

ISSUED FOR DEVELOPMENT APPLICATION

1000 Cover Sheet		
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1200 Site Plan		
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2000 General Arrangement Plans		
2000	Basement 5- Residential Parking	01
2001	Basement 4- Residential Parking	06
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2005	Lower Ground Plan-Residential Storage & B&B parking	06
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2019	Level 20 - Sky Bridge - F&B	07
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ISSUED FOR DEVELOPMENT APPLICATION

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3000 General Elevation		
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4000 General Sections		
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6200 DDA Compliance and Universal Design		
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6300 Sun Eye Views		
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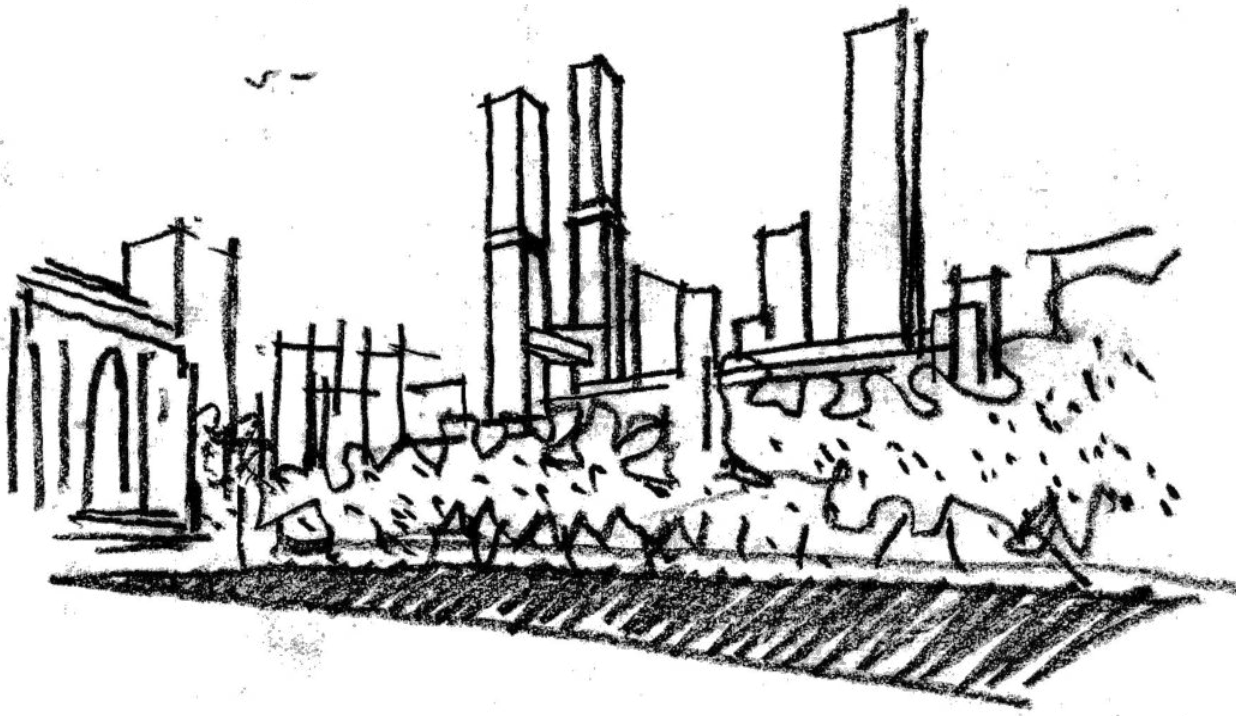
ISSUED FOR DEVELOPMENT APPLICATION

6306	Sun Eye View- June 21 10:30	03
6307	Sun Eye View- June 21 10:45	03
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6315	Sun Eye View- June 21 12:45	03
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6319	Sun Eye View- June 21 13:45	03
6320	Sun Eye View- June 21 14:00	03
6321	Sun Eye View- June 21 14:15	03
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CITY OF SYDNEY  
CITY PLANNING DIVISION  
APPROVAL  
SSD 10362 (D/2020/610)  
09/08/2021  
These plans must be read in  
conjunction with the decision notice



- GENERAL NOTES
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
  - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
  - DO NOT SCALE DRAWINGS.
  - USE FIGURED DIMENSIONS ONLY.



