

INFRASTRUCTURE REPORT

90-102 REGENT STREET REDFERN, WEE HUR STUDENT HOUSING

02 OCTOBER 2020



CONTACT



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WEE HUR GROUP WEE HUR STUDENT VILLAGE

Infrastructure Report

Author Benjamin Fogerty

Checker Kakoli Das

Approver Kakoli Das

Report No F001 - 10036797

Date 25/09/2020

Revision Text 02

This report has been prepared for Wee Hur in accordance with the terms and conditions of appointment for Redfern Student Accommodation. Arcadis Australia Pacific Pty Limited (ABN 76 104 485 289) cannot accept any responsibility for any use of or reliance on the contents of this report by any third party.

REVISIONS

Revision	Date	Description	Prepared by	Approved by
01	25/09/2020	Draft Issue	BF	KD
02	02/10/2020	DA Submission	BF	KD

CONTENTS

1 . EXECUTIVE SUMMARY	1
1.1 Purpose	1
1.2 Authority.....	1
2 INTRODUCTION	2
2.1 Site Information	2
2.2 Description of Building	2
2.3 Work Undertaken by Arcadis.....	2
3 EXISTING INFRASTRUCTURE.....	3
3.1 Electrical Services.....	3
3.2 Communications Services.....	3
3.3 Water & Sewer Services.....	3
3.4 Gas Services	3
3.5 Surrounding Developments and future demand.....	3
4 PROPOSED INFRASTRUCTURE	4
4.1 Electrical Services.....	4
4.2 Communications Services.....	4
4.3 Water & Sewer Services.....	4
4.4 Gas Services	5
APPENDIX A – AUSGRID NETWORK DRAWING	6
APPENDIX B – SYDNEY WATER.....	1
APPENDIX C – EXISTING DEVELOPMENT SURVEY	2
APPENDIX D – DIAL BEFORE YOU DIG (DBYD).....	3

1 . EXECUTIVE SUMMARY

1.1 Purpose

The purpose of this report is to assess the existing Electrical, Communications and Hydraulics services (provisions to the newly proposed Redfern Student Accommodation).

The assessment is based on the following:

- Review of “Dial Before You Dig (DBYD)” information
- Preliminary maximum demand calculations based on initial architectural designs
- Review of architectural drawings of the proposed development
- Review of Ausgrid GIS plans and single line diagrams
- Review of Sydney Water Pressure and Flow enquiry

Further coordination and discussions with the respective authorities will be carried out at the detailed design stage to confirm the supply arrangement and modification to infrastructure work required.

This report shall not be relied upon as providing any warranty or guarantee of the project, its services or equipment.

1.2 Authority

Authority to undertake this report was provided by Wee Hur on July 2020.

2 INTRODUCTION

2.1 Site Information

The proposed development site is located on the corner of Regent Street and Marian Street, Redfern. The Existing building is proposed to be demolished and a new 18 story student housing complex built. The architectural drawings shown the site will incorporate student housing rooms, common areas, and a retail tenancy.

2.2 Description of Building

The development will comprise:

- 1 levels of basement
- Ground floor, entry, with lobby space
- 18 floors, inclusive of ground floor, with 14 Typical floors in tower
- Rooftop plant

The development site is located in Redfern at the intersection between Regent Street and Marian Street.

2.3 Work Undertaken by Arcadis

Arcadis have undertaken the following works:

- Calculated electrical maximum demand, based on the architectural plans and areas schedule.
- Review DBYD information received from utilities including Sydney water, Ausgrid, Telstra, Optus.

Arcadis analysis is a desktop study only based on documents available at the time when this report was written. The list of available documents is included in section 3 of this report.

3 EXISTING INFRASTRUCTURE

The following Infrastructure provisions were noted.

3.1 Electrical Services

The current substations are to be demolished as part of the new project.

The Ausgrid Geotechnical (GIS) drawings for this area are attached as Appendix A.

3.2 Communications Services

The drawings received from services providers showing their network in the vicinity of the proposed site are attached as Appendix D.

The current development site survey indicates a telecom connection pit at the front of the site with telecom connection at Regent Street.

3.3 Water & Sewer Services

The drawings received from Sydney water showing their network in the vicinity of the proposed site are attached as Appendix B.

The current development site survey indicates a water meter at the back of the development for a water connection from Marian street. There is a sewer pipe running from the back of the development and connects to the sewer main running along William lane.

3.4 Gas Services

The drawings received from Sydney water showing their network in the vicinity of the proposed site are attached as Appendix E.

The current development site survey indicates a gas meter at the back of the development for a gas connection from Marian street.

3.5 Surrounding Developments and future demand

As part of the detailed design and construction documentation, updated loading requirements will be provided so that utilities providers can confirm the impact on there demand and ensure there is sufficient system capacity for the new development and any surrounding future developments

4 PROPOSED INFRASTRUCTURE

It should be noted that where capacities are commented on, these are at the point in time when this report is prepared and may change subject to other developments in the vicinity.

4.1 Electrical Services

Based on the area schedule and architectural drawings, the calculated maximum demand for the development based on VA/sqm allowance (to AS3000 recommendation) is approximately 1.9MVA.

A direction had been given by the developer to base the assumption of the maximum demand on this building following the recorded power consumption of an existing student accommodation building in Brisbane.

Utilizing the diversification factor obtained from the reference building in Brisbane, the new calculated maximum demand for this development is approximately 1MVA.

A new 1MVA mini chamber substation is proposed to be installed as part of the development.

A formal application requesting “Design Information Package” (DIP) will have to be made to Ausgrid during the detail design stage. This will be required for the preparation of the Level 3 design associated with the provision of HV supply from Ausgrid nominated connection point/zone substation and the new distribution substations within the property boundary.

4.2 Communications Services

With the DBYD results indicating there is optic fibre connections in the vicinity of the site, it is proposed to connect into the optic fibre network to provide NBN to the property. As part of the development and new lead in cable would need to be installed to allow connection to the network. As this is a new development a new comms room will be installed and is currently proposed to be located on the basement floor.

An inquiry with Telstra is still pending to gain further information of the existing services to the location, once this information has been provided further design can be undertaken.

4.3 Water & Sewer Services

It is proposed to connect into the 150DICL water main running along Regent Street, Initial consultation with Sydney Water regarding the Pressure and Flow to the site has indicate that the provided mains pressure will be insufficient, and a section 73 will be submitted to Sydney water, the Section 73 will be required to be submitted following lodgement of the DA documentation. Following the application of the section 73, A notice of requirements from Sydney water will inform as to the required mains upgrades to be undertaken as part of the project to ensure sufficient pressure and flow to the property. This body of works will be undertaken during detailed design following the approval of the DA works and future updates from Sydney water following lodgement of section 73.

As part of a second project undertaken by Wee Hur, located at 13-23 Gibbons street Redfern, initial consultation with Sydney water has taken place regarding the section 73 requirement at this location. The Gibbons street project has already had DA submission and from initial Sydney water advise the mains upgrade required for 13-23 Gibbons street will also impact this project. As such discussion with Sydney water about how best to provide the required upgrade works to both these projects is underway and following DA submission, further updates can be provided to Sydney water.

The waste water is proposed to be connected into the 225VC service which runs through the back of the property and connects into William Lane.

4.4 Gas Services

It is proposed to connect into the 75NY 210kPa Jemina Gas main running along Regent Street, with Ausgrid Plans indicating this as the primary gas main in the vicinity of the development. As part of the development a new lead in gas connection will be established to the building.

APPENDIX A – AUSGRID NETWORK DRAWING

If further information is required, please contact:

Ausgrid DBYD

Phone: (02) 4951 0899

Fax: (02) 4951 0729



Emergency Phone Number 131388

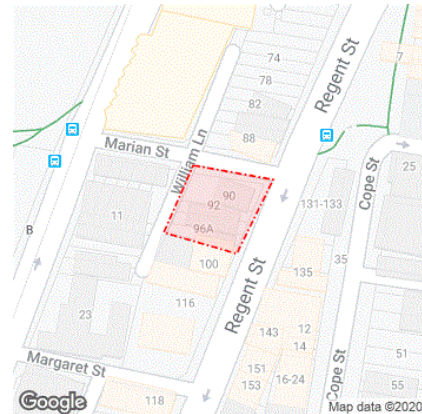
Underground Cable Location Search Advice -- Ausgrid Assets Affected --

To:	Mr benjamin fogerty arcadis Level 16 580 George Street Sydney NSW 2000		
		Phone No:	0435526993
		Issue Date:	13/05/2020

In response to your enquiry, Sequence No: 97604059 the records of Ausgrid disclose that there **are** Ausgrid underground cables in the defined search location and relevant Ausgrid plans have been provided.

This search is based on the geographical position of the dig site as denoted in the Dial Before You Dig caller confirmation sheet and an overview is provided:

Address:	90 Regent Street Redfern NSW 2016
Job #:	19522051



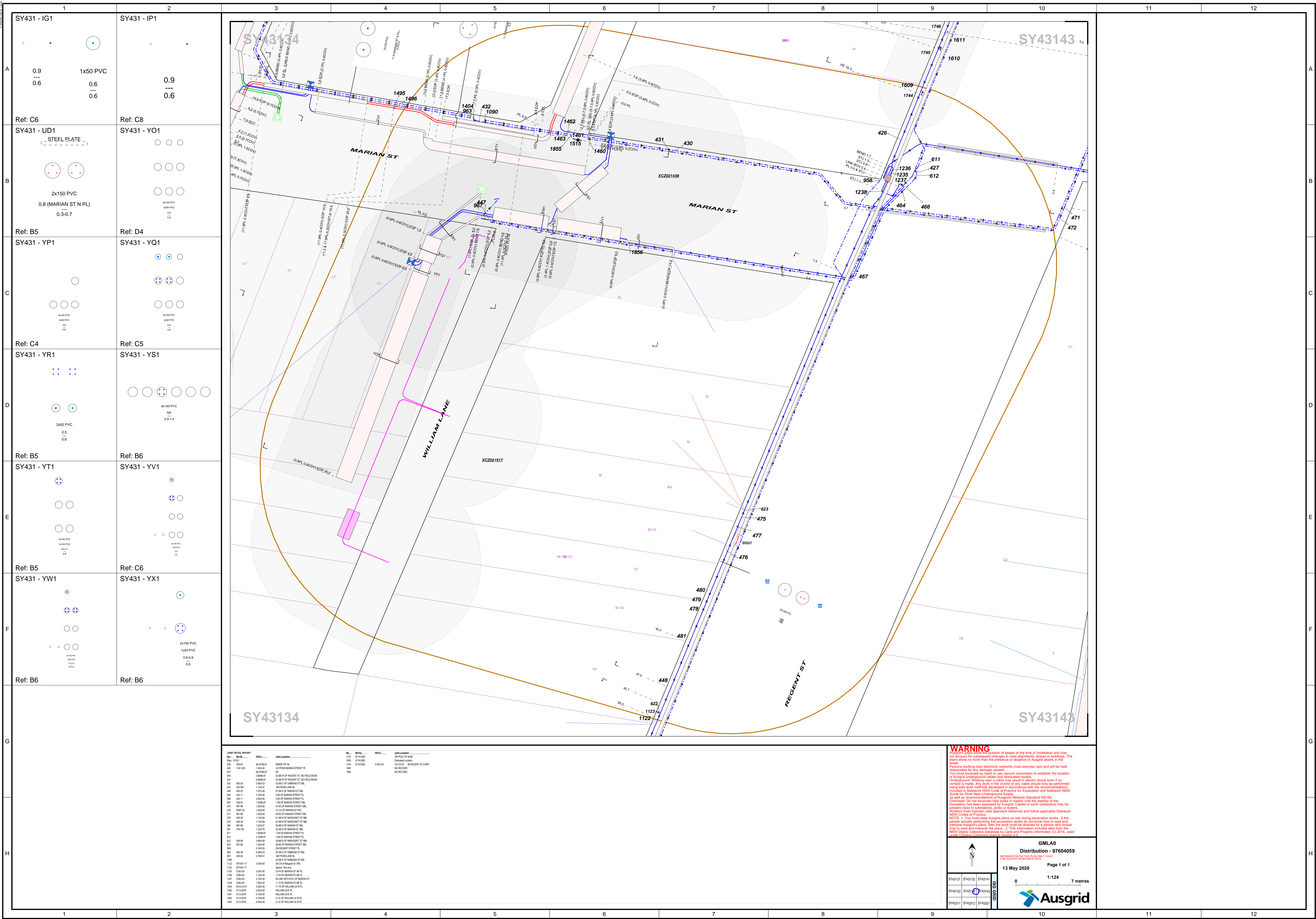
****Important****

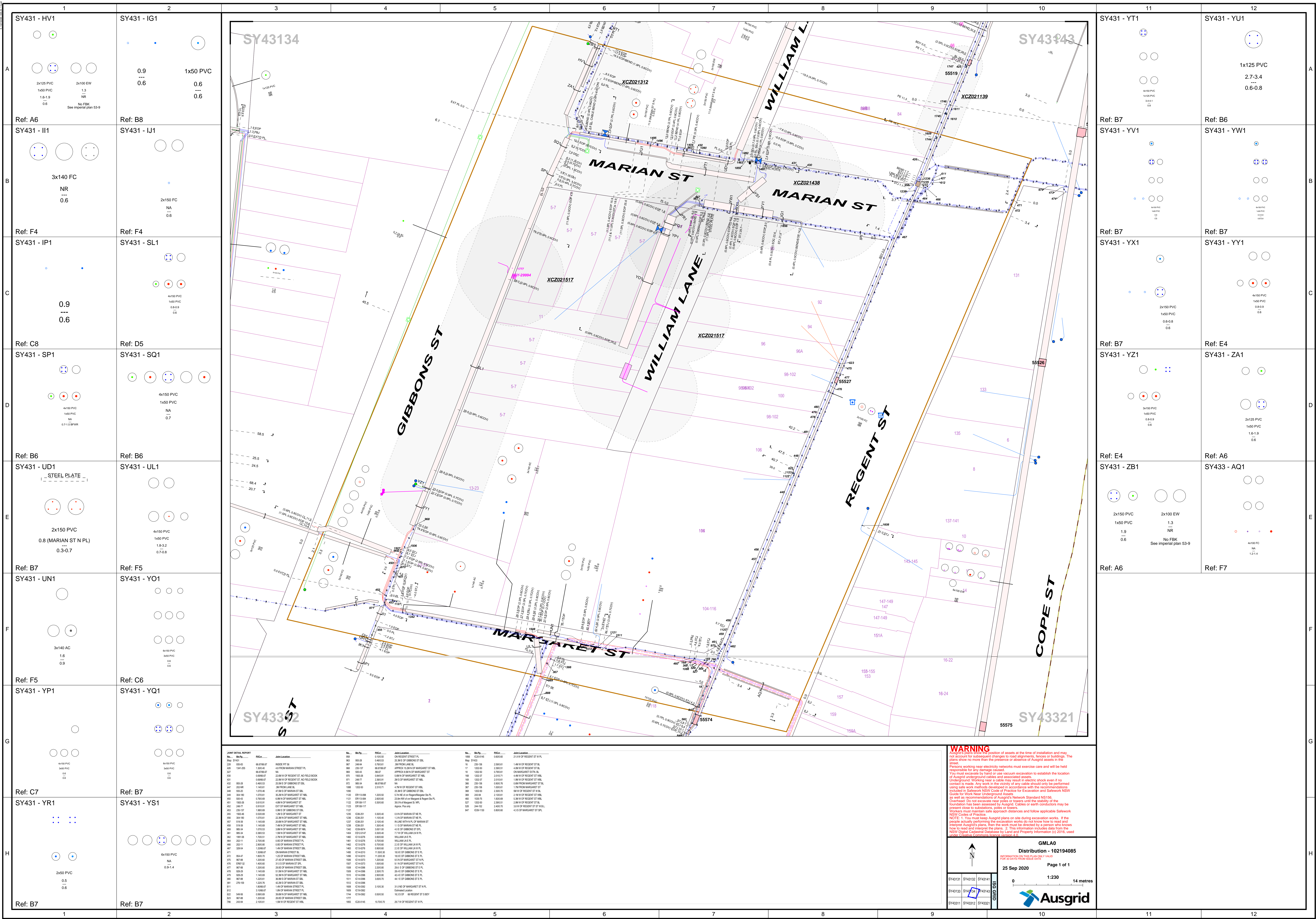
- All information provided to you is **ONLY VALID FOR 30 DAYS** from the date of issue
- You must keep Ausgrid plans on site during excavation works. If the people actually performing the excavation works do not know how to read and interpret Ausgrid's plans, then the work must be directed by a person who knows how to read and interpret plans.
- If you require a full size print of A0 plans and don't have the resources to do so please contact our office on 49510899 to request a hard copy to be posted. **Please allow 3 working days for delivery.**
- Please note you will ONLY receive portions of your search area that contain Ausgrid Underground Assets

YOU MUST READ AND UNDERSTAND THE SUPPLEMENTARY MATERIAL CONTAINED IN THIS ADVICE BEFORE PROCEEDING WITH ANY WORKS.

Summary of Supplementary Information:

Material	Purpose	Location
Important Information.pdf	Details important information	Attached
Working near Ausgrid Cables.pdf	Summary of NS156	Attached
COMN0119 How to Read Ausgrid Plans.pdf	Details how to read Ausgrid plans	Attached
SafeWork NSW "Work near underground assets: Guide"	To assist you in deciding appropriate measures to eliminate or control risks when working near underground assets.	Web Link [Click Here]
Ausgrid's Network Standard NS156	For important information for work near or around underground cables	Web Link [Click Here]
Ausgrid's Network Standard NS199	This Network Standard applies to specific work on Ausgrid Low Voltage Underground Assets and associated Hazards	Web Link [Click Here]
Working in Confined Spaces	For important information when working in confined spaces	Web Link [Click Here]





APPENDIX B – SYDNEY WATER



Plan 1 of 1

0m 2m 4m 6m 8m 10m



Statement of Available Pressure and Flow

Thomas Kneebone
580 George Street
Sydney, 2000

Attention: Thomas Kneebone

Date: 11/08/2020

Pressure & Flow Application Number: 923583

Your Pressure Inquiry Dated: 2020-07-29

Property Address: 13-23 Gibbons Street, Redfern 2016

The expected maximum and minimum pressures available in the water main given below relate to modelled existing demand conditions, either with or without extra flows for emergency fire fighting, and are not to be construed as availability for normal domestic supply for any proposed development.

ASSUMED CONNECTION DETAILS

Street Name: Gibbons Street	Side of Street: East
Distance & Direction from Nearest Cross Street	20 metres North from Margaret Street
Approximate Ground Level (AHD):	25 metres
Nominal Size of Water Main (DN):	150 mm

EXPECTED WATER MAIN PRESSURES AT CONNECTION POINT

Normal Supply Conditions	
Maximum Pressure	60 metre head
Minimum Pressure	39 metre head

WITH PROPERTY FIRE PREVENTION SYSTEM DEMANDS	Flow l/s	Pressure head m
Fire Hose Reel Installations (Two hose reels simultaneously)	0.66	39
Fire Hydrant / Sprinkler Installations (Pressure expected to be maintained for 95% of the time)	5	42
	10	42
	15	42
	20	41
	26	40
	30	40
Fire Installations based on peak demand (Pressure expected to be maintained with flows combined with peak demand in the water main)	5	39
	10	39
	15	38
	20	37
	26	36
	30	36
Maximum Permissible Flow	40	34

(Please refer to reverse side for Notes)

For any further inquiries regarding this application please email :

swtapin@sydneywater.com.au

General Notes

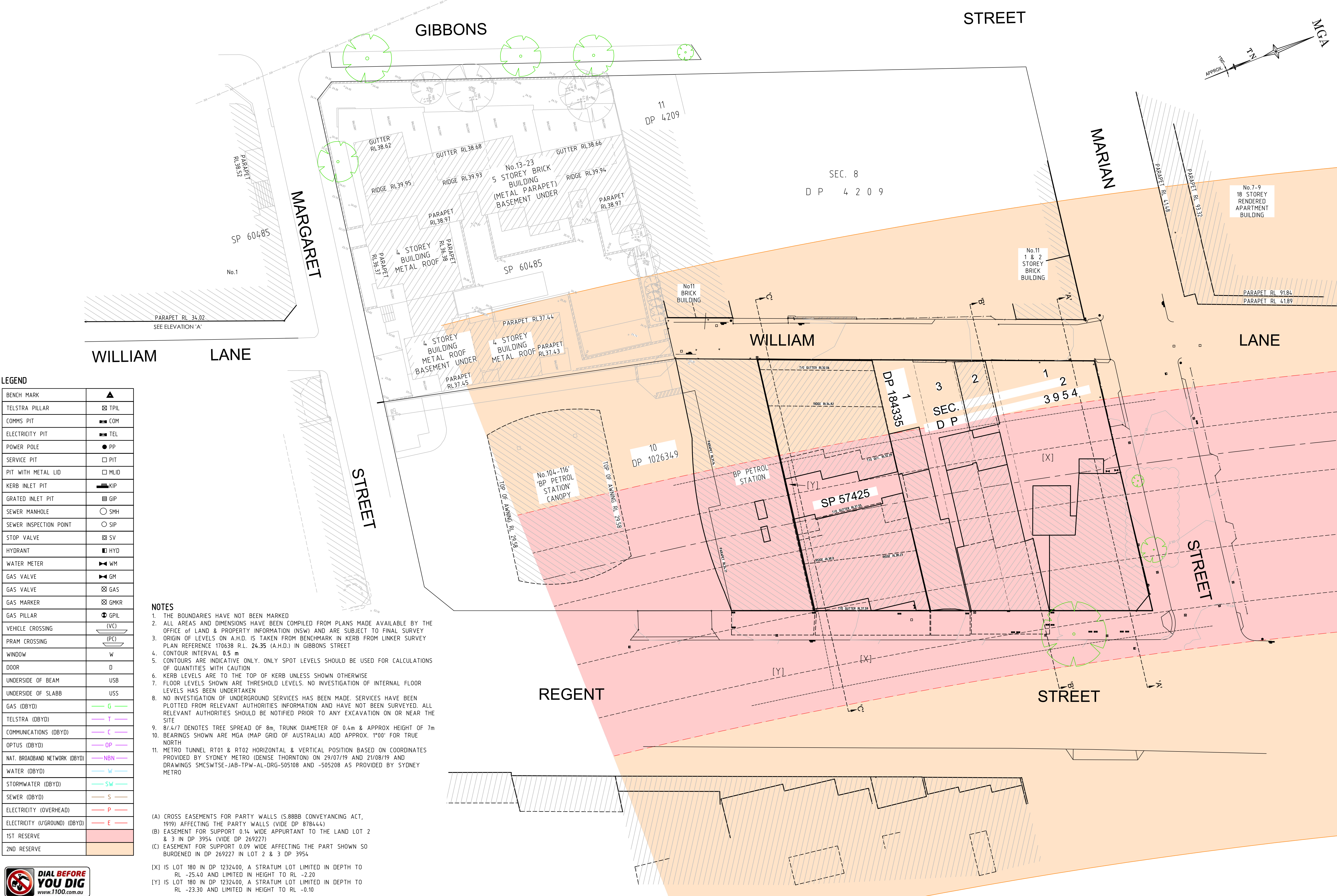
This report is provided on the understanding that (i) the applicant has fully and correctly supplied the information necessary to produce and deliver the report and (ii) the following information is to be read and understood in conjunction with the results provided.

