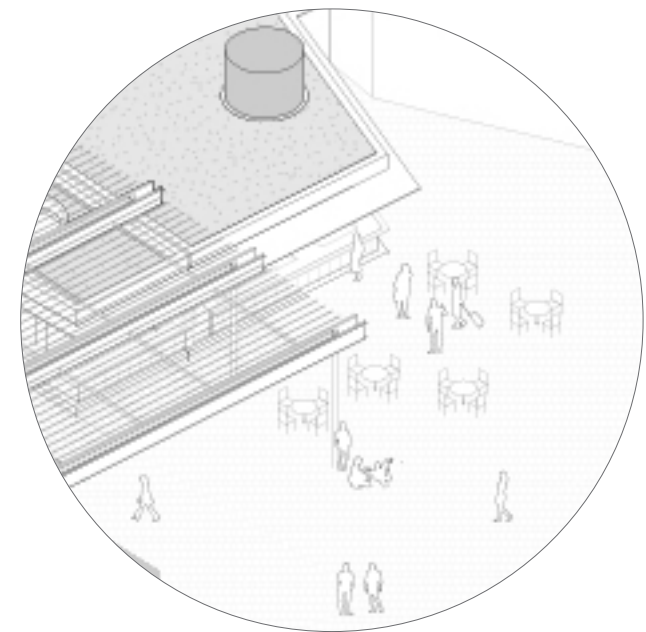


4.2 Uses

4.2.1 Cafe

The cafe is located at a key entry point into the park. It is located to directly activate the landscaped plaza to the North and provide a shaded veranda setting overlooking the park to the East. The space will be operated by Mission Australia as a social enterprise cafe, bringing together community, providing job opportunities and experience to those less fortunate.

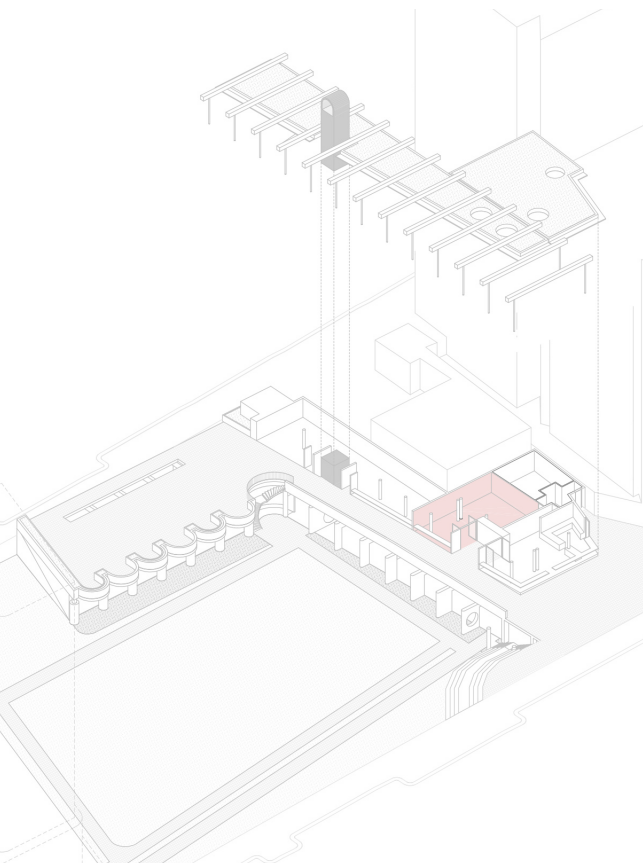
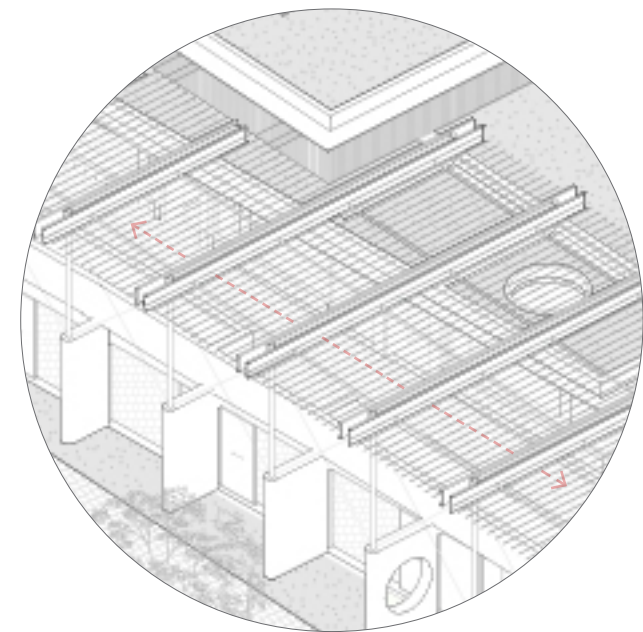
The facade is designed to open up the park, plaza, and veranda through site link with perimeter seating. The cafe is design for future flexibility to allow for the community spaces to open into the cafe for shared functionality. Accessible amenities are also provided behind within the cafe and serve the other community spaces.



4.2 Uses

4.2.2 Community 1

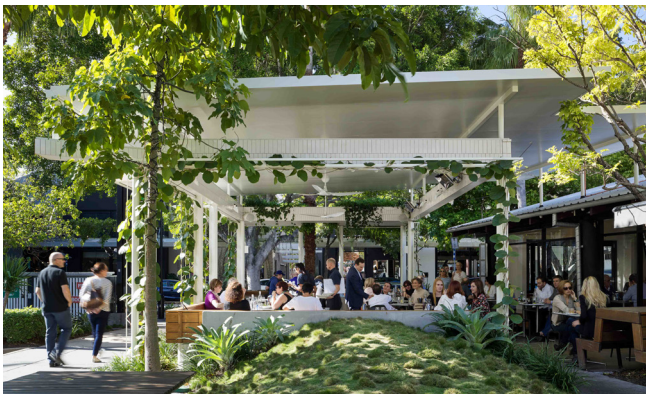
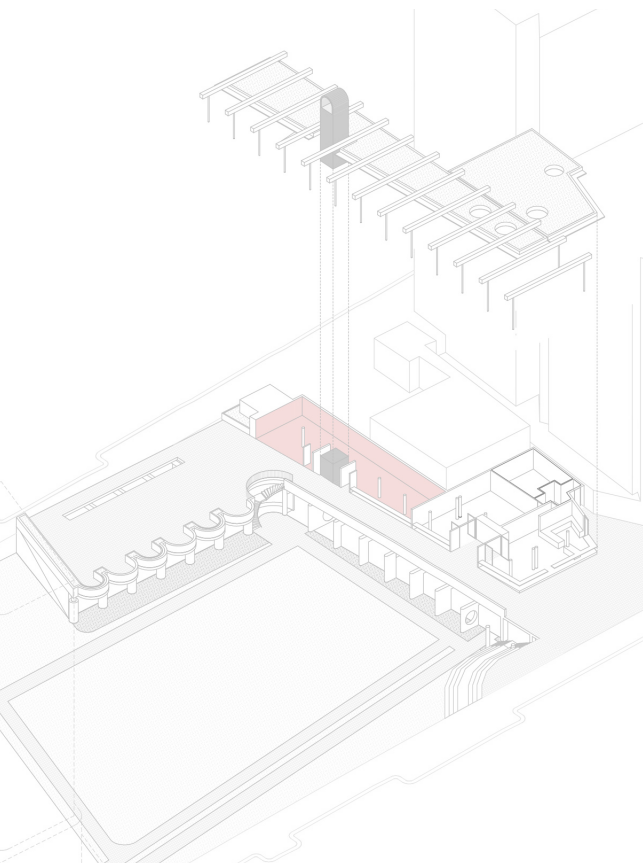
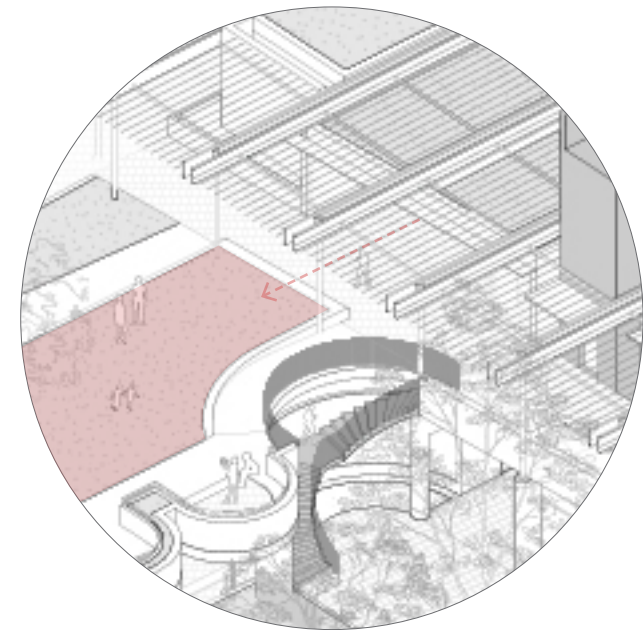
Sitting adjacent the cafe, the space will be managed by Mission Australia as a flexible community room for events, workshops and informal group gatherings. Accessed off the main through site link, the space also has the flexibility of operating as one large space together with the cafe to cater for a variety of events. Natural lighting is provided through fixed skylights, with a landscaped pergola providing shade in the summer months.



4.2 Uses

4.2.3 Community 2

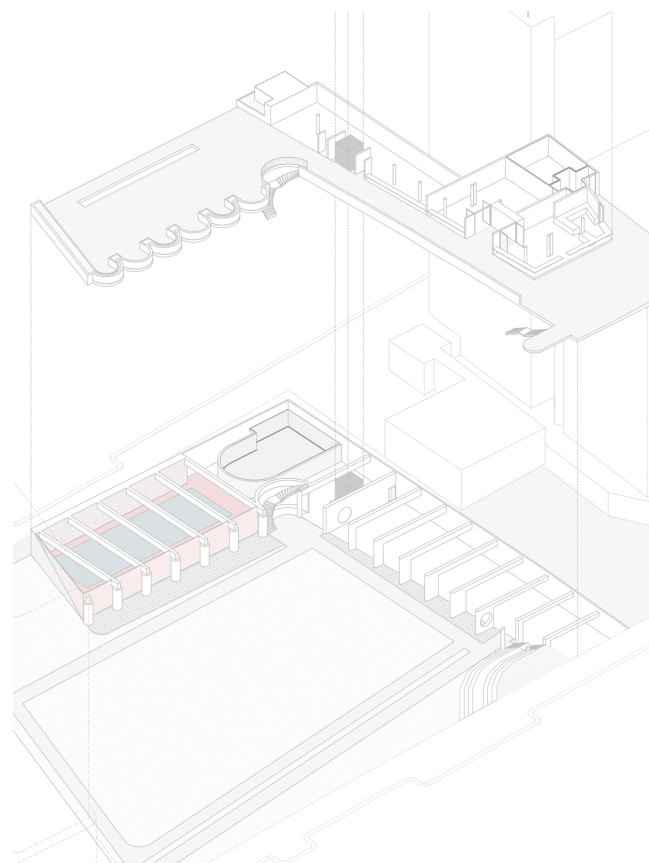
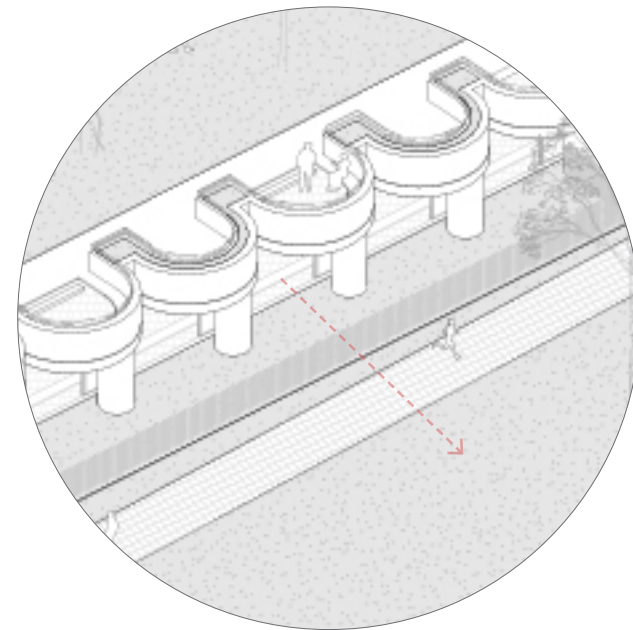
Located adjacent the community gardens as a supplementary flexible space. With a direct relationship to the community garden, it has the potential of hosting workshops, tool library, garden shed and function space.



4.2 Uses

4.2.4 Pool

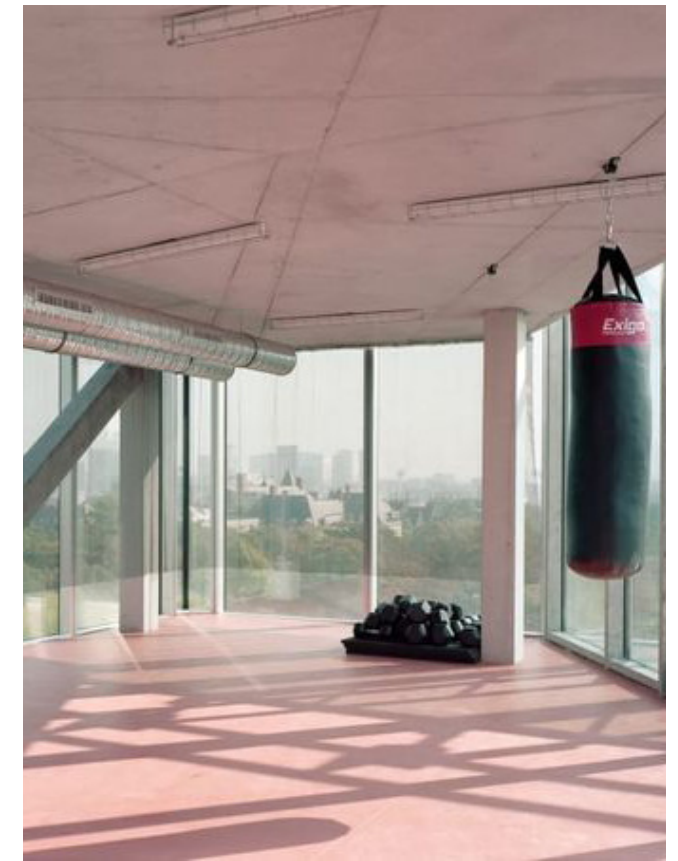
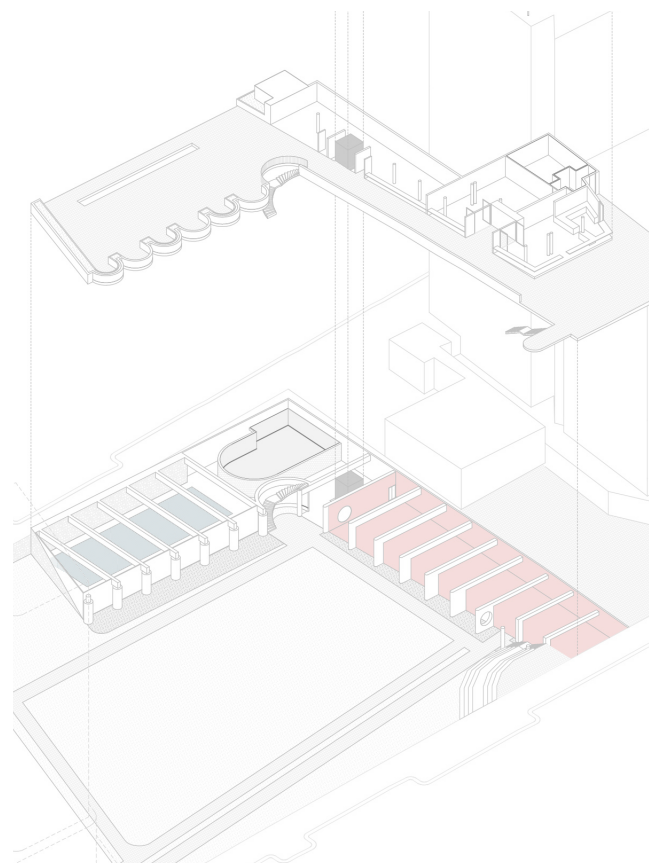
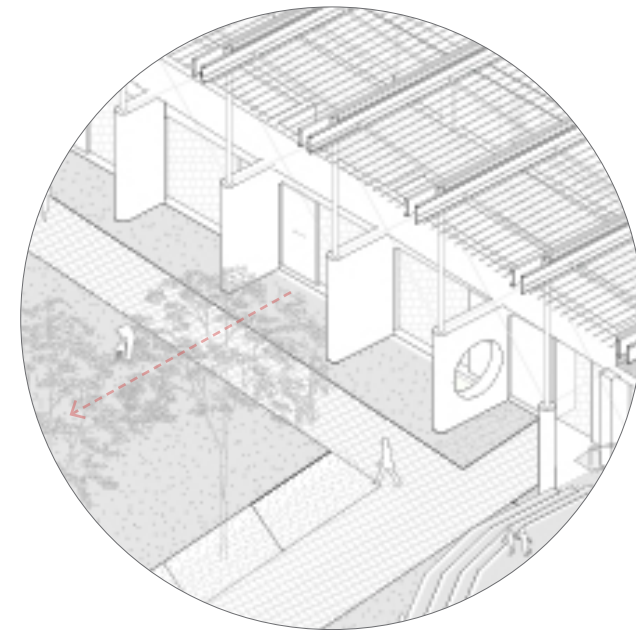
The indoor swimming pool is located along the Neighbourhood St edge facing North toward the park. Sitting partly under ground, the Northern frontage provides solar amenity during winter and is naturally ventilated with an operable facade during the warmer months. Natural daylighting is provided via skylights integrated into the community garden above, while unwanted heat gain is mitigated by carefully design overhangs. The 4 lane swimming pool is heated and will provide a year round facility for the community. The amenities, changing facilities and reception are located adjacent the public lift/stair and are to be shared with the Gym.