03	10/12/20	Per Approval	TS
04	06/07/20	Per Approval	KOK
05	14/1/20	Per Development Application	KOK
06	04/12/19	Per Submission	PN
07	01/12/19	Per Submission	TS
08	01/08/19	Per Submission	PN
09	26/11/19	Per Submission	KOK
10	01/11/19	Per Submission	KOK
rev	date	name	by

Project studio architecture interior landscape urban community  
sydney melbourne lae  
Level 5, 70 King Street & 451 2 8251 7077 [fjmtstudios.com](#)

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**Cover Sheet**  
**Coversheet**

scale	first issued	8/11/19
project code	sheet no.	revision
H338	1000	08

For Information

CITY OF SYDNEY  
CITY PLANNING DIVISION

APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

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conjunction with the decision notice



183

1 PLAN ORTHOPHOTO  
1:1390.8425

03	12/12/20	Pre Approval	TS
02	25/11/20	Pre Approval	KSC
01	14/11/20	Pre Development Application	AKK
REV	DATE	REASON	BY

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project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**Site Plan**  
**Site photo**

scale 1:200 @ A1 first issued 14/1/20

project code	sheet no.	revision
H338	1200	03

For Approval



- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
  - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
  - DO NOT SCALE DRAWINGS.
  - USE FIGURED DIMENSIONS ONLY.

Legend

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

# CITY OF SYDNEY CITY PLANNING DIVISION

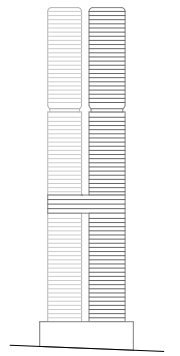
## APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

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conjunction with the decision notice

184



rev	date	name	by	chk
01	05/12/21	Per Approval	01	
02	12/12/20	Per Approval	02	
03	12/12/20	Per Consultation	03	
04	12/12/20	Per Approval	04	
05	04/1/20	Per Approval	05	

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**fjmt**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**General Arrangement Plans  
Basement 5 - Residential Parking**

scale 1:200 @ A1 first issued 24/1/20

project code	sheet no.	revision
H338	2000	05

**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

**APPROVAL**

**SSD 10362 (D/2020/610)**

**09/08/2021**

**These plans must be read in  
conjunction with the decision notice**

185

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

10	10/10/21	Pre Approval	08
09	10/10/21	Pre Approval	08
08	10/10/21	Pre Approval	08
07	10/10/21	Pre Approval	08
06	10/10/21	Pre Approval	08
05	10/10/21	Pre Approval	08
04	10/10/21	Pre Approval	08
03	10/10/21	Pre Approval	08
02	10/10/21	Pre Approval	08
01	10/10/21	Pre Approval	08
REV	DATE	REASON	BY

first studio architecture interior landscape urban community  
 Sydney Melbourne LA  
 Level 5, 70 King Street & 451 2 8201 7071 • [info@firststudio.com](mailto:info@firststudio.com)

project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans  
 Basement 4 - Residential Parking**

scale 1:200 @ A1 first issued 8/11/19  
 project code sheet no. revision  
**H338 2001 10**

**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

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186

10	10/10/21	Pre Approval	08
09	10/10/21	Pre Approval	08
08	10/10/21	Pre Approval	08
07	10/10/21	Pre Approval	08
06	10/10/21	Pre Approval	08
05	10/10/21	Pre Approval	08
04	10/10/21	Pre Approval	08
03	10/10/21	Pre Approval	08
02	10/10/21	Pre Approval	08
01	10/10/21	Pre Approval	08
REV	DATE	REASON	BY