1. Under its Act and Operating Licence, Sydney Water is not required to design the water supply specifically for fire fighting. The applicant is therefore required to ensure that the actual performance of a fire fighting system, drawing water from the supply, satisfies the fire fighting requirements.
2. Due to short-term unavoidable operational incidents, such as main breaks, the regular supply and pressure may not be available all of the time.
3. To improve supply and/or water quality in the water supply system, limited areas are occasionally removed from the primary water supply zone and put onto another zone for short periods or even indefinitely. This could affect the supply pressures and flows given in this letter. This ongoing possibility of supply zone changes etc, means that the validity of this report is limited to one (1) year from the date of issue. It is the property owner's responsibility to periodically reassess the capability of the hydraulic systems of the building to determine whether they continue to meet their original design requirements.
4. Sydney Water will provide a pressure report to applicants regardless of whether there is or will be an approved connection. Apparent suitable pressures are not in any way an indication that a connection would be approved without developer funded improvements to the water supply system. These improvements are implemented under the Sydney Water 'Urban Development Process'.
5. Pumps that are to be directly connected to the water supply require approval of both the pump and the connection. Applications are to be lodged online via Sydney Water Tap in™ system - Sydney Water Website – www.sydneywater.com.au/tapin/index.htm. Where possible, on-site recycling tanks are recommended for pump testing to reduce water waste and allow higher pump test rates.
6. Periodic testing of boosted fire fighting installations is a requirement of the Australian Standards. To avoid the risk of a possible 'breach' of the Operating Licence, flows generated during testing of fire fighting installations are to be limited so that the pressure in Sydney Water's System is not reduced below 15 metres. Pumps that can cause a breach of the Operating Licence anywhere in the supply zone during testing will not be approved. This requirement should be carefully considered for installed pumps that can be tested to 150% of rated flow.

Notes on Models

1. Calibrated computer models are used to simulate maximum demand conditions experienced in each supply zone. Results have not been determined by customised field measurement and testing at the particular location of the application.
2. Regular updates of the models are conducted to account for issues such as urban consolidation, demand management or zone change.
3. Demand factors are selected to suit the type of fire-fighting installation. Factor 1 indicates pressures due to system demands as required under Australian Standards for fire hydrant installations. Factor 2 indicates pressures due to peak system demands.
4. When fire-fighting flows are included in the report, they are added to the applicable demand factor at the nominated location during a customised model run for a single fire. If adjacent properties become involved with a coincident fire, the pressures quoted may be substantially reduced.
5. Modelling of the requested fire fighting flows may indicate that local system capacity is exceeded and that negative pressures may occur in the supply system. Due to the risk of water contamination and the endangering of public health, Sydney Water reserves the right to refuse or limit the amount of flow requested in the report and, as a consequence, limit the size of connection and/or pump.
6. The pressures indicated by the modelling, at the specified location, are provided without consideration of pressure losses due to the connection method to Sydney Water's mains.

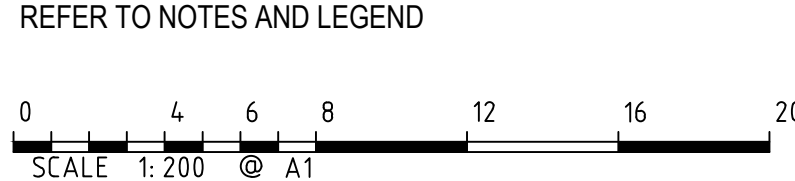
APPENDIX C – EXISTING DEVELOPMENT SURVEY



LEGEND	
BENCH MARK	▲
TELSTRA PILLAR	TPIL
COMMS PIT	COM
ELECTRICITY PIT	TEL
POWER POLE	PP
SERVICE PIT	PIT
PIT WITH METAL LID	MLID
KERB INLET PIT	KIP
GRATED INLET PIT	GIP
SEWER MANHOLE	SMH
SEWER INSPECTION POINT	SIP
STOP VALVE	SV
HYDRANT	HYD
WATER METER	WM
GAS VALVE	GM
GAS VALVE	GAS
GAS MARKER	GMKR
GAS PILLAR	GPIL
VEHICLE CROSSING	(VC)
PRAM CROSSING	(PC)
WINDOW	W
DOOR	D
UNDERSIDE OF BEAM	USB
UNDERSIDE OF SLABB	USS
GAS (DBYD)	G
TELSTRA (DBYD)	T
COMMUNICATIONS (DBYD)	C
OPTUS (DBYD)	OP
NAT. BROADBAND NETWORK (DBYD)	NBN
WATER (DBYD)	W
STORMWATER (DBYD)	SW
SEWER (DBYD)	S
ELECTRICITY (OVERHEAD)	P
ELECTRICITY (UGROUND) (DBYD)	E
1ST RESERVE	
2ND RESERVE	

- NOTES
- THE BOUNDARIES HAVE NOT BEEN MARKED
 - ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY
 - ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM BENCHMARK IN KERB FROM LINKER SURVEY PLAN REFERENCE 170638 R.L. 24.35 (A.H.D.) IN GIBBONS STREET
 - CONTOUR INTERVAL 0.5 m
 - CONTOURS ARE INDICATIVE ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
 - KERB LEVELS ARE TO THE TOP OF KERB UNLESS SHOWN OTHERWISE
 - FLOOR LEVELS SHOWN ARE THRESHOLD LEVELS. NO INVESTIGATION OF INTERNAL FLOOR LEVELS HAS BEEN UNDERTAKEN
 - NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. SERVICES HAVE BEEN PLOTTED FROM RELEVANT AUTHORITIES INFORMATION AND HAVE NOT BEEN SURVEYED. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE
 - 8/4/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m
 - BEARINGS SHOWN ARE MGA (MAP GRID OF AUSTRALIA) ADD APPROX. 1°00' FOR TRUE NORTH
 - METRO TUNNEL RT01 & RT02 HORIZONTAL & VERTICAL POSITION BASED ON COORDINATES PROVIDED BY SYDNEY METRO (DENISE THORNTON) ON 29/07/19 AND 21/08/19 AND DRAWINGS SMCSWTSE-JAB-TPW-AL-DRG-505108 AND -505208 AS PROVIDED BY SYDNEY METRO

- (A) CROSS EASEMENTS FOR PARTY WALLS (S.88BB CONVEYANCING ACT, 1919) AFFECTING THE PARTY WALLS (VIDE DP 878444)
- (B) EASEMENT FOR SUPPORT 0.14 WIDE APPURTANT TO THE LAND LOT 2 & 3 IN DP 3954 (VIDE DP 269227)
- (C) EASEMENT FOR SUPPORT 0.09 WIDE AFFECTING THE PART SHOWN SO BURDENED IN DP 269227 IN LOT 2 & 3 DP 3954
- [X] IS LOT 180 IN DP 1232400, A STRATUM LOT LIMITED IN DEPTH TO RL -25.40 AND LIMITED IN HEIGHT TO RL -2.20
- [Y] IS LOT 180 IN DP 1232400, A STRATUM LOT LIMITED IN DEPTH TO RL -23.30 AND LIMITED IN HEIGHT TO RL -0.10



D	30/09/20	SYDNEY METRO TUNNELS, RESERVES AND CROSS SECTIONS ADDED	006
C	18/09/20	STORMWATER PIPT INVERTS ADDED	50670/005
B	04/07/19	ADDITIONAL TREES ADDED	50670/002
A	29/05/19	ADDITIONAL DETAIL & LEVEL ADDED	50670/002
Revision	Date	Description	Reference

THIS IS THE PLAN REFERRED TO IN MY LETTER DATED:

Registered Surveyor NSW

LTS
LOCKLEY
Suite 1, Level 1
810 Pacific Highway
Gordon NSW 2072
Locked Bag 5
Gordon NSW 2072
P 1300 587 000
F 02 9499 7760

Client THE TRUST COMPANY (AUSTRALIA) LIMITED ATF HW REGENT TRUST

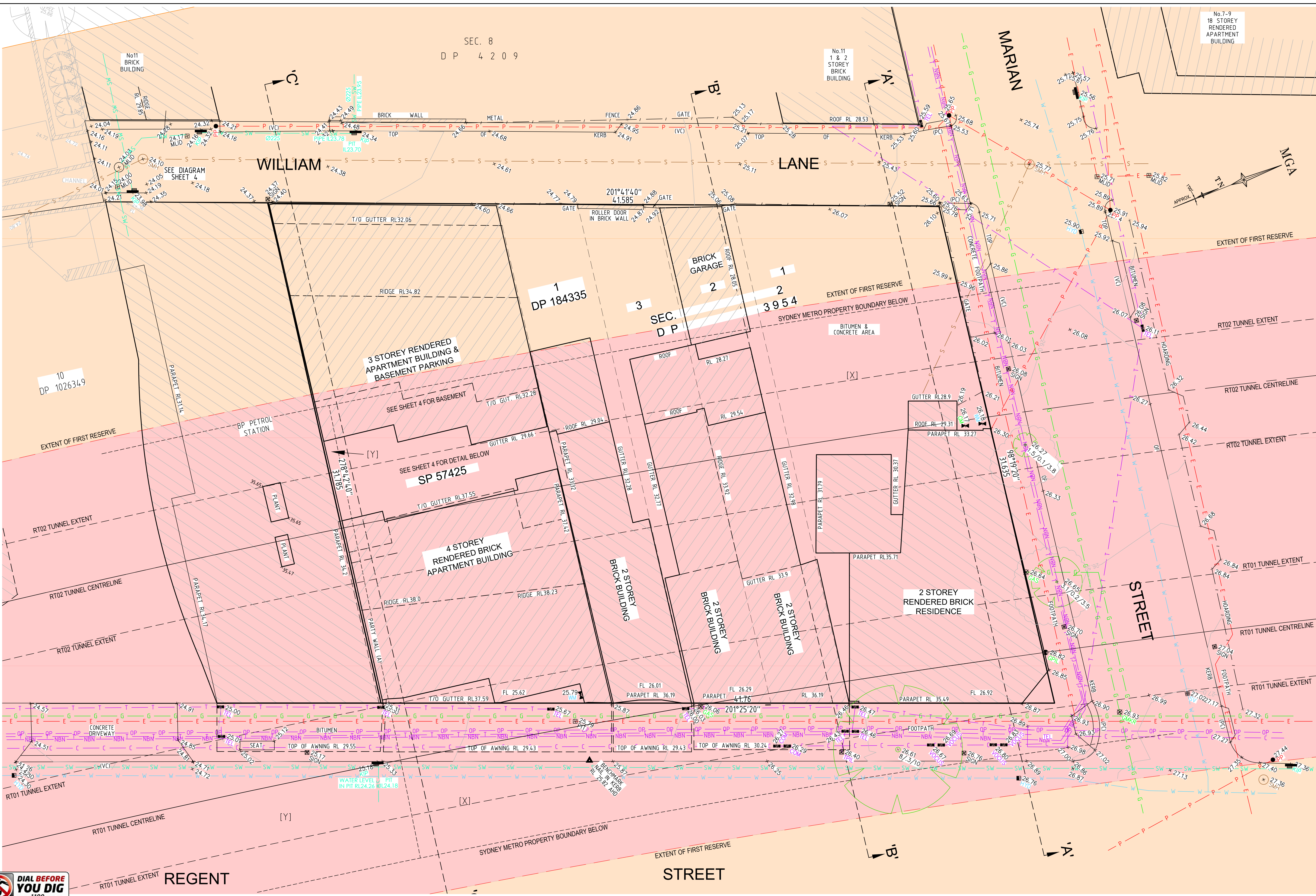
Drawing title
PLAN OF DETAIL AND LEVELS OVER LOTS 1-3 SECTION 2
IN DP 3954, LOT 1 IN DP 184335 AND SP 57425 KNOWN
AS NO 90-102 REGENT STREET, REDFERN

datum
AHD
site Area
1287m²
LGA
SYDNEY

reference
number
1:200 @A1

date of survey
23/04/2019

SHEET
OF 4 | 1



REFER TO NOTES AND LEGEND



SEE SHEET 1 FOR NOTES AND LEGEND

D	30/09/20	SYDNEY METRO TUNNELS, RESERVES AND CROSS SECTIONS ADDED
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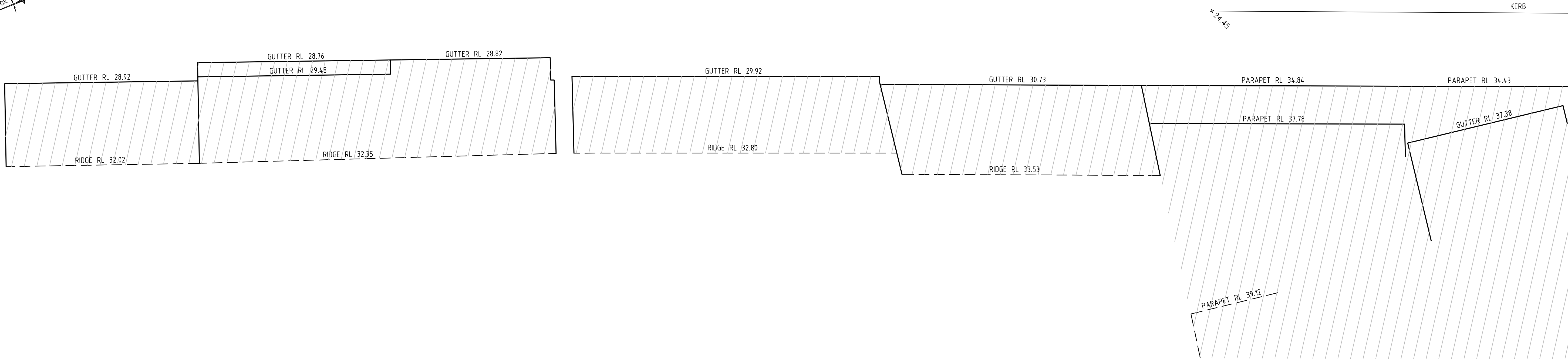
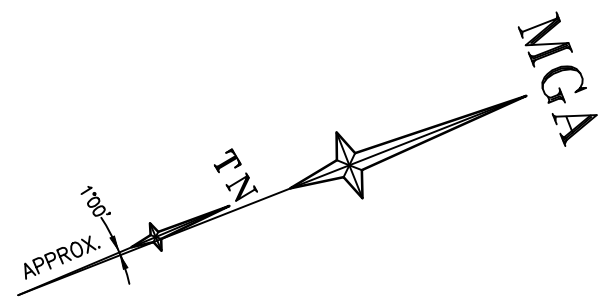
006	THIS IS THE PLAN REFERRED TO IN MY LETTER DATED:
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www.lts.com.au

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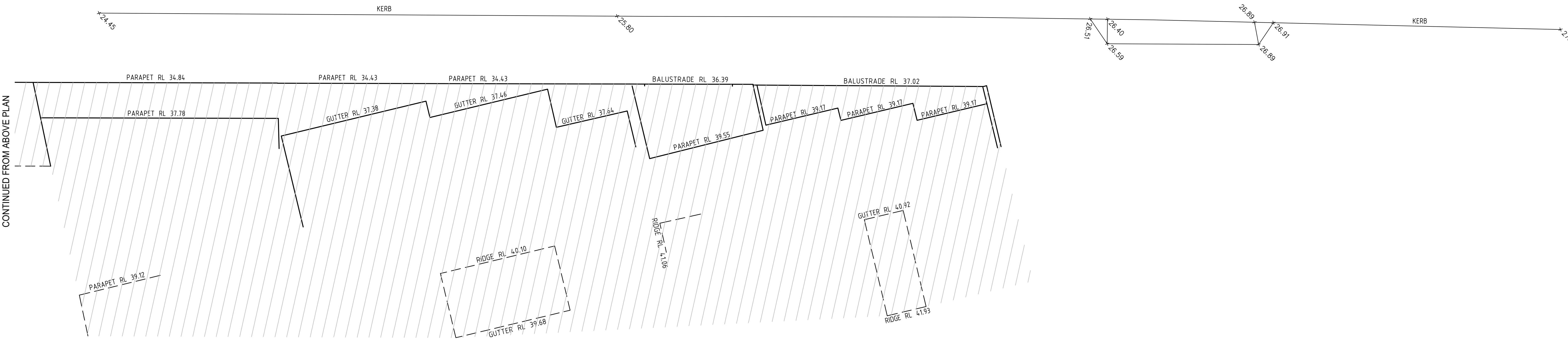
datum AHD
site Area 1287m²
LGA SYDNEY
reference number 50670 001DT
scale 1:100 @A1
date of survey 23/04/2019
SHEET 4 OF 4



REGENT STREET EASTERN PART PLAN - SOUTH

REGENT

STREET



REGENT STREET EASTERN PART PLAN - NORTH



REFER TO NOTES AND LEGEND



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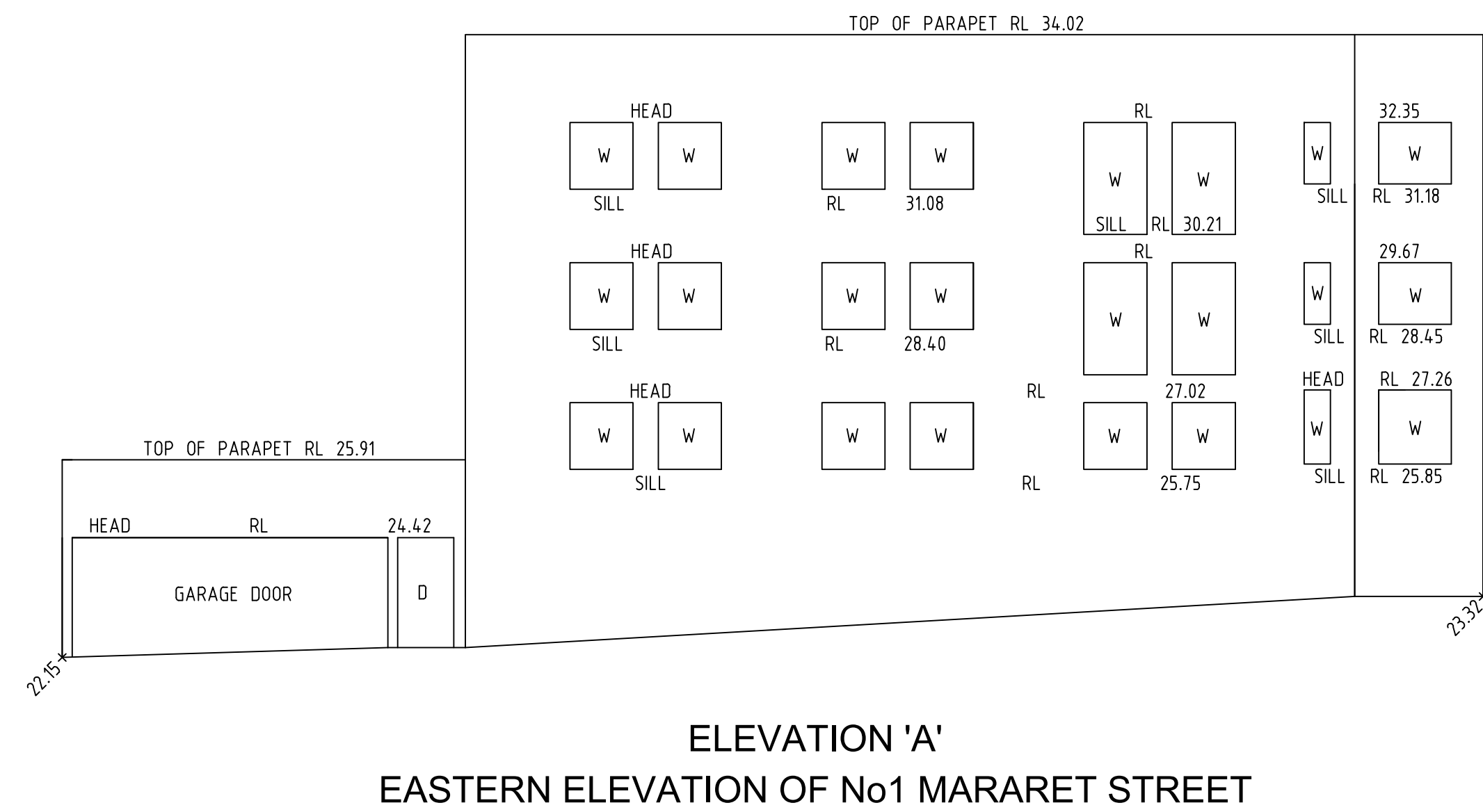
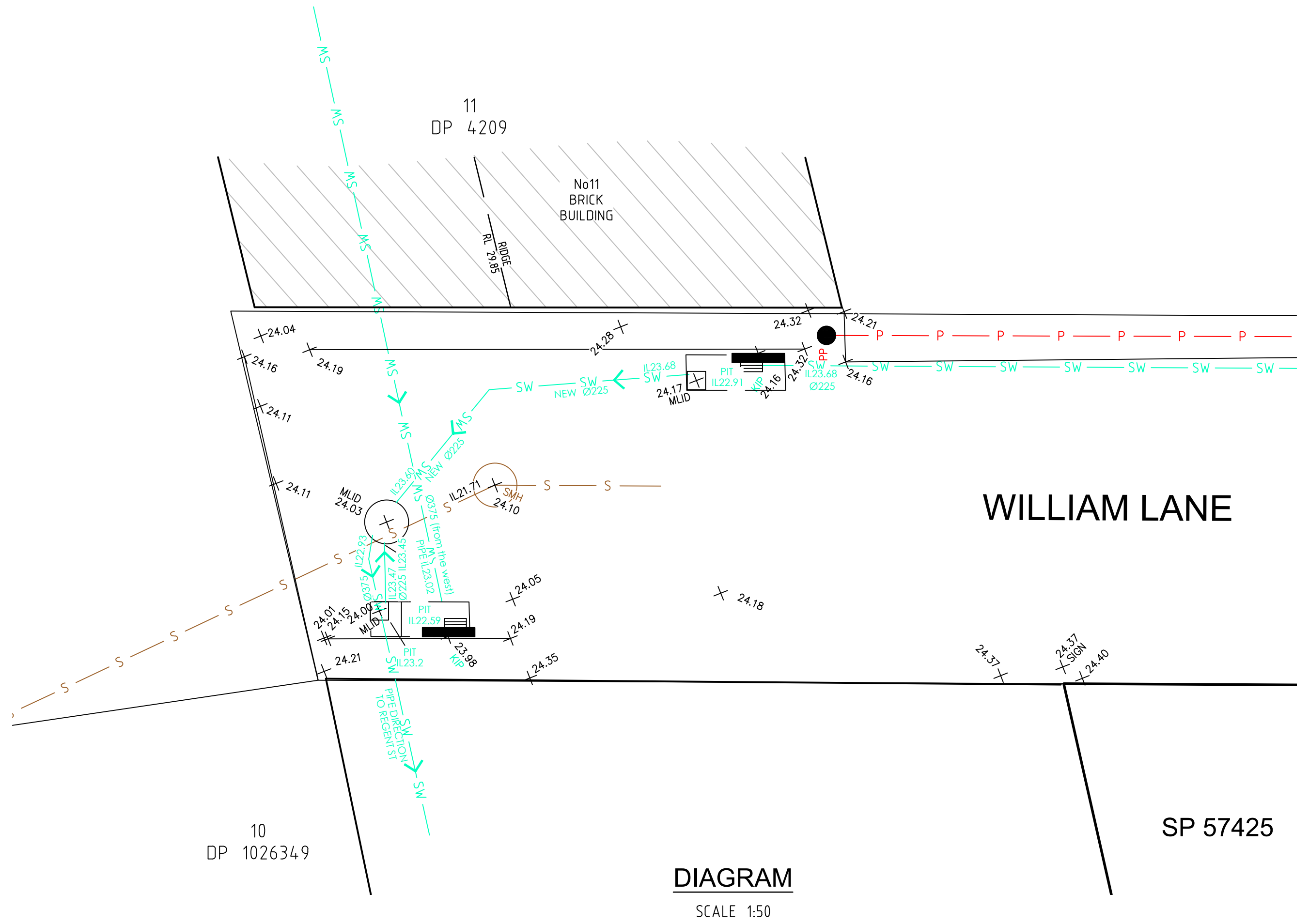
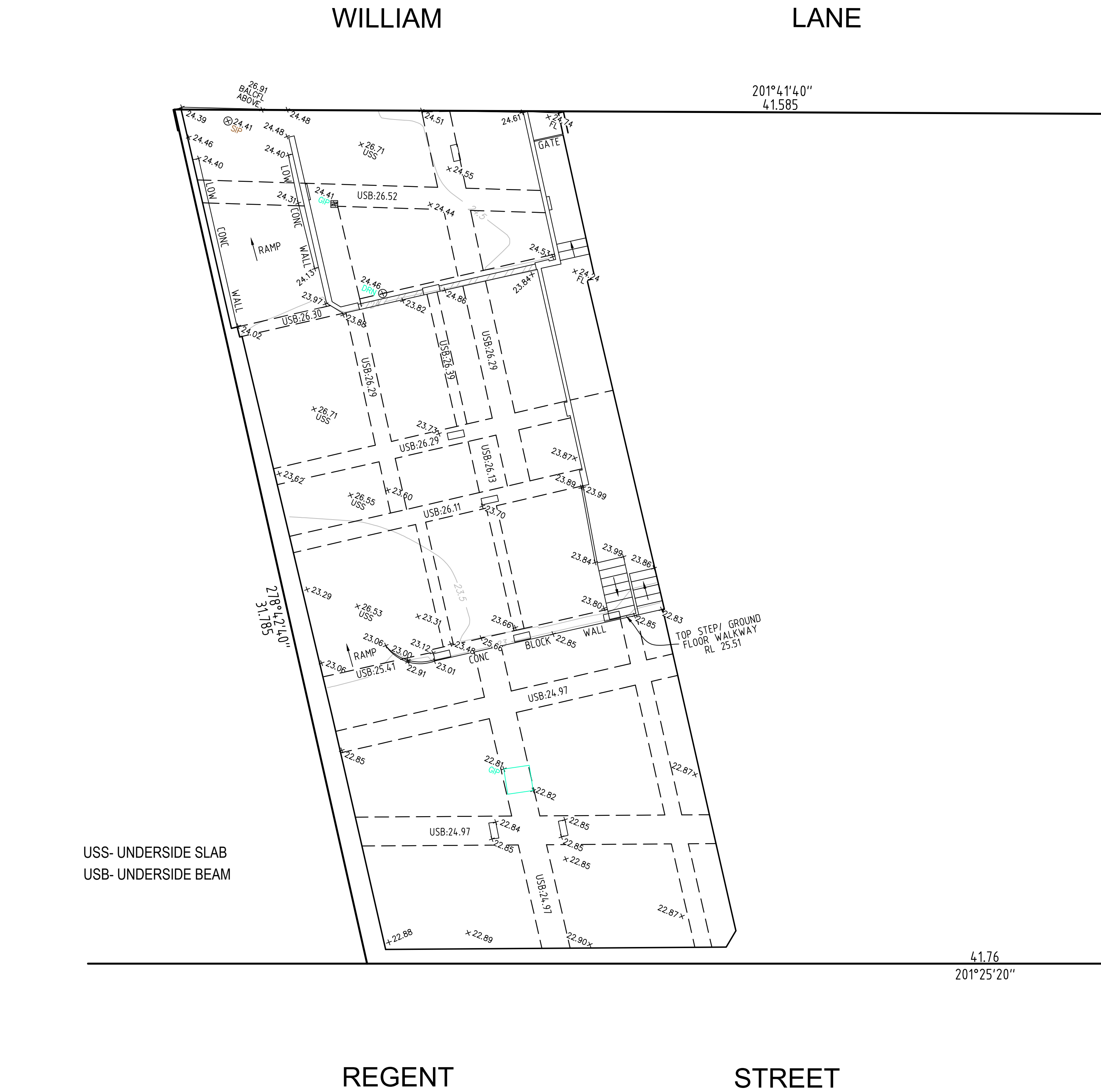