4.2 Uses

4.2.5 Gym

The Gym is located adjacent the pool and overlooks the park and playground. Sharing amenities/reception it has been designed as a flexible space with generous ceiling heights and an operable facade. Passive surveillance is provided across the park while privacy/ passive security is provided by a wetland edge along the perimeter. Both the gym and pool can be accessed either via the park entry points or by the basement car park of the adjoining residential building via the public lift.



4.3 Circulation & Wayfinding

Circulation:

The primary through site link on the lower ground level adjacent C3 links Main St and Neighbourhood St. At a masterplan level this green link extends to connect the existing Turpentine Bank forest and key open spaces within the site including Forest Play area, School Garden and Playgrounds.

The upper level through site link adjacent C1 provides an at grade connection between streets and provides a veranda edge condition to the community spaces overlooking the Village Green. Within the park, a clear perimeter circulation is established as a secondary level movement system, with integrated landscape and seating.

Vertical circulation objects have been strategically placed at the intersection of these, with considered design elements combining viewing platforms, publicly accessible lift and stairs as way finding markers.

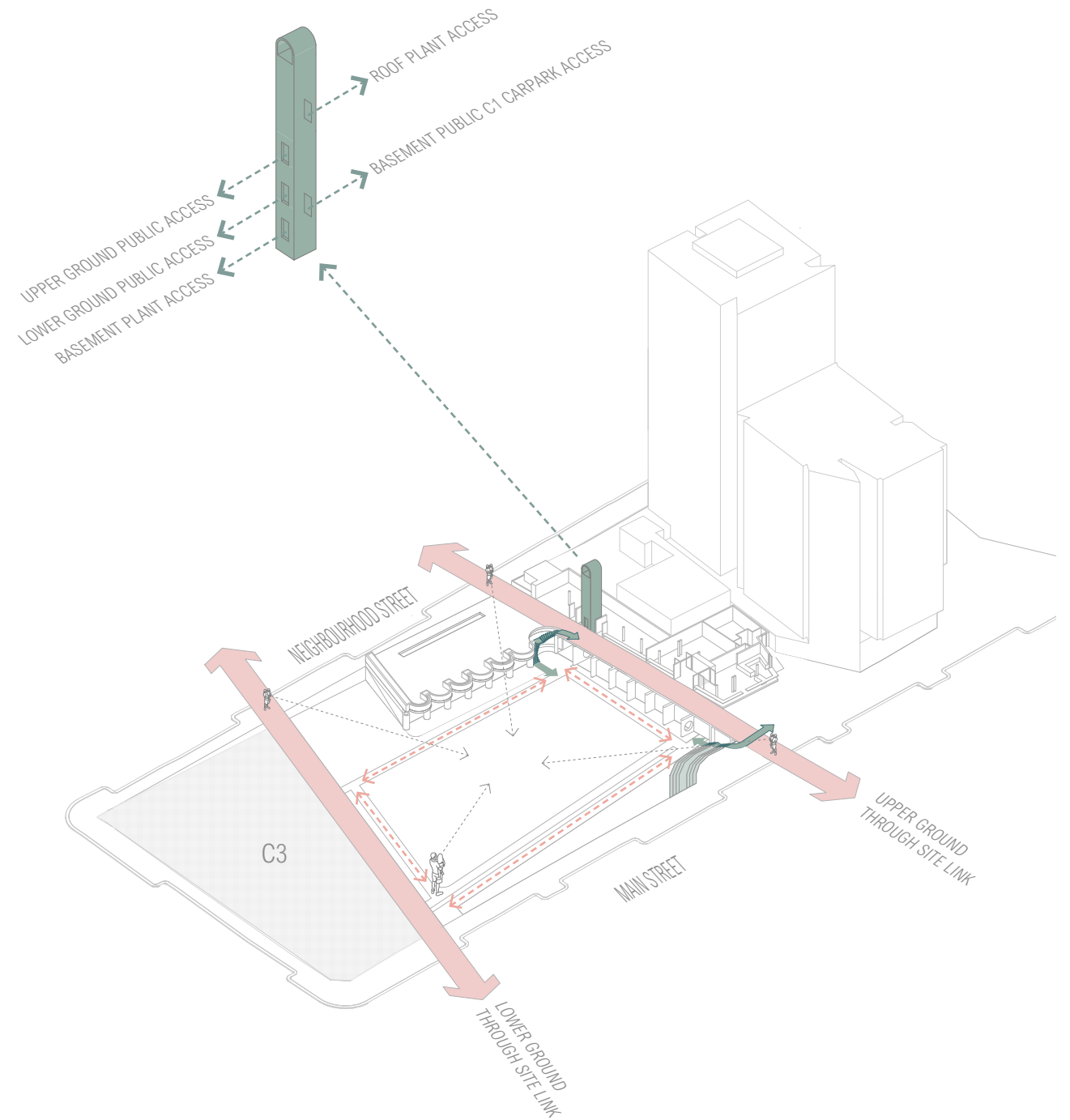
In the South West corner of the site, a grand spiral stair is located adjacent the pool and gym lobby and is intended to be a playful way finding element within the park. The public lift has been designed as a singular, colourful object and connects the upper and lower levels of the park, and also provides access to the public car park and maintenance access to the green roof and integrated plant areas.

In the North West corner, a key entry point into the park, a series of landscaped terracing steps connect the park and community plaza. These connections points utilise the level changes by providing passive shading and containment to playground areas, whilst also celebrating the arrival experience and sandstone materiality of the site along the northern wall.

Way finding:

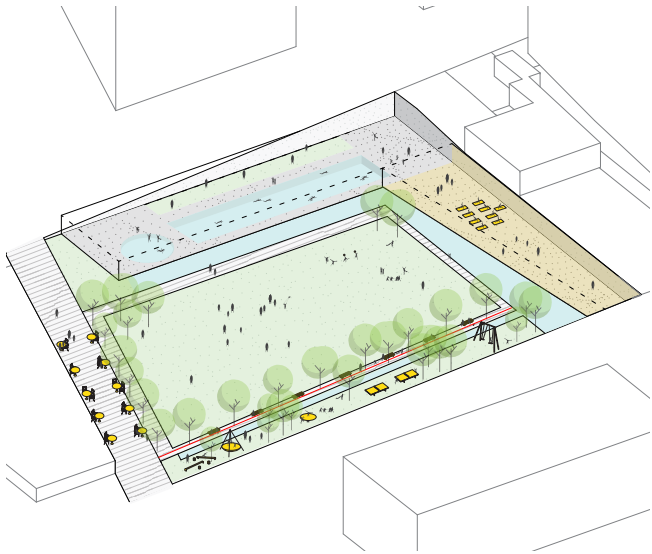
The alignment of horizontal and vertical movement paths has been strategically coordinated to provide clear sightliness for easy way finding around the Village Green. The upper level veranda provides great views across the park toward C3 retail areas, while each entry points has clear views to the community facilities and pool and gym spaces.

The public stairs and lifts have been designed as playful, colourful objects to be used as meeting points and indirect way finding elements.

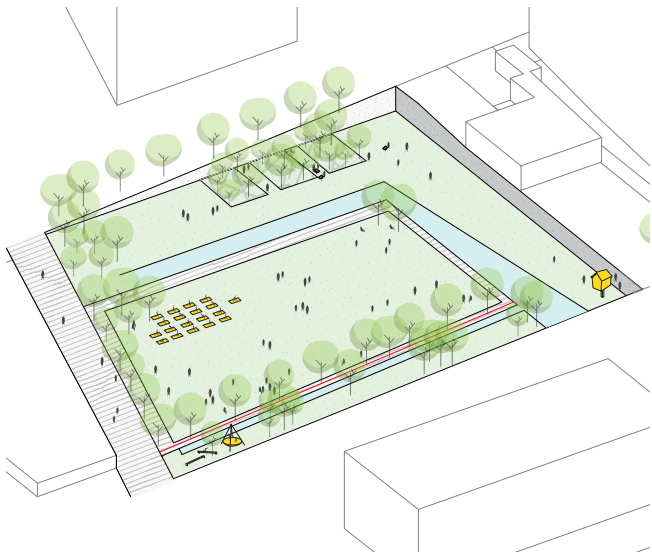


4.4 Flexibility of Use

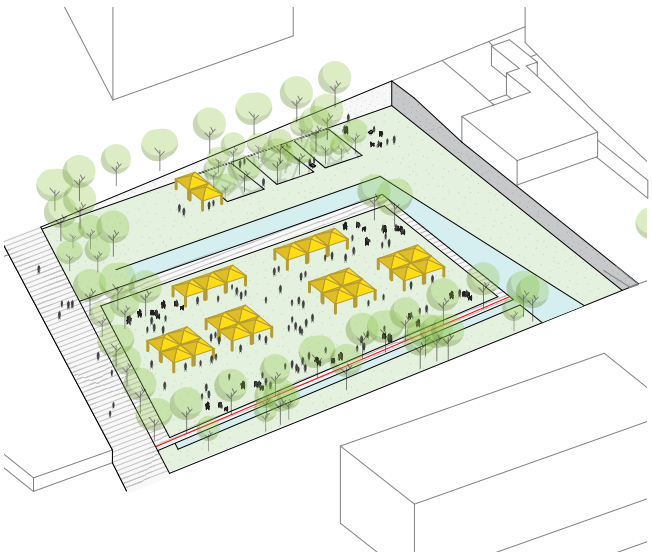
The Village Green and Community Centre are designed to be inclusive, and to accommodate a wide range of user groups with diverse and flexible programing.



EVERYDAY MODE



COMMUNITY WORKSHOP MODE



SUNDAY MARKET MODE

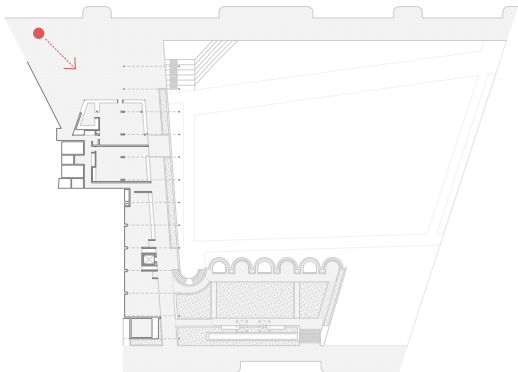
4.5 A Day in the Life

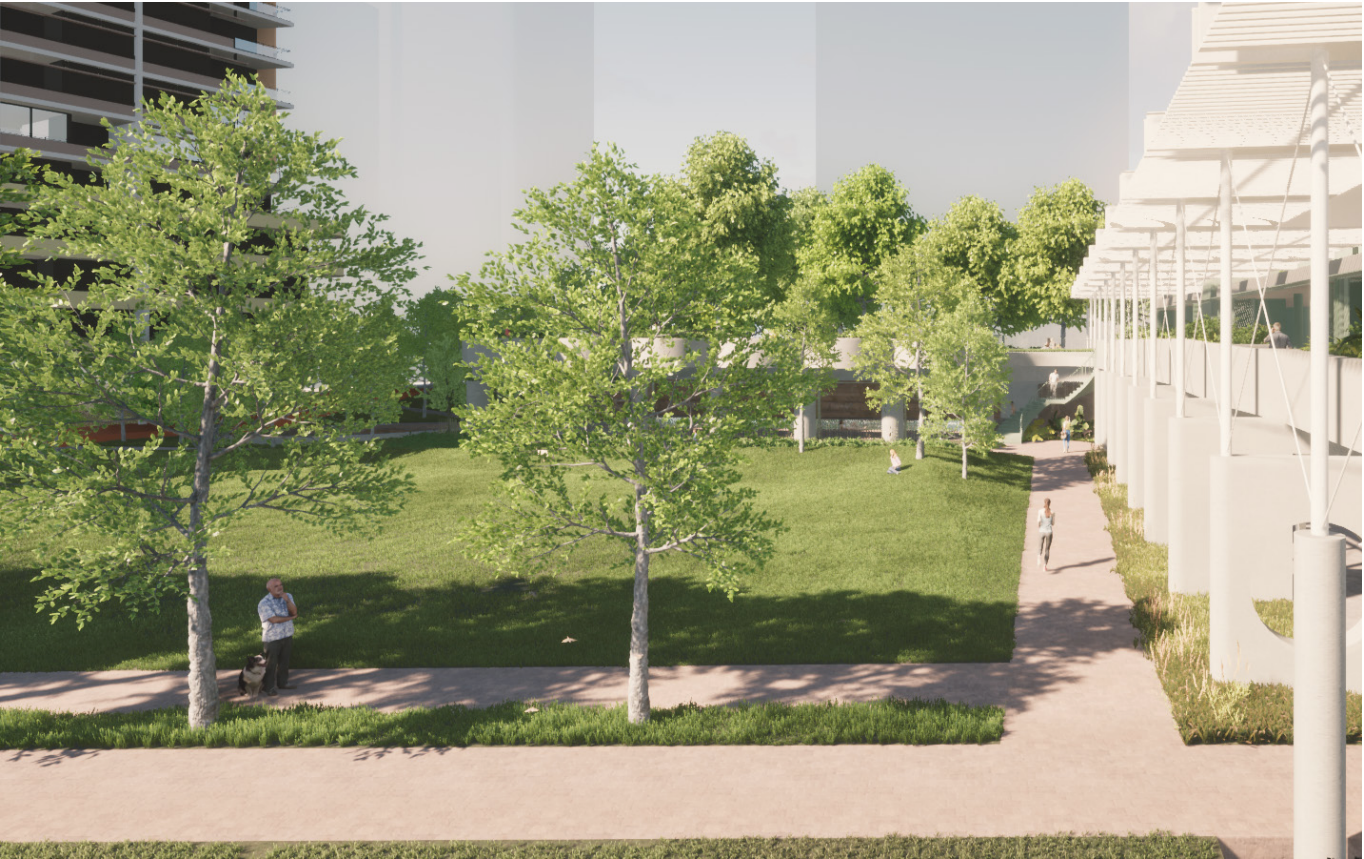
The ambition for C2 Village Green and Community Centre is to provide an inclusive place. The park and community spaces have been designed to cater for a range of user groups, with both active and passive uses. In the fullness of time these space will take on their own character. Both landscape and the users will take ownership of the park and buildings. The below moments, are a collection of potential uses to illustrate the movement, function and experiential qualities of the proposal.