Project studio architecture interior landscape urban community  
338 Pitt Street  
Level 5, 70 King Street & 451 2 8201 7077

**fmj**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**General Arrangement Plans**  
**Basement 3 - Residential Parking+Plant**

scale 1:200 @ A1 first issued 8/11/19

project code sheet no. revision

H338 2002 10

**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

**APPROVAL**

**SSD 10362 (D/2020/610)**

**09/08/2021**

**These plans must be read in  
conjunction with the decision notice**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

10	10/12/21	Per Approval	08
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07	10/12/21	Per Approval	008
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03	10/12/21	Per Approval	008
02	10/12/21	Per Approval	008
01	10/12/21	Per Approval	008
REV	01/11/20	Per Approval	008

first issued 8/11/19

project  
338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

title  
**General Arrangement Plans  
Basement 2 - Hotel Parking+Residential  
Parking+Plant**

scale 1:200 @ A1 first issued 8/11/19

project code sheet no. revision  
H338 2003 10

**For Approval**

**APPROVAL**

SSD 10362 (D/2020/610)  
09/08/2021

**These plans must be read in conjunction with the decision notice**

188

- 1 Bed Apartment  
 2 Bed Apartment  
 3 Bed Apartment  
 Residential Amenities  
 Parking  
 Hotel Amenities  
 Hotel  
 Hotel Spa  
 Hotel BOH  
 Circulation  
 Food and Beverage  
 Retail  
 Lift, Fire stair, Services  
 Plant

Boundary

rev	date	name	by	chk
01	05/02/21	For Approval	IBS	
02	10/12/20	For Approval	KOK	
03	09/10/20	For Coordination	KOK	
04	03/12/20	For Coordination	KOK	
05	12/12/20	For Approval	TS	
06	24/1/22	For Approval	KOK	
07	14/1/22	For Development Application	KOK	
08	03/02/19	For information	KOK	
09	05/12/13	For Coordination	TS	
10	21/12/13	For Coordination	PN	

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**fjmt**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

**General Arrangement Plans**  
**Basement 1 - Loading Dock+320 Pltt**  
**Parking+Hotel BOH+Plant**

scale	1:200 @ A1	first issued	8/11/19
project code	sheet no.	revision	
<b>H338</b>	<b>2004</b>	<b>11</b>	

**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

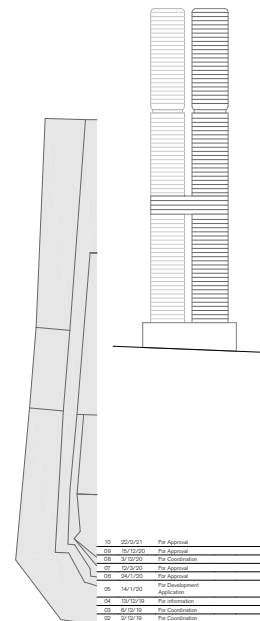
# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice

189



10	10/10/21	Per Approval	05
09	10/10/21	Per Approval	006
08	10/10/21	Per Coordination	006
07	10/10/21	Per Approval	05
06	10/10/21	Per Approval	006
05	10/10/21	Per Coordination	006
04	10/10/21	Per Coordination	006
03	10/10/21	Per Coordination	006
02	10/10/21	Per Coordination	006
01	10/10/21	Per Coordination	006
rev	date	name	by

first issued 8/11/19  
general arrangement plans  
mezzanine - residential storage & bike park

project	338 Pitt Street 338 Pitt Street Sydney NSW 2000
title	General Arrangement Plans Mezzanine - Residential Storage & Bike park
scale	1:200 @ A1
project code	H338
sheet no.	2005
revision	10

