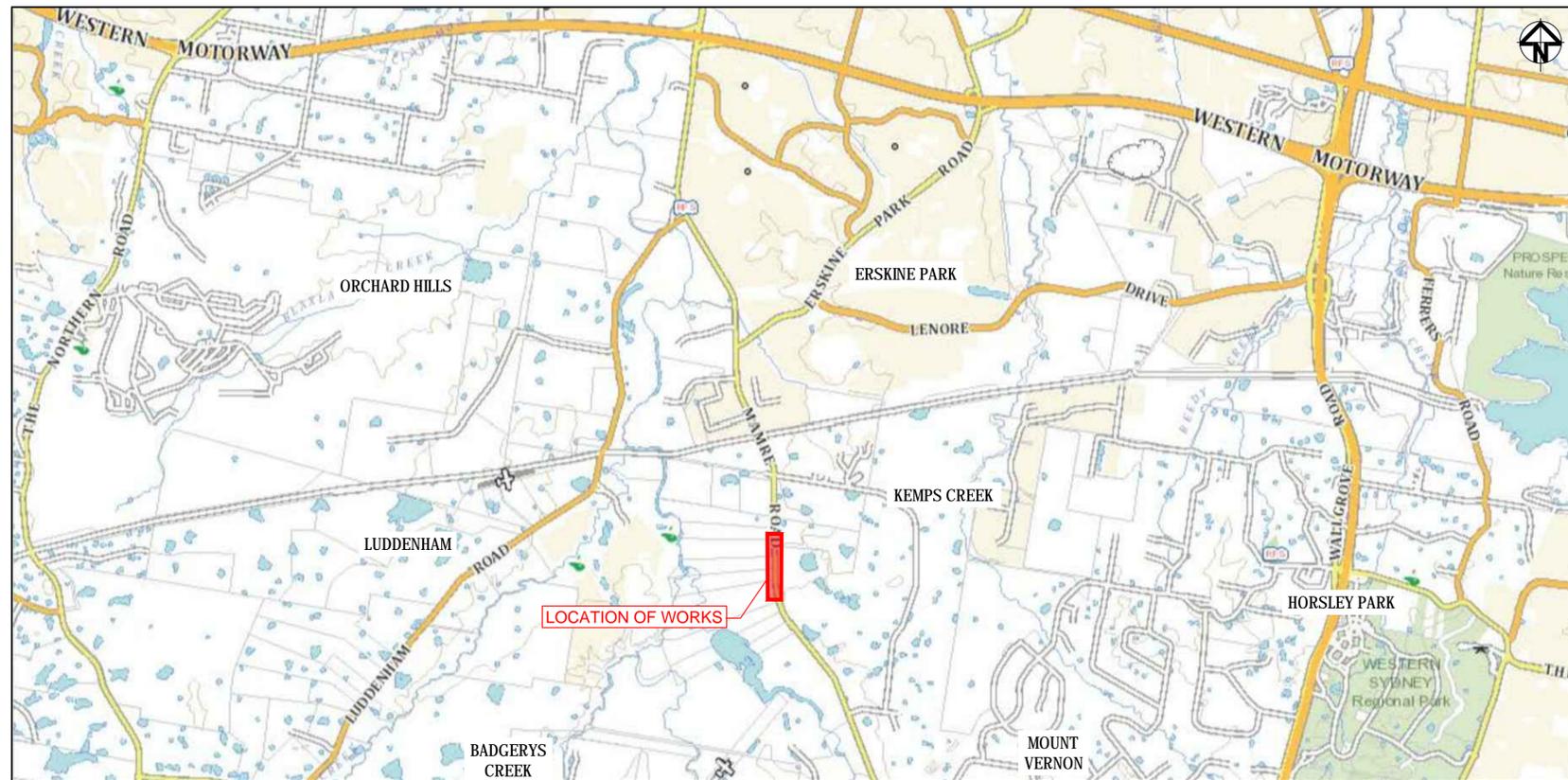


PROPOSED MAMRE ROAD INTERSECTION ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK



LOCALITY PLAN

NTS

DRAWING LIST	
DRAWING No.	DRAWING TITLE
18-596-C0000	COVER SHEET LOCALITY PLAN AND DRAWING LIST
18-596-C0003	GENERAL ARRANGEMENT PLAN
18-596-C0010	TYPICAL SECTIONS
18-596-C0020	ROADWORKS AND STORMWATER DRAINAGE PLAN SHEET 1
18-596-C0021	ROADWORKS AND STORMWATER DRAINAGE PLAN SHEET 2
18-596-C0022	ROADWORKS AND STORMWATER DRAINAGE PLAN SHEET 3
18-596-C0030	PAVEMENT PLAN
18-596-C0040	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 1
18-596-C0041	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 2
18-596-C0042	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 3
18-596-C0050	TURNING PATH PLAN

RMS SUPPLEMENTARY DRAWINGS	
REFERENCE	DESCRIPTION
R0300-01	STANDARD KERB AND GUTTER PROFILES
R0300-11	KERB RAMPS
R0220-01	GULLY PIT TYPE SA PIPE DIAMETER UP TO 450mm
R0220-09	GULLY PIT TYPE SF
R0210-02	CONCRETE HEADWALLS SINGLE CELL Ø300mm TO Ø900mm WITH ROCK MATTRESS PROTECTION
R0210-05	CONCRETE HEADWALLS DOUBLE CELL Ø300mm TO Ø900mm WITH ROCK MATTRESS PROTECTION

GENERAL

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT RMS GUIDELINES AND SPECIFICATIONS
- ANY EXISTING SUBSURFACE DRAINAGE OR EXISTING PAVEMENT DISTURBED SHOULD BE REINSTATED AS PER RMS REQUIREMENTS

SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY CARDNO HARD & FORESTER AND LAND PARTNERS PTY LTD, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. AT & L DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT AT & L.

THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM THE ORIGINAL SURVEY DOCUMENTS.

THE TITLE BOUNDARIES SHOWN HEREON WERE NOT MARKED AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY.

SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE SO LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THE PLAN. WHERE SUCH RECORDS DO NOT EXIST OR ARE INADEQUATE A NOTATION HAS BEEN MADE HEREON.

PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

EXISTING UNDERGROUND SERVICES NOTES

THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. AT & L CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY.

CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.

CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH, PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.

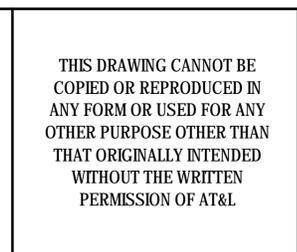


CONTRACTOR SHALL CALL:
DIAL BEFORE YOU DIG 1100
PRIOR TO COMMENCEMENT OF WORK TO OBTAIN ALL CURRENT SERVICE AUTHORITY PLANS

Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20

Bar Scales

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Client

Scales
N.T.S.