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AHD
site Area
1287m²
LGA
SYDNEY

reference number 50670 001DT
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SHEET 4 OF 3



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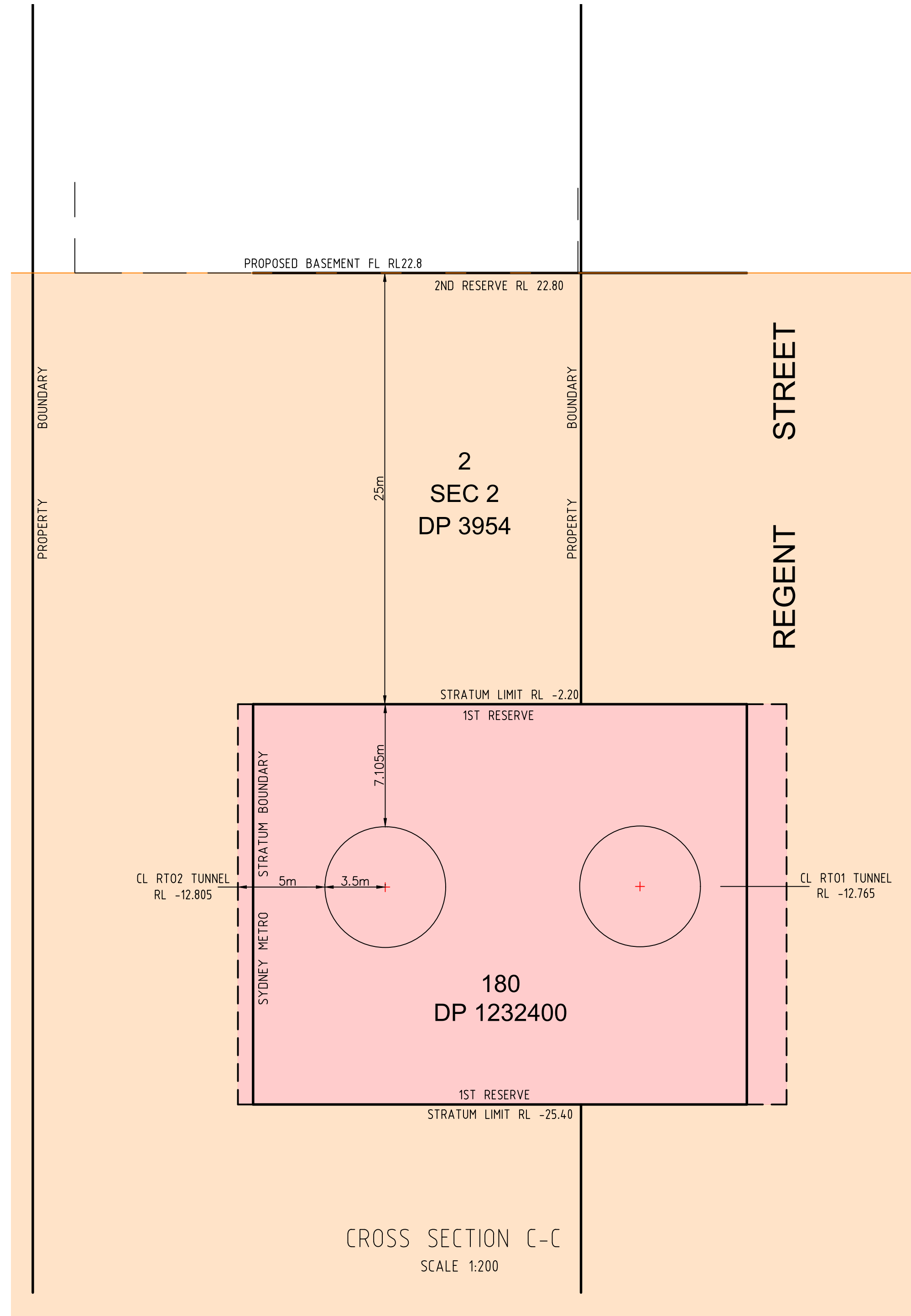
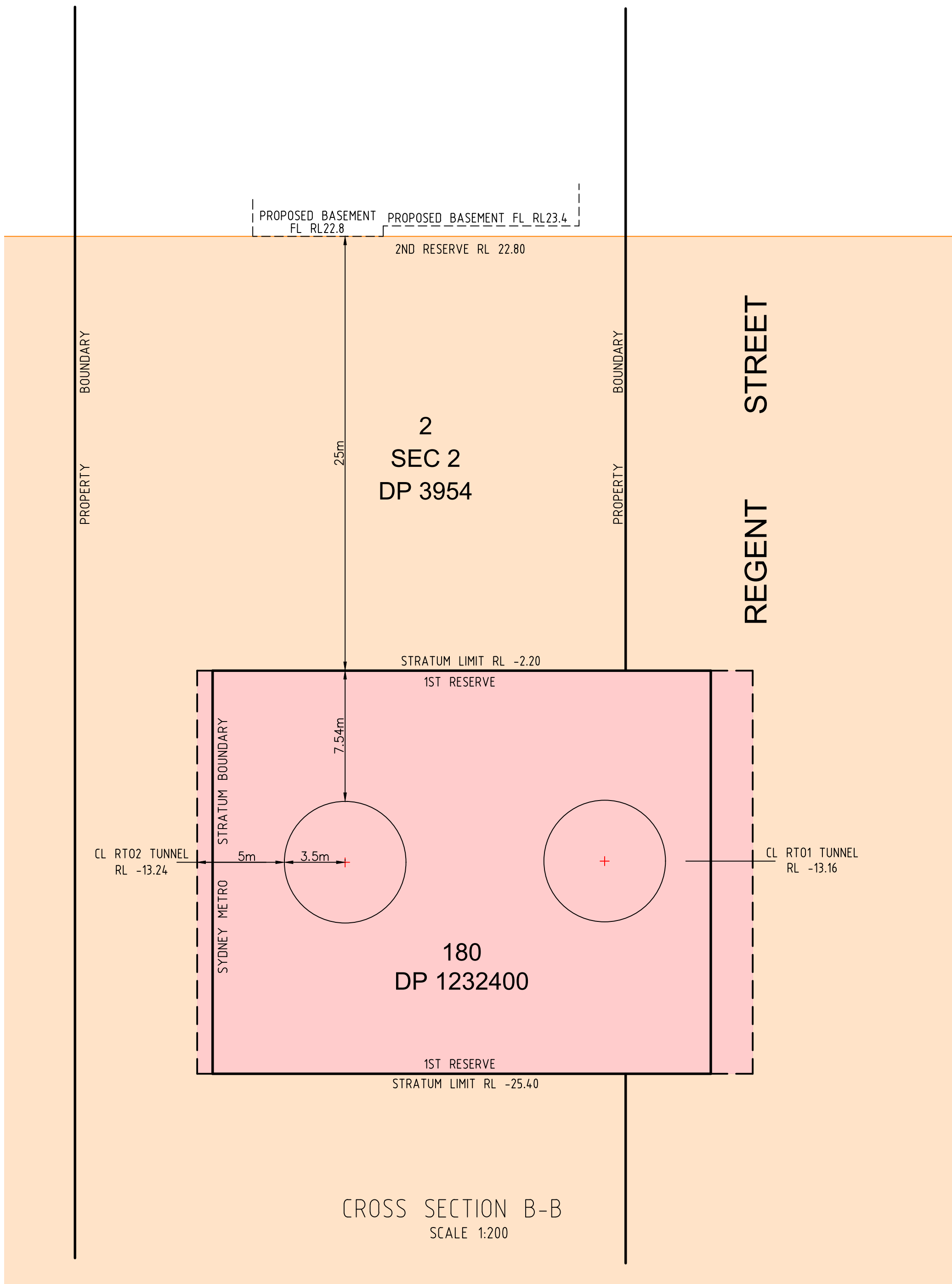
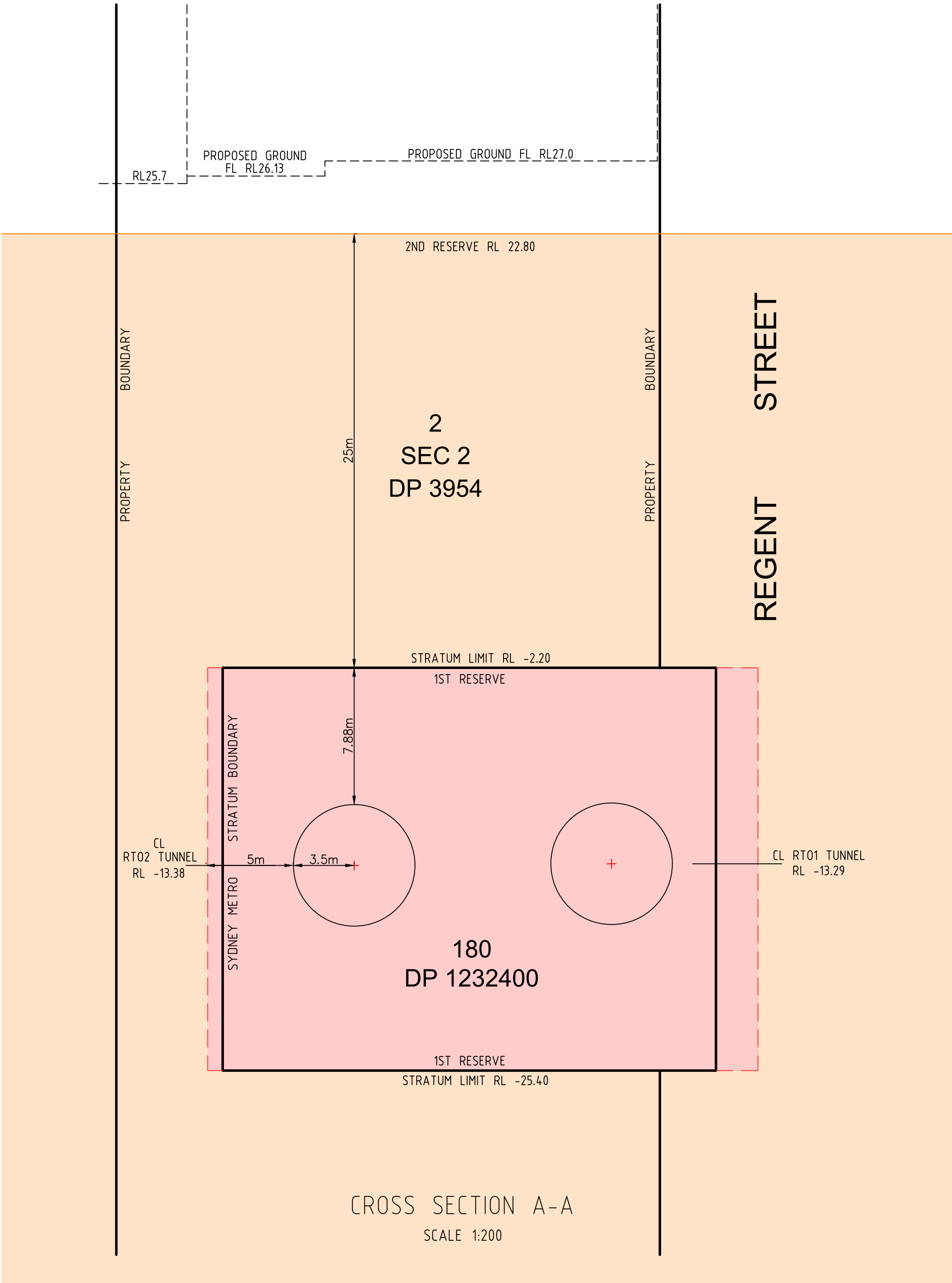
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site Area 1287m²
LGA SYDNEY

reference number 50670 001DT
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OF 4 SHEET 4



SYDNEY METRO TUNNEL CROSS SECTIONS



REFER TO NOTES AND LEGEND



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datum AHD	reference number 50670 001DT
site Area 1287m ²	scale 1:200 @A1
LGA SYDNEY	date of survey 23/04/2019
OF 4	SHEET 5

LEGEND

BENCH MARK	▲
TELSTRA PILLAR	TPIL
COMMS PIT	COM
ELECTRICITY PIT	TEL
POWER POLE	PP
SERVICE PIT	PIT
PIT WITH METAL LID	MLID
KERB INLET PIT	KIP
GRATED INLET PIT	GIP
SEWER MANHOLE	SMH
SEWER INSPECTION POINT	SIP
STOP VALVE	SV
HYDRANT	HYD
WATER METER	WM
GAS VALVE	GM
GAS VALVE	GAS
GAS MARKER	GMKR
GAS PILLAR	GPIL
VEHICLE CROSSING	(VC)
PRAM CROSSING	(PC)
WINDOW	W
DOOR	D
UNDERSIDE OF BEAM	USB
UNDERSIDE OF SLABB	USS
GAS (DBYD)	G
TELSTRA (DBYD)	T
COMMUNICATIONS (DBYD)	C
OPTUS (DBYD)	OP
NAT. BROADBAND NETWORK (DBYD)	NBN
WATER (DBYD)	W
STORMWATER (DBYD)	SW
SEWER (DBYD)	S
ELECTRICITY (OVERHEAD)	P
ELECTRICITY (UGROUND) (DBYD)	E

NOTES

1. THE BOUNDARIES HAVE NOT BEEN MARKED
2. ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY
3. ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM BENCHMARK IN KERB FROM LINKER SURVEY PLAN REFERENCE 170638 R.L. 24.35 (A.H.D.) IN GIBBONS STREET
4. CONTOUR INTERVAL 0.5 m
5. CONTOURS ARE INDICATIVE ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
6. KERB LEVELS ARE TO THE TOP OF KERB UNLESS SHOWN OTHERWISE
7. FLOOR LEVELS SHOWN ARE THRESHOLD LEVELS. NO INVESTIGATION OF INTERNAL FLOOR LEVELS HAS BEEN UNDERTAKEN
8. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. SERVICES HAVE BEEN PLOTTED FROM RELEVANT AUTHORITIES INFORMATION AND HAVE NOT BEEN SURVEYED. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE
9. 8/4/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m
10. BEARINGS SHOWN ARE MGA (MAP GRID OF AUSTRALIA) ADD APPROX. 1'00" FOR TRUE NORTH

- (A) CROSS EASEMENTS FOR PARTY WALLS (S.88BB CONVEYANCING ACT, 1919) AFFECTING THE PARTY WALLS (VIDE DP 878444)
- (B) EASEMENT FOR SUPPORT 0.14 WIDE APPURTANT TO THE LAND LOT 2 & 3 IN DP 3954 (VIDE DP 269227)
- (C) EASEMENT FOR SUPPORT 0.09 WIDE AFFECTING THE PART SHOWN SO BURDENED IN DP 269227 IN LOT 2 & 3 DP 3954

- [X] IS LOT 180 IN DP 1232400, A STRATUM LOT LIMITED IN DEPTH TO RL -25.40 AND LIMITED IN HEIGHT TO RL -2.20
- [Y] IS LOT 180 IN DP 1232400, A STRATUM LOT LIMITED IN DEPTH TO RL -23.30 AND LIMITED IN HEIGHT TO RL -0.10



REFER TO NOTES AND LEGEND



D	00/00/00	-	00
C	16/09/20	STORMWATER PIPT INVERTS ADDED	50670/005
B	04/07/19	ADDITIONAL TREES ADDED	50670/002
A	29/05/19	ADDITIONAL DETAIL & LEVEL ADDED	50670/002
Revision	Date	Description	Reference

THIS IS THE PLAN REFERRED TO IN MY LETTER DATED:

Registered Surveyor NSW



Suite 1, Level 1
810 Pacific Highway
Gordon NSW 2072
Locked Bag 5
Gordon NSW 2072
P 1300 587 000
F 02 9499 7760

Client THE TRUST COMPANY (AUSTRALIA) LIMITED ATF HW REGENT TRUST
Drawing title
PLAN OF DETAIL AND LEVELS OVER LOTS 1-3 SECTION 2
IN DP 3954, LOT 1 IN DP 184335 AND SP 57425 KNOWN
AS No 90-102 REGENT STREET, REDFERN

datum
AHD
site Area
1287m²
LGA
SYDNEY

reference number
50670 001DT
scale
1:200 @A1
date of survey
23/04/2019
SHEET
OF 4 | 1



REFER TO NOTES AND LEGEND



REGENT

SEE SHEET 1 FOR NOTES AND LEGEND

D	00/00/00	-	00	THIS IS THE PLAN REFERRED TO IN MY LETTER DATED:
C	16/09/20	STORMWATER PIPT INVERTS ADDED	50670/005	
B	04/07/19	ADDITIONAL TREES ADDED	50670/002	
A	29/05/19	ADDITIONAL DETAIL & LEVEL ADDED	50670/002	
Revision	Date	Description	Reference	Registered Surveyor NSW

Lockley
Registered Surveyors NSW
www.ltsl.com.au

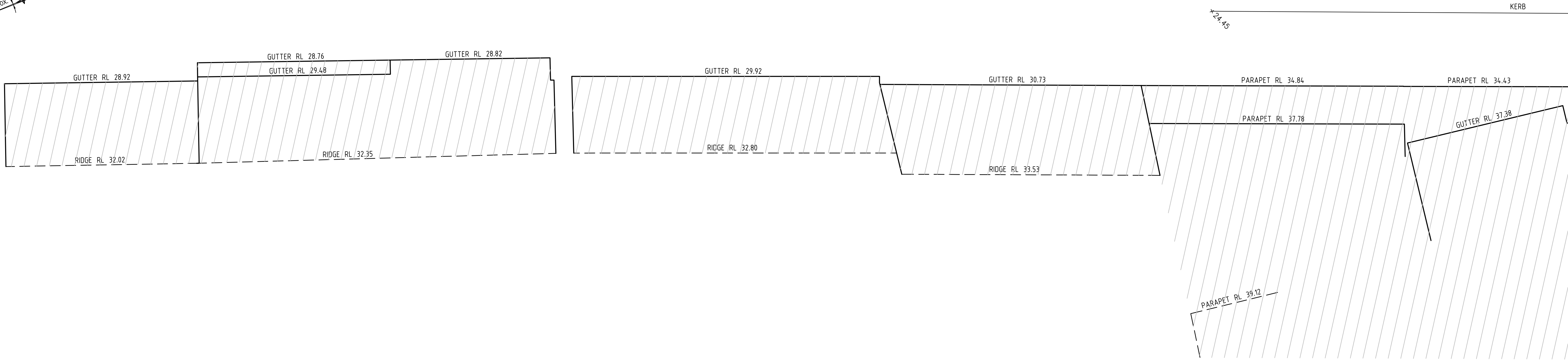
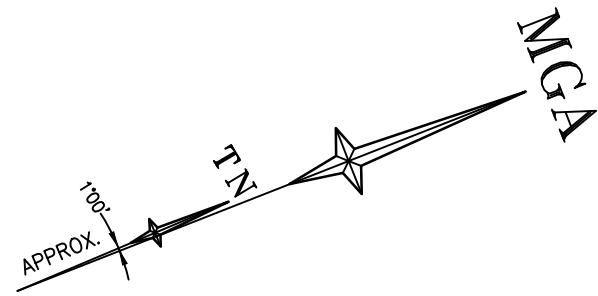
Suite 1, Level 1
810 Pacific Highway
Gordon NSW 2072
Locked Bag 5
Gordon NSW 2072
P 1300 587 000
F 02 9499 7760

Client THE TRUST COMPANY (AUSTRALIA) LIMITED ATF HW REGENT TRUST
Drawing title
PLAN OF DETAIL AND LEVELS OVER LOTS 1-3 SECTION 2
IN DP 3954, LOT 1 IN DP 184335 AND SP 57425 KNOWN
AS NO 90-102 REGENT STREET, REDFERN

datum
AHD
site Area
1287m²
LGA
SYDNEY
reference
number
50670 001DT
scale
1:100 @A1
date of survey
23/04/2019
SHEET
OF 4



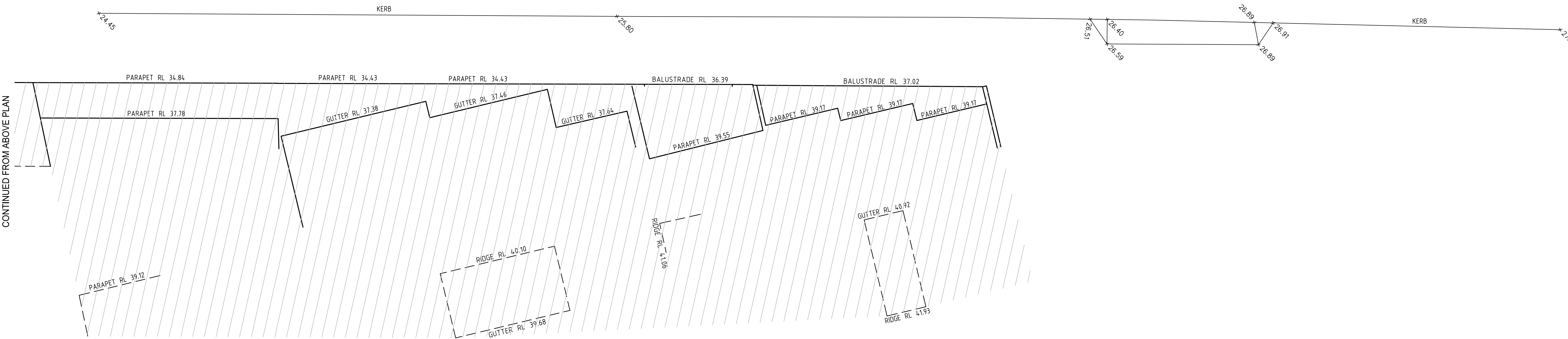
STREET



REGENT STREET EASTERN PART PLAN - SOUTH

REGENT

STREET



REGENT STREET EASTERN PART PLAN - NORTH



REFER TO NOTES AND LEGEND



SEE SHEET 1 FOR NOTES AND LEGEND

D	00/00/00	-	00
C	16/09/20	STORMWATER PIPT INVERTS ADDED	50670/005
B	04/07/19	ADDITIONAL TREES ADDED	50670/002
A	29/05/19	ADDITIONAL DETAIL & LEVEL ADDED	50670/002
Revision	Date	Description	Reference