COFFEE WITH FRIENDS

View looking East from Main Street

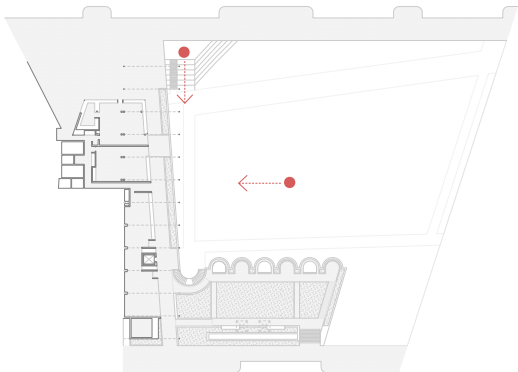




A MORNING WALK
View from Main Street looking over Village Green



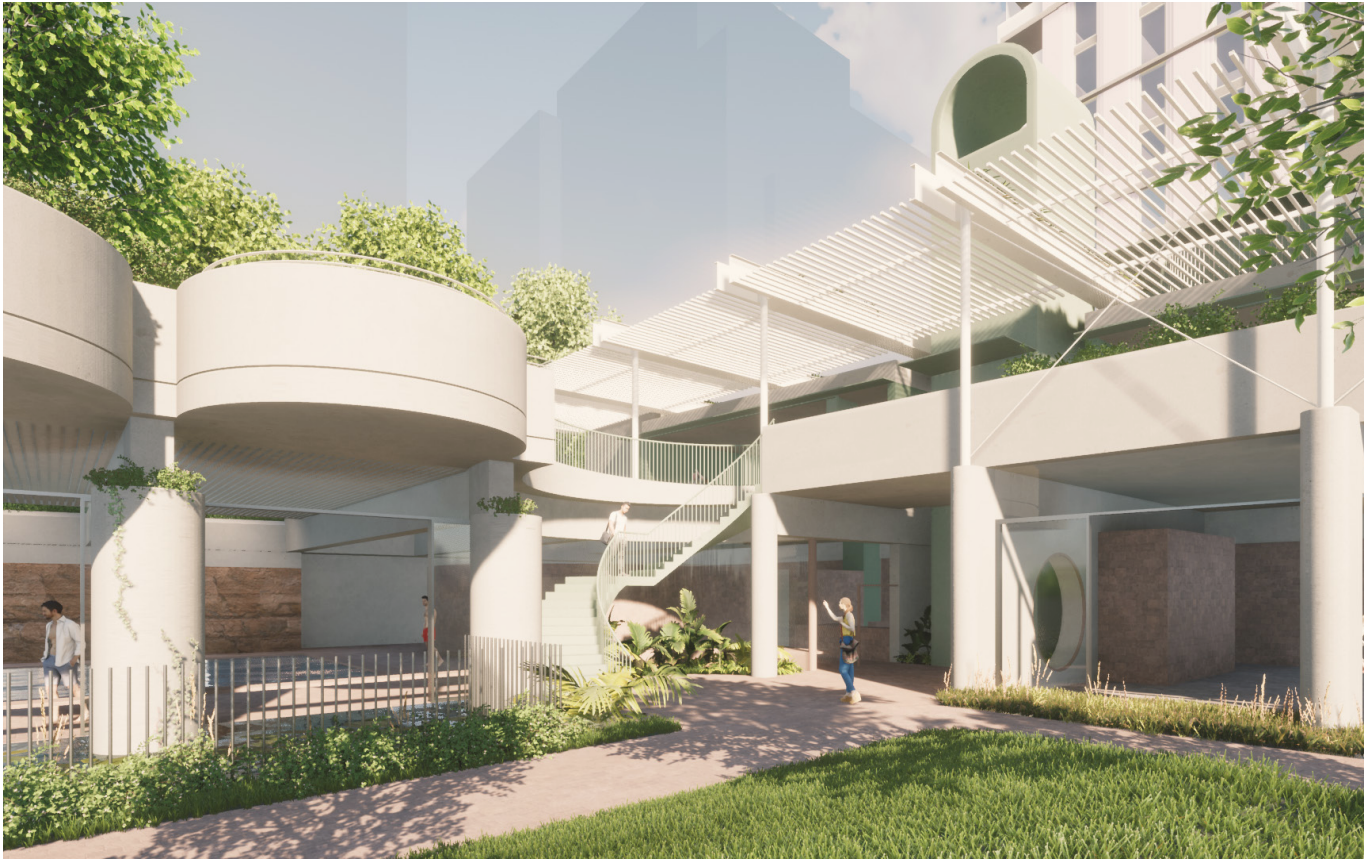
RUN IN THE PARK
View from Village Green





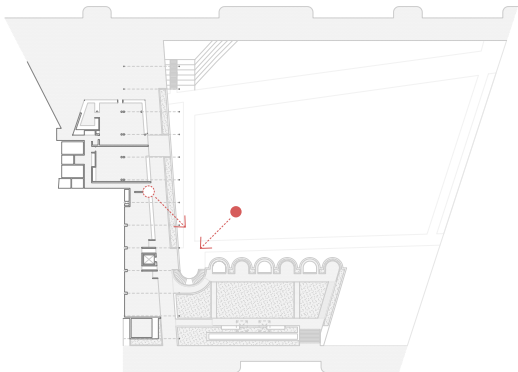
WORKOUT WITH A VIEW

View from gym toward Village Green



MEET YOU AT THE SPIRAL STAIR

View from Village Green toward lobby and marker

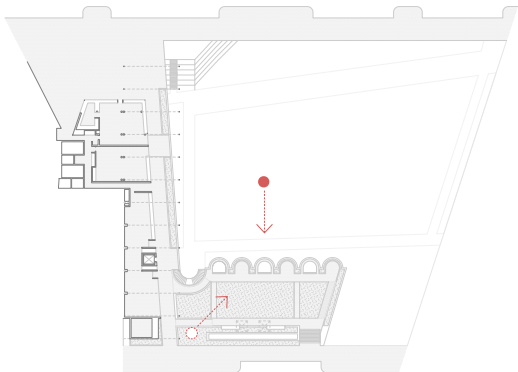




SWIMMING IN THE SUN
View from inside the pool



KICKING THE BALL IN THE PARK
View from Village Green toward pool

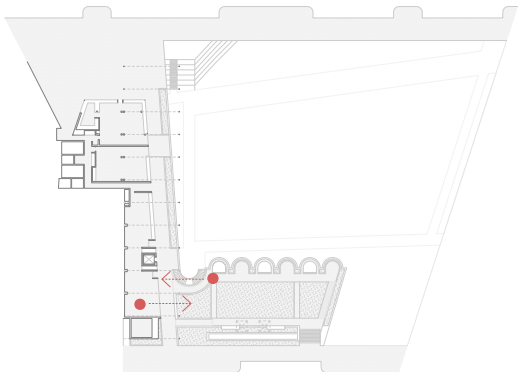




CHANCE ENCOUNTERS
View from community gardens toward Community Centre



AFTERNOONS AT A CRAFTING WORKSHOP
View from inside Community Centre

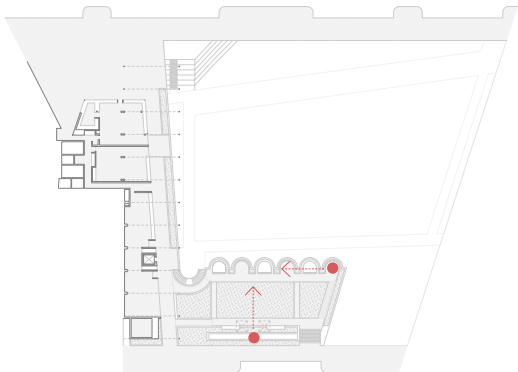




STROLLING THROUGH THE COMMUNITY GARDEN
View from community gardens toward Village Green



FINDING A QUIET SPOT ON THE BALCONIES
View from Community Gardens over Village Green



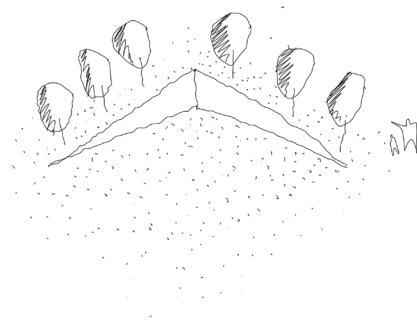
5.0 Facade and Materiality

Façade Concept & Ambition:

The façades have been designed to reinforce the connection with the parkland setting. At a larger masterplan scale, the intent is for the park to extend to the street edge and connect to the wider green networks of the Ivanhoe Masterplan. The façade has been considered as three key elements as described below;

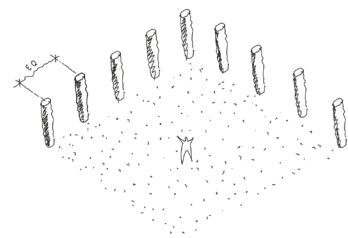
The Landscape:

Landscape has been used as an integrated building element, forming a key part of each façade. Planters and community roof gardens are used to embed the building into the park. This provides more usable green space and reduces the visual scale of the buildings, but also provides the opportunity for sustainable approaches to biophilic design, greater biodiversity and a reduction of heat island effect. Where possible, the existing materiality of the site, such as the excavated sandstone cutting, has been retained and forms part of the internal façade.



The Cloister:

The buildings sit within the sloping topography, with active façade edges to the pool, gym and community spaces forming a cloister like edge to the Village green. The perimeter colonnade is set to a 5m structural grid creating a human scale and civic gesture to the park. The grid is used as a unifying element to compose the façade of the indoor swimming pool, gym and community buildings. Each façade has its own unique identity; optimised for solar efficiency, internal program use and context within the park. Together these buildings form a legible and singular community facility for the Ivanhoe Village Green

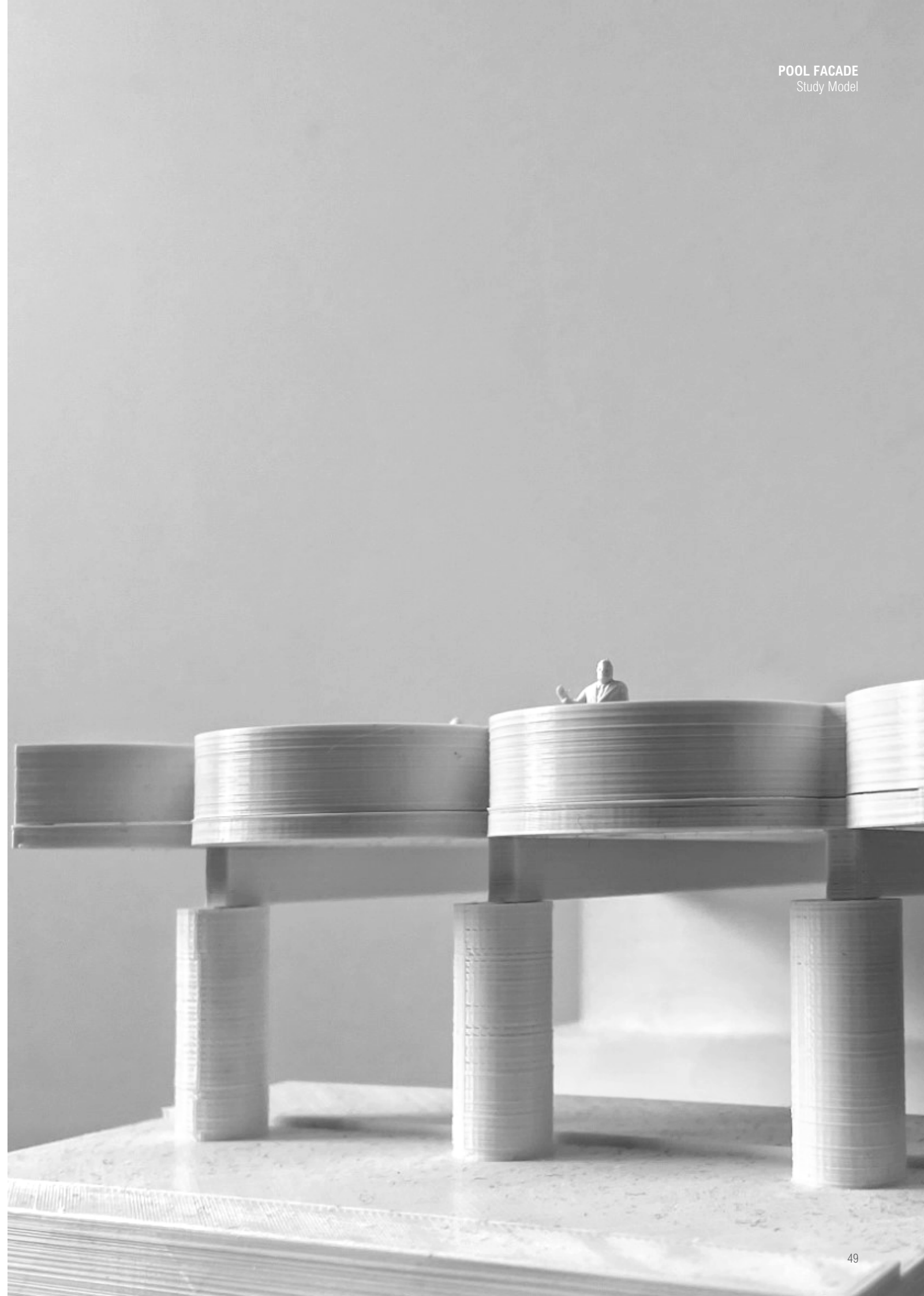


The Veranda:

The upper through site link connecting Main St and Neighbourhood St is conceived as a large community veranda overlooking the park. The facades to the community buildings are design to be operable and open directly onto these spaces. Embedded within the facade are landscape elements for seating, viewing and planting. The pergola structure provides shading and is designed with integrated planting to provide visual amenity to the surrounding apartments.

Materiality:

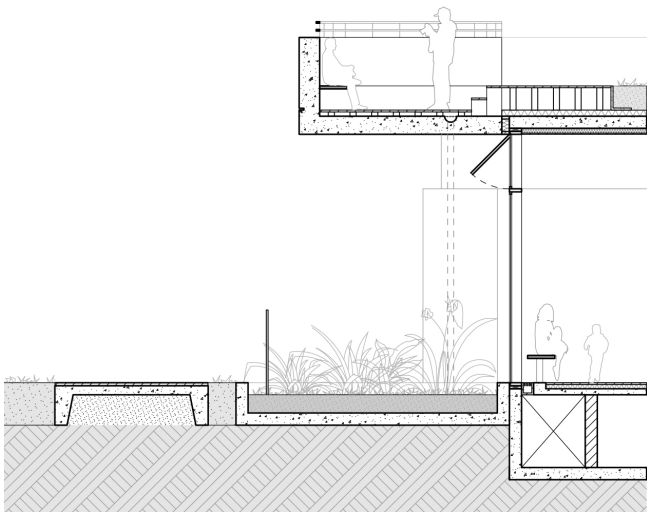
The use of concrete is chosen as a robust material that will take on a natural patina and form part of a backdrop to the landscape in the fullness of time. Further, the selection of materials and colours have been guided by the Ivanhoe Masterplan Design Guidelines, which propose the use of self finished, durable/low maintenance materials with the use of colour consisting of naturally occurring hues.