Grid
MGA

Height Datum
AHD

RMS Registration Number
DS2020/000XXX

Project
**ASPECT INDUSTRIAL ESTATE
MAMRE ROAD,
KEMPS CREEK
EXTERNAL INTERSECTION**

Title
**COVER SHEET
LOCALITY PLAN
AND DRAWING LIST**

Civil Engineers and Project Managers

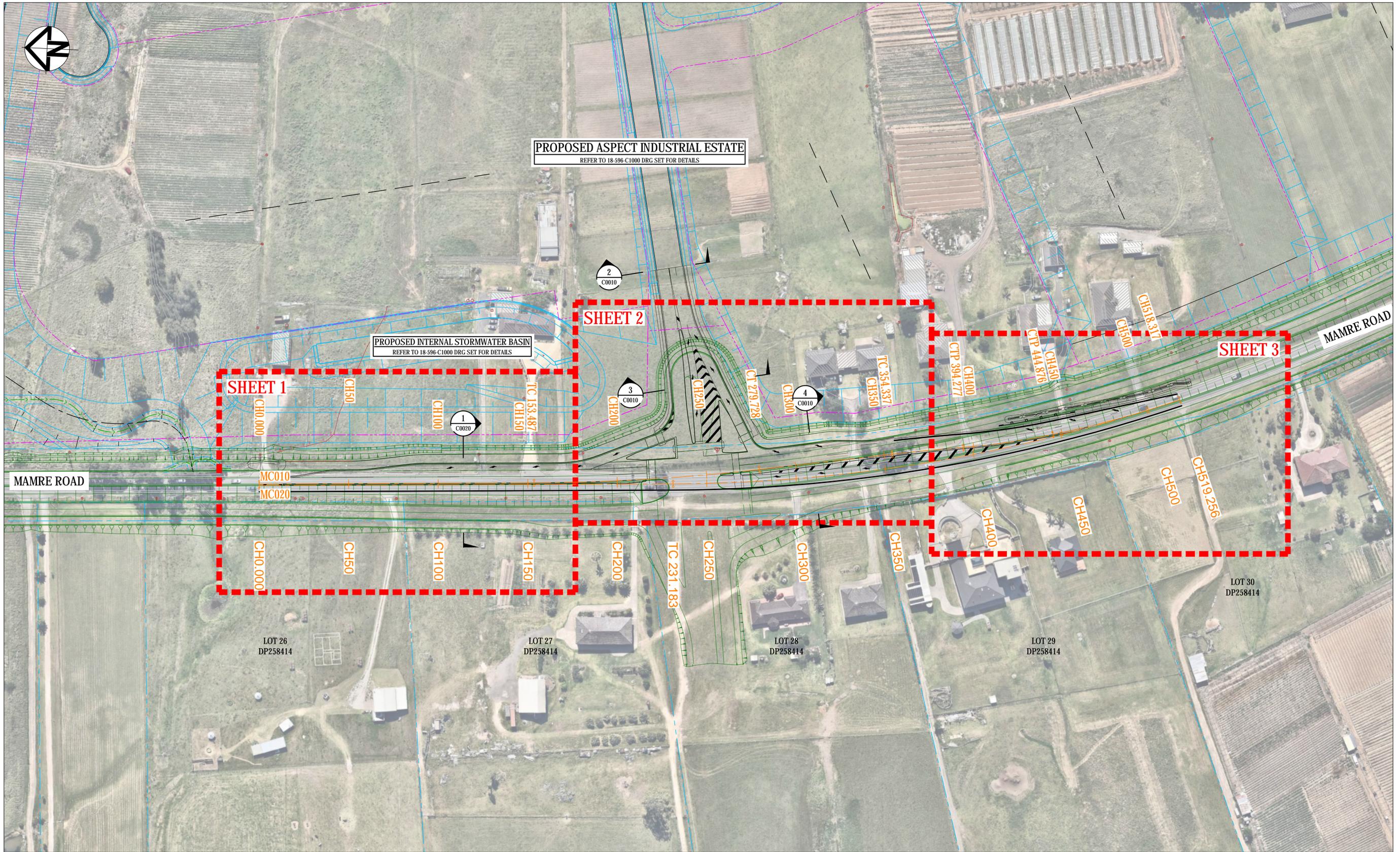
at&l

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North Sydney NSW 2060
ABN 96 130 882 405
Tel: 02 9439 1777
Fax: 02 9923 1055
www.atl.net.au
info@atl.net.au

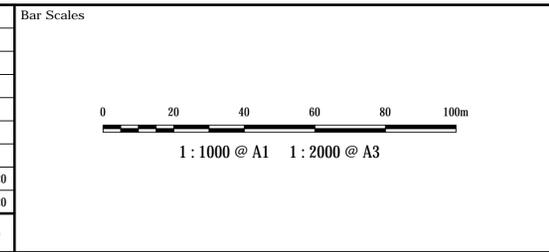
Status
**FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION**

Project - Drawing No.
18-596-C0000

Issue
B



Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20



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Client			
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Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number	DS2020/000XXX		

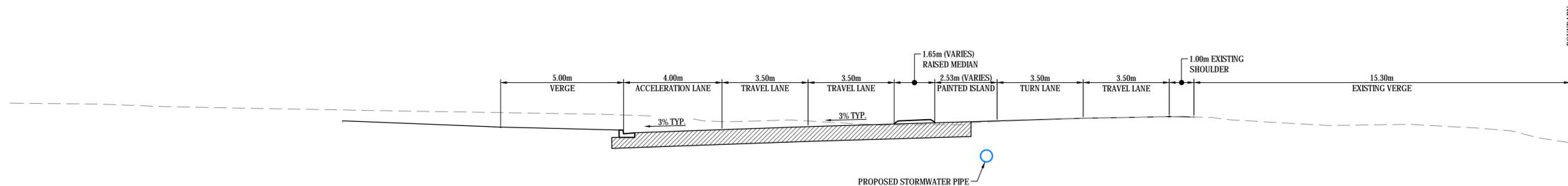
Project: ASPECT INDUSTRIAL ESTATE
MAMRE ROAD,
KEMPS CREEK
EXTERNAL INTERSECTION

Title: GENERAL ARRANGEMENT PLAN

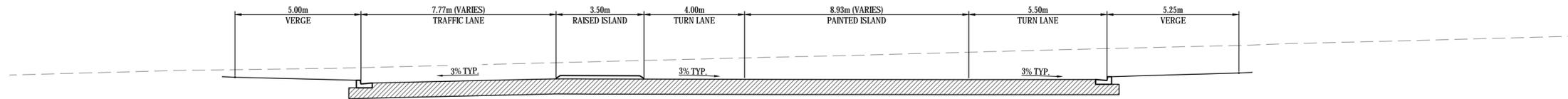
Civil Engineers and Project Managers

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North Sydney NSW 2060
ABN 96 130 882 405
Tel: 02 9439 1777
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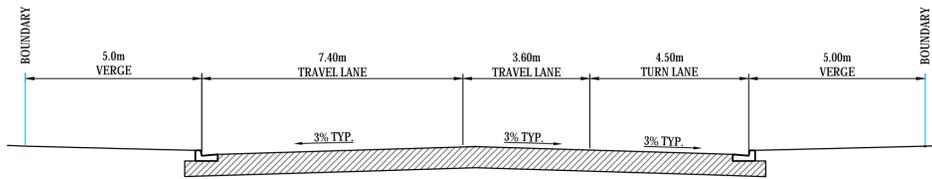
Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	18-596-C0003	Issue
		B