For Approval

# APPROVAL

**SSD 10362 (D/2020/610)**

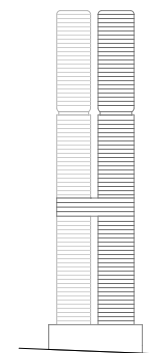
09/08/2021

**These plans must be read in conjunction with the decision notice**

190

- 1 Bed Apartment  
 2 Bed Apartment  
 3 Bed Apartment  
 Residential Amenities  
 Parking  
 Hotel Amenities  
 Hotel  
 Hotel Spa  
 Hotel BOH  
 Circulation  
 Food and Beverage  
 Retail  
 Lift, Fire stair, Services  
 Plant

**Boundary**



rev	date	name	chk
01	02/02/21	For Approval	IB
02	15/12/20	For Approval	KJK
03	31/12/20	For Coordination	KJK
04	23/12/20	For Approval	TS
05	24/1/21	For Approval	KJK
05	14/1/20	For Development Application	KJK
04	13/12/19	For information	KJK
03	05/12/19	For Coordination	TS
02	20/12/19	For Coordination	PN
01	01/1/19	For Coordination	KJK

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**fjmt**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

**General Arrangement Plans  
Lower Ground Plan-Hotel Dro  
Parking+Plant**

scale	1:200 @ A1	first issued	8/11/19
project code	sheet no.	revision	
<b>H338</b>	<b>2006</b>	<b>10</b>	

**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
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- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

01	01/11/19	Per Approval	10
02	02/12/19	Per Approval	15
03	24/1/20	Per Approval	03K
04	14/1/20	Per Approval	03K
05	15/1/20	Application	03K
06	02/02/20	Per Consultation	75
07	27/02/20	Per Consultation	75K
08	02/03/20	Per Consultation	03K
REV	04/03/20	Revised	by: 03K

first issued 8/11/19  
 338 Pitt Street  
 338 Pitt Street  
 Sydney NSW 2000

title  
 General Arrangement Plans  
 Ground Floor - Hotel Lobby+Residential  
 Lobby+Retail

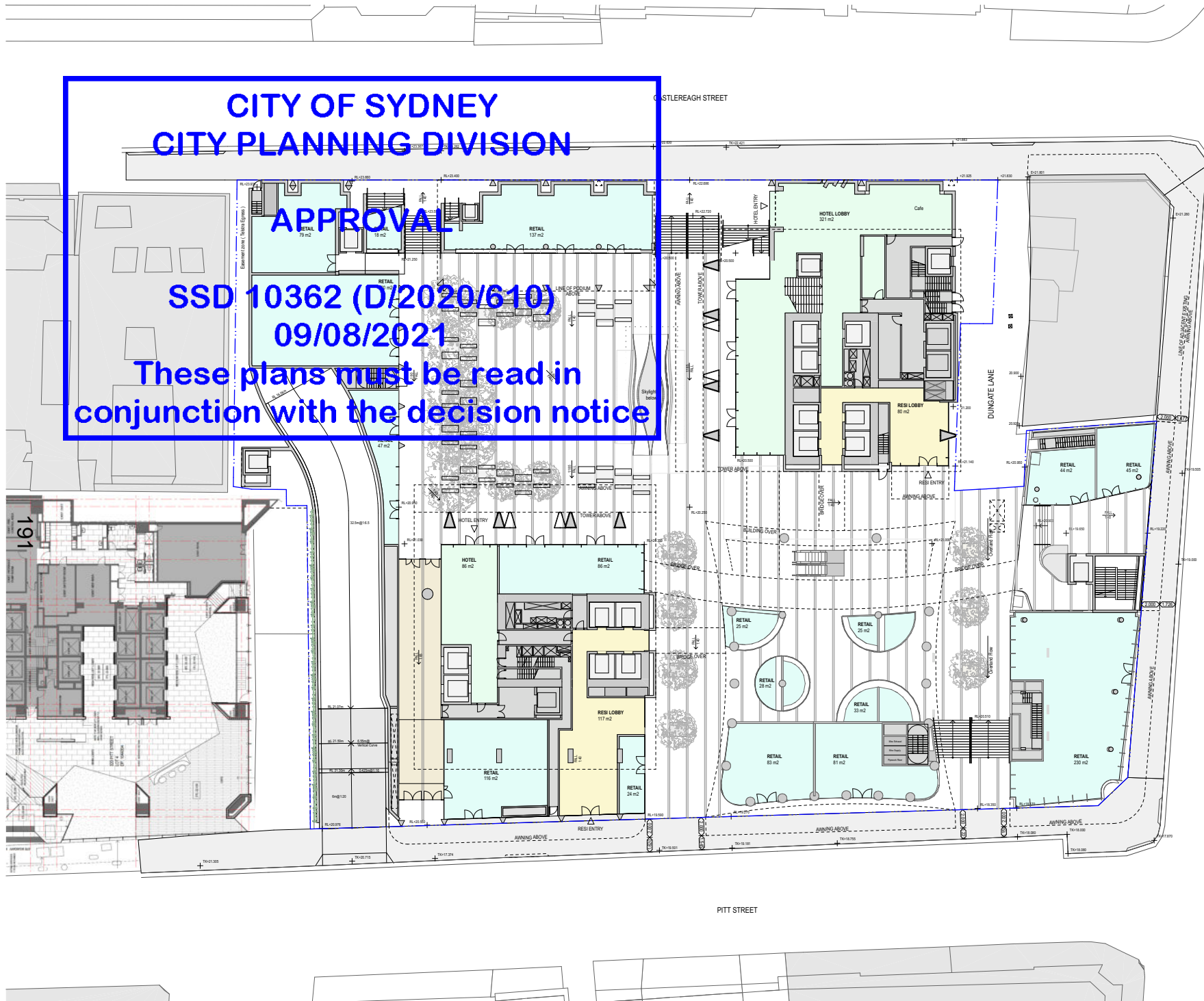
scale 1:200 @ A1 first issued 8/11/19  
 project code sheet no. revision  
 H338 2007 08