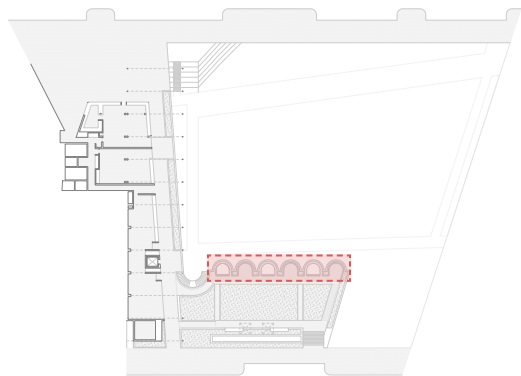
5.1 Pool - Park Facade

The expressive concrete column and beam frame spanning the pool opens to the park with a series of operable sliding doors. Above a roof structure supports the community garden with alternative seating booths and viewing balconies and consists of the following design considerations:

- Operable/open facade that allows passive cooling/heating strategies
- Balcony overhangs optimised to allow for passive shading in summer
- Integrated seating edge to the North facing concourse of pool
- Integrated planting within balcony above
- Integrated reflective ponding and planting to soften the interface to park and provide privacy
- Discreet balustrade set within the landscape and reflective pond
- Drainage to be cast within structural concrete columns and beams
- Use of robust materials such as concrete and aluminium framing
- Exposed sandstone foundations to form internal wall finish
- North facing facade maximising natural light



SECTION
Pool Facade Detail

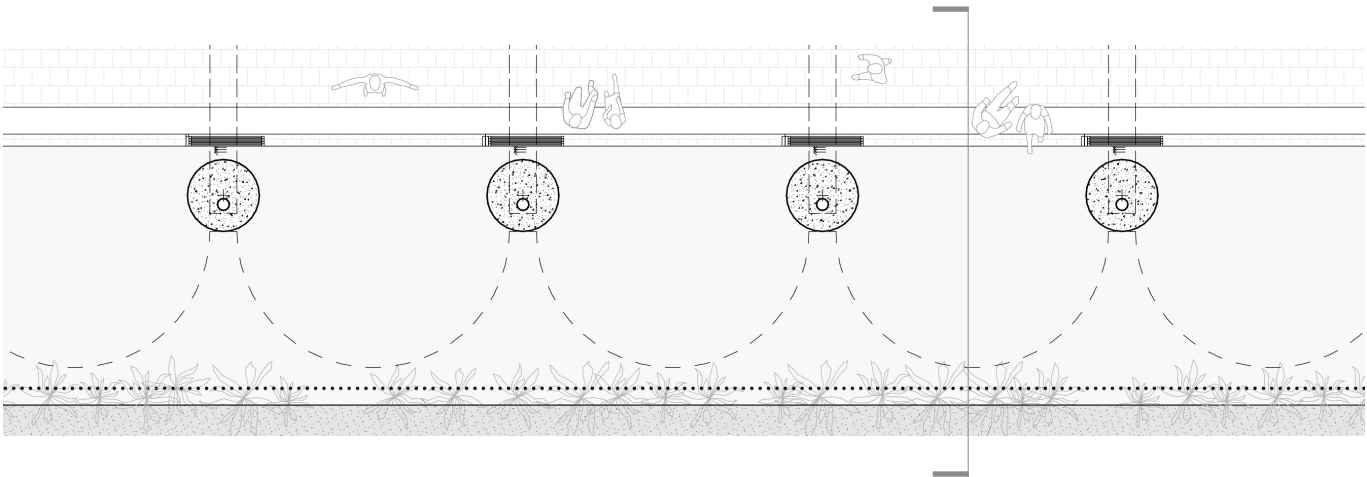


LOCATION PLAN
Pool Facade



- LEGEND**
- A** Steel balustrade
 - B** Insitu concrete
 - C** Aluminium sliding doors - Powder coated
 - D** Porphyry paving
 - E** Integrated planting to alternate balconies

PERSPECTIVE
View From Park

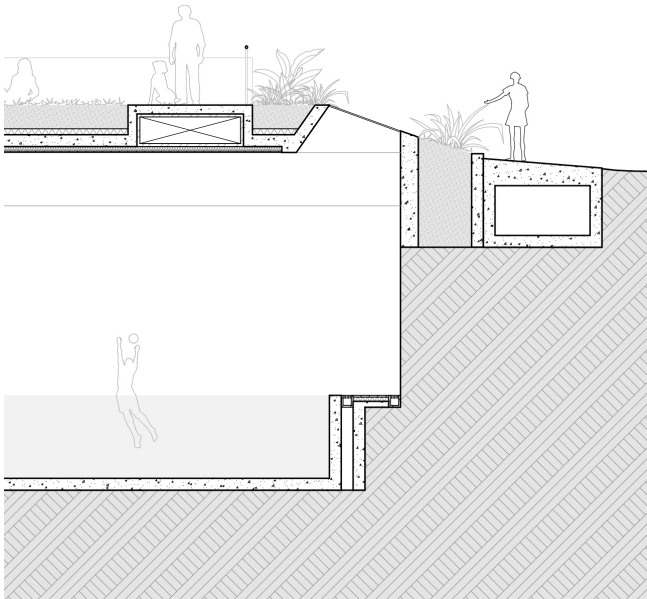


PLAN
Pool Facade Detail

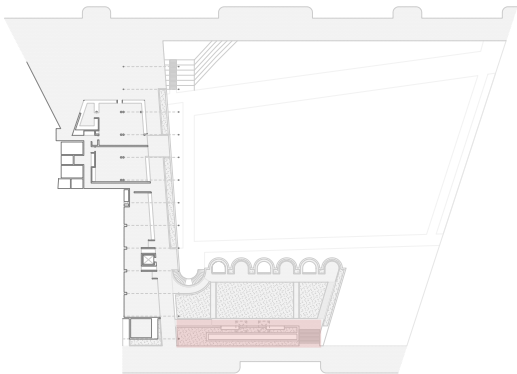
5.2 Pool - Skylight & Street

A tapered fixed skylight allows natural light into the pool and across the exposed sandstone cutting. A series of integrating planters help soften the street interface to Neighbourhood St and allow for clear views into the community rooftop garden, but also into the activity of the pool below and consists of the following design considerations:

- Fixed skylight to allow natural light and views into pool and park
- Integrated planting elements within street edge and community garden
- Integrated mechanical ducting within floor build up of rooftop garden
- Use of robust materials such as concrete and aluminium framing
- Exposed sandstone foundations to form internal wall finish



SECTION
Pool Facade Detail

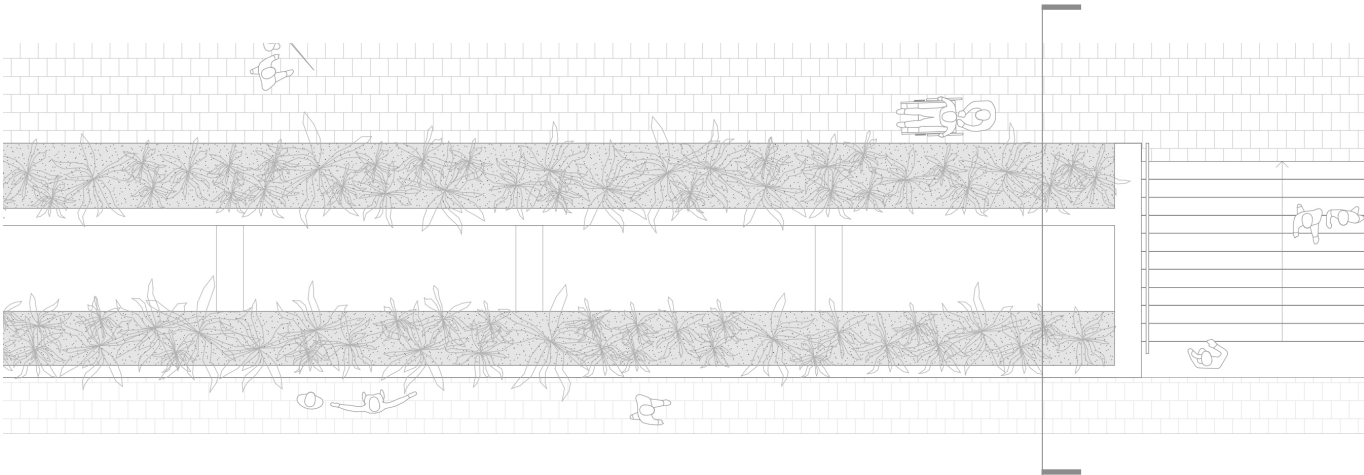


LOCATION PLAN
Pool Facade



LEGEND
A Fixed skylight
B Insitu concrete

PERSPECTIVE
View From Neighbourhood Street

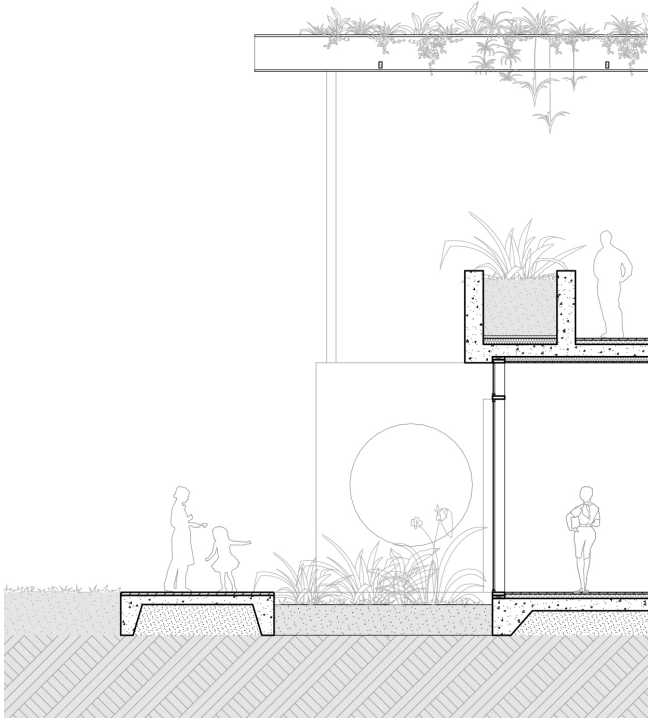


PLAN
Pool Facade Detail

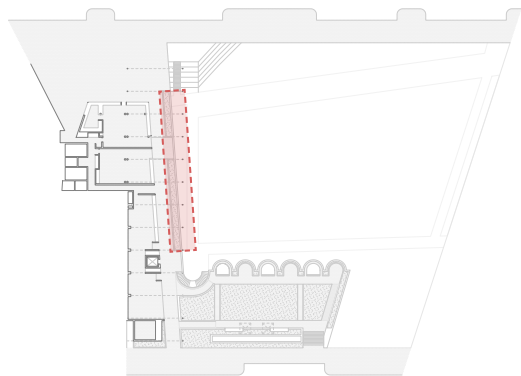
5.3 Gym & Pergola

At ground level, deep concrete blade walls are embedded into the landscape and provide privacy to the gym. On the upper level, the through site link between Neighbourhood St & Main St is provided with a pergola structure, forming a veranda overlooking the park with integrated planting. Facade is design be operable to allow the gym to be naturally ventilated and and consist of the following design considerations:

- Deep insitu concrete blade walls provide privacy to the gym
- Operable/open facade that allows passive cooling/heating strategies
- Integrated planting within balcony above
- Integrated Bioswale to soften interface to park and provide privacy
- Steel framed pergola with aluminium shade structure between with integrated planters
- Drainage to be cast within structural concrete columns and beams
- Use of robust materials such as concrete, steel and aluminium framing



SECTION
Gym Facade Detail

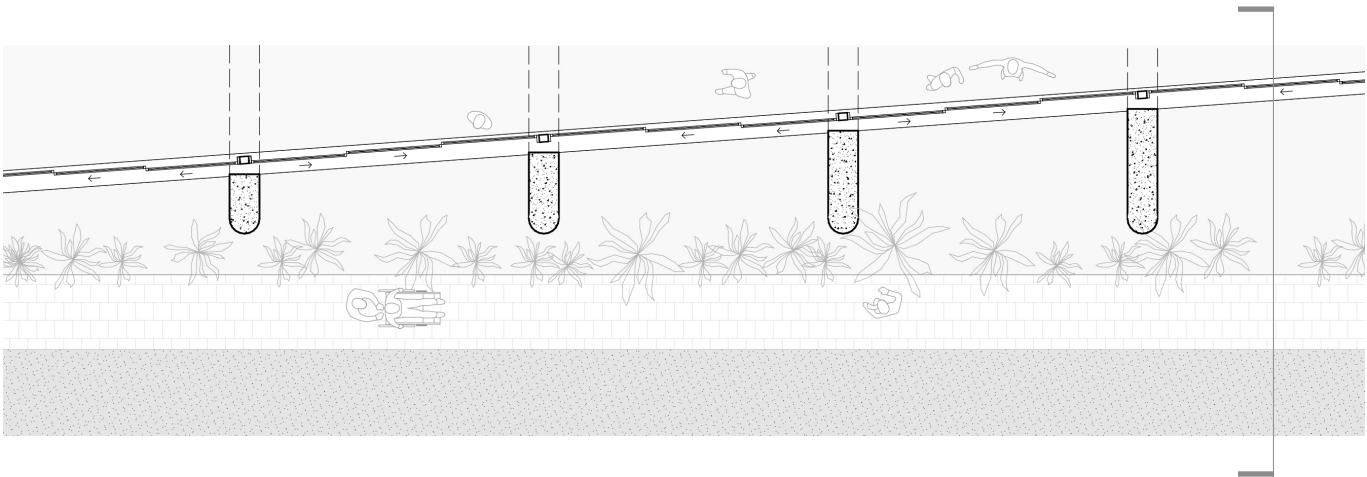


LOCATION PLAN
Gym Facade



LEGEND
A Planterbox between steel structure
B Painted steel arbour structure
C Insitu concrete
D Aluminium sliding doors - powder coated
E Porphyry paving

PERSPECTIVE
View From Park

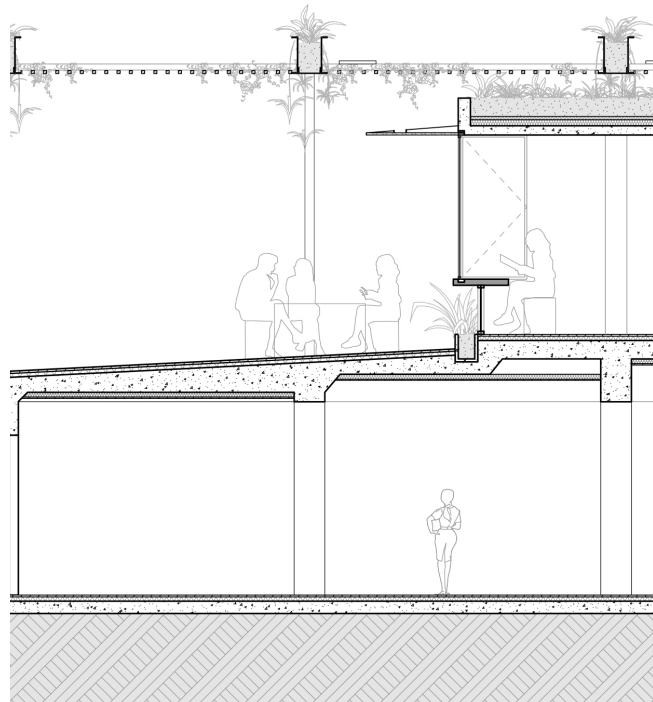


PLAN
Gym Facade Detail

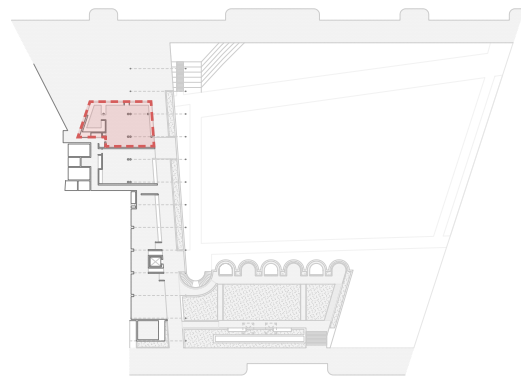
5.4 Social Enterprise Cafe & Community Spaces