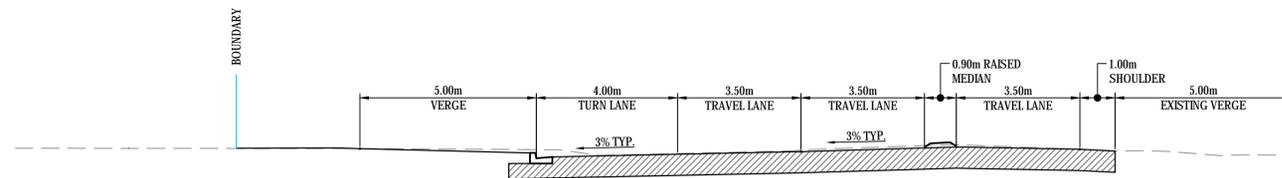
SECTION 4
1:100



SECTION 3
1:100

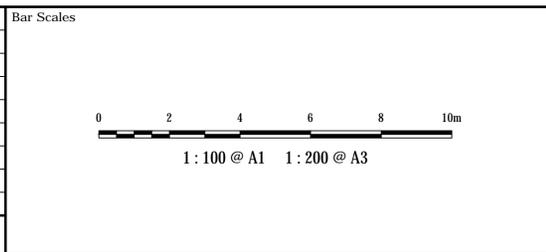


SECTION 2
1:100



SECTION 1
1:100

Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20



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Drawn	PDK
Designed	PDK
Checked	AT
Approved	
RMS Registration Number	
DS2020/000XXX	

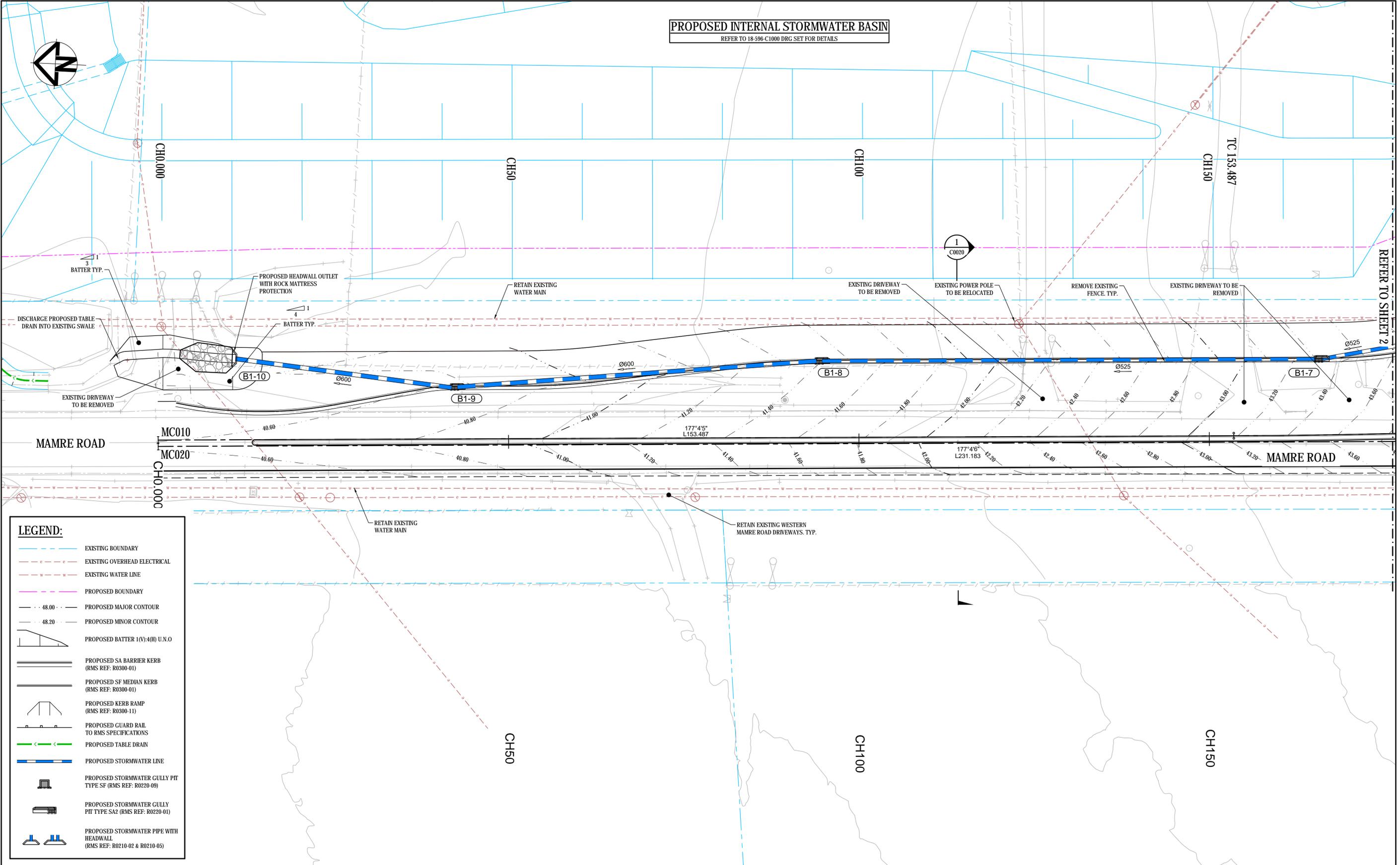
Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION
Title	TYPICAL SECTIONS

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info@atl.net.au

Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	18-596-C0010	Issue B

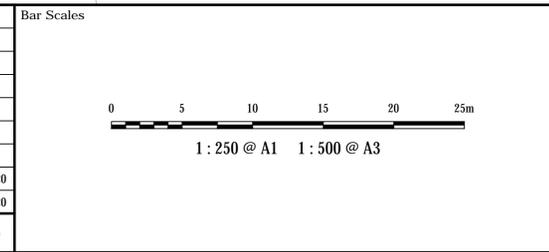
PROPOSED INTERNAL STORMWATER BASIN
REFER TO 18-596-C1000 DRG SET FOR DETAILS



LEGEND:

- EXISTING BOUNDARY
- EXISTING OVERHEAD ELECTRICAL
- EXISTING WATER LINE
- PROPOSED BOUNDARY
- 48.00 PROPOSED MAJOR CONTOUR
- 48.20 PROPOSED MINOR CONTOUR
- PROPOSED BATTER 1(V):4(H) U.N.O
- PROPOSED SA BARRIER KERB (RMS REF: R0300-01)
- PROPOSED SF MEDIAN KERB (RMS REF: R0300-01)
- PROPOSED KERB RAMP (RMS REF: R0300-11)
- PROPOSED GUARD RAIL TO RMS SPECIFICATIONS
- PROPOSED TABLE DRAIN
- PROPOSED STORMWATER LINE
- PROPOSED STORMWATER GULLY PIT TYPE SF (RMS REF: R0220-09)
- PROPOSED STORMWATER GULLY PIT TYPE SA2 (RMS REF: R0220-01)
- PROPOSED STORMWATER PIPE WITH HEADWALL (RMS REF: R0210-02 & R0210-05)

Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20



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Client	Scales		Drawn	PDK
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	Grid MGA	Checked	AT	
	Height Datum AHD	Approved		
	RMS Registration Number	DS2020/000XXX		