THIS IS THE PLAN REFERRED TO
IN MY LETTER DATED:
.....
Registered Surveyor NSW



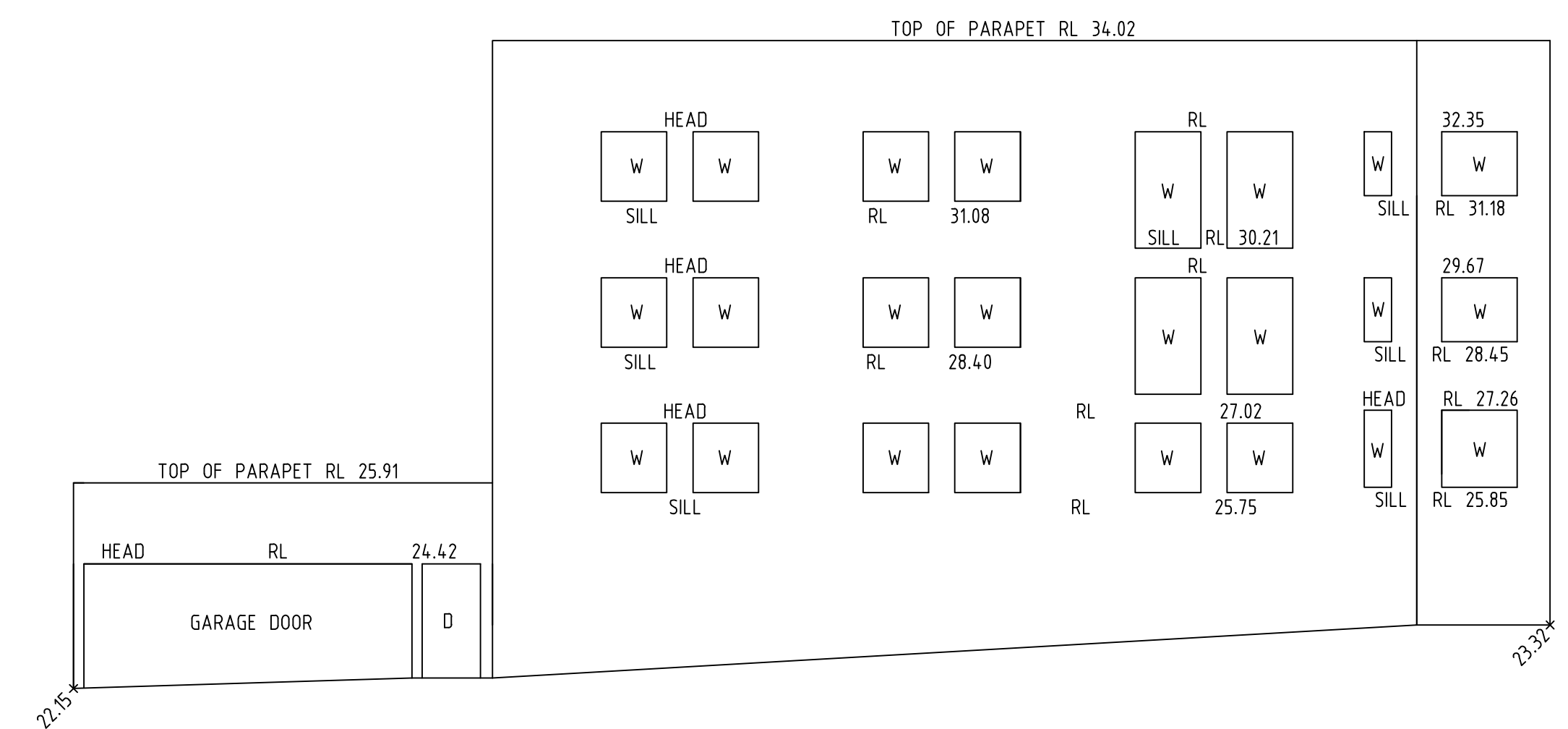
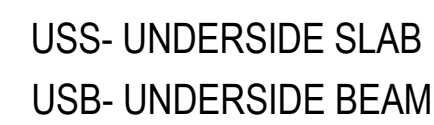
Suite 1, Level 1
810 Pacific Highway
Gordon NSW 2072
Locked Bag 5
Gordon NSW 2072
P 1300 587 000
F 02 9499 7760

Client THE TRUST COMPANY (AUSTRALIA) LIMITED ATF HW REGENT TRUST
Drawing title
PLAN OF DETAIL AND LEVELS OVER LOTS 1-3 SECTION 2
IN DP 3954, LOT 1 IN DP 184335 AND SP 57425 KNOWN
AS No 90-102 REGENT STREET, REDFERN

datum
AHD
site Area
1287m²
LGA
SYDNEY

reference number 50670 001DT
scale 1:100 @A1
date of survey 23/04/2019
SHEET 3
OF 4

LANE

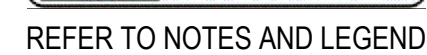


ELEVATION 'A'

EASTERN ELEVATION OF No1 MARARET STREET

STREET

BASEMENT PLAN (SP57425)



D	00/00/00	-	00
C	16/09/20	STORMWATER PIPT INVERTS ADDED	50670/005
B	04/07/19	ADDITIONAL TREES ADDED	50670/002
A	29/05/19	ADDITIONAL DETAIL & LEVEL ADDED	50670/002
Revision	Date	Description	Reference

THIS IS THE PLAN REFERRED TO
IN MY LETTER DATED:



Suite 1, Level 1
810 Pacific Highway
Gordon NSW 2072
Locked Bag 5
Gordon NSW 2072
P 1300 587 000
F 02 9499 7760

Client	THE TRUST COMPANY (AUSTRALIA) LIMITED ATF HW REGENT TRUST	C
Drawing title	PLAN OF DETAIL AND LEVELS OVER LOTS 1-3 SECTION 2 IN DP 3954, LOT 1 IN DP 184335 AND SP 57425 KNOWN AS No 90-102 REGENT STREET, REDFERN	A S L S

datum AHD	reference number	50670 001DT	
site Area 1287m ²	scale 1:100 @A1	date of survey 23/04/2019	
LGA SYDNEY	SHEET OF 4		4

APPENDIX D – DIAL BEFORE YOU DIG (DBYD)

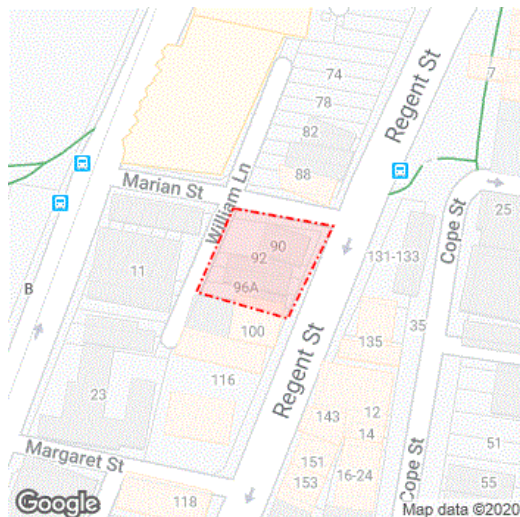
Caller Details

Contact: Mr benjamin fogerty
Company: arcadis
Address: Level 16 580 George Street
Sydney NSW 2000

Caller Id: 1908092
Mobile: 0435526993
Email: benjamin.fogerty@arcadis.com
Phone: 0435526993
Fax: Not Supplied

Dig Site and Enquiry Details

WARNING: The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



User Reference: Regent Street Student Accom
Working on Behalf of: Private
Enquiry Date: 13/05/2020
Start Date: 14/05/2020
End Date: 20/12/2020

Address:
90 Regent Street
Redfern NSW 2016

Job Purpose:
Design

Location of Workplace:
Private Property

Onsite Activity:
Planning & Design
Location in Road:
Not Supplied

- Check the location of the dig site is correct. If not submit a new enquiry.
- If the scope of works change, or plan validity dates expire, resubmit your enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

Notes/Description of Works:

Your Responsibilities and Duty of Care

- The lodgement of an enquiry does not authorise the project to commence. You must obtain all necessary information from any and all likely impacted asset owners prior to excavation.
- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at www.1100.com.au
- For more information on safe excavation practices, visit www.1100.com.au

Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Dial Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

** Asset owners highlighted by asterisks ** require that you visit their offices to collect plans.

Asset owners highlighted with a hash require that you call them to discuss your enquiry or to obtain plans.

Seq. No.	Authority Name	Phone	Status
97604059	Ausgrid	0249510899	NOTIFIED
97604056	City of Sydney (IMS)	0292659819	NOTIFIED
97604062	Jemena Gas South	1300880906	NOTIFIED
97604064	NBN Co, NswAct	1800626329	NOTIFIED
97604057	Nextgen, NCC - NSW	1800032532	NOTIFIED
97604061	Optus and/or Ucomm, Nsw	1800505777	NOTIFIED
97604058	PIPE Networks, Nsw	1800201100	NOTIFIED
97604066	Sydney Metro	0421801439	NOTIFIED
97604063	Sydney Water	132092	NOTIFIED
97604060	Telstra NSW, Central	1800653935	NOTIFIED
97604065	Vocus Communications	0892446114	NOTIFIED

END OF UTILITIES LIST

SURVEY CONNECTIONS

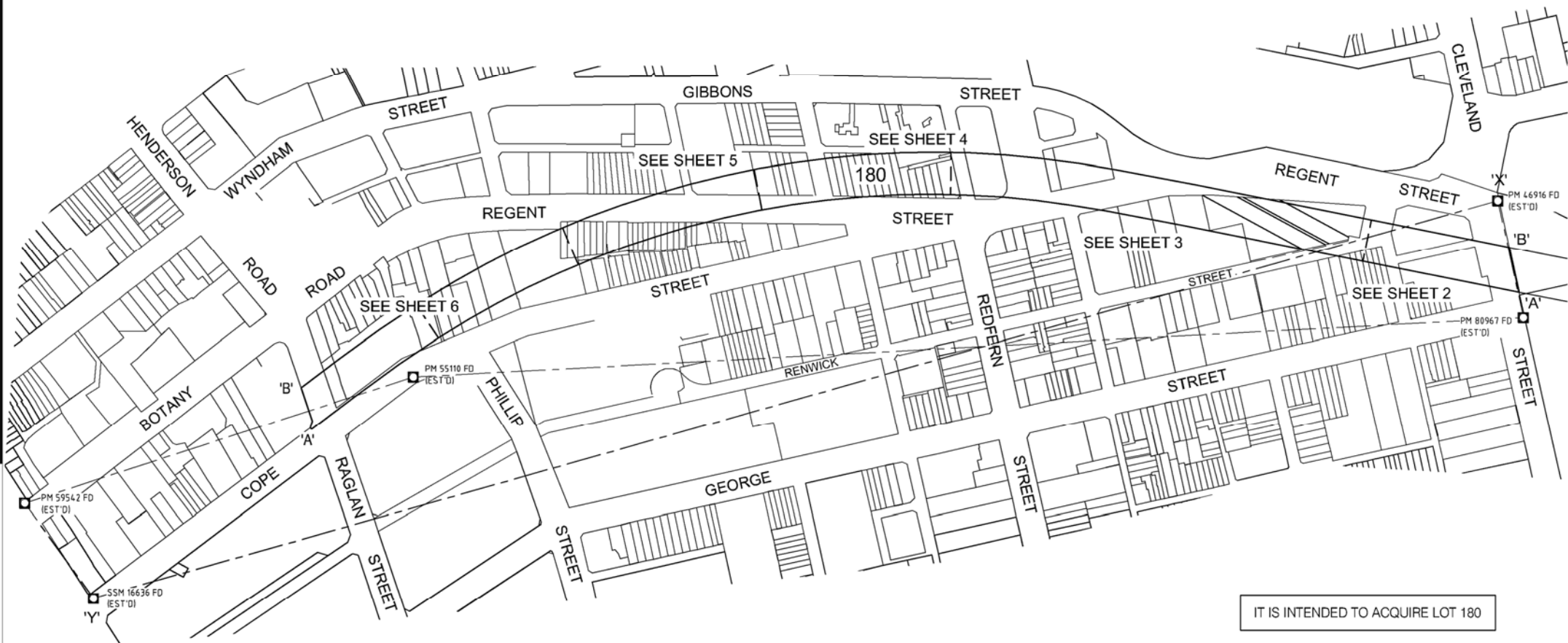
PM 46916-SSM 16636 184°59'29" - 1059.839 MGA GRND "X"-"Y"
 SSM 16636-PM 59542 184°59'29" - 1059.811 SURVEY
 255°03'10" - 85.327 MGA GRND
 PM 59542-PM 55110 255°03'10" - 85.330 SURVEY
 2°44'30" - 296.643 MGA GRND
 PM 55110-PM 80967 2°44'20" - 296.635 SURVEY
 17°47'33" - 807.194 MGA GRND
 PM 80967-PM 46916 17°47'30" - 807.20 SURVEY
 278°32'16" - 87.16 MGA GRND
 278°31'15" - 87.145 SURVEY

TOTAL AREA

LOT 180 2.77ha

SURVEYING AND SPATIAL INFORMATION REGULATION 2012 : CLAUSE 35(1)(b) & 61(2) AND 62									
MARK	MGA EASTING	MGA NORTHING	CLASS	ORDER	AHD	CLASS	ORDER	METHOD	ORIGIN
SSM 16636	333 638.504	6 247 636.847	B	2	14.585	LB	L2	SCIMS	SCIMS
PM 46916	333 730.710	6 248 692.597	B	2	28.577	LB	L2	SCIMS	SCIMS
PM 55110	333 570.258	6 247 911.124	C	4				SCIMS	SCIMS
PM 59542	333 556.07	6 247 616.840	D	4	15.138			SCIMS	SCIMS
PM 80967	333 816.898	6 248 679.658	C	4		LC	L3	SCIMS	SCIMS
COMBINED SCALE FACTOR = 0.999935					ZONE 56				
SOURCE: M.G.A. CO-ORDINATES AND SCALE FACTOR ADOPTED FROM SCIMS ON THE 6th MARCH 2017									

M.G.A.



IT IS INTENDED TO ACQUIRE LOT 180

NOTE THE ACQUISITION OF LAND IN A STRATA SCHEME AFFECTS COMMON PROPERTY ONLY.

SEE SHEETS 8 & 9 FOR SECTIONS A-A, B-B & C-C
 SEE SHEET 9 FOR ROAD OWNERSHIP TABLE
 SEE SHEET 10 FOR STRATUM NOTE TABLE

Surveyor: JOHN NELSON PETERSEN

Date of Survey: 16.05.2017

Surveyor's Ref: PR124856-DP18
 2017M7100 (792 & 799)

PLAN OF
 ACQUISITION FOR RAILWAY PURPOSES

L.G.A.: SYDNEY

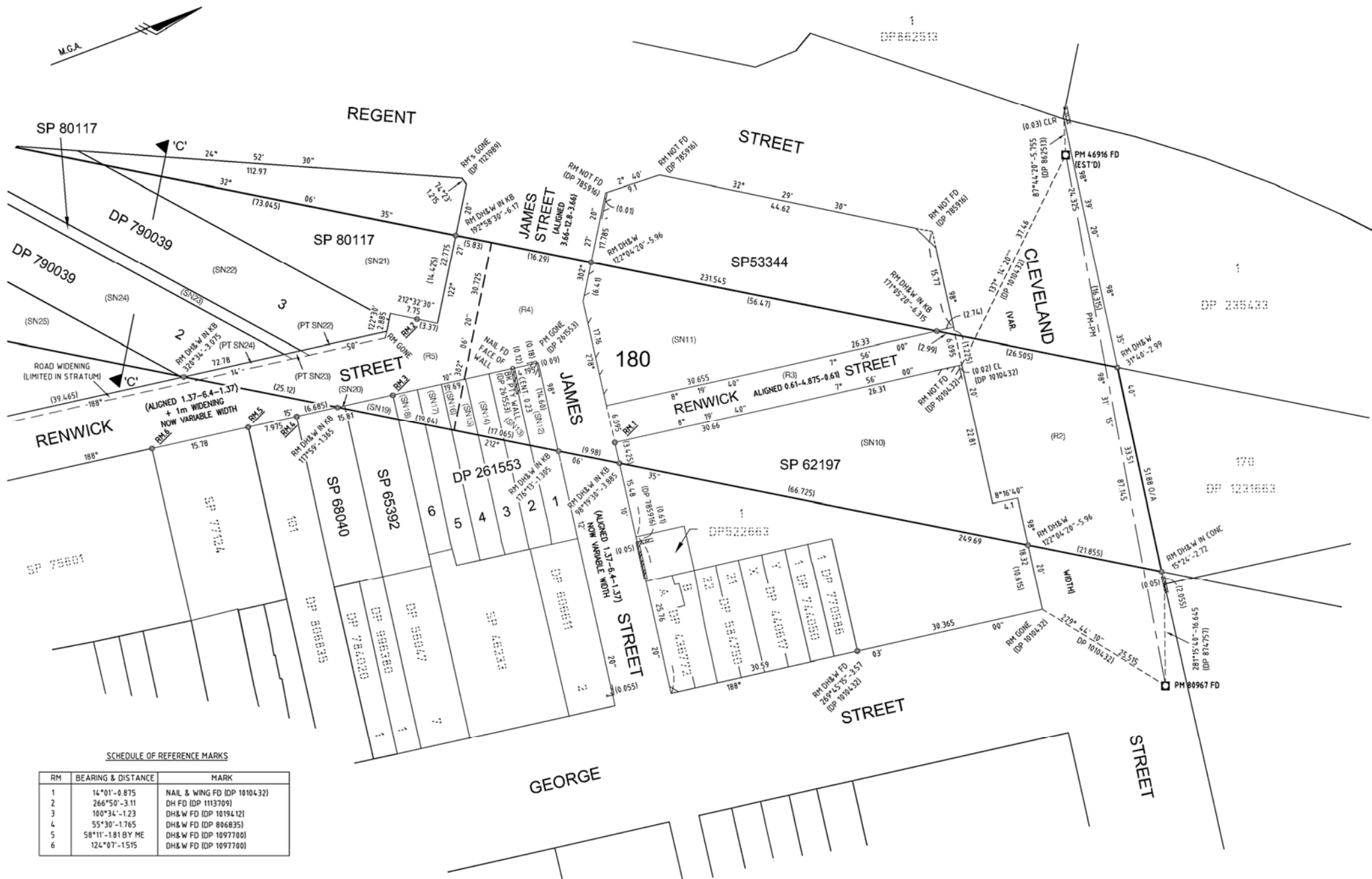
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Subdivision No: _____
 Lengths are in metres. Reduction Ratio 1: 2000

Registered:

 18.04.2018

DP1232400



SEE SHEET 8 FOR SECTION C-C

Surveyor: JOHN NELSON PETERSEN

Date of Survey: 16.05.2017

Surveyor's Ref: PR124856-DP18
2017M7100 (792 & 799)PLAN OF
ACQUISITION FOR RAILWAY PURPOSES

L.G.A.: SYDNEY

Locality: REDFERN, WATERLOO

Subdivision No: —

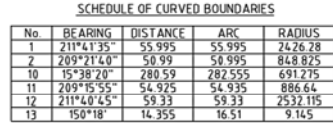
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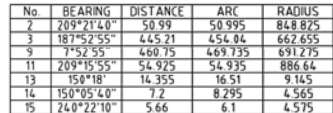
Registered:



18.04.2018

DP1232400





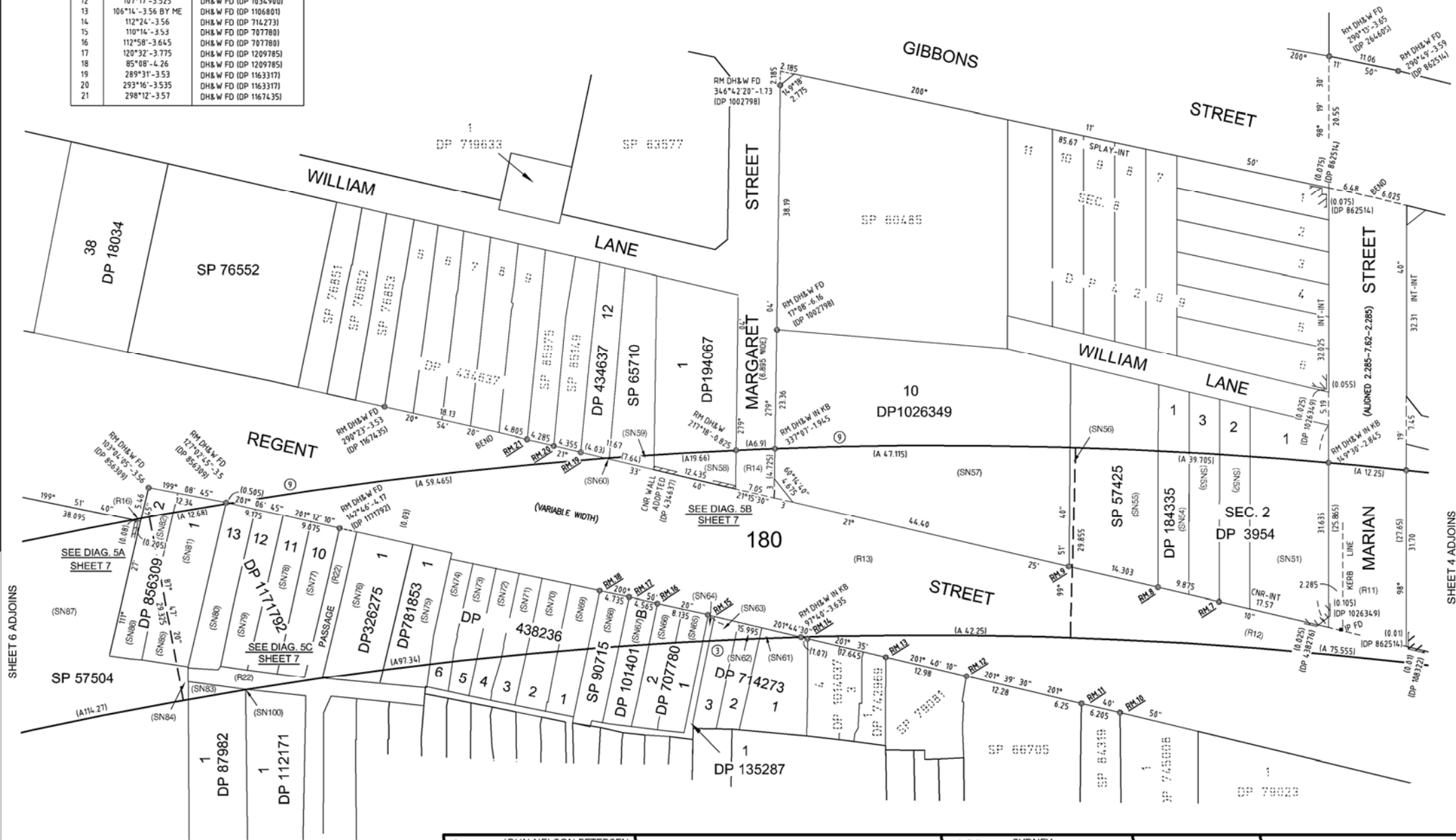
DP1232400

SCHEDULE OF REFERENCE MARKS

RM	BEARING & DISTANCE	MARK
7	296°17'10"-3.52	DH&W FD (DP 269227)
8	289°59'-3.60 BY ME	DH&W FD (DP 878444)
9	290°13'30"-3.575	DH&W FD (DP 1026349)
10	111°40'-3.50	DH&W FD (DP 734 714)
11	111°40'-3.51 BY ME	DH&W FD (DP 734 714)
12	107°17'-3.525	DH&W FD (DP 1034900)
13	106°14'-3.56 BY ME	DH&W FD (DP 1106801)
14	112°24'-3.56	DH&W FD (DP 714 273)
15	110°14'-3.53	DH&W FD (DP 707780)
16	112°58'-3.645	DH&W FD (DP 707780)
17	120°32'-3.775	DH&W FD (DP 1209785)
18	85°08'-4.26	DH&W FD (DP 1209785)
19	289°31'-3.53	DH&W FD (DP 1163317)
20	293°16'-3.535	DH&W FD (DP 1163317)
21	298°12'-3.57	DH&W FD (DP 1167435)