Located on the upper ground level, the social enterprise cafe and community spaces open directly onto the community plaza and veranda overlooking the Village Green. The facades have been designed to be welcoming to the community, with operable facade that allow for flexibility of use, and consist of the following design considerations:

- Operable/open facade that allows for indoor/outdoor relationship to the community plaza and provide passive cooling/heating strategies
- Integrated planting within green rooftops and pergola above
- Fixed horizontal shading elements provide solar and rain protection to openings
- Integrated perimeter bench and seating supports active public realm
- Use of robust concrete is softened with a pigment and integrated planting



SECTION
Cafe Facade Detail

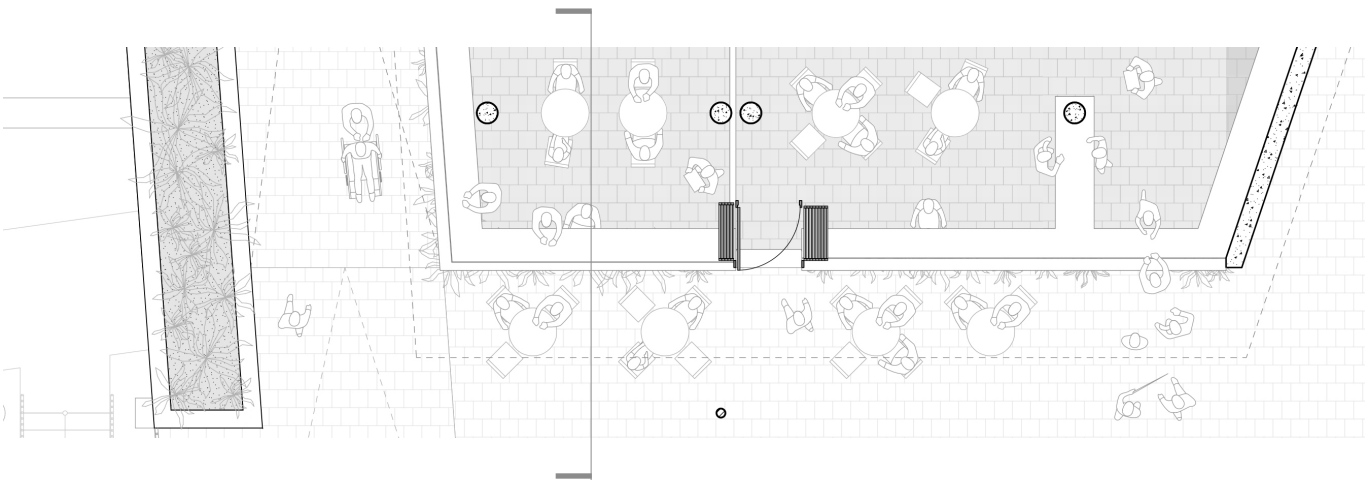


LOCATION PLAN
Cafe Facade



PERSPECTIVE
View From Park

- LEGEND**
- A Insitu concrete
 - B Painted steel arbour structure
 - C Aluminium bifold windows - powder coated
 - D Pigmented concrete walls
 - E Timber bench
 - F Porphyry paving

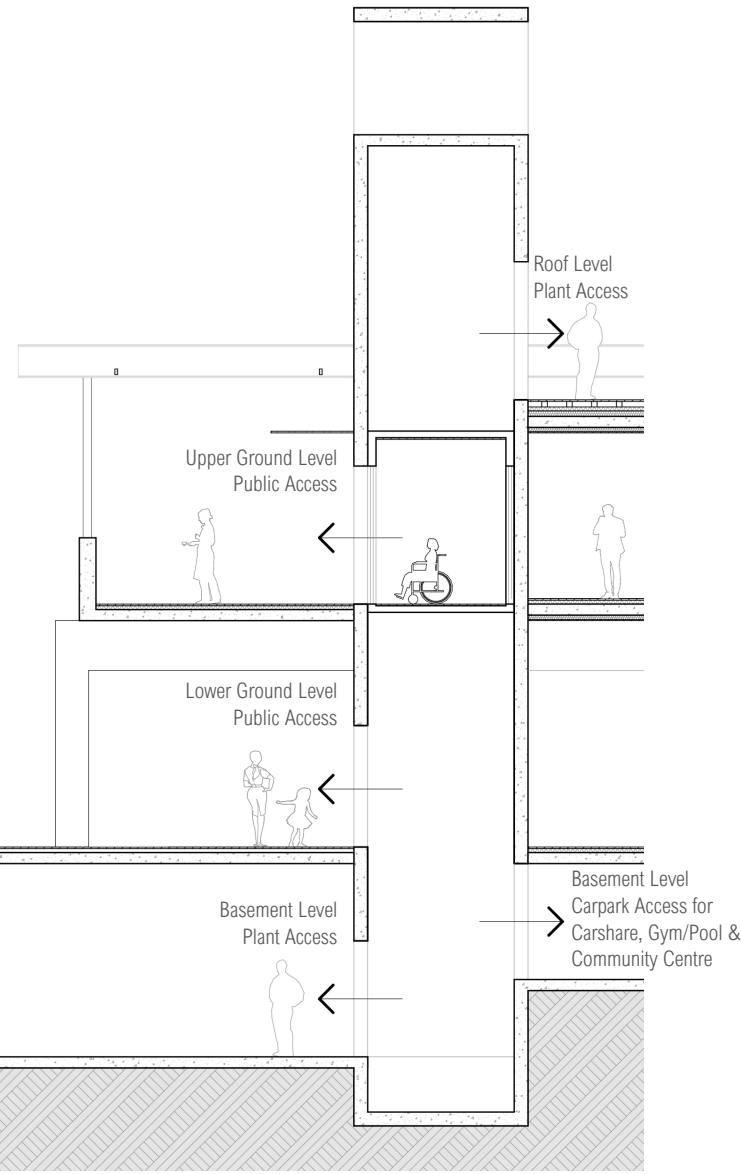


PLAN
Cafe Facade Detail

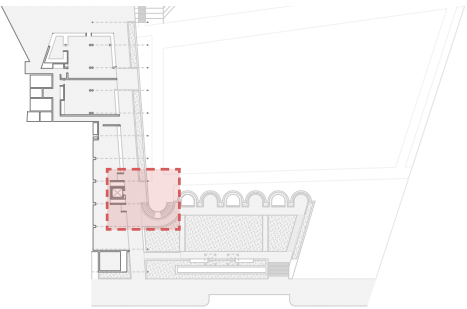
5.5 Lifts + Stairs

The lift and stairs have been carefully considered as individual design objects to increase legibility and way finding across the Village Green and Community centre. Playful geometry and colour are used as visual markers/ meeting places and are integrated with the landscape elements and consist of the following design considerations

- Pigmented insitu concrete lift structure to serve the Village Green, parking and maintenance requirements
- Open steel balustrading to upper level and spiral stair allow for light and views from above
- Natural light is provided either side of the lift shaft down to the gym/ pool garden lobby



SECTION
Stair Facade Detail

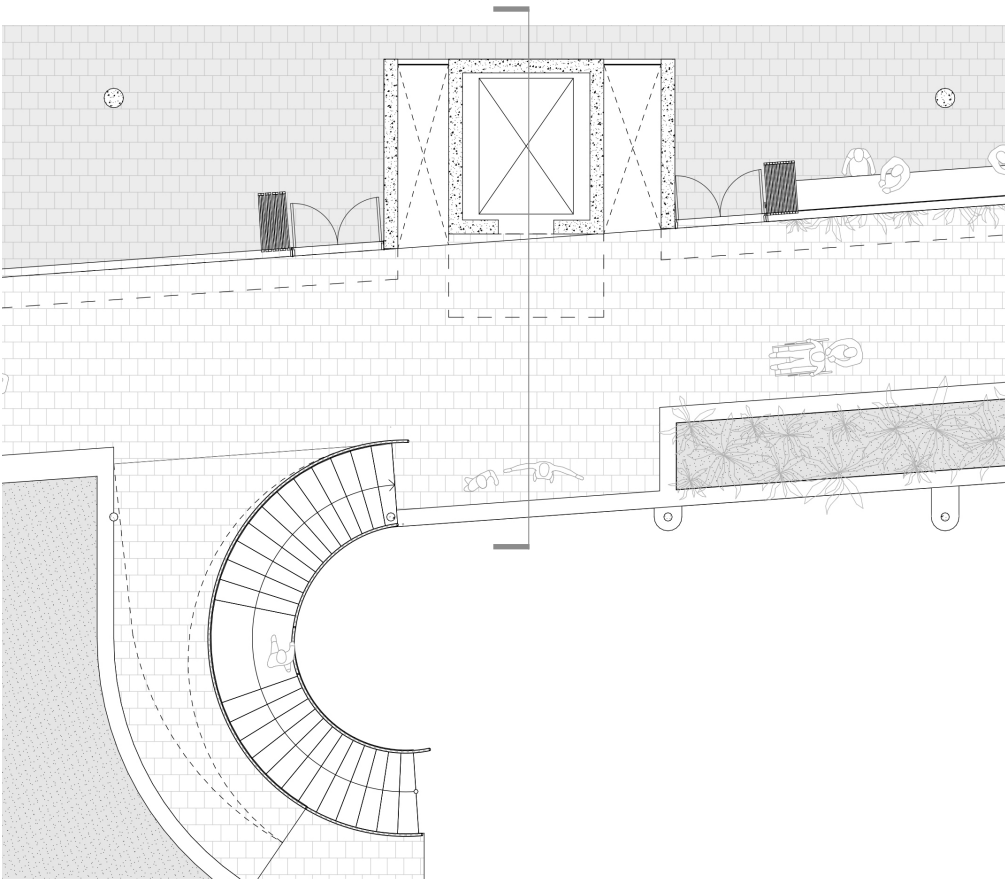


LOCATION PLAN
Lift and Stairs



PERSPECTIVE
View From Park

- LEGEND**
- A Pigmented concrete
 - B Planter box between steel structure
 - C Aluminium bifold windows
 - D Painted steel arbour structure
 - E Insitu concrete



PLAN
Stair And Lift Plan Detail

6.0 Sustainability



The Yerrabingin Rooftop Farm
Sydney

6.1 Sustainable Design Principles

Sustainability is inherent in the design of the Community buildings and Village Green, not only in terms of resource efficiency, maintainability, safety, flexibility and cost, but also in terms of human experience and well-being.

The following commitments are made:

- Reduce construction waste
- Reduce energy consumption
- Reduce potable water consumption and waste water discharge

The project is targeting environmental certifications for the base building of:

- 5 star Green Star Design and As-Built v1.3
- 6-star Green Star Communities v1.1
- Precinct wide averaged Basix 40 Energy and 45 Water targets;
- 6 Stars NatHERS commitment with 7 stars aspiration
- NABERS 5-star water for all commercial components;
- Carbon Neutral in operations
- Materials sustainability & Waste reduction
- Sustainable transport and connectivity

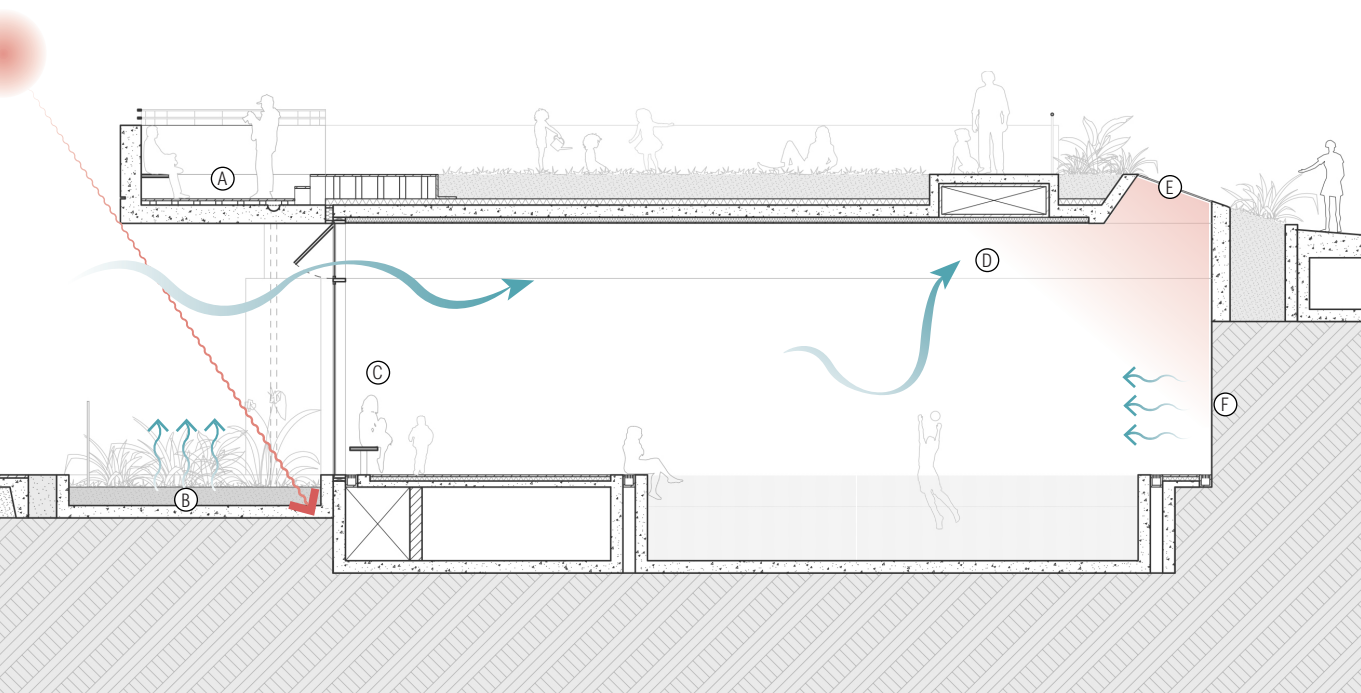
A number of design initiatives embrace and respond to the surrounding environment including;

- Safe pedestrian access around the site through people focused pedestrian design
- Passive surveillance to encourage a safe environment, reduce crime and encourage positive interaction between building occupants, visitors and other people using the Village green
- Access to shaded outdoor seating areas, park and good pedestrian amenity within the precinct to provide enhanced outdoor thermal comfort
- Building orientation and facade design to provide sun where required and maximise internal amenity
- Lift and stair located to maximise natural daylight
- Roof gardens are incorporated to promote biophilic efficiencies and reduce heat island effect
- Robust and long last materials have been selected

Social sustainability

An often overlooked form of sustainability, the project aims to promote well being for all users of the Village green and community building. By creating a range of diverse, equitable, connected and democratic spaces, the architecture supports the capacity of current and future generations to create healthy and livable communities with a good quality of life.