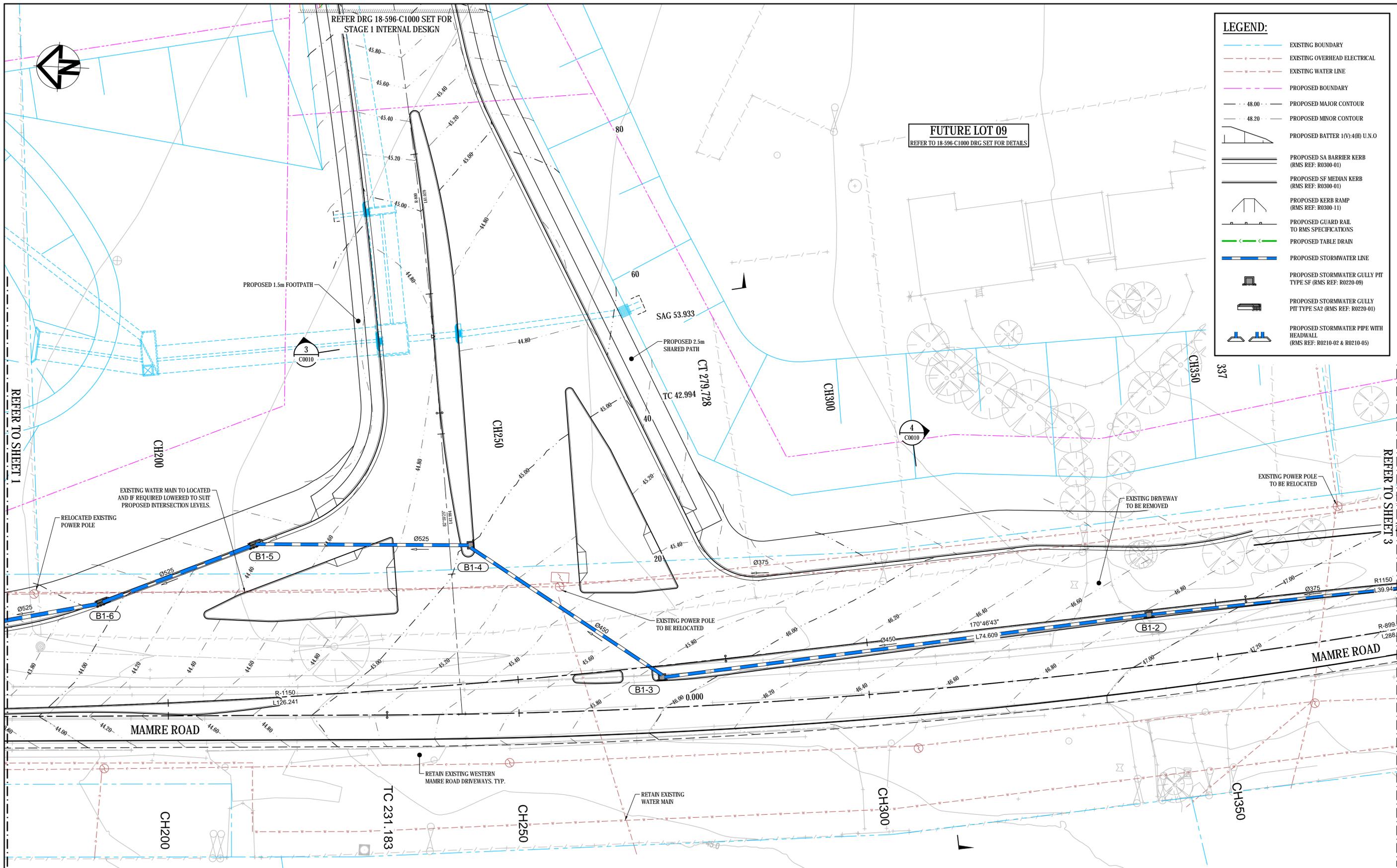
Project: **ASPECT INDUSTRIAL ESTATE
MAMRE ROAD,
KEMPS CREEK
EXTERNAL INTERSECTION**

Title: **ROADWORKS
AND STORMWATER DRAINAGE
PLAN
SHEET 1**

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ABN 96 130 882 405
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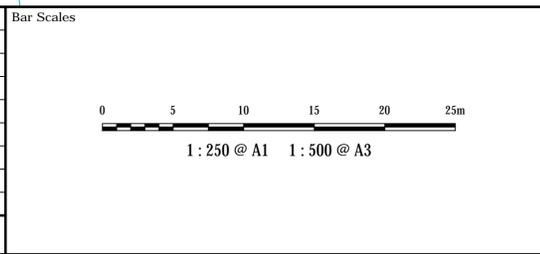
Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	18-596-C0020	Issue
		B



LEGEND:

- EXISTING BOUNDARY
- EXISTING OVERHEAD ELECTRICAL
- EXISTING WATER LINE
- PROPOSED BOUNDARY
- 48.00 PROPOSED MAJOR CONTOUR
- 48.20 PROPOSED MINOR CONTOUR
- PROPOSED BATTER 1(V):4(H) U.N.O
- PROPOSED SA BARRIER KERB (RMS REF: R0300-01)
- PROPOSED SF MEDIAN KERB (RMS REF: R0300-01)
- PROPOSED KERB RAMP (RMS REF: R0300-11)
- PROPOSED GUARD RAIL TO RMS SPECIFICATIONS
- PROPOSED TABLE DRAIN
- PROPOSED STORMWATER LINE
- PROPOSED STORMWATER GULLY PIT TYPE SF (RMS REF: R0220-09)
- PROPOSED STORMWATER GULLY PIT TYPE SA2 (RMS REF: R0220-01)
- PROPOSED STORMWATER PIPE WITH HEADWALL (RMS REF: R0210-02 & R0210-05)

Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20



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Client			
Scales	1:250	Drawn	PDK
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Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number	DS2020/000XXX		