# CITY OF SYDNEY CITY PLANNING DIVISION

APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

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For Approval

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

08	05/12/11	Pre Approval	15
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11	04/1/12	Pre Development Application	15
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98	05/12/12	Pre Development Application	15
99	05/12/12	Pre Development Application	15
100	05/12/12	Pre Development Application	15

338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

**General Arrangement Plans**  
**Level 1 - Retail**

scale 1:200 @ A1 first issued 8/11/19  
project code sheet no. revision  
H338 2008 08

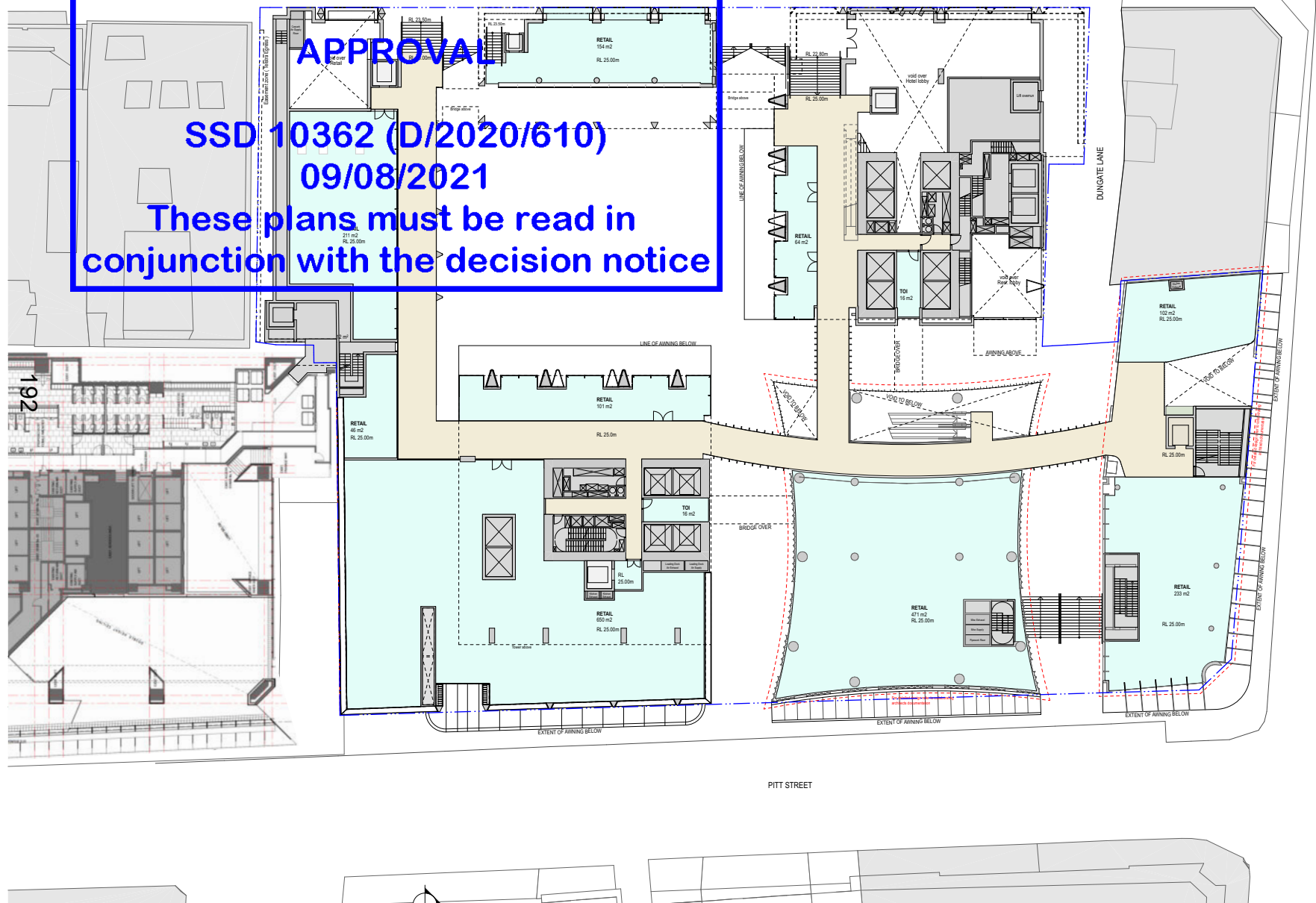
# CITY OF SYDNEY CITY PLANNING DIVISION

APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

These plans must be read in  
conjunction with the decision notice



For Approval

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

08	05/12/11	Per Approval	IS
08	05/12/11	Per Approval	TS
08	24/1/20	Per Approval	KSR
08	04/11/20	Per Development Application	KSR
08	15/12/19	Per Development Application	KSR
08	05/02/19	Per Consultation	TS
08	21/02/19	Per Consultation	TS
08	05/11/19	Per Consultation	KSR
rev	date	name	by

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project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 2 - Hotel Function and**  
**BOH+Retail+Plant**

scale	1:200 @ A1	first issued	8/11/19
project code	sheet no.	revision	
H338	2009		08