SCHEDULE OF CURVED BOUNDARIES

No.	BEARING	DISTANCE	ARC	RADIUS
3	187°52'55"	4.45 21	454.04	662.655
9	7°52'55"	4.60 75	469.735	691.275



Surveyor: JOHN NELSON PETERSEN

Date of Survey: 16.05.2017

Surveyor's Ref: PR124856-DP18
2017M7100 (792 & 799)PLAN OF
ACQUISITION FOR RAILWAY PURPOSES

L.G.A.: SYDNEY

Locality: REDFERN, WATERLOO

Subdivision No: —

Lengths are in metres. Reduction Ratio 1: 400

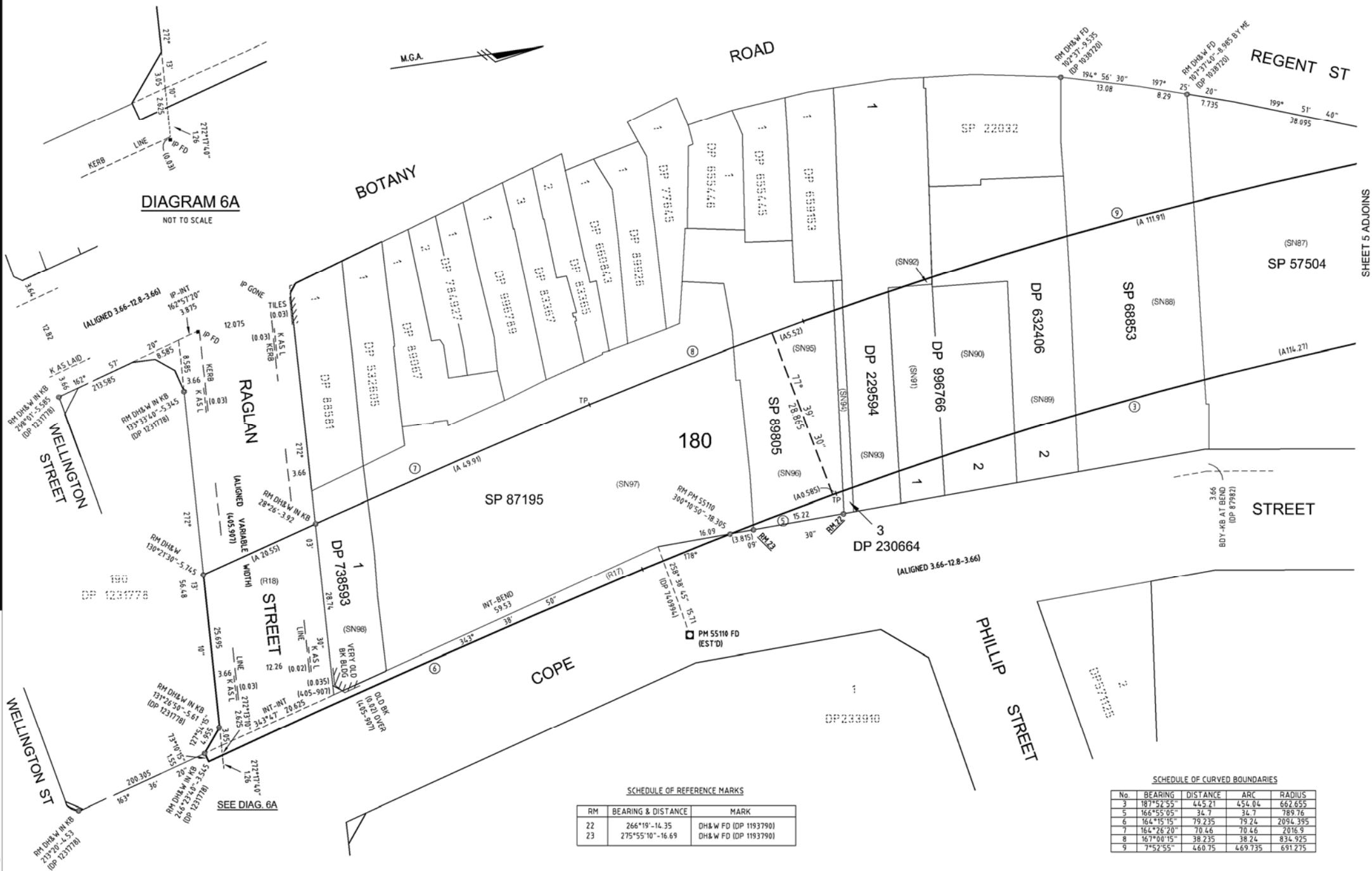
Registered:

18.04.2018

DP1232400

DIAGRAM 6A

NOT TO SCALE



Surveyor: JOHN NELSON PETERSEN

Date of Survey: 16.05.2017

Surveyor's Ref: PR124856-DP18
2017M7100 (792 & 799)PLAN OF
ACQUISITION FOR RAILWAY PURPOSES

L.G.A.: SYDNEY

Locality: REDFERN, WATERLOO

Subdivision No: —

Lengths are in metres. Reduction Ratio 1: 400

Registered:



18.04.2018

DP1232400

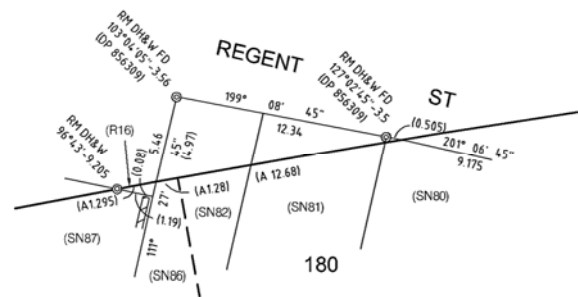


DIAGRAM 5A
NOT TO SCALE

SCHEDULE OF REFERENCE MARKS

RM	BEARING & DISTANCE	MARK
19	289°31'-3.53	DH&W FD (DP 1163317)

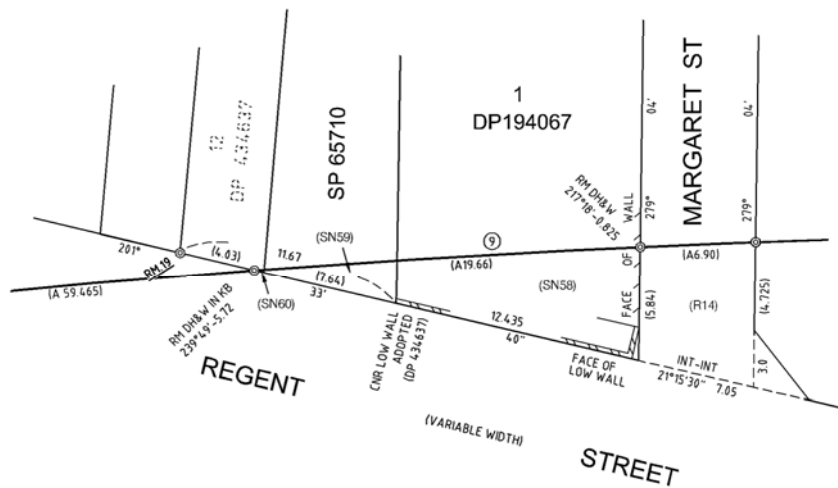


DIAGRAM 5B
SCALE 1:200

SCHEDULE OF CURVED BOUNDARIES

No.	BEARING	DISTANCE	ARC	RADIUS
3	187°52'55"	445.21	454.04	662.655
9	7°52'55"	460.75	469.735	691.275

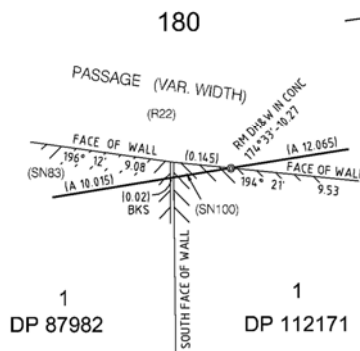


DIAGRAM 5D
NOT TO SCALE

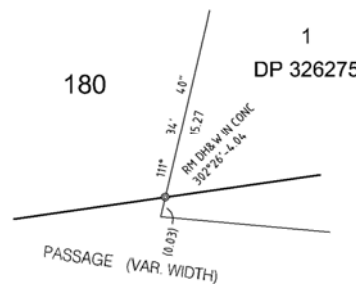


DIAGRAM 5E
NOT TO SCALE

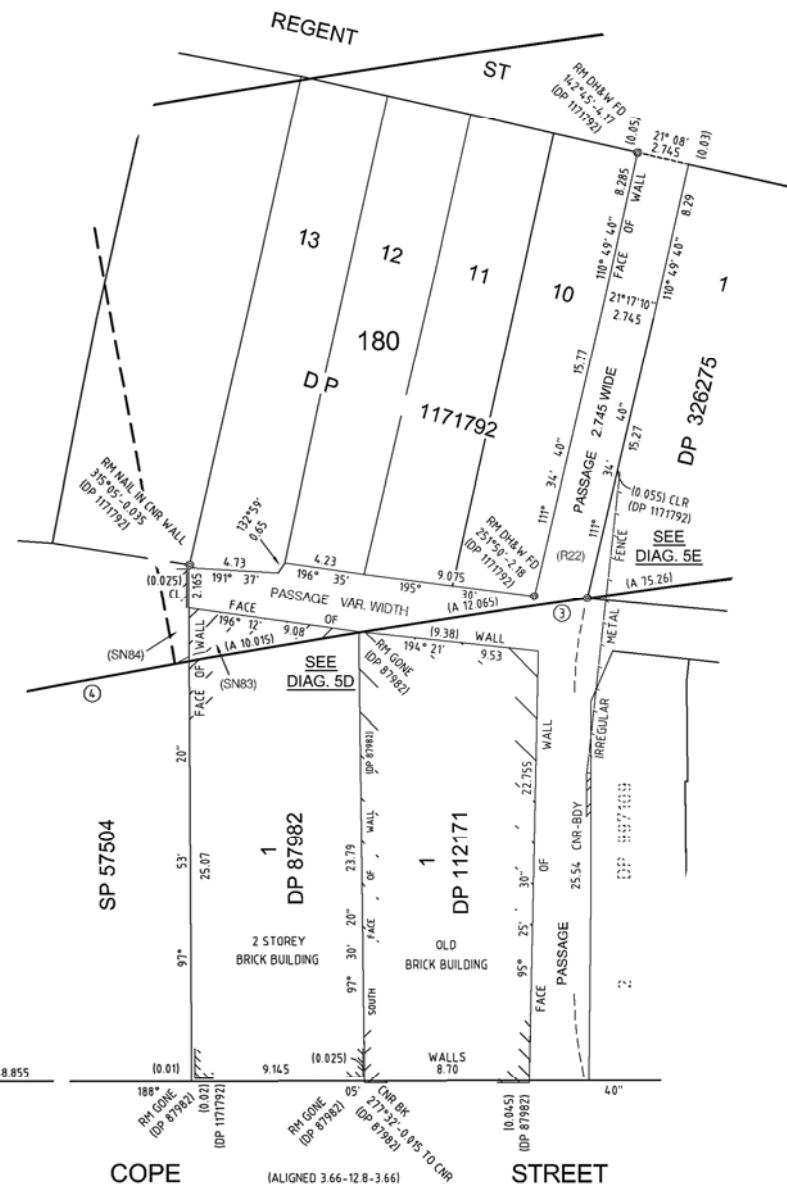


DIAGRAM 5C
SCALE 1:200

Surveyor: JOHN NELSON PETERSEN
Date of Survey: 16.05.2017
Surveyor's Ref: PR124856-DP18
2017M7100 (792 & 799)

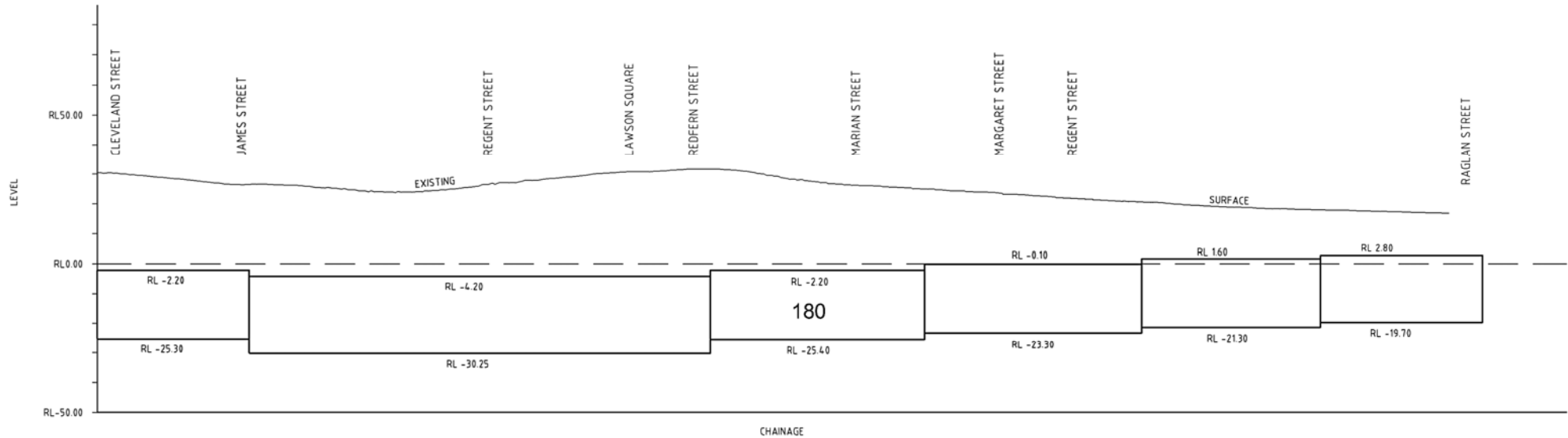
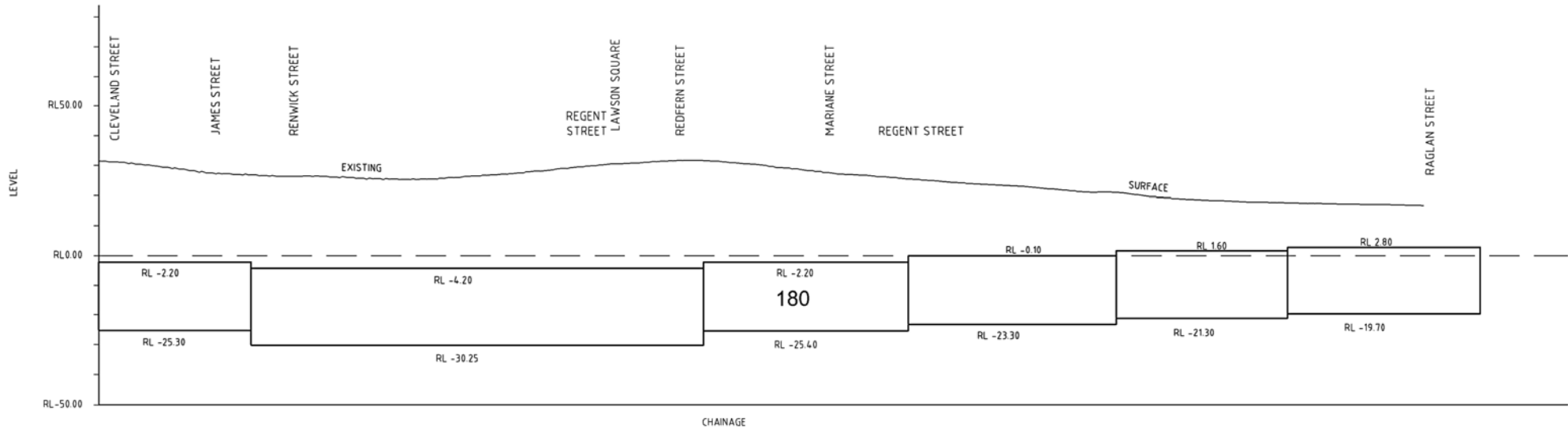
PLAN OF
ACQUISITION FOR RAILWAY PURPOSES

L.G.A.: SYDNEY
Locality: REDFERN, WATERLOO
Subdivision No: _____
Lengths are in metres. Reduction Ratio 1: 200

Registered:
18.04.2018

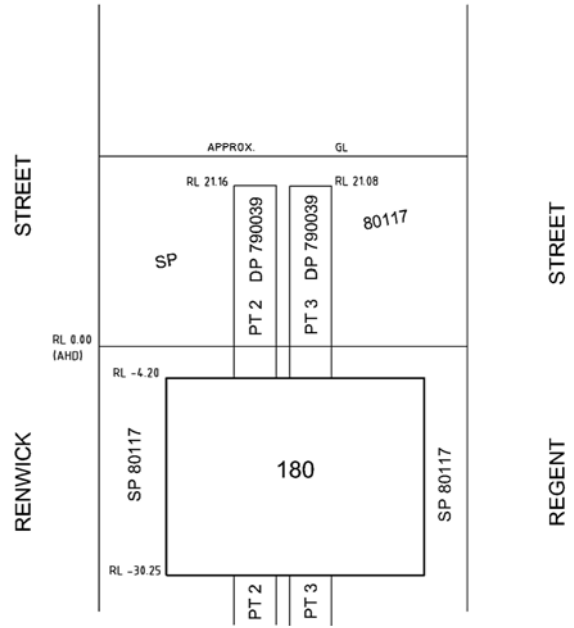
DP1232400

Req:R463730 /Doc:DP 1232400 P /Rev:18-Apr-2018 /Pgs:ALL /Prt:19-Apr-2018 03:31 /Seq:8 of 12
Ref:lrs:eplan-eplan FOR SURVEYORS USE ONLY /Src:W



Surveyor: JOHN NELSON PETERSEN	PLAN OF ACQUISITION FOR RAILWAY PURPOSES	L.G.A.: SYDNEY	Registered: 18.04.2018	DP1232400
Date of Survey: 16.05.2017		Locality: REDFERN, WATERLOO		
Surveyor's Ref: PR124856-DP18 2017M7100 (792 & 799)		Subdivision No: _____ Lengths are in metres. Reduction Ratio 1: N.T.S.		

Req:R463730 /Doc:DP 1232400 P /Rev:18-Apr-2018 /Pgs:ALL /Prt:19-Apr-2018 03:31 /Seq:9 of 12
Ref:lrs:eplan-eplan FOR SURVEYORS USE ONLY /Src:W



SECTION C-C

ROAD OWNERSHIP TABLE

AFFECTED ROAD	FEE SIMPLE
CLEVELAND STREET	O.S. ROAD PART OF GRANT TO WILLIAM REDFERN 18-10-1816 SERIAL 8 PG 260 GOVT GAZ 20-7-1990 FOL 6807
RENWICK STREET	O.S. ROAD PART OF GRANT TO WILLIAM REDFERN 18-10-1816 SERIAL 8 PG 260 & GOVT GAZ 12-12-1865 FOL 2784, CT 10/785918
JAMES STREET	GOVT GAZ 12-12-1865 FOL 2784
REGENT STREET	GOVT GAZ 12-12-1865 FOL 2784, GAZ 16-6-1876 FOL2389, GAZ 8-12-1995 FOL 8461 CT 1285-106, CT 4852- 143, CT 6191-243, GOVT GAZ 5-5-1989 FOL 2787 13/785918, 12/785918, 23/785917, 1/182698, CT 10044-153
LAWSON SQUARE	O.S. ROAD PART OF GRANT TO WILLIAM CHIPPENDALE SERIAL 12 PG 21, CT 2462-220
REDFERN STREET	O.S. ROAD PART OF GRANT TO WILLIAM CHIPPENDALE SERIAL 12 PG 21
LANE	CT 129-64
MARIAN STREET	O.S. ROAD PART OF GRANT TO WILLIAM CHIPPENDALE SERIAL 12 PG 21
WILLIAM LANE	O.S. ROAD PART OF GRANT TO WILLIAM CHIPPENDALE SERIAL 12 PG 21
MARGARET STREET	O.S. ROAD PART OF GRANT TO WILLIAM CHIPPENDALE SERIAL 12 PG 21
MARGARET STREET- REGENT STREET	CT 32/522349, CT 9266-87
PASSAGE	O.S. ROAD PART OF GRANT TO WILLIAM CHIPPENDALE SERIAL 12 PG 21
RAGLAN STREET	O.S. ROAD GOVT GAZ 12-9-1969 FOL 3665 PART OF GRANT TO WILLIAM HITCHINSON SERIAL 14 PG 171
RAGLAN STREET-COPE STREET	CT 8083-228
COPE STREET	O.S. ROAD GOVT GAZ 12-12-1865 FOL 2784

PLAN FORM 2 (A2)
WARNING: CREASING OR FOLDING WILL LEAD TO REJECTION
ePlan SHEET 10 OF 10 SHEETS
TABLE OF AFFECTATIONS AND STRATUM LIMITS
Req:R463730 /Doc:DP 1232400 P /Rev:18-Apr-2018 /Pgs:ALL /Prt:19-Apr-2018 03:31 /Seq:10 of 12
Ref:lrs:epan-epan FOR SURVEYORS USE ONLY /Src:W