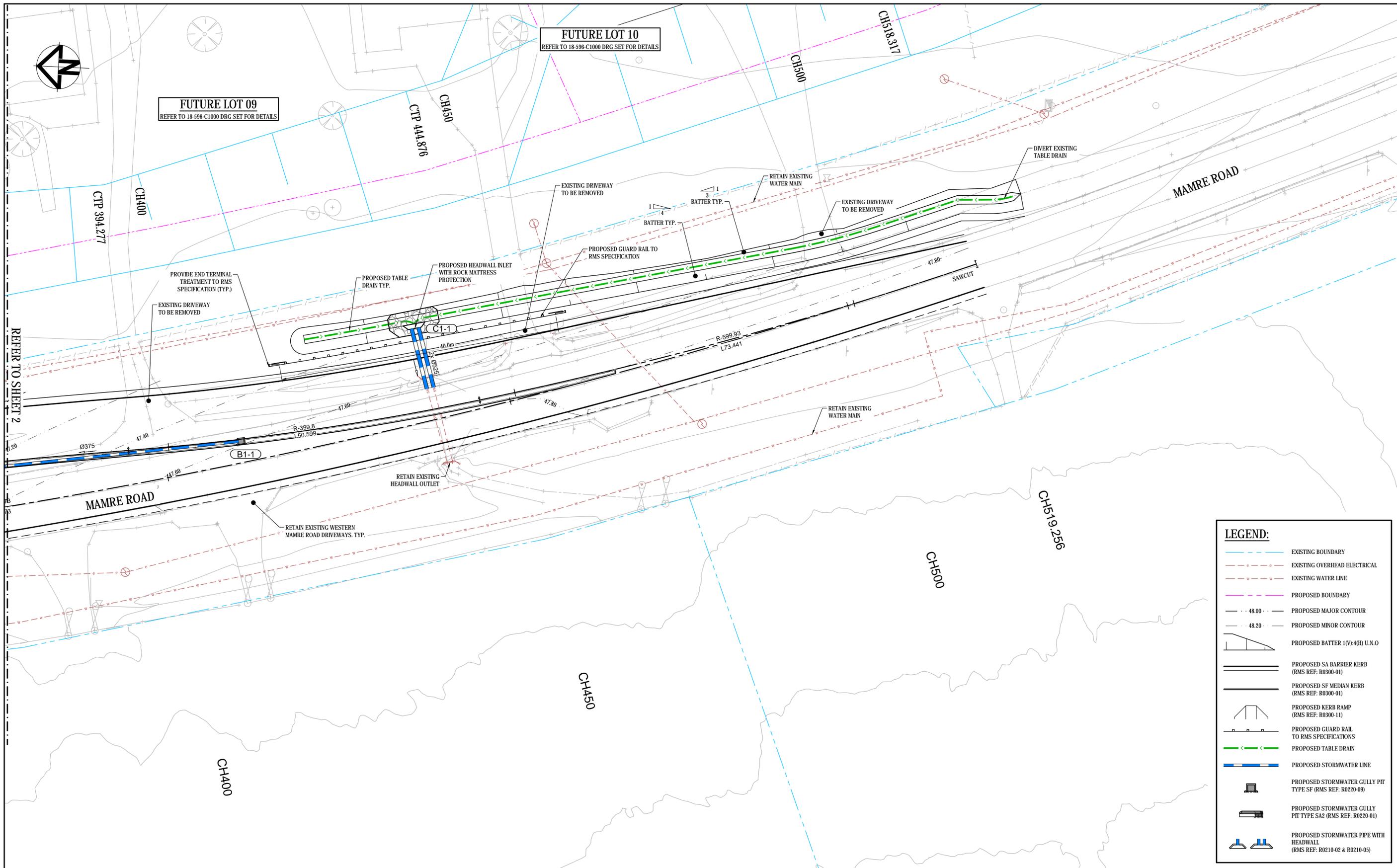
Project: **ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION**

Title: **ROADWORKS AND STORMWATER DRAINAGE PLAN SHEET 2**

Civil Engineers and Project Managers

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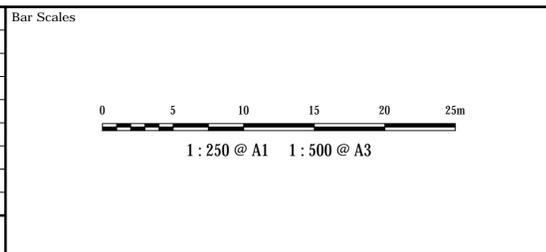
Status	FOR APPROVAL	A1
	NOT TO BE USED FOR CONSTRUCTION	
Project - Drawing No.	18-596-C0021	Issue
		B



LEGEND:

- EXISTING BOUNDARY
- EXISTING OVERHEAD ELECTRICAL
- EXISTING WATER LINE
- PROPOSED BOUNDARY
- 48.00 PROPOSED MAJOR CONTOUR
- 48.20 PROPOSED MINOR CONTOUR
- PROPOSED BATTER 1(V):4(H) U.N.O
- PROPOSED SA BARRIER KERB (RMS REF: R0300-01)
- PROPOSED SF MEDIAN KERB (RMS REF: R0300-01)
- PROPOSED KERB RAMP (RMS REF: R0300-11)
- PROPOSED GUARD RAIL TO RMS SPECIFICATIONS
- PROPOSED TABLE DRAIN
- PROPOSED STORMWATER LINE
- PROPOSED STORMWATER GULLY PIT TYPE SF (RMS REF: R0220-09)
- PROPOSED STORMWATER GULLY PIT TYPE SA2 (RMS REF: R0220-01)
- PROPOSED STORMWATER PIPE WITH HEADWALL (RMS REF: R0210-02 & R0210-05)

Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20



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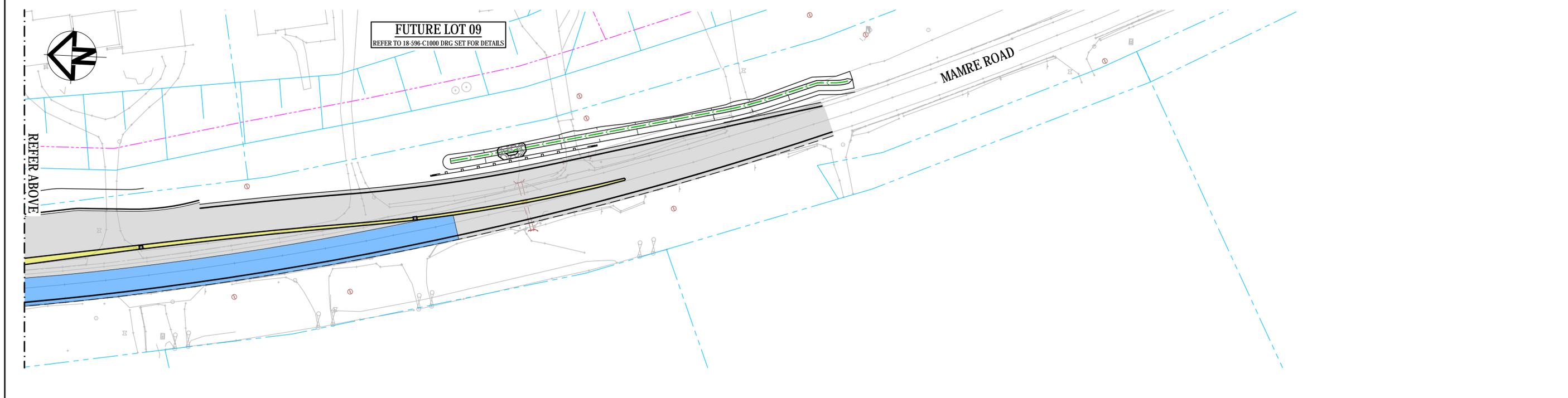
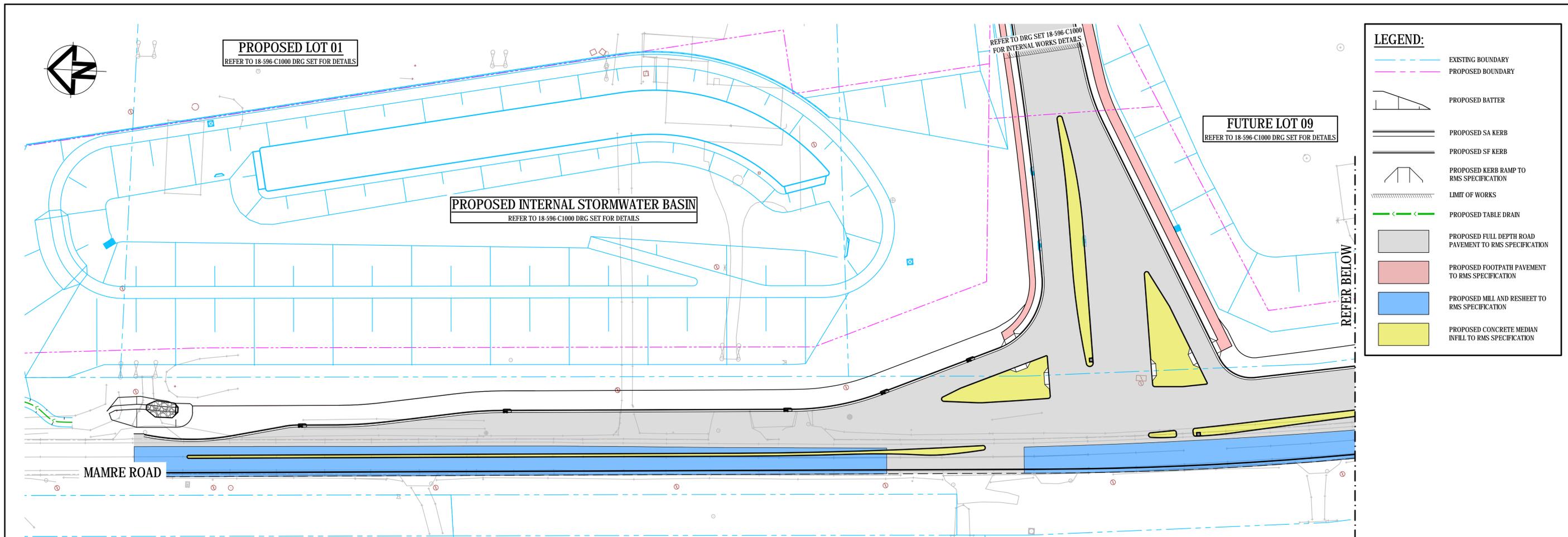
Client	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION		
Scales	1:250	Drawn	PDK
		Designed	PDK
Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number	DS2020/000XXX		

Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION	
Title	ROADWORKS AND STORMWATER DRAINAGE PLAN SHEET 3	

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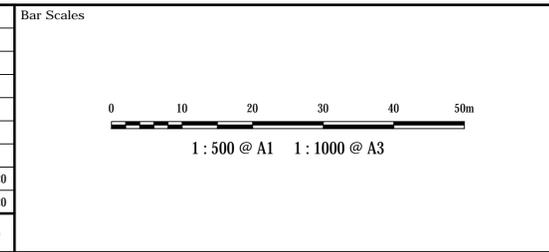
Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	18-596-C0022	Issue
		B



LEGEND:

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- PROPOSED BATTER
- PROPOSED SA KERB
- PROPOSED SF KERB
- PROPOSED KERB RAMP TO RMS SPECIFICATION
- LIMIT OF WORKS
- PROPOSED TABLE DRAIN
- PROPOSED FULL DEPTH ROAD PAVEMENT TO RMS SPECIFICATION
- PROPOSED FOOTPATH PAVEMENT TO RMS SPECIFICATION
- PROPOSED MILL AND RESHEET TO RMS SPECIFICATION
- PROPOSED CONCRETE MEDIAN INFILL TO RMS SPECIFICATION

Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20



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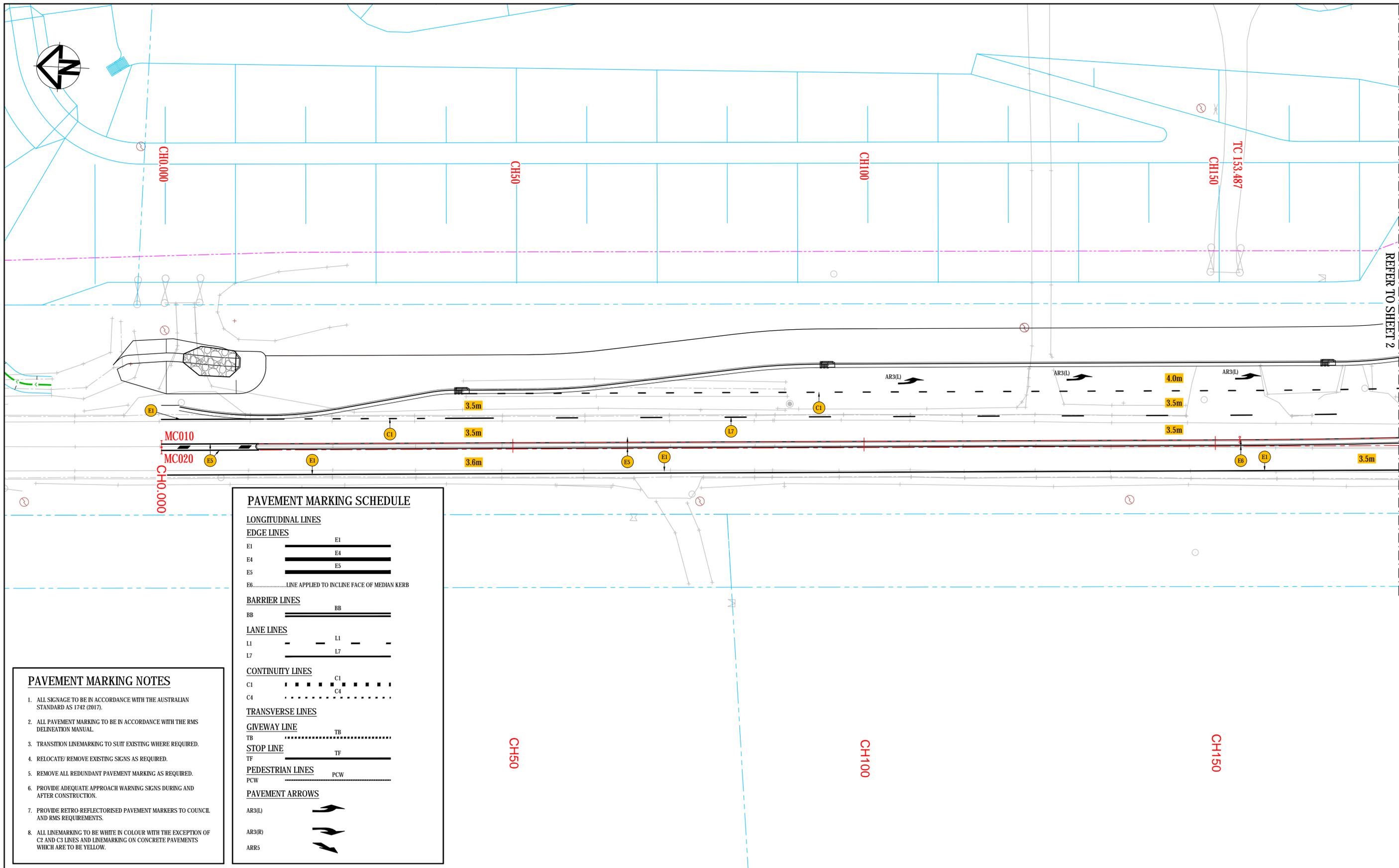
Scales	1:500	Drawn	PDK
		Designed	PDK
Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number	DS2020/000XXX		

Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION
Title	PAVEMENT PLAN

Civil Engineers and Project Managers

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Fax: 02 9923 1055
www.atl.net.au
info@atl.net.au

Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	18-596-C0030	Issue
		B



REFER TO SHEET 2

PAVEMENT MARKING SCHEDULE

LONGITUDINAL LINES

EDGE LINES

E1		E1
E4		E4
E5		E5
E6		LINE APPLIED TO INCLINE FACE OF MEDIAN KERB

BARRIER LINES

BB		BB
----	--	----

LANE LINES

L1		L1
L7		L7

CONTINUITY LINES

C1		C1
C4		C4

TRANSVERSE LINES

GIVEWAY LINE		TB
TB		TB

STOP LINE

TF		TF
----	--	----

PEDESTRIAN LINES

PCW		PCW
-----	--	-----

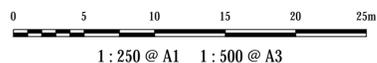
PAVEMENT ARROWS

AR3(L)	
AR3(R)	
ARR5	

PAVEMENT MARKING NOTES

1. ALL SIGNAGE TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD AS 1742 (2017).
2. ALL PAVEMENT MARKING TO BE IN ACCORDANCE WITH THE RMS DELINEATION MANUAL.
3. TRANSITION LINEMARKING TO SUIT EXISTING WHERE REQUIRED.
4. RELOCATE/ REMOVE EXISTING SIGNS AS REQUIRED.
5. REMOVE ALL REDUNDANT PAVEMENT MARKING AS REQUIRED.
6. PROVIDE ADEQUATE APPROACH WARNING SIGNS DURING AND AFTER CONSTRUCTION.
7. PROVIDE RETRO-REFLECTORISED PAVEMENT MARKERS TO COUNCIL AND RMS REQUIREMENTS.
8. ALL LINEMARKING TO BE WHITE IN COLOUR WITH THE EXCEPTION OF C2 AND C3 LINES AND LINEMARKING ON CONCRETE PAVEMENTS WHICH ARE TO BE YELLOW.

Bar Scales



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Client



Scales

1:250

Grid

MGA

Height Datum

AHD

RMS Registration Number

DS2020/000XXX

Drawn

Designed

Checked

Approved

PDK

PDK

AT

Project
**ASPECT INDUSTRIAL ESTATE
MAMRE ROAD,
KEMPS CREEK
EXTERNAL INTERSECTION**

Title
**PAVEMENT MARKING
AND SIGNAGE
PLAN
SHEET 1**

Civil Engineers and Project Managers

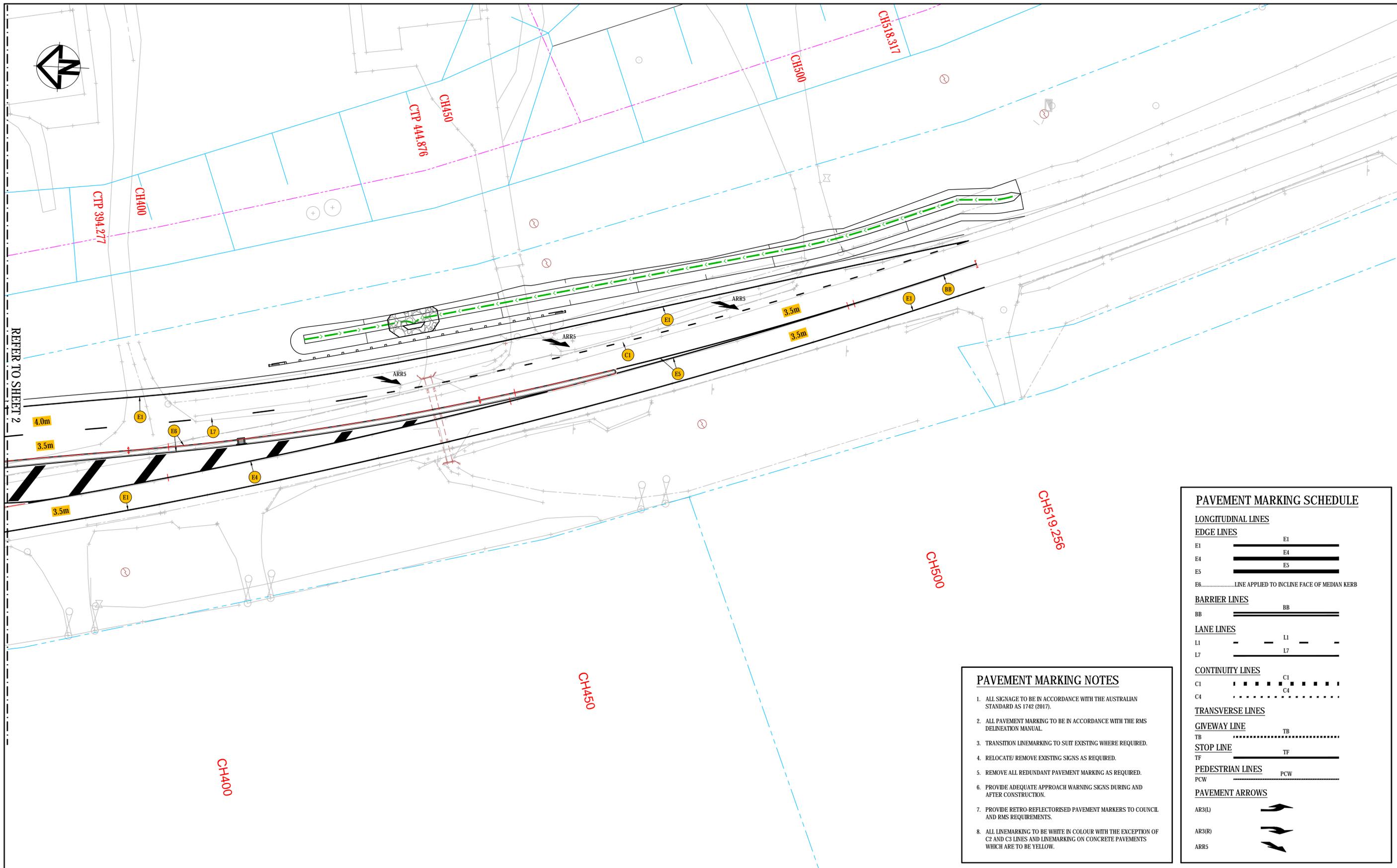


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Status
**FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION**
Project - Drawing No.
18-596-C0040

Issue
**A1
B**

Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20

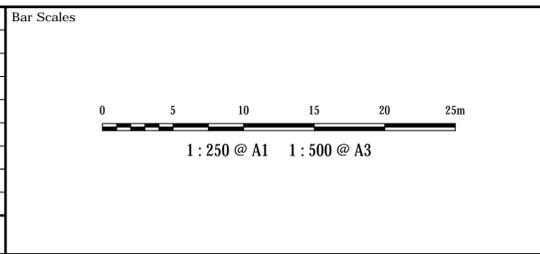


REFER TO SHEET 2

PAVEMENT MARKING SCHEDULE	
LONGITUDINAL LINES	
EDGE LINES	
E1	————— E1
E4	————— E4
E5	————— E5
E6LINE APPLIED TO INCLINE FACE OF MEDIAN KERB
BARRIER LINES	
BB	===== ===== BB
LANE LINES	
L1	— — — — — L1
L7	————— L7
CONTINUITY LINES	
C1 C1
C4 C4
TRANSVERSE LINES	
GIVEWAY LINE	
TB TB
STOP LINE	
TF	————— TF
PEDESTRIAN LINES	
PCW PCW
PAVEMENT ARROWS	
AR3(L)	↙
AR3(R)	↘
ARR5	↔

- PAVEMENT MARKING NOTES**
1. ALL SIGNAGE TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD AS 1742 (2017).
 2. ALL PAVEMENT MARKING TO BE IN ACCORDANCE WITH THE RMS DELINEATION MANUAL.
 3. TRANSITION LINEMARKING TO SUIT EXISTING WHERE REQUIRED.
 4. RELOCATE/ REMOVE EXISTING SIGNS AS REQUIRED.
 5. REMOVE ALL REDUNDANT PAVEMENT MARKING AS REQUIRED.
 6. PROVIDE ADEQUATE APPROACH WARNING SIGNS DURING AND AFTER CONSTRUCTION.
 7. PROVIDE RETRO-REFLECTORISED PAVEMENT MARKERS TO COUNCIL AND RMS REQUIREMENTS.
 8. ALL LINEMARKING TO BE WHITE IN COLOUR WITH THE EXCEPTION OF C2 AND C3 LINES AND LINEMARKING ON CONCRETE PAVEMENTS WHICH ARE TO BE YELLOW.

Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20



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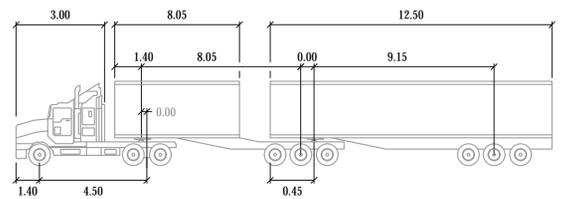
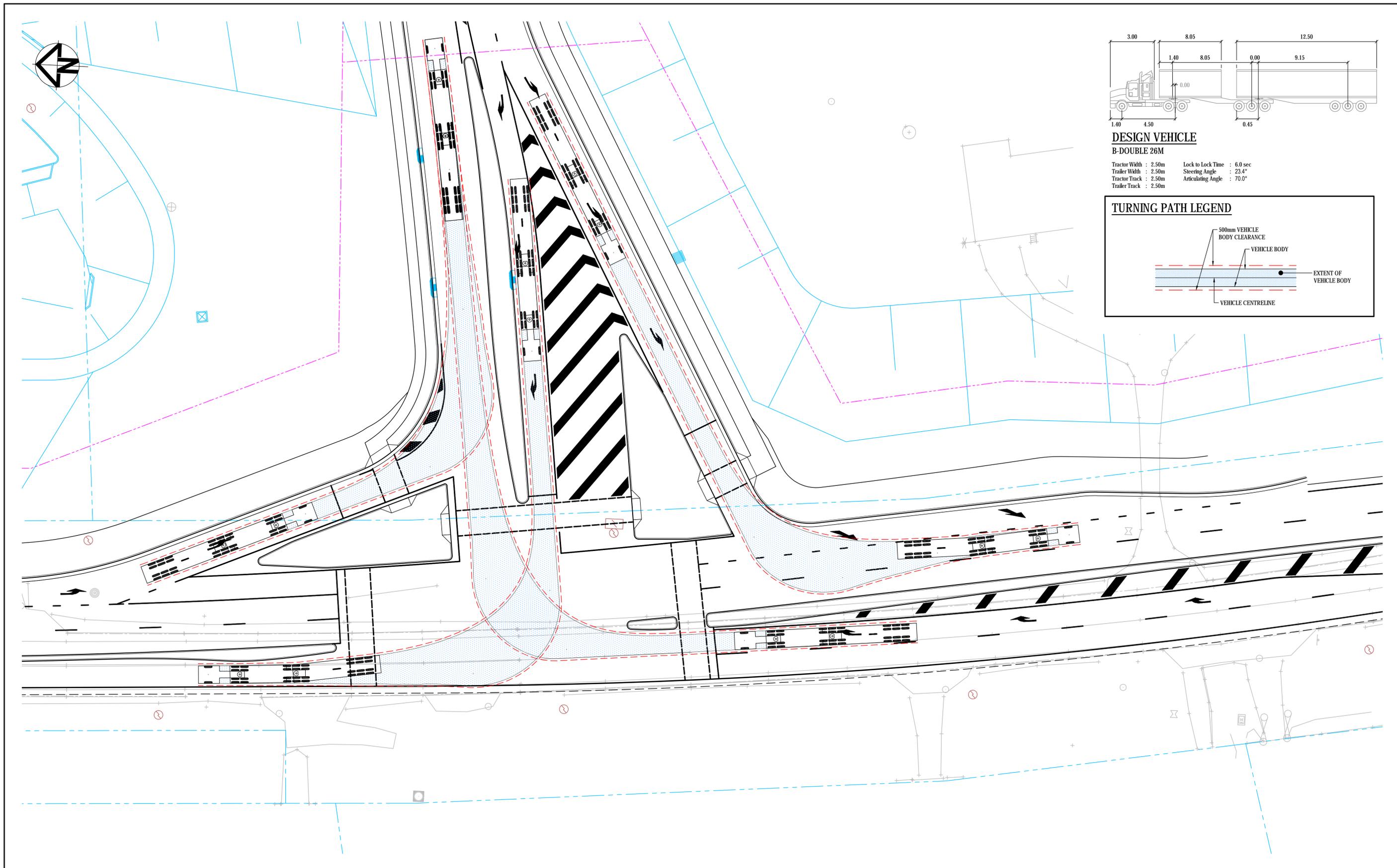
Client	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION		
Scales	1:250	Drawn	PDK
		Designed	PDK
Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number	DS2020/000XXX		

Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION	
Title	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 3	

Civil Engineers and Project Managers

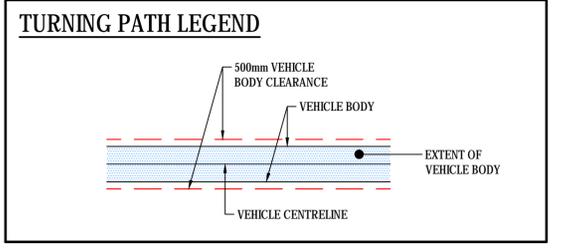
Level 7, 153 Walker Street
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Tel: 02 9439 1777
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info@atl.net.au

Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	18-596-C0042	Issue
		B

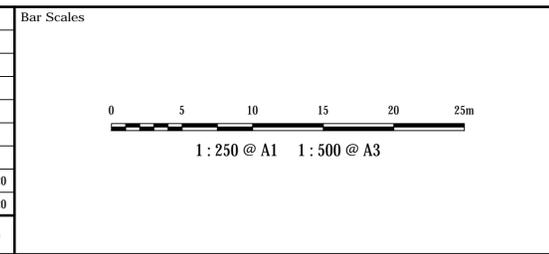


DESIGN VEHICLE
B-DOUBLE 26M

Tractor Width : 2.50m Lock to Lock Time : 6.0 sec
 Trailer Width : 2.50m Steering Angle : 23.4°
 Tractor Track : 2.50m Articulating Angle : 70.0°
 Trailer Track : 2.50m



Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20



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Client			
Scales	1:250	Drawn	PDK
		Designed	PDK
Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number	DS2020/000XXX		

Project: **ASPECT INDUSTRIAL ESTATE
MAMRE ROAD,
KEMPS CREEK
EXTERNAL INTERSECTION**

Title: **TURNING PATH
PLAN**

Civil Engineers and Project Managers

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Status: **FOR APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

Project - Drawing No. **18-596-C0050**

Issue	B
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