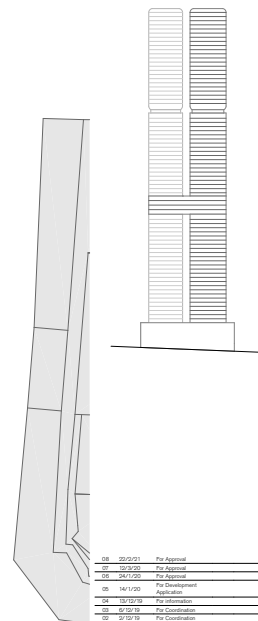
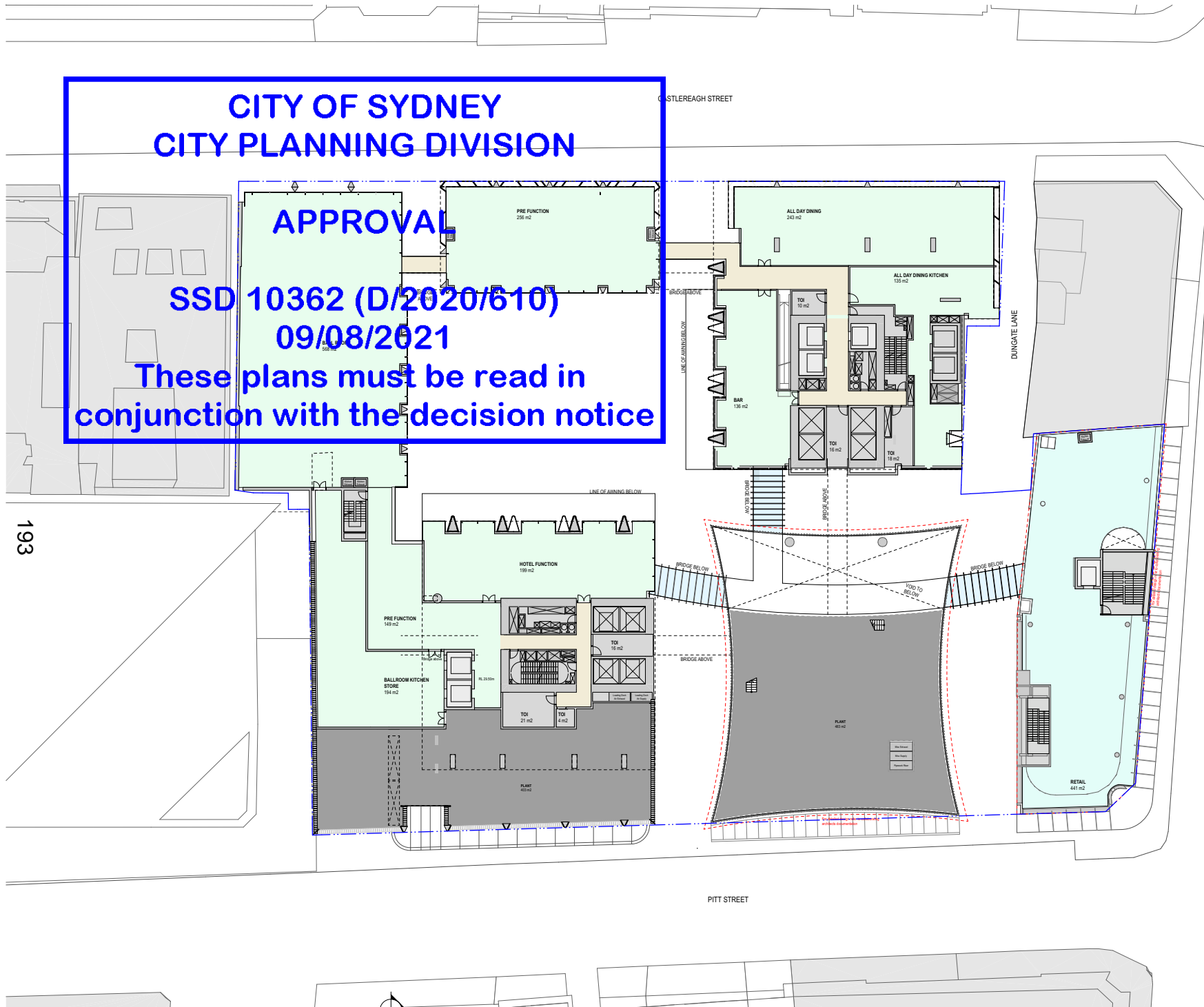
**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