TABLE OF AFFECTATIONS AND STRATUM LIMITS

AFFECTED PROPERTY	EXTENT OF ACQUISITION					
	PLAN NOTATION	APPROX. GROUND SURFACE LEVEL (RL)	UPPER STRATUM LIMIT	LOWER STRATUM LIMIT	PART AREA (approx.) (m ²)	TOTAL AREA (approx.) (m ²)
ACQUISITION LOT 180						
CP SP 62197	(SN10)	30	RL -2.20	RL -25.30	940	940
CP SP 53344	(SN11)	28	RL -2.20	RL -25.30	646	646
LOT 1 DP 261553	(SN12)	27	RL -2.20	RL -25.30	57	57
LOT 2 DP 261553	(SN13)	27	RL -2.20	RL -25.30	46	46
LOT 3 DP 261553	(SN14)	27	RL -2.20	RL -25.30	39	39
LOT 4 DP 261553	(SN15)	27	RL -2.20	RL -25.30	17	33
	(SN16)	27	RL -4.20	RL -30.25	16	
LOT 5 DP 261553	(SN17)	26	RL -4.20	RL -30.25	26	26
LOT 6 DP 261553	(SN18)	26	RL -4.20	RL -30.25	20	20
CP SP 65392	(SN19)	26	RL -4.20	RL -30.25	18	18
CP SP68040	(SN20)	26	RL -4.20	RL -30.25	1	1
CP SP 80117	(SN21)	25	RL -4.20	RL -30.25	497	1339
	(SN23)	25	RL -4.20	RL -30.25	132	
	(SN25)	25	RL -4.20	RL -30.25	710	
LOT 3 DP790039	(SN22)	25	RL -4.20	RL -30.25	715	715
LOT 2 DP790039	(SN24)	25	RL -4.20	RL -30.25	878	878
LOT 1 DP 668963	(SN26)	25	RL -4.20	RL -30.25	700	700
LOT 1 DP 706306	(SN27)	26	RL -4.20	RL -30.25	270	270
CP SP 52627	(SN28)	27	RL -4.20	RL -30.25	220	220
CP SP 75756	(SN29)	28	RL -4.20	RL -30.25	31	31
CP SP 63769	(SN30)	29	RL -4.20	RL -30.25	572	572
LOT 18 SEC C DP 7328	(SN31)	31	RL -4.20	RL -30.25	774	774
	(SN32)	32	RL -4.20	RL -30.25	94	291
LOT 1 DP 658995	(SN35)	31	RL -2.20	RL -25.40	197	
CP SP 86509	(SN34)	31	RL -2.20	RL -25.40	274	274
LOT B DP 108322	(SN36)	31	RL -2.20	RL -25.40	120	120
LOT C DP 108322	(SN37)	31	RL -2.20	RL -25.40	113	113
LOT D DP 108322	(SN38)	31	RL -2.20	RL -25.40	107	107
LOT E DP 108322	(SN39)	31	RL -2.20	RL -25.40	100	100
LOT F DP 108322	(SN40)	30	RL -2.20	RL -25.40	117	117
LOT 10 SEC 1 DP 3954	(SN41)	29	RL -2.20	RL -25.40	147	147
LOT 9 SEC 1 DP 3954	(SN42)	28	RL -2.20	RL -25.40	153	153
LOT 8 SEC 1 DP 3954	(SN43)	28	RL -2.20	RL -25.40	154	154
LOT 7 SEC 1 DP 3954	(SN44)	28	RL -2.20	RL -25.40	154	154
LOT 6 SEC 1 DP 3954	(SN45)	28	RL -2.20	RL -25.40	154	154
LOT A DP 105824	(SN46)	28	RL -2.20	RL -25.40	157	157
LOT B DP 105824	(SN47)	28	RL -2.20	RL -25.40	154	154
LOT C DP 105824	(SN48)	27	RL -2.20	RL -25.40	147	147
LOT D DP 105824	(SN49)	27	RL -2.20	RL -25.40	144	144
LOT E DP 105824	(SN50)	27	RL -2.20	RL -25.40	155	155
LOT 1 SEC 2 DP 3954	(SN51)	26	RL -2.20	RL -25.40	309	309
LOT 2 SEC 2 DP 3954	(SN52)	26	RL -2.20	RL -25.40	112	112
LOT 3 SEC 2 DP 3954	(SN53)	26	RL -2.20	RL -25.40	108	108
LOT 1 DP 184335	(SN54)	26	RL -2.20	RL -25.40	106	106
	(SN55)	25	RL -2.20	RL -25.40	268	279
CP SP 57425	(SN56)	25	RL -0.10	RL -23.30	13	
LOT 10 DP 1026349	(SN57)	24	RL -0.10	RL -23.30	619	619
LOT 1 DP 194067	(SN58)	23	RL -0.10	RL -23.30	49	49
CP SP 65710	(SN59)	23	RL -0.10	RL -23.30	9	9
LOT 12 DP 434637	(SN60)	23	RL -0.10	RL -23.30	1	1
LOT 1 DP 714273	(SN61)	24	RL -0.10	RL -23.30	6	6
LOT 2 DP 714273	(SN62)	24	RL -0.10	RL -23.30	8	8
LOT 3 DP 714273	(SN63)	24	RL -0.10	RL -23.30	13	13
BK135 No 289 (LOT 1 DP 135287)	(SN64)	24	RL -0.10	RL -23.30	4	4
LOT 1 DP 707780	(SN65)	24	RL -0.10	RL -23.30	20	20
LOT 2 DP 707780	(SN66)	24	RL -0.10	RL -23.30	24	24
LOT B DP 101401	(SN67)	24	RL -0.10	RL -23.30	33	33
CP SP 90715	(SN68)	24	RL -0.10	RL -23.30	40	40
LOT 1 DP 438236	(SN69)	24	RL -0.10	RL -23.30	46	46
LOT 2 DP 438236	(SN70)	24	RL -0.10	RL -23.30	53	53
LOT 3 DP 438236	(SN71)	23	RL -0.10	RL -23.30	47	47
LOT 4 DP 438236	(SN72)	22	RL -0.10	RL -23.30	52	52
LOT 5 DP 438236	(SN73)	22	RL -0.10	RL -23.30	57	57
LOT 6 DP 438236	(SN74)	22	RL -0.10	RL -23.30	60	60
LOT 1 DP 781853	(SN75)	22	RL -0.10	RL -23.30	122	122
LOT 1 DP 326275	(SN76)	21	RL -0.10	RL -23.30	197	197
LOT 10 DP 1171792	(SN77)	21	RL -0.10	RL -23.30	109	109

AFFECTED PROPERTY	EXTENT OF ACQUISITION					
	PLAN NOTATION	APPROX. GROUND SURFACE LEVEL (RL)	UPPER STRATUM LIMIT	LOWER STRATUM LIMIT	PART AREA (approx.) (m ²)	TOTAL AREA (approx.) (m ²)
ACQUISITION LOT 180						
LOT 10 DP 1171792	(SN77)	21	RL -0.10	RL -23.30	109	109
LOT 11 DP 1171792	(SN78)	21	RL -0.10	RL -23.30	113	113
LOT 12 DP 1171792	(SN79)	21	RL -0.10	RL -23.30	111	111
LOT 13 DP 1171792	(SN80)	21	RL -0.10	RL -23.30	124	124
LOT 1 DP 87982	(SN83)	21	RL -0.10	RL -23.30	15	15
LOT 1 DP 856309	(SN81)	21	RL -0.10	RL -23.30	151	191
	(SN85)	21	RL 1.60	RL -21.30	40	
LOT 2 DP 856309	(SN82)	21	RL -0.10	RL -23.30	16	110
	(SN86)	21	RL 1.60	RL -21.30	94	
	(SN84)	21	RL -0.10	RL -23.30	7	
CP SP 57504	(SN87)	21	RL 1.60	RL -21.30	1273	1280
CP SP 68853	(SN88)	19	RL 1.60	RL -21.30	641	641
LOT 2 DP 632406	(SN89)	18	RL 1.60	RL -21.30	349	349
LOT 2 DP 990709	(SN90)	18	RL 1.60	RL -21.30	333	333
LOT 1 DP 996766	(SN91)	18	RL 1.60	RL -21.30	218	218
LOT 1 DP 229594	(SN92)	18	RL 1.60	RL -21.30	3	238
	(SN93)	18	RL 1.60	RL -21.30	235	
LOT 3 DP 230664	(SN94)	18	RL 1.60	RL -21.30	47	47
	(SN95)	18	RL 1.60	RL -21.30	184	
CP SP 89805	(SN96)	18	RL 2.80	RL -19.70	297	481
	(SN97)	17	RL 2.80	RL -19.70	1809	
LOT 1 DP 738593	(SN98)	17	RL 2.80	RL -19.70	260	260
LOT 1 DP 3969	(SN99)	30	RL -4.20	RL -30.25	178	178
LOT 1 DP112171	(SN100)	21	RL -0.10	RL -23.30	1	1

AFFECTED ROAD	EXTENT OF ACQUISITION				
	PLAN NOTATION	UPPER STRATUM LIMIT	LOWER STRATUM LIMIT	PART AREA (approx.) (m ²)	TOTAL AREA (approx.) (m ²)
ACQUISITION LOT 180					
CLEVELAND STREET	(R2)	RL -2.20	RL -25.30	690	
RENWICK STREET	(R3)	RL -2.20	RL -25.30	345	345
JAMES STREET	(R4)	RL -2.20	RL -25.30	471	471
RENWICK STREET	(R5)	RL -4.20	RL -30.25	403	403
REGENT STREET	(R6)	RL -4.20	RL -30.25	1868	4183
	(R12)	RL -2.20	RL -25.40	369	
	(R13)	RL -0.10	RL -23.30	1945	
	(R16)	RL 1.60	RL -21.30	1	
LAWSON SQUARE	(R7)	RL -4.20	RL -30.25	886	886
REDFERN STREET	(R8)	RL -4.20	RL -30.25	315	316
	(R19)	RL -2.20	RL -25.40	1	
LANE	(R9)	RL -2.20	RL -25.40	85	86
	(R20)	RL -4.20	RL -30.25	1	
WILLIAM LANE	(R10)	RL -2.20	RL -25.40	5	5
MARIAN STREET	(R11)	RL -2.20	RL -25.40	326	326
MARGARET STREET	(R14)	RL -0.10	RL -23.30	51	51
LANE	(R15)	RL -0.10	RL -23.30	108	108
COPE STREET	(R17)	RL 2.80	RL -19.70	127	127
RAGLAN STREET	(R18)	RL 2.80	RL -19.70	570	570
GIBBON STREET	(R21)	RL -4.2	RL -30.5	65	65
PASSAGE	(R22)	RL -0.10	RL -23.3	107	107

Surveyor: JOHN NELSON PETERSEN	PLAN OF ACQUISITION FOR RAILWAY PURPOSES	L.G.A.: SYDNEY	Registered: 18.04.2018	DP1232400
Date of Survey: 16.05.2017		Locality: REDFERN, WATERLOO		
Surveyor's Ref: PR124856-DP18 2017M7100 (792 & 799)		Subdivision No: — Lengths are in metres. Reduction Ratio 1: N/A		


PLAN FORM 6 (2013)


WARNING: Creasing or folding will lead to rejection

ePlan

DEPOSITED PLAN ADMINISTRATION SHEET


Sheet 1 of 2 sheet(s)

Office Use Only		Office Use Only	
Registered:  18.04.2018		DP1232400	
Title System: TORRENS			
Purpose: ACQUISITION			
PLAN OF ACQUISITION FOR RAILWAY PURPOSES		LGA: SYDNEY Locality: REDFERN, WATERLOO Parish: ALEXANDRIA County: CUMBERLAND	
Crown Lands NSW/Western Lands Office Approval I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given. Signature: Date: File Number: Office:		Survey Certificate I, JOHN NELSON PETERSEN of RPS AUST EAST PTY LTD a surveyor registered under the <i>Surveying and Spatial Information Act</i> 2002, certify that: *(a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2012</i> , is accurate and the survey was completed on 16.05.2017 *(b) The part of the land shown in the plan ("being" excluding A) was surveyed in accordance with the <i>Surveying and Spatial</i> <i>Information Regulation 2012</i> , is accurate and the survey was completed on the part not surveyed was compiled in accordance with that Regulation. *(c) The land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2012</i> . Signature: <i>John M. Petersen</i> Dated: <i>30/1/2018</i> Surveyor ID: 1831 Datum Line: "X-Y" Type: *Urban/*Rural The terrain is *Level-Undulating / *Steep-Mountainous: *Strike through if inapplicable. *Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.	
Subdivision Certificate I, *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and</i> <i>Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein. Signature: Accreditation number: Consent Authority: Date of endorsement: Subdivision Certificate number: File number: *Strike through if inapplicable.		Plans used in the preparation of survey/compilation: DP7328, DP101401, DP105824, DP108322, DP194067, DP234111, DP235433, DP261553, DP434637, DP438236, DP448210, DP522863, DP561593, DP594873, DP606611, DP637261, DP658995, DP706306, DP707780, DP714273, DP781853, DP785916, DP785918, DP790039, DP804113, DP806835, DP854956, DP862513, DP862514, DP864832, DP868963, DP874757, DP878444, DP1010432, DP1011782, DP1014037, DP1017116, DP1019412, DP1021371, DP1026349, DP1038720, DP1042426, DP1062447, DP1078271, DP1082631, DP1087555, DP1097700, DP1106801, DP1113709, DP1121989, DP1153747,	
Statements of intention to dedicate public roads, create public reserves and drainage reserves, acquire/resume land. IT IS INTENDED TO ACQUIRE LOT 180 FOR RAILWAY PURPOSES			
Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A		If space is insufficient continue on PLAN FORM 6A Surveyor's Reference: PR124856-DP18 2017M7100(792 & 799)	

PLAN FORM 6A (2012)		WARNING: Creasing or folding will lead to rejection		ePlan	
DEPOSITED PLAN ADMINISTRATION SHEET				Sheet 2 of 2 sheet(s)	
Registered:  18.04.2018		Office Use Only		Office Use Only	
PLAN OF ACQUISITION FOR RAILWAY PURPOSES		<div>DP1232400</div> <div>This sheet is for the provision of the following information as required:<ul style="list-style-type: none">• A schedule of lots and addresses - See 60(c) SSI Regulation 2012• Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919• Signatures and seals- see 195D Conveyancing Act 1919• Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.</div>			
Subdivision Certificate number: Date of Endorsement:					
PLANS USED CONT'D					
DP1163317, DP1164832, DP1167435, DP1171792, DP1173023, DP1192536, DP1193790, DP1208937, DP1209785, 15887-3000, 1-1911, 405-907, SP80978					
Surveyor's Reference: PR124856-DP18 2017M7100(792 & 799)					



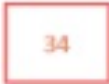




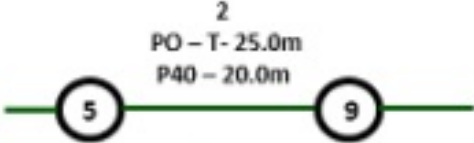
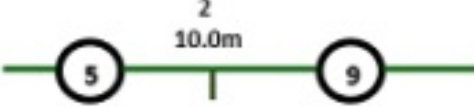



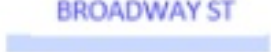

Indicative Plans

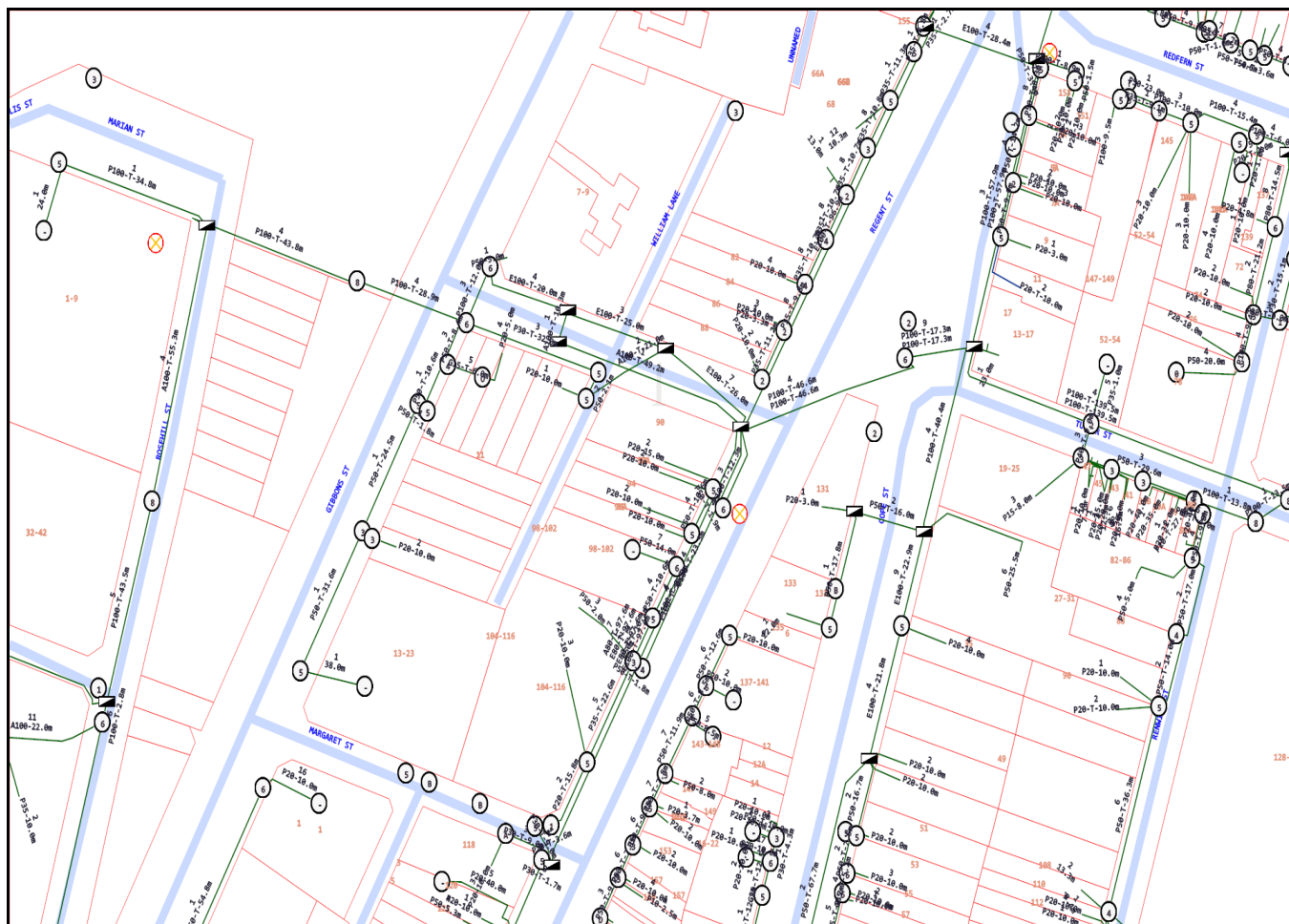
Issue Date:	12/05/2020	 DIAL BEFORE YOU DIG www.1100.com.au
Location:	90 Regent Street , Redfern , NSW , 2016	

1



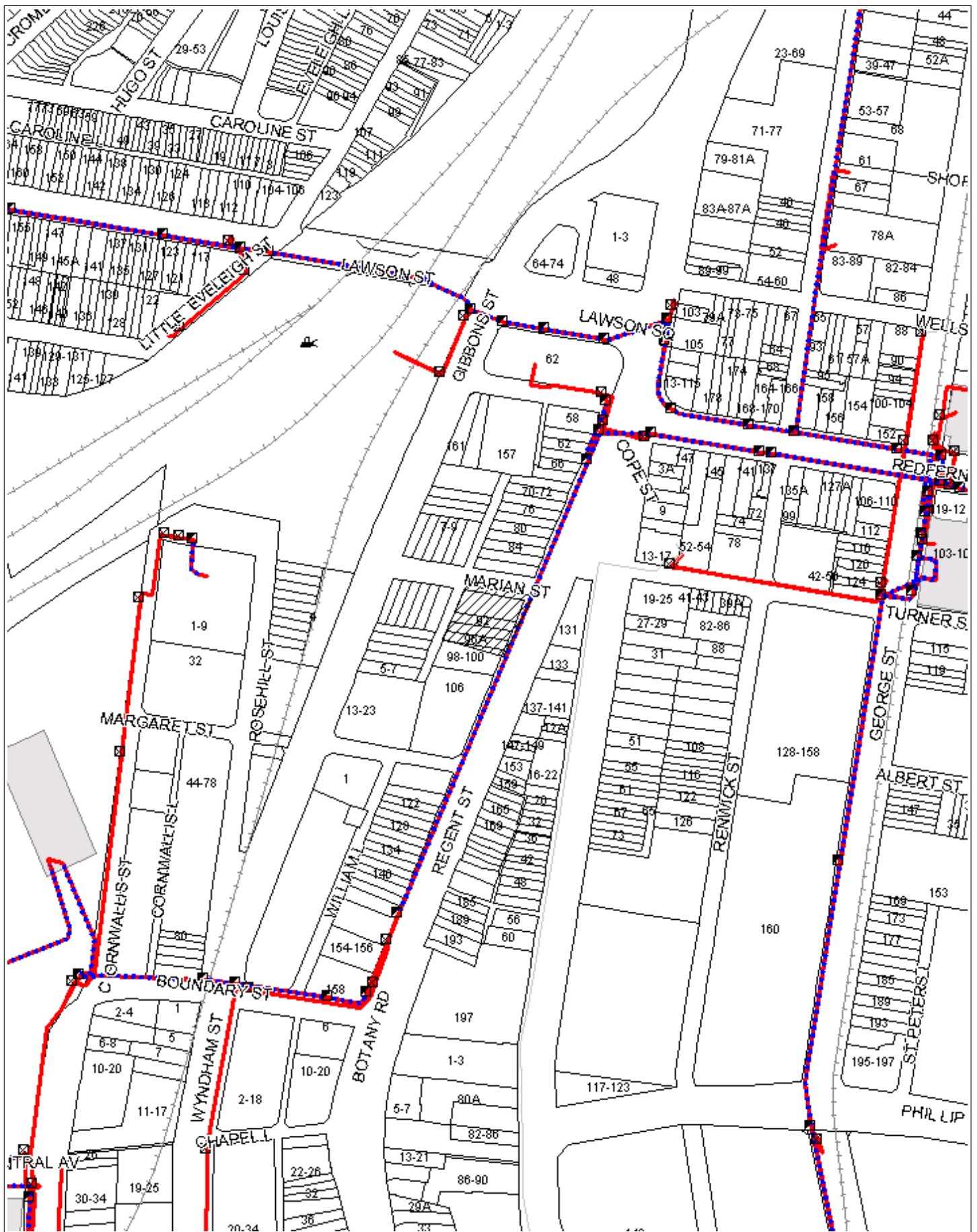
LEGEND

	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m 



Emergency Contacts

You must immediately report any damage to **nbn**TM network that you are/become aware of. Notification may be by telephone - 1800 626 329.



WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. Optus Plans and information supplied are valid for 30 days from the date of issue. If this timeline has elapsed please raise a new enquiry.

Sequence Number: 97604061

Date Generated: 13/05/2020



For all Optus DBYD plan enquiries –
Email: Fibre.Locations@optus.net.au
For urgent onsite assistance contact 1800 505 777
Optus Limited ACN 052 833 208



To: Mr benjamin fogerty
Level 16 580 George Street
Sydney, NSW, 2000



Uecomm Pty Limited
ABN 56 079 083 195

Building 8, 658 Church St,
Richmond, VIC 3121
Ph: (03) 9221 4100
Fax: (03) 9221 4193
Ah: 1800 707 447

LOCATION OF UNDERGROUND FIBRE OPTIC CABLE INFORMATION SHEET

IMPORTANT: PLEASE READ ALL INFORMATION AND CONDITIONS BELOW AND THE NOTICE ON THE REVERSE SIDE OF THE PLAN/S.

"Dial Before You Dig" Sequence No 97604061
Customer ID 1908092

Issue Date: 13/05/2020
Issue By:

Location: **90 Regent Street, Redfern, NSW 2016**
Map Ref: **256A4**
Uecomm Asset Location No. **97604061**
Dial Before You Dig Job No. **19522051**

In relation to your enquiry at the above address, Uecomm advises as follows:

The records of Uecomm Limited disclose that there ARE underground FIBRE OPTIC / TELECOMMUNICATIONS cables in the vicinity of the above enquiry as per attached plan/s.

- The underground cables referred to in this advice are defined as the underground communications cables owned or controlled by Uecomm Pty Limited.
- The person/company responsible for submitting the inquiry should take care to ensure all plans listed above have been received. For any plan listed above but not received please contact **1800 707 447**.
- Any information provided is valid only for **30 days** from the date of issue set out above.
- If the work operations extends beyond this period, or if the designs are altered in any way, you are requested to resubmit your proposal for reassessment.
- Further assistance may be obtained if necessary by telephoning **1800 707 447**.

PLEASE READ ALL INFORMATION AND DISCLAIMERS BELOW:

1. Due to the nature of underground cables and the age of some cables and records, it is impossible to conclusively ascertain the location of all cables. The accuracy and/or completeness of the information cannot be guaranteed and, accordingly, they are intended to be indicative only and, as a result, Uecomm does not accept any responsibility for any inaccuracies of its plans. They should not be solely relied upon when undertaking underground works. It is also inaccurate to assume that fibre optic cables follow straight lines and careful on-site investigations are essential to locate its exact position.
2. The following minimum clearances must be maintained:
 - 300mm when laying asset's inline, horizontal or vertical.
 - 500mm when operating vibrating equipment, e.g., jackhammers or vibrating plates.
 - 1000mm when operating mechanical excavators.
3. Due to the inherent dangers associated with excavation in the vicinity of underground cables, precautions should be taken in the undertaking of any underground works, including (but not limited to) the following:
 - All excavation sites should be examined for underground cables by careful hand excavation. Cable cover slabs if present must not be disturbed. Hand excavation needs to be undertaken with extreme care to minimise the likely hood of damage to the cable, e.g., blades of hand equipment should be orientated parallel to the line of the cable rather than digging across the cable.
 - If any undisclosed underground cables are located, Uecomm Limited should be notified immediately.
 - All personnel must be properly briefed, particularly those associated with the use of earthmoving equipment, trenching, boring and pneumatic equipment.
 - All excavations must be undertaken in accordance with the relevant legislation and regulations.