Further, the architecture will support a series of curated social spaces to embed the community into the park. The social enterprise cafe will educate and bring the diverse community together, while the community garden and associated community rooms will encourage outdoor activity and interaction.

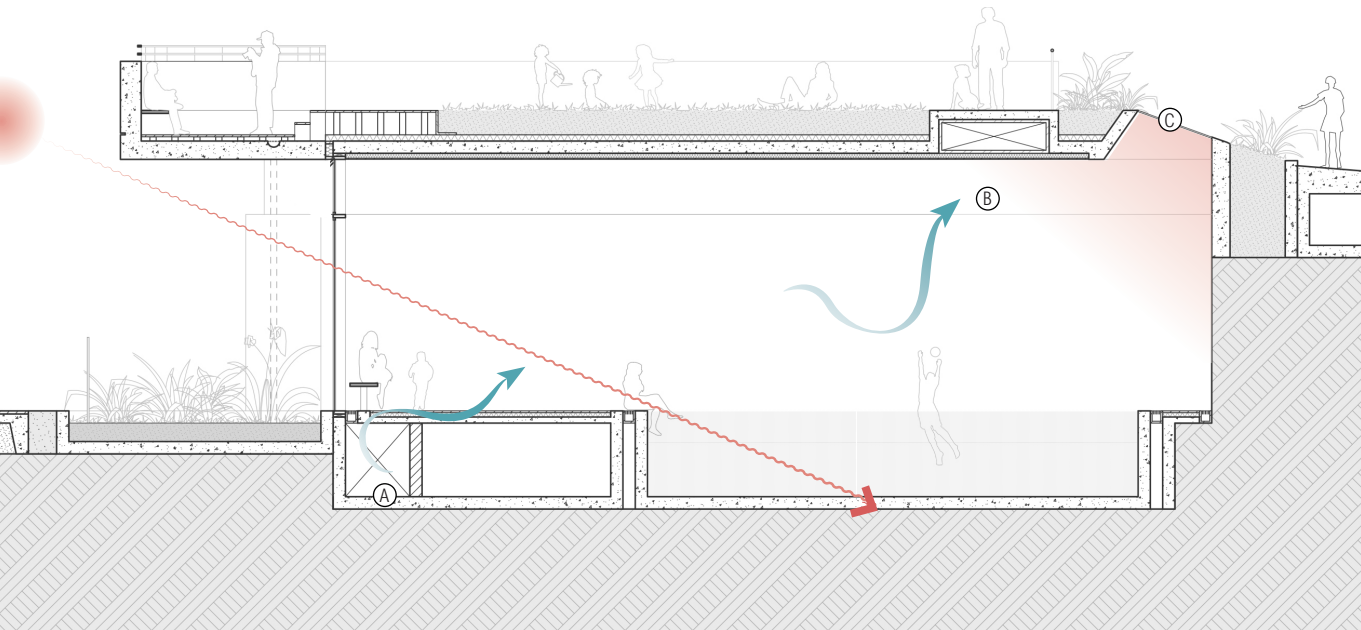


LEGEND

- A Community terrace overhang for shading from direct summer sun
- B Wetlands for evaporative cooling
- C Operative facade for ventilation
- D Return air duct for ventilation
- E Skylight for natural light
- F Exposed natural sandstone as thermal mass for cooling

SUMMER

Facade Open



LEGEND

- A Air plenum for ventilation
- B Return air duct for ventilation
- C Skylight for natural light

WINTER

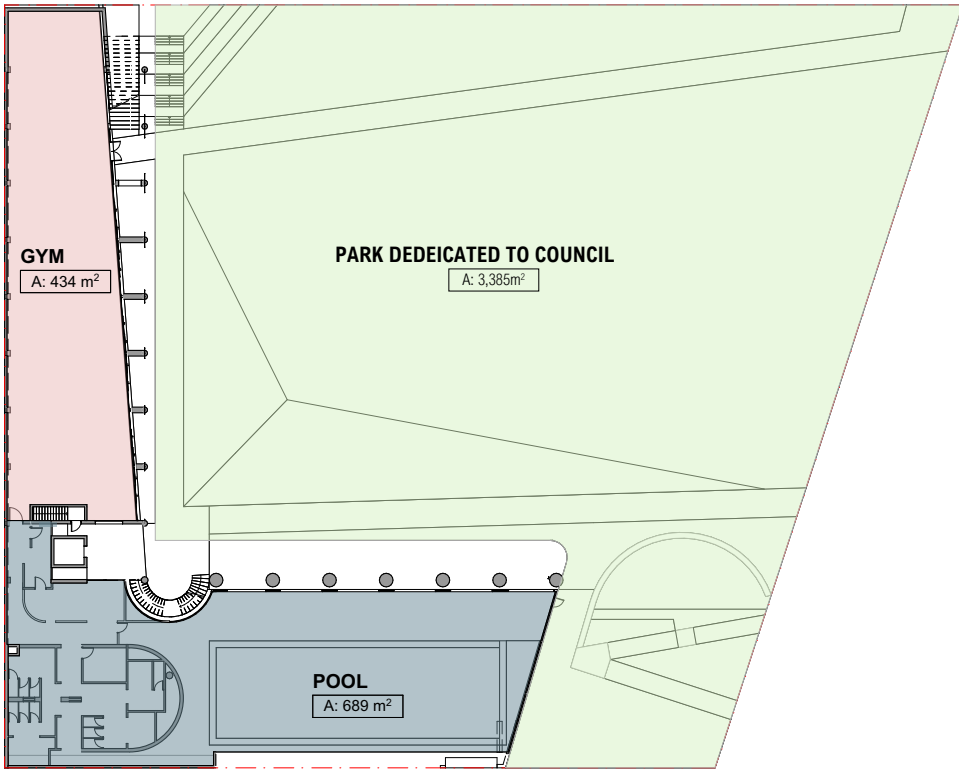
Facade Closed

7.0 Gross Floor Areas + Calculations



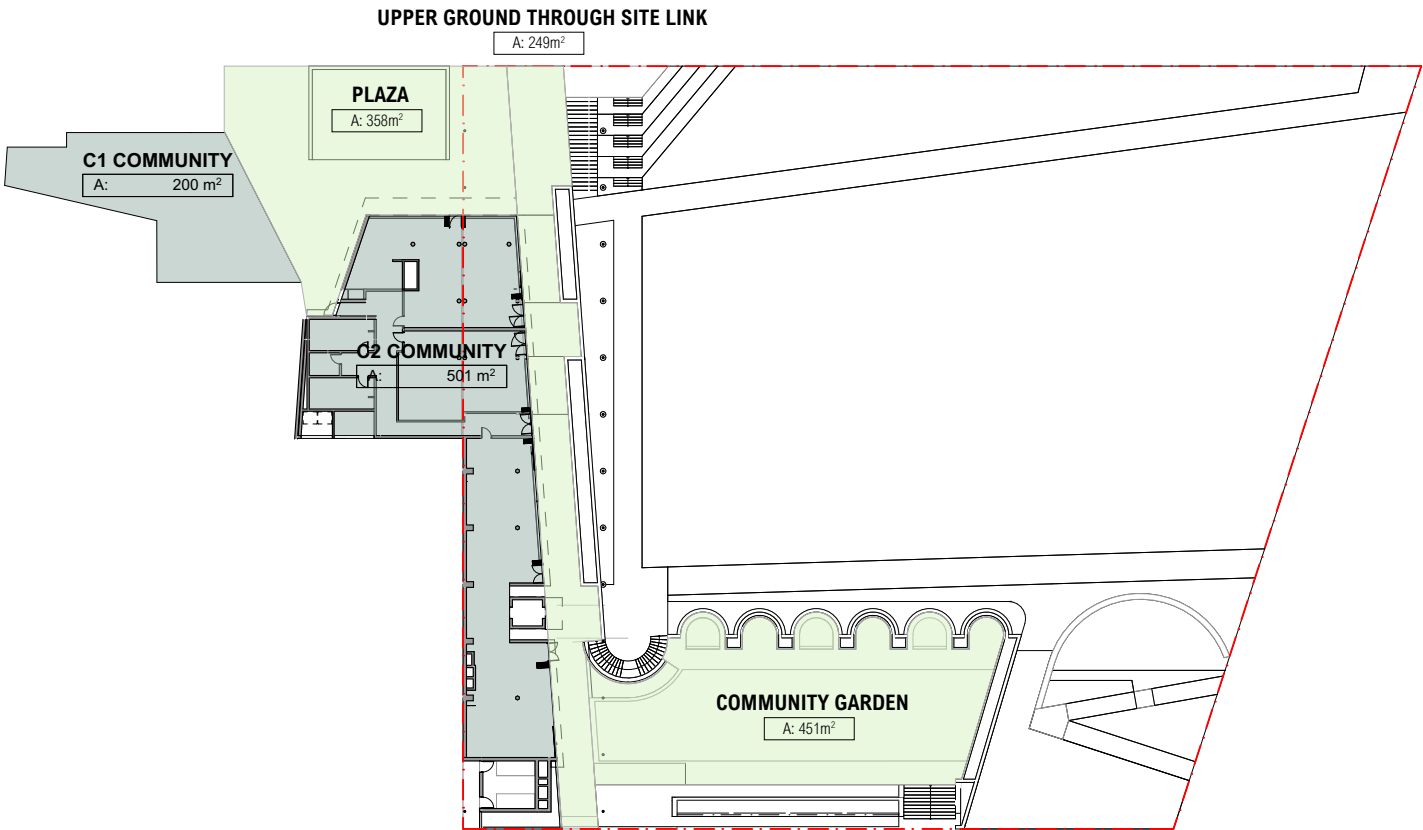
View from Community Garden - CHROFI

7.1 GFA Calculations



LOWER GROUND LEVEL

LOWER GROUND (GFA)		AREA (SQM)
Gym		434m²
Pool		689m²
Subtotal		1,123m²
LOWER GROUND (NON-GFA)		
Park Dedicated to Council		3,385m²



UPPER GROUND LEVEL

UPPER GROUND (GFA)		AREA (SQM)
C1 Community (Previously Approved)		200m²
C2 Community		501m²
Subtotal		701m²
Total GFA		1,824m²
UPPER GROUND (NON-GFA)		
Plaza		358m²
Upper Ground Through Site Link		249m²
Community Garden		451m²
Subtotal		1,058m²

Appendices



Appendix A: CHROFI Architectural Drawings

Appendix B: Response to Masterplan Design Guidelines

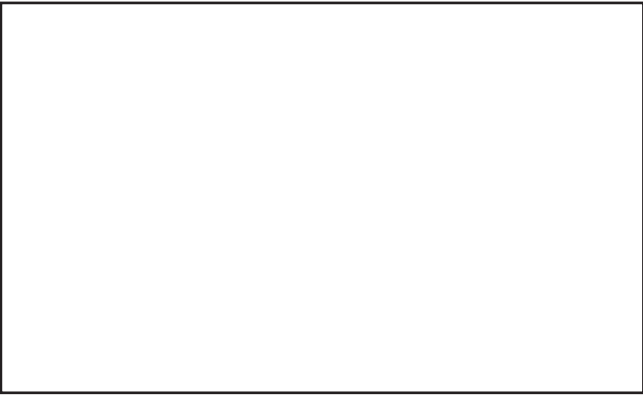
01 NORTH EAST DEVELOPMENT LOTS (B1 - B2)

OBJECTIVES

- A. To allow for a future pedestrian and cycle connection from Main Street to Peach Tree Avenue
- B. To provide opportunities for solar access to Main Street
- C. To balance privacy and visual amenity to neighbouring sites

PROVISIONS

- 1. Lot B1/B2 should be separated into three discrete buildings
- 2. Building separation should be of sufficient width to provide a pedestrian and cycle connection to Peach Tree Avenue
- 3. Avoid blank walls facing neighbouring sites
- 4. Where windows are proposed within 7m of the boundary, provide screening to mitigate overlooking of neighbouring sites



RESPONSE

Lot C2 is not impacted by this control. The proposed design of Lot C2 does not restrict future lots from complying with this control.

02 PUBLIC AND COMMUNAL OPEN SPACE

OBJECTIVES

- A. To retain and enhance the existing publicly accessible open space along Shrimptons Creek corridor
- B. To connect new public spaces to the existing open space network
- C. To provide an adequate area of communal open space to enhance residential amenity and to provide opportunities for landscaping

PROVISIONS

- 1. The Shrimptons Creek Corridor is to be embellished and dedicated to Council as public open space
- 2. A Village Green should be provided between C1 and C3. A minimum of 3,300 sqm should be usable area. The remainder should be landscaped roof to building C2
- 3. A Forest Playground of 3,900 sqm usable area should be provided between Lots D2 and D3
- 4. Publicly accessible open spaces should connect Shrimptons Creek, the Village Green, Town Square, and Epping Road landscape corridor
- 5. Each lot should provide a mix of public and communal open space with



RESPONSE

Within lot C2, The Village Green provides 3,385sqm of usable area to be dedicated to Council. The remaining area consists of green roof (community garden) and community plaza spaces with a total of usable space with a total of 1,058sqm of usable space.

The Village Green is connected by wider masterplan through site links which connect to the Forest Playground to the South, and the Green Link to the North.

The proposed design of C2 does not restrict future lots complying with relevant controls.

03 DEEP SOIL ZONES

OBJECTIVES

- A. To retain existing mature trees and to support healthy tree growth
- B. To provide passive recreation opportunities
- C. To promote management of water and air quality

PROVISIONS

- 1. The area of deep soil within site, excluding RE1 zoned land, should be no less than 17% of the site area
- 2. Deep soil zones should have a minimum dimension of 6m, except where they abut a side boundary or road reserve which also provides deep soil, where a minimum dimension of 2.5m is acceptable.



RESPONSE

The proposed building footprint has been minimised to maximise open space. The adjacent control diagram proposes a precinct wide approach to be adopted for deep soil planting. Within Lot C2, the deep soil allocated is approximately 2000sqm.

The Village Green is connected by wider masterplan through site links which connect to the Forest Playground to the South, and the Green Link to the North.

Appendix B: Response to Masterplan Design Guidelines

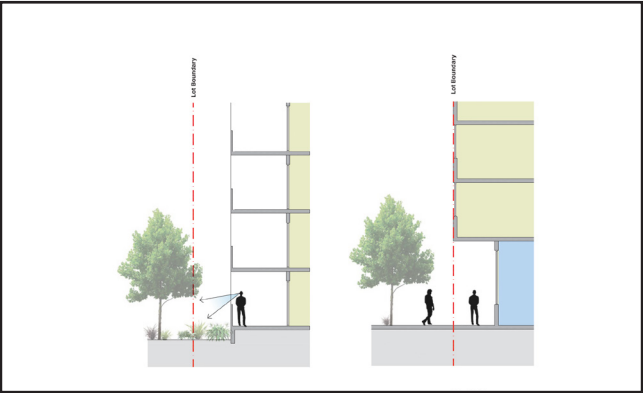
04 PUBLIC DOMAIN INTERFACE

OBJECTIVES

- A. To transition between private and public domain without compromising safety and security
- B. To retain and enhance the amenity of the Shrimptons creek corridor
- C. To maximise the amenity of new streets and public open spaces

PROVISIONS

1. Apartments, balconies and courtyards fronting Public Open Space such as Shrimptons Creek landscape corridor, Epping Road landscape corridor, Village Green and Forest playground should be provided with a landscaped buffer to separately define public and private space but maintain passive surveillance.
2. Community and retail uses should provide an active frontage to the Village Green
3. Communal open space should be clearly defined and separate from the public domain



RESPONSE

The community buildings are dispersed into a courtyard arrangement in order to provide an active frontage to each edge of the Village Green. The pool gym facilities have an on grade relationship with the park and provide great passive surveillance over these spaces.