4. **DAMAGE. ANY DAMAGE TO UECOMM'S NETWORK MUST BE REPORTED IMMEDIATELY TO 1800 707 447.**
5. Uecomm recommends using Uecomm approved location contractors to provide on-site location services for Uecomm plant. You can arrange Uecomm on-site visits by calling Uecomm on 1800 707 447 and Uecomm or its approved representative will attend your site to provide guidance to the location of the Uecomm assets (the "*Uecomm Asset Alignment*"). **Uecomm requires 3 clear business days notice to conduct an on-site location.** The initial on-site visit by Uecomm will not normally incur a charge, but at the discretion of Uecomm, subsequent site visits may incur a charge to be applied at an hourly rate.
6. Uecomm will hold the relevant party responsible for any damage to Uecomm plant and all expenses incurred by Uecomm as a result of asset damage.
7. Except to the extent that liability may not be capable of lawful exclusion, Uecomm Pty Limited and its servants and agents and the related bodies corporate of Uecomm Pty Limited and their servants and agents shall be under no liability whatsoever to any person for any loss or damage (including indirect or consequential loss or damage) however caused (including, without limitation, breach of contract negligence and/or breach of statute) which may be suffered or incurred from or in connection with this information sheet or any Plans attached hereto. Except as expressly provided to the contrary in this information sheet or the attached Plans, all terms, conditions, warranties, undertakings or representations (whether expressed or implied) are excluded to the fullest extent permitted by law.

We thank you for your enquiry and appreciate your continued use of the Dial Before You Dig Service and/or Uecomm Asset Analysis Service. If you require further information please contact Uecomm on **1800 707 447**.

IMPORTANT *This document may be confidential and privileged. Unauthorised use is prohibited. If you have it in error, please notify us and shred this document. Thank you.*

LEGEND

- ELECTRICITY POLE
- FIBRE OPTIC CABLE
- CABLE CONDUIT (TRENCHING)
- CABLE CONDUIT (BORE TUNNELLING)
- UE P2 PIT
- UE P5 PIT
- UE P6 PIT
- UE P8 PIT
- UE P9 PIT
- BL - BUILDING LINE
- BOK - BACK OF KERB
- CL - CENTRELINE OF CONDUIT
- TP - TURNING POINT OF CONDUIT
- FENCE LINE, FL
- TELSTRA MANHOLE
- TELSTRA PIT
- OPTICAL FIBRE JOINT
- JOINT LOOP (m) - POLE / UNDERGROUND
- CABLE HEAD POLE
- 0.6m - CABLE DEPTH
- UNIDENTIFIED BURIED PIT.

DRAWING NOT TO SCALE

Note:

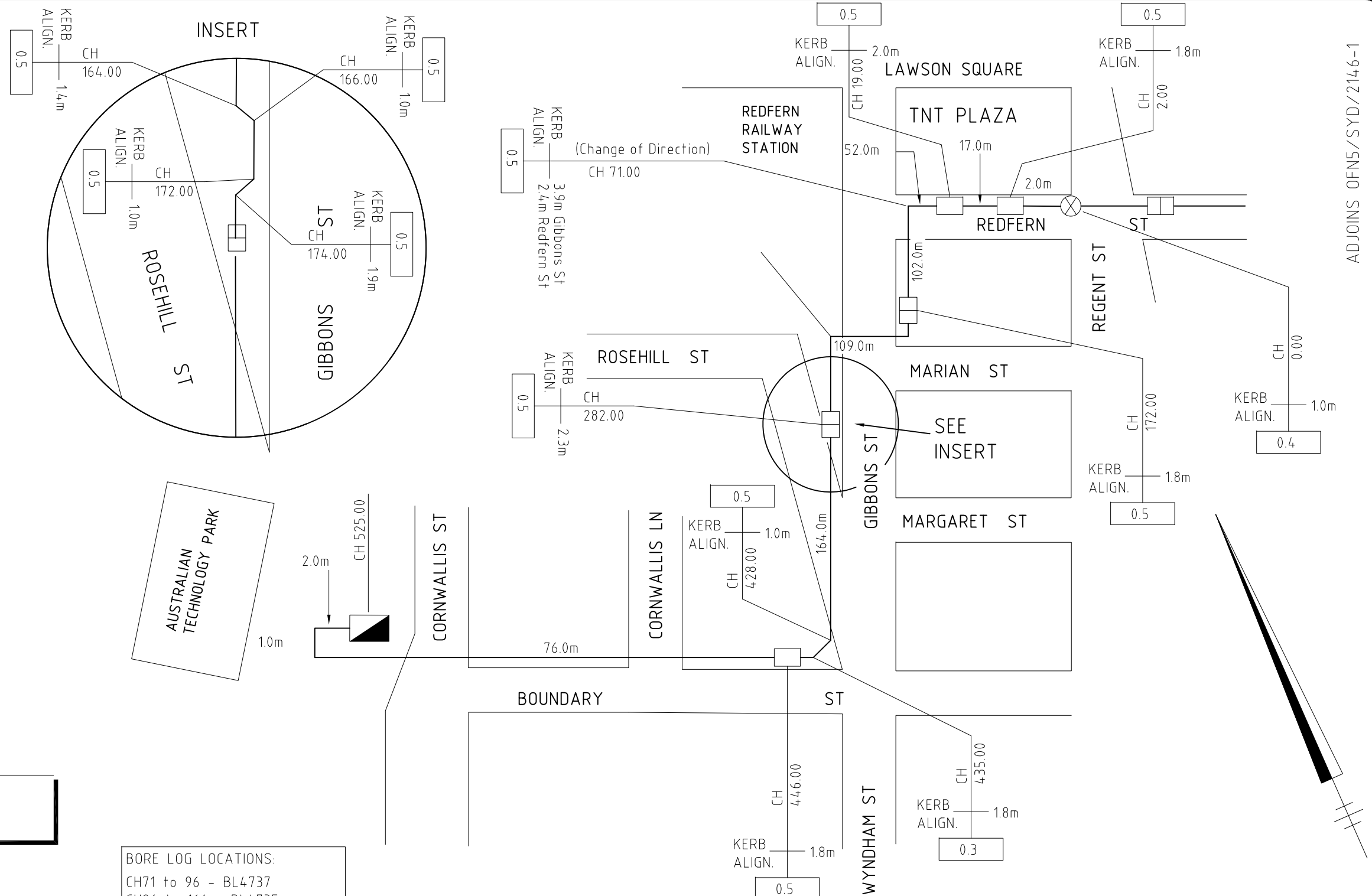
- All Construction P50/PE63mm conduit.
- UECOMM P50 pipe passes thru buried pit
Corner Redfern and Regent Streets.
- All alignments from Kerb Line.
- CH428.0 to CH446.0 0.3 cover, concrete encased.

BORE LOG LOCATIONS:

CH71 to 96 - BL4737
CH96 to 166 - BL4735
CH173 to 191 - BL4736
CH191 to 164 - BL
CH282 to 360 - BL4815
CH393 to 428 - BL4881
CH446 to 522 - BL4882

NOTE

ALL INFORMATION ON THIS
PLAN WAS CORRECT AT
TIME OF FIELD INSPECTION.



QC Communications
UNIT F2
22 Powers Rds
Seven Hills NSW 2147
ABN 80 079 324 299



REVISION					
	DATE	REV.	REVISION DESCRIPTION	CHK'D	APP'D.

CONTACT ROSS OATES
OFFICER PH: - 02 8226 3203

PROJECT NUMBER
UEC-AARNS-104
PLAN No. Uecomm 12/02

SYDNEY / UBD REF 14-P10



UECOMM
SYDNEY

DRAWN NCA
20.01.03

DESIGN CHECKED

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APPROVED

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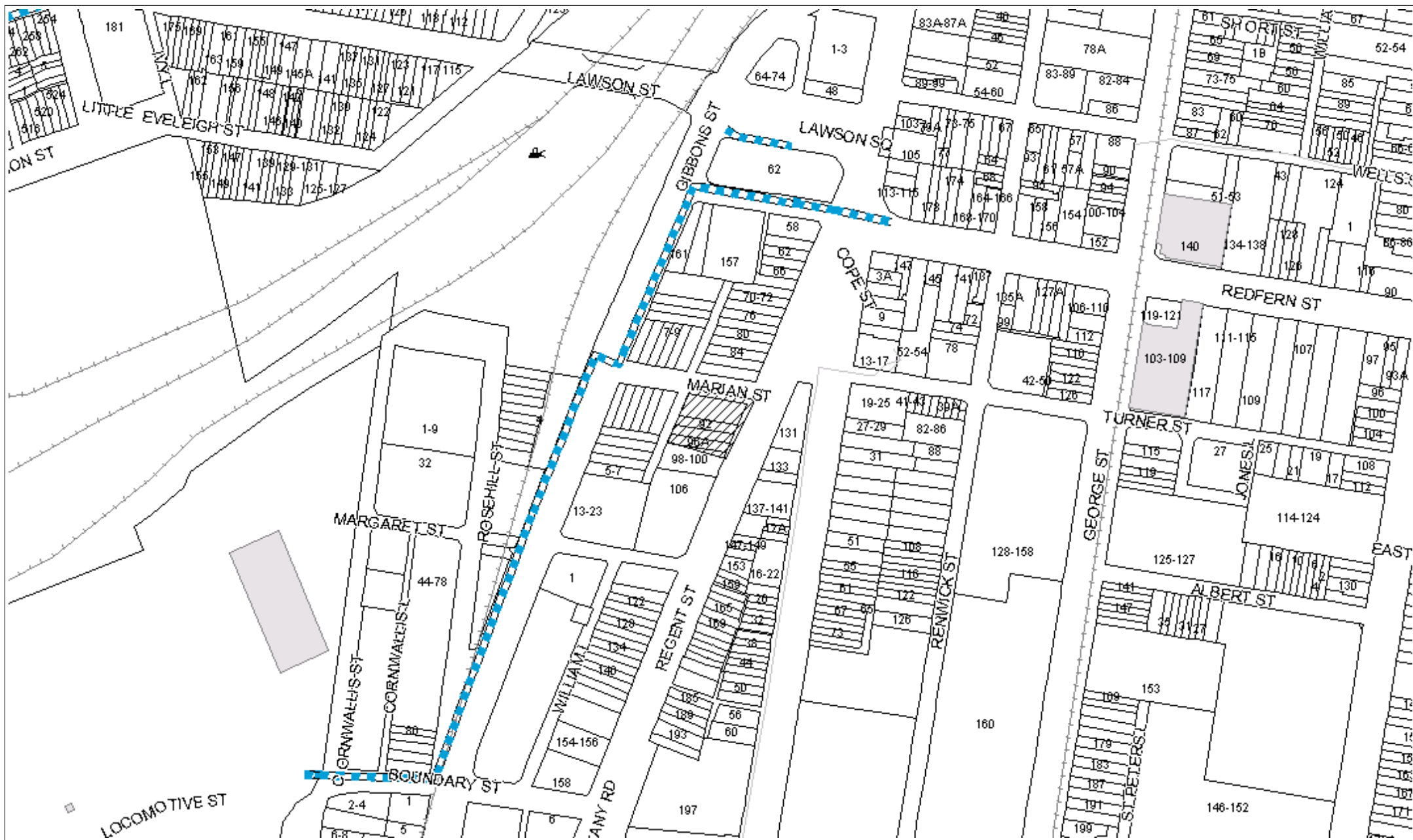
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DRG No. OFN5/SYD/2321-1

U/G OPTICAL FIBRE CABLE RUN
AUSTRALIAN TECHNOLOGY PARK
CORNWALLIS ST TO REDFERN ST
REDFERN NSW 2016



13/05/2020

Mr benjamin fogerty
arcadis
Level 16 580 George Street
Sydney NSW 2000

Dear Mr benjamin fogerty

DIAL BEFORE YOU DIG - JOB: 19522051 SEQ: 97604065

Thank you for your enquiry regarding the below mentioned area.

Enquiry Date: 13/05/2020
Address: 90 Regent Street
Suburb: Redfern
State: NSW, 2016

Additional Information:

YES – We can confirm, the Vocus Group has Fibre Optic Services within the vicinity.

Please find attached a copy of the services plan for the location you have specified. These plans are valid for 30 days from the date requested.

IMPORTANT INFORMATION

Drawings and plans provided by the Vocus Group are reference diagrams which were correct at the time the asset was built. Exact ground cover and alignments cannot be provided with any certainty, as these may alter over time. Depth of the Telecommunications asset can vary considerably as can alignments. The plans provided are to be used as a guide only.

Identifying the Vocus Group asset visually is critical. Information on how this can be arranged is provided in this document.

Please email Damage.Relocations@vocus.com.au for general enquiries about the information provided within this response.

Yours sincerely,
Vocus Group DBYD Team

EMERGENCY CONTACT: 1800 262 663

Vocus Group
Level 12, 60 Miller Street
NORTH SYDNEY NSW 2060
T: 1300 88 99 88 E: info@vocus.com.au

DUTY OF CARE

The Constructor has a legal “Duty of Care” that must be observed when working in the vicinity of any Vocus Group asset.

It is the responsibility of the Constructor to design their works with no impact to the Vocus Group asset.

The Constructor must;

- a. Obtain and review plans for a specified area through Dial Before You Dig within a reasonable timeframe before construction begins.
- b. Visually locate the Vocus Group asset, using a Vocus Group Accredited Locator who will vacuum excavate (potholing) where construction activities may damage or interfere with the Vocus Group asset. Refer to ***“Clearances for Work in the Vicinity of the Vocus Group Asset”*** section below for more information.
- c. Contact the Vocus Group if the Vocus Group asset is wholly or partly located near planned construction activities.

NOTE: Plans are provided free of charge from DBYD. Request for plans of a larger area may incur a cost.

DAMAGE

The Constructor will be held responsible for all asset damage when work commences prior to obtaining the Vocus Group plans, or failure to follow instructions.

ANY DAMAGE TO THE VOCUS GROUP ASSET MUST BE REPORTED TO 1800 262 663 IMMEDIATELY

The Vocus Group reserves all rights to recover compensation for loss or damage to its cable network or other property including consequential losses.

ASSET RELOCATIONS

The Constructor is not permitted to relocate or alter any Vocus Group asset or network under any circumstance.

For all enquiries relating to the relocation of a Vocus Group asset please email Damage.Relocations@vocus.com.au

RESOLUTION OF POINTS OF CONFLICT

Should asset location and potholing reveal points of conflict between the Constructors planned works and the existing Vocus Group asset, the Constructor should contact the Vocus Group for advice and to discuss possible solutions.

Please contact the Fibre Assurance Team

Phone: 1800 262 663

Email: Damage.Relocations@vocus.com.au

ASSESSMENT OF RISK AND PROTECTIVE ACTIONS

Where “Protective works” are required around existing the Vocus Group asset, a solution will be confirmed on a case by case basis. The cost of the Protective works are the responsibility of the Constructor and the works will be carried out by a Vocus Group Accredited Contractor.

Where “Relocation works” of the Vocus Group asset is part of an agreed solution, a Project Manager will be assigned to work with the Constructor. The cost of the Relocation works are the responsibility of the Constructor and the works will be carried out by a Vocus Group Accredited Contractor.

Region	Onsite Locations Contact	Phone	Mobile	Fax	After Hours
Sydney, NSW	QC Communications	(02) 9620 2407		(08) 9620 1701	
Alice Springs, NT	Chambers Engineering	(08) 8955 5022	0418 837 833 0427 971 931	(08) 8955 5322	
Darwin, NT	Anywair Electrics		0418 890 071		0418 890 071
Darwin, NT	Northern Comm.'s		0407 904 319		0407 904 319
Brisbane, QLD	Optilinx	(07) 3901 7353	A/Hours or Emergency 0404 010 658	(07) 3901 7352	
Adelaide, SA	TPC	(08) 8376 5911		(08) 8376 5944	
Melbourne, VIC	Linktech	(03) 8805 0300			
Perth, WA	Abaxa	1300 369 642	A/Hours or Emergency 0411 746 657	(08) 9256 2922	

**If any of the above numbers are uncontactable and your call is urgent,
please call the Vocus National Service Desk on 1800 262 663**

The Vocus Group accepts no liability for the information provided to the Constructor by the Locators listed above.

Further to this, the Constructor acknowledges that the Locator is the agent of the Constructor and that the Vocus Group takes no responsibility for the Locators' acts or omissions.

- For all work within 2.5 metres of nominal location, the Constructor is required to prove the actual location of the asset by potholing and exposing before commencing work.
- Potholing to expose and locate the Vocus Group asset is required before work commences and every 3 metres where the Constructors works are parallel to the Vocus Group asset.
- The Constructor is responsible for all asset damages when works commence without the Vocus Group plans or by failure to follow advice and/or instructions from the Vocus Group.

NOTE: No machinery shall be used within 1 metre of the Vocus Group asset until the actual location has been determined by potholing using hand tools.

NOTE: No heavy earth working machinery shall be used within 5 metres of the Vocus Group asset until the actual location has been determined by potholing using hand tools.

CLEARANCES FOR WORK IN THE VICINITY OF THE VOCUS GROUP ASSET

These figures represent the minimum clearance cover to be maintained over the Vocus Group asset. Please note that the actual cover over existing asset may be greater or less than recommended figures. Exact alignment and depths cannot be given with certainty as such levels can change over time.

Footpath and Verge Areas	450mm
Roadways	600mm

These figures represent the minimum clearance between construction and actual location of the Vocus Group asset.

Jackhammers / Pneumatic Breakers	Not within 2.5 metres of actual location
Vibrating Plate or Wacker Packer Compactors	Not within 500mm of actual location
Heavy Vehicle Traffic	Not to be driven across the Vocus Group asset with less than 600mm cover. The Constructor is to check the depth by potholing using hand tools.
Mechanical Excavators	Not within 1 metre of actual location. The Constructor is to pothole and expose the asset using hand tools.
Boring Equipment (in-line, horizontal and vertical)	Not within 2.5 metres of actual location. The Constructor is to pothole and expose the asset.

Access to the Vocus Group pits must remain accessible and at ground level at all times.

Any information provided is valid for 30 days only from the date of issue of this document. If the works extend beyond this period, or if the designs are altered in any way, you are requested to re-submit your proposal for re-assessment by contacting Dial Before You Dig.

Phone 1100 or check the website for more details <http://www.1100.com.au>

Schedule	The Criminal Code
Chapter 10	National infrastructure
Part 10.6	Telecommunications Services
Division 474	Telecommunications offences

474.6 Interference with facilities

(1) A person is guilty of an offence if the person tampers with, or interferes with, a facility owned or operated by:

- (a) a carrier; or
- (b) a carriage service provider; or
- (c) a nominated carrier.

Penalty: Imprisonment for 1 year.

(2) For the purposes of an offence against subsection (1), absolute liability applies to the physical element of circumstance of the offence, that the facility is owned or operated by a carrier, a carriage service provider or a nominated carrier.

(3) A person is guilty of an offence if:

(a) the person tampers with, or interferes with, a facility owned or operated by:

- (i) a carrier; or
- (ii) a carriage service provider; or
- (iii) a nominated carrier; and

(b) this conduct results in hindering the normal operation of a carriage service supplied by a carriage service provider.

Penalty: Imprisonment for 2 years.

(4) For the purposes of an offence against subsection (3), absolute liability applies to the following physical elements of circumstance of the offence:

- (a) that the facility is owned or operated by a carrier, a carriage service provider or a nominated carrier;
- (b) that the carriage service is supplied by a carriage service provider.

(5) A person is guilty of an offence if:

(a) the person uses or operates any apparatus or device (whether or not it is comprised in, connected to or used in connection with a telecommunications network); and

(b) this conduct results in hindering the normal operation of a carriage service supplied by a carriage service provider.

Penalty: Imprisonment for 2 years.



SEQUENCE NUMBER: 97604065
 JOB NUMBER: 19522051
 ADDRESS: 90 Regent Street, Redfern, NSW 2016

LEGEND ● Vocus Group Pit
 — Vocus Group Conduit

SCALE: 1:1000



Response Cover Letter

Date: 13/05/2020

PIPE Networks
Level 17, 127 Creek St
Brisbane QLD 4000
Phone: +61 732339895
Fax: +61 732339880

To:

Mr benjamin fogerty - Customer ID: 1908092
arcadis - Mr benjamin fogerty
Level 16 580 George Street
Sydney
NSW
2000

Email: benjamin.fogerty@arcadis.com
Phone: 0435526993
Fax: Not Supplied
Mobile: 0435526993

Dear Mr benjamin fogerty

The following is our response to your Dial Before You Dig enquiry.

Assets Affected: PIPE Networks, Telstra

Sequence Number: 97604058

Location: 90 Regent Street
Redfern
NSW
2016

Commencement Date: 14/05/2020

Please read over the attached documents for more information about your enquiry.

DISCLAIMER: No responsibility/liability is taken by PIPE Networks for any inaccuracy, error, omission or action based on the information supplied in this correspondence.

Note: If the works fall in an area that adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**



Level 17, PIPE Networks House, 127 Creek Street, Brisbane 4000
PH:(07) 3233 9895 FAX:(07) 3233 9880

Attention: Mr Benjamin Fogerty
Fax: Not Supplied
DBYD Enquiry Number: 97604058

Date: 13/05/2020

Location: 90 Regent Street
Redfern
NSW
2016

DBYD ENQUIRY RETURN:

PIPE Networks **DOES** own or operate telecommunications network infrastructure within the area detailed above.

The affected network **is contained in the PIPE Networks duct network** and can be found on **PIPE Networks** own network plans.

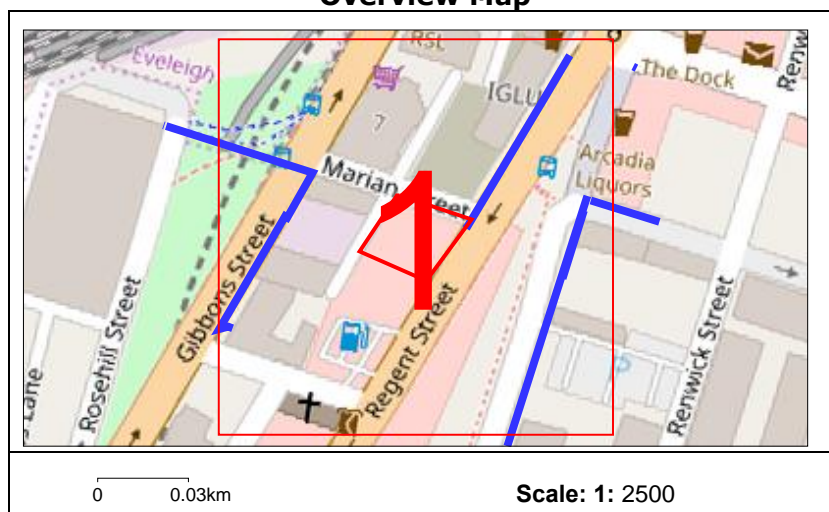
This network is vital to our operations and as such, it is critical that no works commence within the area until a PIPE Networks representative has contacted you.

A PIPE Networks representative will contact you within 24 hours to further discuss your intended works. If you do not hear from PIPE Networks within 24 hours please call us for assistance.

Due to continued network expansion, this network information can only be considered valid and accurate for 28 days from issue.

PIPE Networks will seek compensation for any damage to its network through negligence or ignorance of your duty of care.

Overview Map



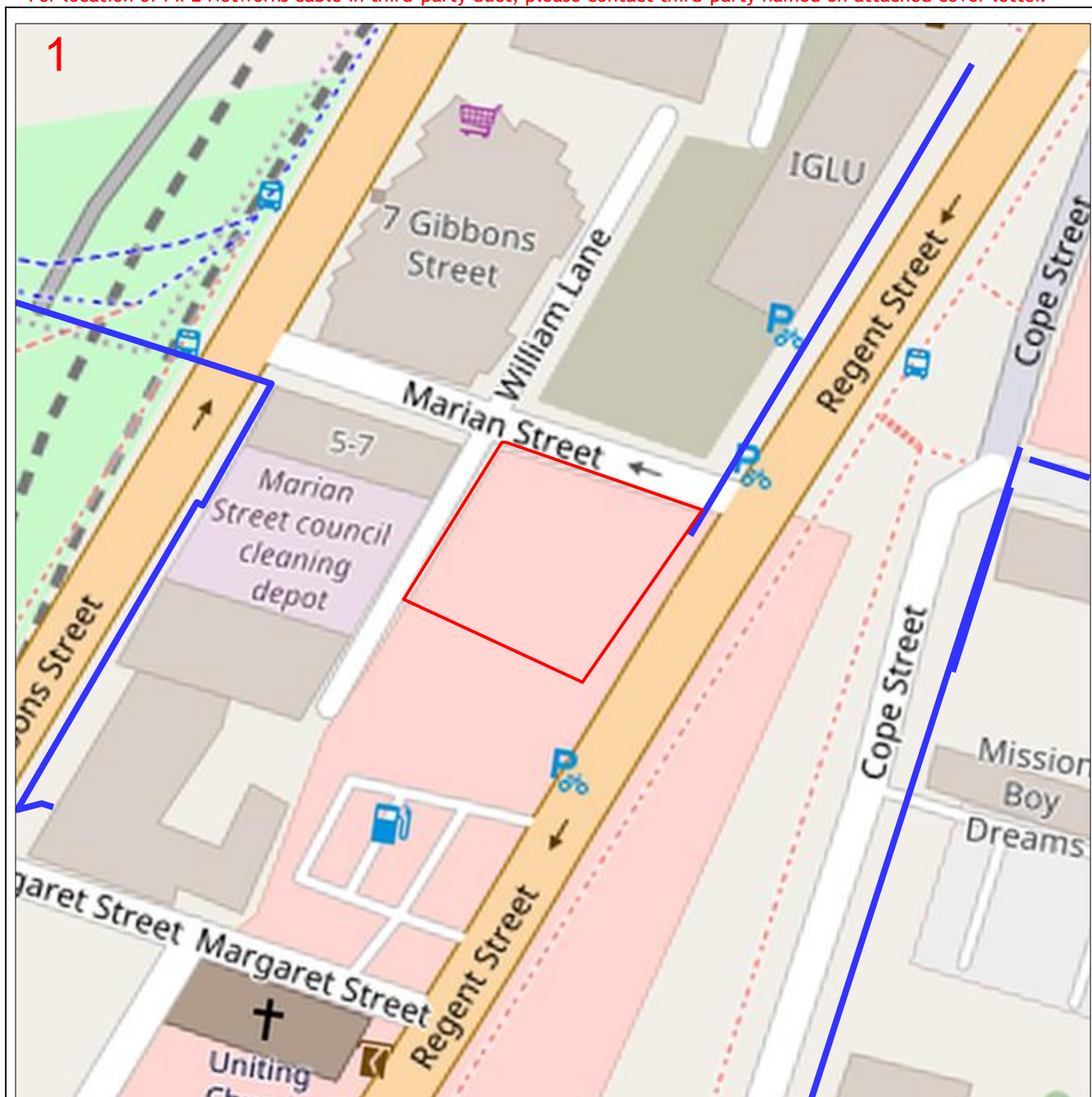
PIPE Networks (for information specific to this job only)
Ph (07) 3233 9895
Email: dbyd@pipenetworks.com

DISCLAIMER: No responsibility/liability is taken by PIPE Networks for any inaccuracy, error, omission or action based on the information supplied in this correspondence.

Note: If the works fall in an area that adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**

Only PIPE Networks' duct displayed.

For location of PIPE Networks cable in third-party duct, please contact third-party named on attached cover letter.



Enquiry Number: 97604058

Map Sheet: 1

Scale: 1:750

0 0.008km

LEGEND

DBYD Request Area Asset

Line

Area



Manhole



Duct



DISCLAIMER: No responsibility/liability is taken by PIPE Networks for any inaccuracy, error, omission or action based on the information supplied in this correspondence. © 2013 PIPE Networks Ltd.

Note: If the works fall in an area that is adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**

Plant Location Details



12/05/2020

Mr benjamin fogerty
arcadis
Level 16 580 George Street
Sydney NSW 2000
Phone: 0435526993
Fax: Not Supplied

Nextgen Networks Pty Ltd
Level 6, 333 Collins Street
Melbourne VIC 3000
T 1800 032 532
E Damage.Relocations@vocus.com.au

Dear Mr benjamin fogerty

The following is a response to your Dial Before You Dig enquiry

Assets Affected: Nextgen Assets

Sequence No: 97604057

Location: 90 Regent Street, Redfern NSW 2016

IMPORTANT:

- Please read and understand all the information and disclaimers provided below
- Sketches and Plans provided by Nextgen Networks are circuit diagrams only and indicate the presence of telecommunications plant in the general vicinity of the geographical area shown; exact ground cover and alignments cannot be given with any certainty and cover may alter over time. Telecommunications plant seldom follow straight lines and careful on site investigation is essential to uncover and reveal its exact position
- The accuracy and/or completeness of the information in the plans can not be guaranteed often due to changes in the surrounding land subsequent to Nextgen's deployment and, accordingly the plans are intended to be indicative only

"DUTY OF CARE"

When working in the vicinity of telecommunications plant you have a legal "Duty of Care" that must be observed. The following points must be considered:

1. It is the responsibility of the owner and any consultant engaged by the owner, including an architect, consulting engineer, developer, and head contractor to design for minimal impact and protection of Nextgen Networks plant. Nextgen Networks will provide free plans and sketches showing the presence of its network to assist at this design stage.
2. It is the owner's (or constructor's) responsibility to:
 - a) Request plans of Nextgen Networks plant for a particular location at a reasonable time before construction begins
 - b) Visually locate Nextgen Networks plant by vacuum excavation (pot-holing) where construction activities may damage or interfere with Nextgen Networks plant (see "Essential Precautions and Approach Distances" section for more information)
 - c) Contact Nextgen Networks Network (see below for details) if Nextgen Networks plant is wholly or partly located near planned construction activities

DAMAGE

ANY DAMAGE TO Nextgen Networks NETWORK MUST BE REPORTED TO 1800 032 532 IMMEDIATELY

- The owner is responsible for all plant damage when works commence prior to obtaining Nextgen Networks plans, or failure to follow agreed instructions
- Nextgen Networks reserves all rights to recover compensation for lose or damage to its cable network or other property including consequential losses

CONCERNING NEXTGEN NETWORK PLANS

- Phone 1100. Dial Before You Dig for free plans of Nextgen Networks plant locations. Please give at least 2 business days notice
- Nextgen Networks plans and information provided are valid for 30 days from the date of issue
- Nextgen Networks retains copyright in all plans and details provided in conjunction with your request. These plans and or details should be disposed of by shredding or any other secure disposal method after use
- Nextgen Networks plans or other details are provided for the use of the applicant, its servants, or agents, and shall not be used for any unauthorised purpose
- Please contact the Network Help Desk (see below for details) immediately should you locate Nextgen Networks assets not indicated on these plans
- Nextgen Networks, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Nextgen Networks against any claim or demand for any such loss or damage
- Please ensure Nextgen Networks plans and information provided remains on-site at all times throughout your construction phase

ESSENTIAL PRECAUTION AND APPROACH DISTANCE

NOTE: If the following clearances cannot be maintained, please contact the Nextgen Network Help Desk (see below for details) for advice on how best to resolve this situation

1. On receipt of plans and sketches and before commencing excavation work or similar activities near Nextgen Networks plant, carefully locate this plant first to avoid damage. Undertake prior exposure (vacuum excavation) such as potholing when intending to excavate or work closer to Nextgen Networks plant than the following approach distances:
 - Where Nextgen Networks plant is in an area where road and footpaths are well defined by kerbs or other features a minimum clear distance of 600mm must be maintained from where it could be reasonably presumed that plant would reside
 - In non established or unformed reserves and terrain, this approach distance must be at least 1.5 metres
 - In country/rural areas which may have wider variations in reasonably presumed plant presence, the following minimum approach distances apply:
 - d) Parallel to major plant: 10 metres (for optic fibre cable)
 - e) Parallel to other plant: 5 metres

Note: Even pot-holing needs to be undertaken with extreme care, common sense and employing techniques least likely to damage cables. For example - vacuum excavation.

 - If construction work is parallel to Nextgen Networks plant, then careful pot-holing at least every 5m is required to establish the location of all plant, hence continuing nominal locations before work can commence
2. Maintain the following minimum clearance between construction activity and actual location of Nextgen Networks Plant.

Jackhammers/Pneumatic Breakers	<i>Not within 1.0m of actual locations</i>
Vibrating Plate or Wackers Packer Compactors	<i>Not within 0.5m of Nextgen Networks ducts 300mm compact clearance cover before compactor can be used across Nextgen Networks ducts, and 600mm clearance across Nextgen Networks cables in the solid</i>
Boring Equipment (in-line, horizontal and vertical)	<i>Not within 2.0m of actual location Constructor to check depth via vacuum excavation (pot-hole)</i>
Heavy Vehicle Traffic (over 3 tonnes)	<i>Not to be driven across Nextgen Networks ducts with less than 600mm cover. Not to be driven across Nextgen Networks fibre with less than 1.2m cover Constructor to vacuum excavate (pot-hole) and expose plant</i>
Mechanical Excavators, Boring and Tree Removal	<i>Not within 1.0m of actual location Constructor to vacuum excavate (pot-hole) and expose plant</i>

- All Nextgen Networks pits and manholes should be a minimum of 1.2m in from the back of kerb after the completion of your work
- All Nextgen Networks conduit should have the following minimum depth of cover after the completion of your work:

Footway 450mm

Roadway 450mm at drain invert and 600mm below the pavement subgrade level invert

- All Nextgen Networks fibre in the solid should have the following minimum depth of cover after the completion of your work:

Footway 600mm

Roadway 1200mm at drain invert and 1200mm below the pavement subgrade level invert

- For clearance distances relating to Nextgen Networks above ground infrastructure please contact the Network Help Desk (see below for details)

FURTHER ASSISTANCE

Over-the-phone assistance can be obtained by calling the Network Help Desk below.

Nextgen require 5 clear business days notice to conduct an on-site location. The initial on site location visit will not normally incur a charge, but at the discretion of Nextgen subsequent site visits may incur a charge to be applied at an hourly rate.

Where an on-site location is provided, the owner is responsible for all vacuum excavation work (pot-holing) to visually locate and expose Nextgen Networks plant.

If plant location plans or visual location of Nextgen Networks plant by vacuum excavation reveals that the location of Nextgen Networks plan is situated wholly or partly where the owner plans to work, then **Nextgen Networks** must be contacted through the **Network Help Desk** to discuss possible engineering solutions.

The contact number for the **Network Help Desk** is 1800 032 532.

NOTE:

If Nextgen Networks relocation or protection works are part of the agreed solution, then payment to Nextgen Networks for the cost of this work shall be the responsibility of the principal developer. The principal developer will be required to provide Nextgen Networks with the details of their proposed work showing how Nextgen Networks plant is to be accommodated and these details must be approved by the Nextgen National Operations Manager prior to the commencement of site works.

RURAL LANDOWNER - IMPORTANT INFORMATION

Where Nextgen Networks owned cable crosses agricultural land Nextgen Networks will provide a one off free-on-site electronic cable location. Please note that the exact location of cables can only be verified by visual proving by pot holing, which is not covered by this service. The Network Integrity HelpDesk Officer will provide assistance in determining whether a free-on-site location is required. Please ring the Nextgen Network Help Desk as listed above.

PRIVACY NOTE

Your information has been provided to Nextgen Networks by DBYD to enable Nextgen Networks to respond to your DBYD request. Nextgen Networks keeps your information in accordance with its privacy statement entitled 'Protecting Your Privacy' which can be obtained from Nextgen Networks either by calling 1800 032 532 or visiting our website www.nextgengroup.com.au

Warning: Nextgen Networks plans show only the presence of cables and plant. They only show their position relative to road boundaries, property fences etc, at the time of installation and Nextgen Networks does not warrant or hold out that such plans are accurate thereafter due to changes that may occur over time.

DO NOT ASSUME DEPTH OR ALIGNMENT of cables or plant as these vary significantly.

The customer has A DUTY OF CARE when excavating near Nextgen Networks cables and plant. Before using machine excavators NEXTGEN PLANT MUST FIRST BE PHYSICALLY EXPOSED BY VACUUM EXCAVATION (potholing) to identify its location.

Nextgen Networks will seek compensation for damages caused to its property and losses caused to Nextgen Networks and its customers.

EXPERIENCED PLANT LOCATORS (for your area)

On-site assistance should be sought from an Experienced Plant Locator if the telecommunications plant cannot be located within 2.5 metres of the locations indicated on the drawings provided. On-site advice should be obtained from a suitably qualified contractor highly skilled in locating Nextgen Networks plant. If there is any doubt whatsoever about the actual location of the telecommunications plant, the best method for locating the telecommunications plant or the correct interpretation of the drawings provided. In the case where Nextgen Networks plant is outside a recognised road reserve Nextgen Networks recommends that the **Network Help Desk** is contacted for assistance prior to engaging an Experienced Plant Locator.

For the assistance of customers Nextgen Networks has established strict criteria to assess the skill of contractors that may be engaged by owners requiring Nextgen Networks plant locating services to perform any of the following activities if requested to do so by the owner:

- Review Nextgen Networks plans to assess the approximate location of Nextgen Networks plant
- Advise owners of the approximate location of Nextgen Networks plant according to the plans
- Advise the owners of the best method for locating Nextgen Networks plant
- Advise owners of the hazard of unqualified persons attempting to find the exact location of Nextgen Networks plant and working in the vicinity of Nextgen Networks plant without first locating its exact position
- Perform trial hole explorations by vacuum excavation (pot-holing) to expose Nextgen Networks plant with a high degree of skill, competence and efficiency and utilising all necessary safety equipment

Nextgen Networks does not accept any liability or responsibility for the performance of or advice given by any Plant Locator engaged by you but we will, if requested, recommend suitably qualified plant locators.

GENERAL DISCLAIMER

While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Nextgen or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.



Sequence Number: 97604057

Date: 13/05/2020

DISCLAIMER: THIS DRAWING SHOULD NOT BE SCALED TO LOCATE CABLES. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE. IF YOU REQUIRE INFORMATION REGARDING LOCATING THE CABLE PLEASE CALL NEXTGEN. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR DIAL BEFORE YOU DIG USE. THIS PLAN CONTAINS COMMERCIAL SENSITIVE INFORMATION AND IS TO BE TREATED ACCORDINGLY. NO SUCH INFORMATION IS TO BE PASSED ONTO OTHER PARTIES WITHOUT WRITTEN CONSENT FROM NEXTGEN PTY LTD.



LEGEND

Digsite



Area

Assets



Cable



3rd Party Duct



Marker Post

In reply to your enquiry, there are **High Pressure Gas Mains** in the vicinity of your intended work, as generally illustrated on the attached map. There may also be other mains or services at the location, as discussed in the warning below. For an explanation of the map, please see the key below.

The following excavations guidelines apply:

Excavation Guidelines:

Prior to **any** excavations in this area, you **must** contact the High Pressure Response Coordinator on **1300 665 380**. **(Appointments will be coordinated with availability of a Jemena Representative)** to arrange a survey. For all works in the vicinity of High Pressure Gas Mains you must arrange for a Jemena Representative to attend and supervise all excavations. Charges apply for attendance of any works outside the hours of 7am to 4pm, Monday to Friday ("**Standard Business Hours**") and for any attendance during Standard Business Hours that is longer than 2 hours.

In accordance with clause 34(5) of the Gas Supply (Safety and Network Management) Regulation 2013 (NSW), you should be informed that all excavation, (including pot-holing by hand to confirm the location of pipes) should be performed in accordance with "**Work Near Underground Assets Guideline**" published in 2007 by the Work Cover Authority.

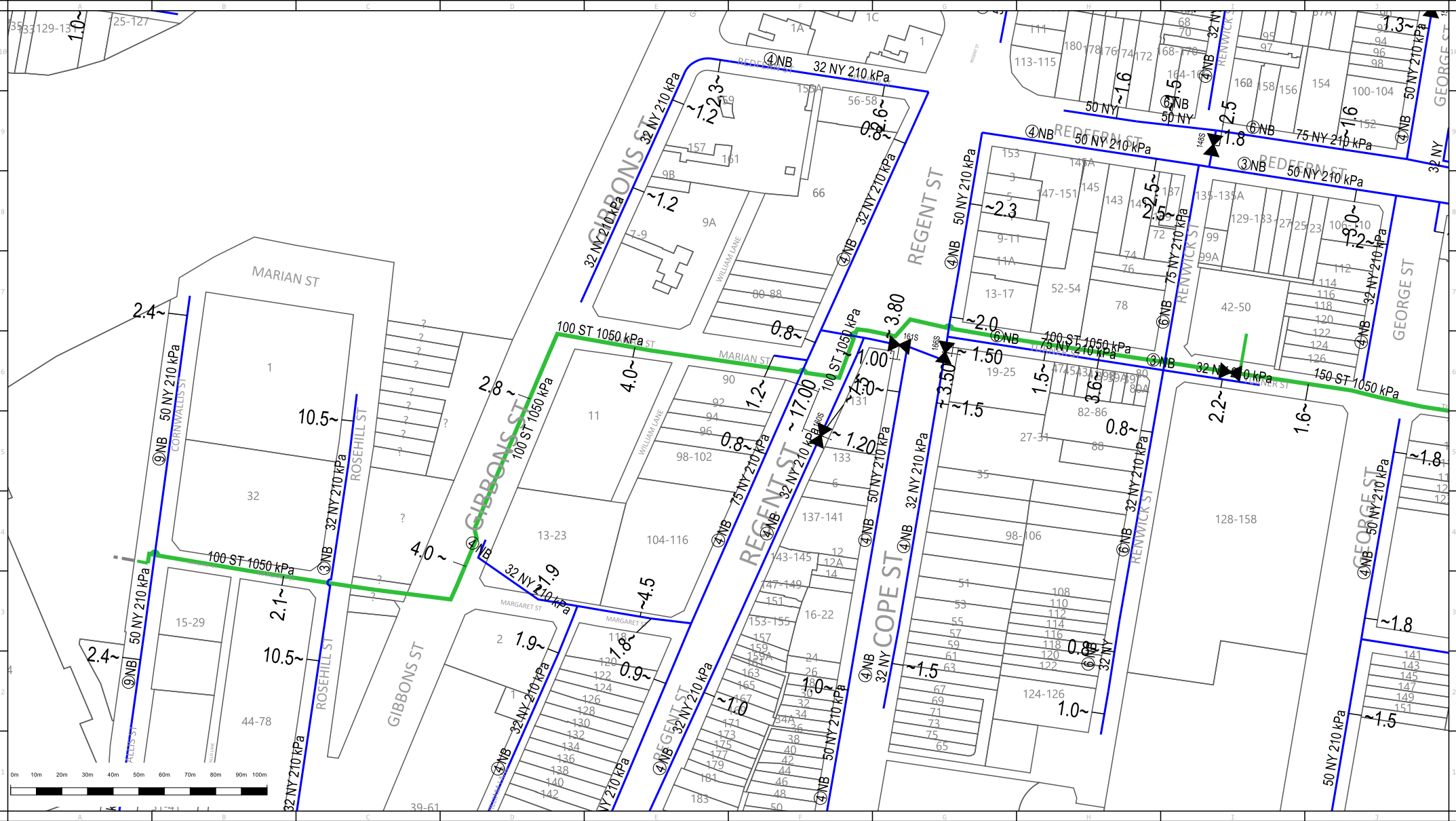
A copy of this Guideline is available at: www.workcover.nsw.gov.au


KEY					
Main	In Service	Proposed	High Pressure Main & Pipeline	In Service	Proposed
Unknown Pressure	-----	-----	Critical Main (Treat as High Pressure Main)		
Distribution - 2 kPa	-----	-----	Secondary Network - 1050 kPa		
Distribution - 7 kPa	-----	-----	Isolated Steel Main (Treat as High Pressure Main)		
Distribution - 30 kPa	-----	-----	Primary - 3500 kPa		
Distribution - 100 kPa	-----	-----	JGN Trunk - 4000 to 14500 kPa		
Distribution - 210 kPa	-----	-----	Transmission		
Distribution - 300 kPa	-----	-----			
Distribution - 400 kPa	-----	-----			
Proposed Isolate (coloured according to kPa)			50mm Nylon main inserted into 6 inch (Nominal Bore) Cast Iron Main		
Isolated Service	-----		32mm Nylon main inserted into 50mm Steel Main		
Conduit or Casing			~1.5 = Distance in metres of Main from Boundary Line		
Size & Material (PL - Plastic, PVC, PE, NY, ST)	100 PVC		MBK = Metres Back of Kerb MFL = Metres from Fence Line		
			Fittings, Valves & Regulators		
			Regulator Set		
			Regulator Station		
			Automatic Line Break Valve		
			Valve		
			Siphon		

Warning: The enclosed plans show the position of Jemena Gas Networks (NSW) Ltd's underground gas mains and installations in public gazetted roads only. **Individual customers' services and services belonging to other third parties are not included** on these plans. These plans have been prepared solely for the use of Jemena Gas Networks (NSW) Ltd and Jemena Asset Management Pty Ltd (together "**Jemena**") and any reliance placed on these plans by you is entirely at your own risk. The plans may show the position of underground mains and installations relative to fences, buildings etc., as they existed at the time the mains etc were installed. The plans may not have been updated to take account of any subsequent change in the location or style of those features since the time at which the plans were initially prepared. Jemena makes no warranty as to the accuracy or completeness of the enclosed plans and does not assume any duty of care to you nor any responsibility for the accuracy, adequacy, suitability or completeness of the plans or for any error, omission, lack of detail, transmission failure or corruption in the information provided. Jemena does not accept any responsibility for any loss that you or anyone else may suffer in connection with the provision of these plans, however that loss may arise (including whether or not arising from the negligence of Jemena, its employees, agents, officers or contractors). The recipient of these plans must use their own care and diligence in carrying out their works and must carry out further surveys to locate services at their work site. Persons excavating or carrying out other earthworks will be held responsible for any damage caused to Jemena's underground mains and equipment. Jemena advises that you may be required to carry out potholing by hand if required by a Jemena Representative to confirm the location of Jemena's main and installations. This must also be performed by you under the supervision of a Jemena Representative and be carried out in accordance with the Working Near Underground Assets Guideline published in 2007 by Work Cover Authority

In case of Emergency Phone 131 909 (24 hours)


Admin
1300 880 906





ABN 87 003 004 322

Main	In Service	Proposed	Main	In Service	Proposed	High Pressure Main & Pipeline	In Service	Proposed	Fittings, Valves & Regulators	In Service	Proposed	Distance in metres of Main from Boundary Line
Unknown Pressure			Proposed Isolate (coloured according to kPa)			Critical Main (Treat as High Pressure Main)			Siphon			~ 1.5
Distribution - 2 kPa			Isolated Service			Secondary Network - 1050 kPa			Valve			MBK = Metres Back of Kerb
Distribution - 7 kPa			Conduit or Casing			Isolated Steel Main (Treat as High Pressure Main)			Regulator Set			MFL = Metres from Fence Line
Distribution - 30 kPa			Size & Material			Primary - 3500 kPa			Regulator Station			50mm Nylon main inserted in 6 inch (Nominal Bore) Cast Iron Main
Distribution - 100 kPa			(PL - Plastic, PVC, PE, NY, ST)			JGN Trunk - 7000 kPa			Automatic Line Break Valve			32mm Nylon main inserted into 50mm Steel Main
Distribution - 210 kPa						Transmission						60MM 50MM NY
Distribution - 300 kPa												60MM 32MM NY
Distribution - 400 kPa												



Scale: 1:2000

Issue Date: 13/05/2020

DBYD Seq No: 97604062

DBYD Job No: 19522051

WARNING: This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. This plan is diagrammatic only, and distances scaled from this plan may not be accurate. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.