The upper level community spaces sit along a public through site link which overlooks the Village Green toward the C3 retail frontage.

The Village Green is connected by wider masterplan through site links which connect to the Forest Playground to the South, and the Green Link to the North.

05 ACTIVE FRONTAGES

OBJECTIVES

- A. To provide active frontages with a distinctive civic character to Main Street
- B. To ensure that public spaces and streets are activated along their edges
- C. To maximise street frontage activity where ground floor apartments are located
- D. To deliver amenity and safety for residents when designing ground floor apartments

PROVISIONS

1. Buildings A1 and B2 should accommodate a childcare centre at ground level
2. Buildings B1.2, C1, C2, C3 should accommodate retail and / or communal uses at ground level fronting Main Street and the Village Green
3. Building D3 should provide ground level office space for the community housing provider
4. Direct street access should be provided to ground floor apartments
5. 2-4 storey residential typologies should be considered on street frontages of apartment buildings fronting neighbourhood streets.



RESPONSE

As noted above, the C2 community building provides active edges to both the Village Green and key street frontages. The Social Enterprise cafe has a direct relationship to Main St and the adjacent community facility within Lot C1.

Further, the arrangement of the gym and pool on the lower level conceal the adjacent C1 basement carpark with an active frontage on grade with the Village Green.

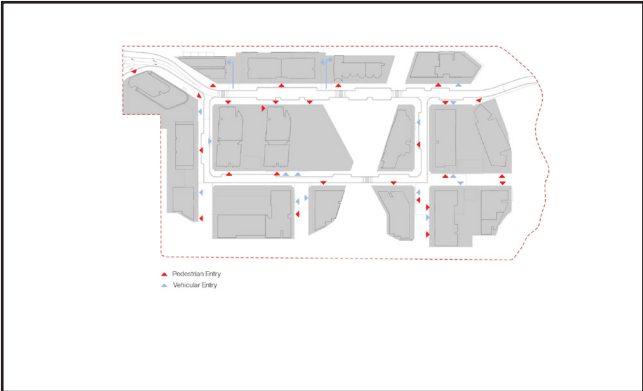
06 PEDESTRIAN & VEHICULAR ENTRY LOCATIONS

OBJECTIVES

- A. To provide building entries and pedestrian access that connects to and addresses the public domain
- B. To provide accessible and easily identifiable building entries and pathways
- C. To minimise conflicts between vehicles and pedestrians
- D. To create high quality streetscapes

PROVISIONS

- A. Primary building entries should address the street
- B. Vehicle entries should avoid Main St where possible
- C. Internal loading docks will be shared wherever possible to limit the amount of driveways to improve public amenity and streetscapes
- D. Ensure loading docks are capable of accommodating vehicles for both garbage collection and move ins / move outs
- E. Where internal dedicated loading docks are not possible, onstreet loading zones will be discretely located near building entries.



RESPONSE

Multiple pedestrian entry points are provided into the C2 Community building and Village Green. The primary entry into the community spaces is provided off Main St to the North, with additional entry points into the pool and gym from the upper through site link and directly from the park via the Garden Lobby.

Parking, loading and garbage entry points have been integrated into the basement car park within the previously approved lot C1, with no additional loading docks proposed.

Appendix B: Response to Masterplan Design Guidelines

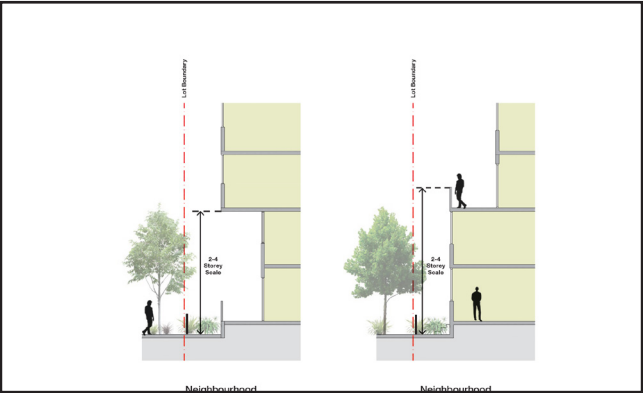
07 STREET WALL HEIGHT

OBJECTIVES

- A. To provide buildings that positively contribute to the physical definition of the public domain
- B. To reduce the scale of buildings as perceived from the public domain

PROVISIONS

- 1. On residential streets, buildings should express a 2-4 storey scale on the lowest levels of the building.



RESPONSE

The proposed C2 Community building are expressed as a single storey building from Main street. From the Neighbourhood St the pool sits largely under a landscaped green roof with integrated planting to the street edge to reduce the visual built form in the Village Green.

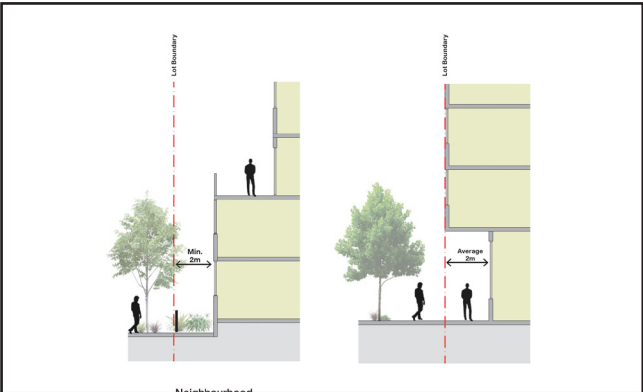
08 GROUND LEVEL STREET SETBACKS

OBJECTIVES

- A. To provide buildings that positively contribute to the physical definition of the public domain
- B. To transition between private and public domain without compromising safety and security
- C. To provide a landscape design which contributes to the streetscape and residential amenity

PROVISIONS

- 1. On neighbourhood streets, the lower levels of buildings should be set back a minimum of 2m from the lot boundary
- 2. On main street, the lower levels of buildings should have an average set back of 2m from the lot boundary
- 3. On neighbourhood streets, setback zones should be landscaped to balance street activation and residential amenity



RESPONSE

To the North, the community spaces are setback approximately 13m from Main St. To the South the building is largely hidden within the landscaped green roof, with a small portion of the substation sitting approximately 1.5m from the street with an integrated landscape planter and green wall.

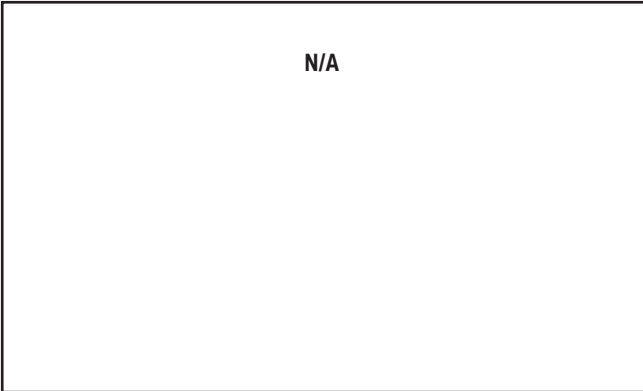
09 UPPER LEVEL SETBACKS

OBJECTIVES

- A. To reduce the scale of buildings as perceived from the public domain
- B. To minimise the adverse wind impact of down drafts from tall buildings

PROVISIONS

- 1. On neighbourhood streets, upper floors of buildings should be set back a minimum of 4.75m from the lot boundary
- 2. On Main Street, upper levels of buildings can be built to the lot boundary, subject to building separation requirements of SEPP65



RESPONSE

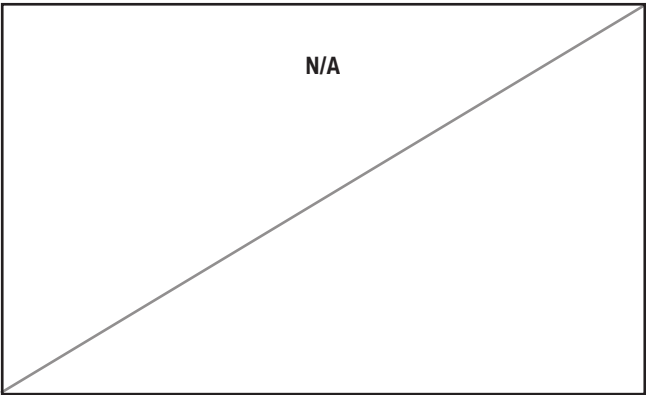
Lot C2 is not impacted by this control.

Appendix B: Response to Masterplan Design Guidelines

10 SETBACKS TO SHRIMPTONS CREEK

- OBJECTIVES**
- A. To provide buildings that positively contribute to the physical definition of the public domain
 - B. To reduce the scale of buildings as perceived from the public domain
 - C. To minimise the adverse wind impact of down drafts from tall buildings

- PROVISIONS**
- 1. Buildings fronting Shrimptons Creek should be set back a minimum of 5m from the edge of the Riparian Corridor
 - 2. Buildings fronting Shrimptons Creek should express a 2-4 storey scale on the lowest levels of the building.
 - 3. Fronting Shrimptons Creek, upper levels of buildings should be set back a minimum of 8m from the edge of the Riparian Corridor
 - 4. Buildings fronting Shrimptons Creek should be articulated into multiple parts so that unbroken facades are no longer than 30m
 - 5. Refer to design guideline 4 regarding the interface of public and private space

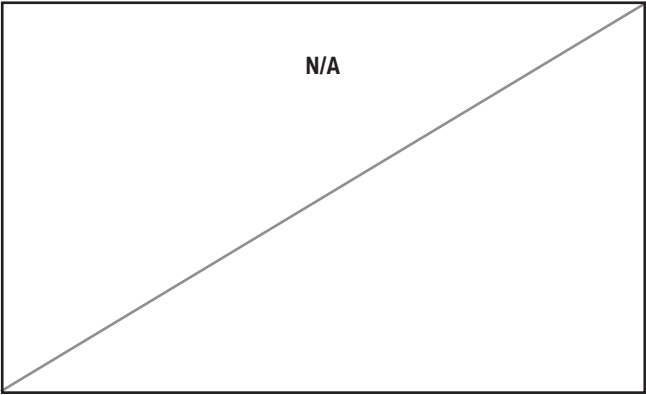


RESPONSE
Lot C2 is not impacted by this control. The proposed design of Lot C2 does not restrict future lots from complying with this control.

11 ROOFTOPS

- OBJECTIVES**
- A. To maximise opportunities to use roof space for residential accommodation and open space
 - B. To incorporate sustainability features into the roof design
 - C. To minimise the visual impact of roof plant

- PROVISIONS**
- 1. Private and communal roof terraces should be provided where possible
 - 2. Roofs that are overlooked by other buildings should provide either communal open space or landscape planting
 - 3. Plant areas should be screened from view
 - 4. Upper level roofs should accommodate solar panels
 - 5. Roof levels are to provide interesting silhouettes with no residential accommodation allowed above the maximum approved height

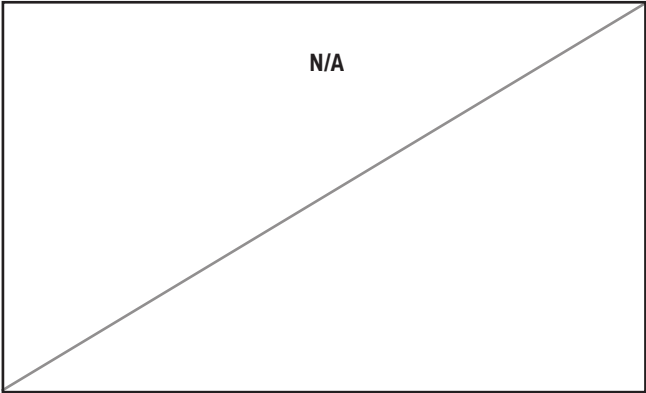


RESPONSE
The rooftop of the community swimming pool has been designed to provide a rooftop community garden. The roof above the community building is adjacent the residential lot C1 and is provided with a landscaped green roof (non-habitable due to privacy). The plant area on the rooftop has been screened and sits underneath a landscaped green roof.

12 FACADE EXPRESSION AND MATERIALS

- OBJECTIVES**
- A. To define and reinforce a distinctive character within the masterplan precinct
 - B. To express building functions
 - C. To create buildings which will improve with age

- PROVISIONS**
- 1. The lower levels of residential buildings should use masonry as the predominant facade material
 - 2. Render should be avoided as the primary facade material
 - 3. Façade materials should be self-finished, durable and low maintenance
 - 4. Use of colour in building façades should focus on warm, naturally occurring hues



RESPONSE
The community building is clearly expressed as separate to the surrounding residential buildings its public function. The use of concrete and steel has been selected as a robust material to age naturally over time. No white render is proposed as part of the project. The facade materials proposed are all self-finished, durable and low maintenance. The use of colour has been selected to complement the buildings parkland setting, with soft greens and natural concrete textures.

Appendix B: Response to Masterplan Design Guidelines

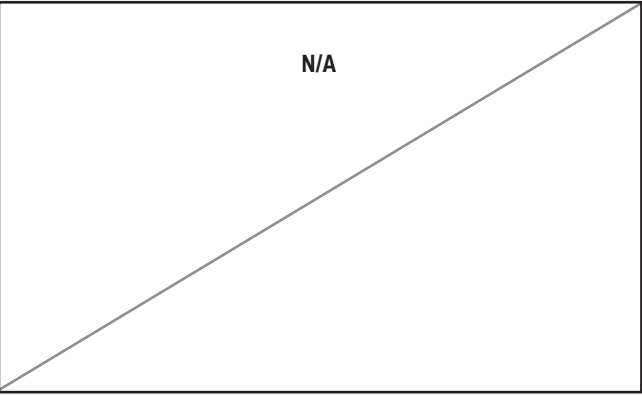
13 DESIGN EXCELLENCE

OBJECTIVES

- A. To ensure architectural diversity is achieved
- B. To achieve a high standard of architectural and urban design, materials and detailing appropriate to the building type and location
- C. To ensure the form and external appearance of the buildings improve the quality and amenity of the public domain
- D. To ensure buildings meet sustainable design principles in terms of sunlight, natural ventilation, wind, reflectivity, visual and acoustic privacy, safety and security and resource, energy and water efficiency

PROVISIONS

- 1. Buildings should be designed in accordance with the Ivanhoe Masterplan design excellence strategy prepared by Ethos Urban.



RESPONSE

CHROFI, together with McGregor Coxall, were selected as the winners of a design competition for the design of the C2 Community building and Village Green.

CHROFI is listed within the Government Architect's Pre-Qualification Scheme for Strategy and Design Excellence.

The design has been developed in accordance with the principles outlined within 'Better Placed', a planning initiative developed by the NSW Government. The proposed community building will achieve a 5 Star Green Star Design & As Built Rating. Refer to the Environmental report prepared by Integral for further information.

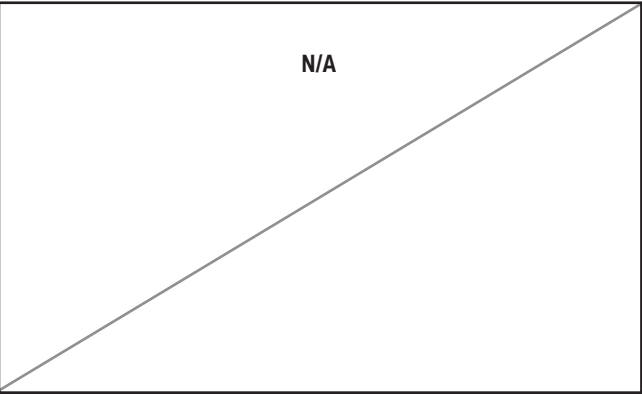
14 UNIVERSAL DESIGN

OBJECTIVES

- A. Universal design features are included in apartment design to promote flexible housing for all community members
- B. A variety of apartments with adaptable designs are provided

PROVISIONS

- 1. 100% of social dwellings should incorporate the Liveable Housing Guideline's silver level universal design features
- 2. 5% of market and affordable dwellings should be wheelchair adaptable to meet the requirements of AS4299 Class C



RESPONSE

Lot C2 does not include apartments and is not impacted by this control. However, universal design has been incorporated into the design.

Appendix C: SEARs

3. BUILT FORM AND URBAN DESIGN

OBJECTIVES

3.1 - Demonstrate how the proposed building or building envelope form (layout, height, bulk, scale, separation, setbacks, interface and articulation) addresses and responds to the context, site characteristics, streetscape and existing and future character of the locality

RESPONSE

The community centre, social enterprise cafe, pool and gym are located adjacent the Village green, at the centre of the Ivanhoe development. To democratise the park for all users, the ambition is to create a place where park and building are inseparable. By sleeving the built form into the sloping topography, much of the built form sits under the park. Over the fullness of time, the buildings are designed in a way to be recessive to the landscape, softened by shade, play, colour and water elements. Refer to design report, Appendix E and below summary;

COMMUNITY BUILDING & CAFE:

- *Layout, height, bulk, scale:* The Built form is arranged as a single storey linear building along the North/South through-site link connection between Main St and Neighbourhood St. The social enterprise cafe activates a North facing plaza, while a flexible community space sits underneath a landscaped pergola overlooking the Village Green to the East. At the Southern end, a second community space opens directly onto the community gardens adjacent Neighbourhood St.
- *Separation & Setbacks:* Generous setbacks are provided from the street to allow for landscaping, a plaza and through site links.
- *Interface & Articulation:* The building is conceived as a porous veranda overlooking the park. The operable facade opens to the plaza, walkways, and community garden. A series of green roofs and landscaped pergolas further conceal the built form when viewed from above in adjacent apartments, and provide passive wind breaking and shading to public open spaces.

POOL & GYM:

- *Layout, height, bulk, scale:* The built form sits on the lower level on grade with the Village Green park. The pool and gym facilities have a direct relationship to the activity in the park and provide good passive surveillance to these spaces. The building optimises the sites sloping topography to reduce the visible scale, with key facades exposed to the park, providing Northern/Eastern light and direct relationships to C3 retail/F&B edges. The rooftop spaces are then utilised as habitable spaces to host community gardens and through site connections.
- *Separation & Setbacks:* Sitting partially underground, the built form is reduced when viewed from the street.
- *Interface & Articulation:* The street interface has been developed to further minimise the visual bulk from the street, while providing ample light to spaces below via skylights and physical connections to habitable rooftop spaces. Along the park frontage, the pool and gym open to the North and Eastern edges with full height glazing, with optimised overhangs to optimise passive solar amenity.

Refer to the Architectural Plans and Architectural Design Report for further details.

3. BUILT FORM AND URBAN DESIGN

OBJECTIVES

3.2 - Demonstrate how the detailed building design will deliver a high-quality development, including consideration of façade design, articulation, activation, roof design, materials, finishes, colours and integration of services.

RESPONSE

Each building has been carefully designed and coordinated to promote inclusiveness and legibility within the park setting. A robust material palette of concrete and steel will be softened against a variety of landscape.

Refer to Chapter 5.0 Facade and Materials section of the Architectural Design Report, and the Architectural Plans for further details.

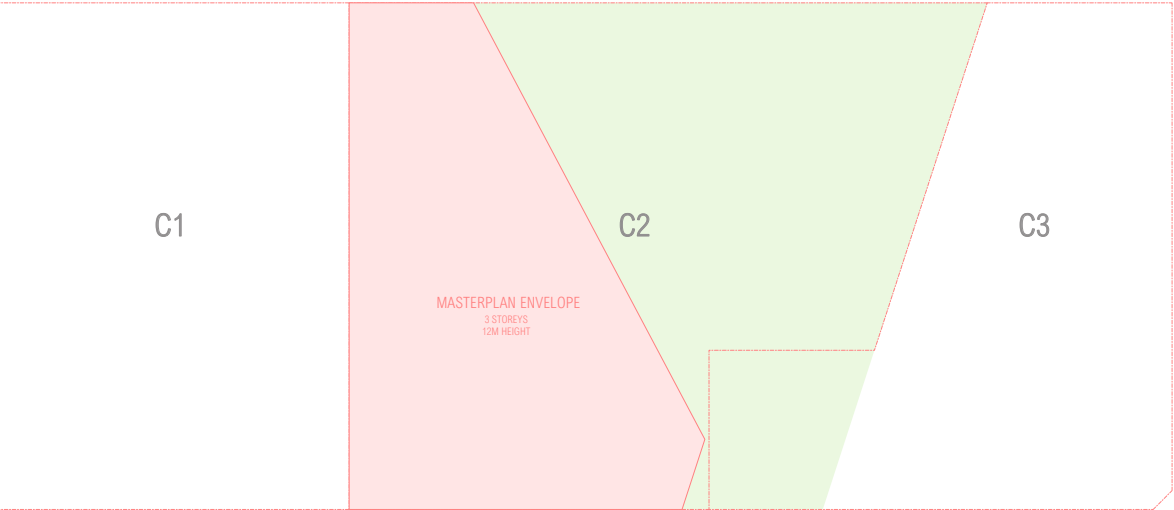
3.3 - Demonstrate the proposed built form appropriately addressed the change in levels across the site and avoids/minimises protruding basements and blank ground floor facades

As noted above, the built form is arranged to sit within the sloping topography of the site. Rooftop community gardens and through site links have then been overlaid to negotiate level changes and are align with key entry points and site wide movement patterns.

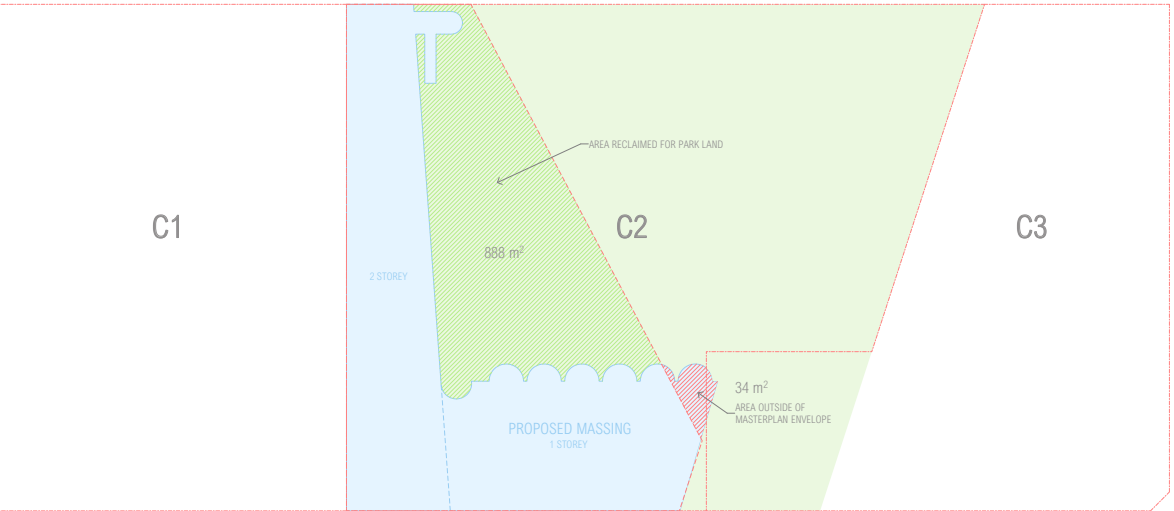
The community and gym spaces adjoin a residential tower and provide an active edge to the park along the basement carpark and back of house service levels.

Refer to the Architectural Plans and Architectural Design Report for further details.

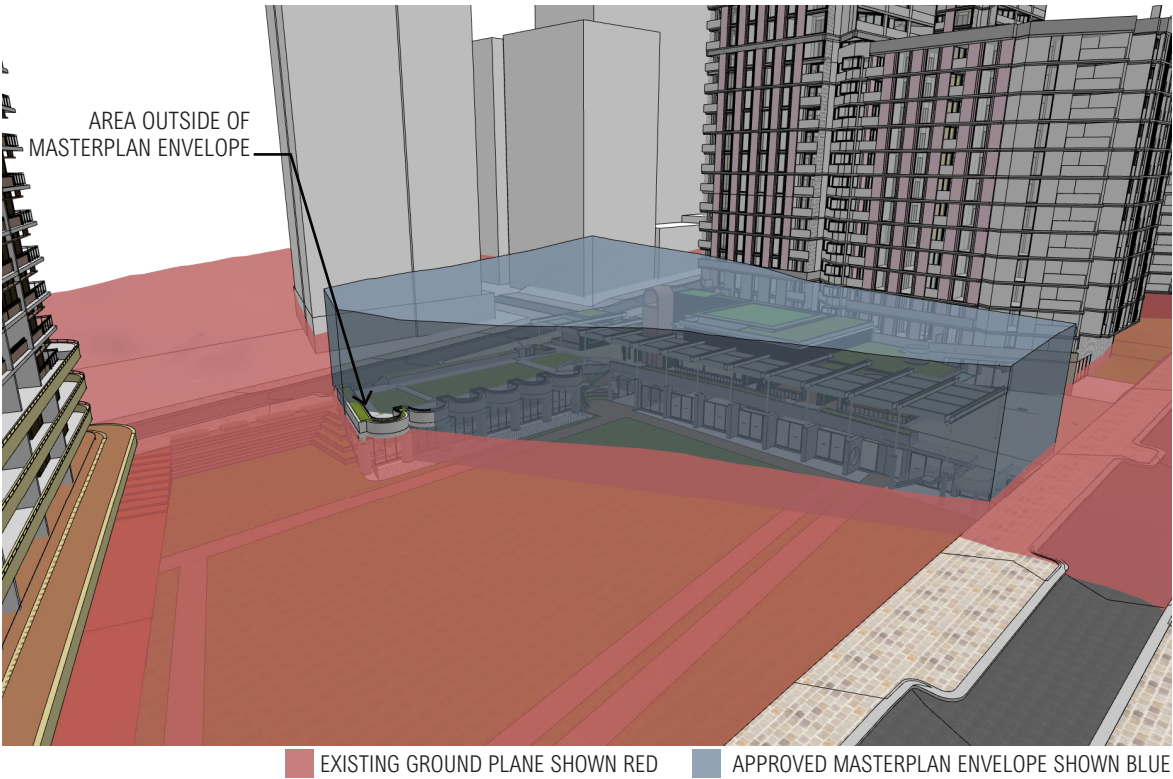
Appendix D: Masterplan Envelope Analysis



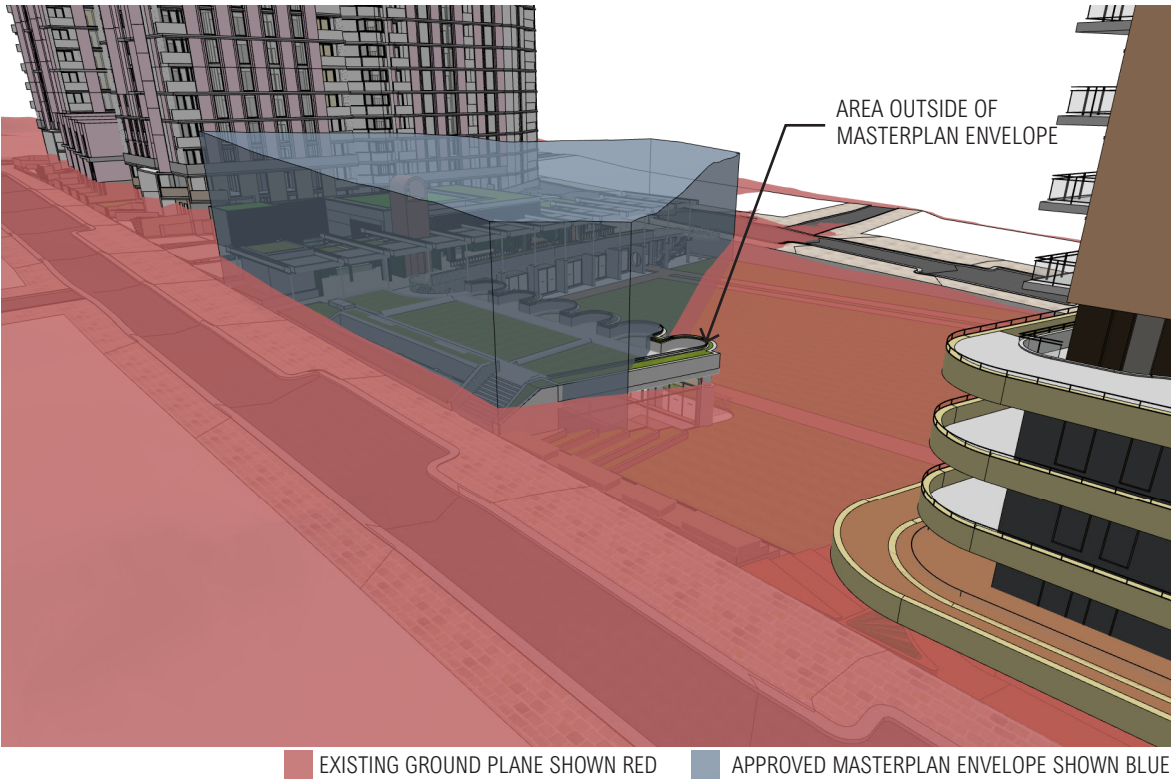
1. ENVELOPE STUDY PLAN - CURRENT ENVELOPE



2. ENVELOPE STUDY PLAN - PROPOSED



3. ENVELOPE STUDY 3D VIEW NORTH - ENVELOPE OVERLAY



4. ENVELOPE STUDY 3D VIEW SOUTH - ENVELOPE OVERLAY

Appendix E: SDRP Session 2 - Response

3. BUILT FORM AND URBAN DESIGN

DRP COMMENT:

8.
The Village Green (VG) landscape design as presented is generally supported. The VG connections and interface to Main Street and adjacent public domain have improved; however, further development is recommended:
- extending the tiered, double-sided informal access – noting the slope constraints
 - breaking down the mass of the interface to community facilities/Main Street to provide variety and playful connections, including considering slides for children or interactive steps
 - revisions to the balustrade and planters (specifically materiality and height) to improve views to the VG
 - increasing stair widths beyond the 1.2m to 1.5m range.
9.
Balance the following considerations in the development of the pool:
- optimise daylighting – investigate the provision of additional glazed skylights
 - provide direct sunlight (extent to be determined)
 - mitigation of noise and prolonged exposure to UV radiation.
10.
The pool and other community facilities are supported as publicly accessible and inclusive. Ensure design outcomes deliver facilities which present as welcoming and inclusive – for all residents and visitors.
11.
The bush-tucker garden requires further development, including integration with adjacent public domain and the community facilities.

RESPONSE:

Noted. Please refer to the updated design of village green in the development application. The changes have incorporated the SDRP comments in this section.

Noted. Please refer to the updated design of pool design in the development application.

Noted and agreed in relation to the Village Green and community centre. However as presented to the SDRP the pool and gym is a commercially operated facility expected to be a ‘user pays’ model.

Agreed and subject to the Connecting with Country process, FPA intention is to now seek cultural input into the relevance/importance/priority of the suggested opportunities and develop them further in consultation with Aboriginal stakeholders. To begin consultation with appropriate stakeholders, Urbis has compiled a list of Registered Aboriginal Parties as part of the Aboriginal heritage assessment process. We propose to contact these parties as well as the Metropolitan Local Aboriginal Land Council to begin testing these ideas.

The outcome of this engagement will assist in informing the response and incorporation into the design prior to commencement of the relevant area or element.



View toward Village Green & Community