**APPROVAL**

**SSD 10362 (D/2020/610)**  
**09/08/2021**

**These plans must be read in  
conjunction with the decision notice**



**fpmt**

















# APPROVAL

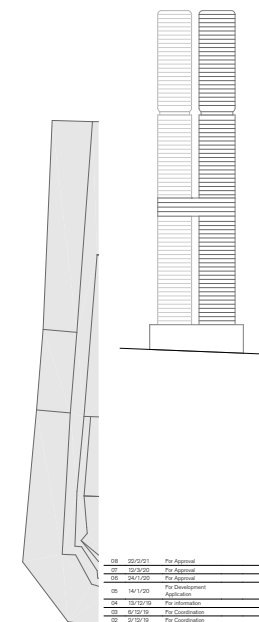
SSD 10362 (D/2020/610)  
09/08/2021

**These plans must be read in conjunction with the decision notice**

194

-  1 Bed Apartment
-  2 Bed Apartment
-  3 Bed Apartment
-  Residential Amenities
-  Parking
-  Hotel Amenities
-  Hotel
-  Hotel Spa
-  Hotel BOH
-  Circulation
-  Food and Beverage
-  Retail
-  Lift, Fire stair, Services
-  Plant

Boundary



08	20/2/21	For Approval	IB
07	19/3/20	For Approval	TS
06	24/1/20	For Approval	KOK
05	14/1/20	For Development Application	KOK
04	13/12/19	For information	KOK
03	6/1/19	For Coordination	TS
02	2/1/19	For Coordination	PN
01	8/1/19	For Coordination	KOK
rev	date	purpose	by

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fjmt

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

**General Arrangement Plans  
Level 3 - Hotel Function and  
BOH+Retail+Plant (Double height)**

scale	1:200 @ A1	first issued	8/11/16
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model code	school no.	variables
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project code	sheet no.	revision
U222	0010	00

H338	2010	08
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**For Approval**

# APPROVAL

**SSD 10362 (D/2020/610)**

09/08/2021

**These plans must be read in conjunction with the decision notice**

195

CASTLEREAGH STREET

PITT STREET

rev	date	name	by	chk
06	05/01/21	Pre Approval	IS	
07	12/03/20	Pre Approval	TS	
08	04/11/20	Pre Approval	KJK	
09	14/11/20	Pre Development Application	KJK	
04	12/12/19	Pre information	KJK	
03	05/12/19	Pre Coordination	TS	
02	21/12/19	Pre Coordination	PN	
01	05/11/19	Pre Coordination	KJK	

**fimt studio** architecture interiors landscape urban community  
sydney melbourne uk  
Level 5, 70 King Street t +61 2 9250 7077 w [fimtstudio.com](http://fimtstudio.com)

project <b>338 Pitt Street</b> 338 Pitt Street Sydney NSW 2000	title <b>General Arrangement Plans</b> <b>Level 4 - Hotel+Retail rooftop</b> <b>bar+Residential Amenity and Rooftop</b> <b>garden+Plant</b>
scale 1:200 @ A1	first issued 8/11/19
project code <b>H338</b>	sheet no. <b>08</b>

**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

# CITY OF SYDNEY CITY PLANNING DIVISION

APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

These plans must be read in conjunction with the decision notice

196

01	05/12/11	Per Approval	08
02	05/12/11	Per Approval	15
03	24/1/20	Per Approval	03K
04	14/1/20	Per Development Application	03K
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196

196

196

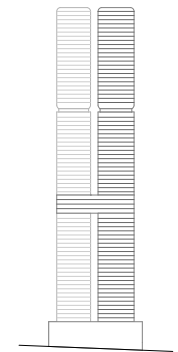
196

196

For Approval

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	02/02/21	Pre Approval	BS
04	02/02/21	Pre Approval	BS
05	02/02/21	Pre Approval	KOK
06	14/1/20	Pre Development Application	KOK
07	04/12/19	Pre Development Application	KOK
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11	02/02/21	Pre Development Application	KOK
12	02/02/21	Pre Development Application	KOK

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**fjmt**

project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 06-07 - Hotel+Residential**

scale 1:200 @ A1 first issued 8/11/19

project code sheet no. revision

H338 2013 09

# CITY OF SYDNEY CITY PLANNING DIVISION

**APPROVAL**

**SSD 10362 (D/2020/610)**

**09/08/2021**

**These plans must be read in  
conjunction with the decision notice**

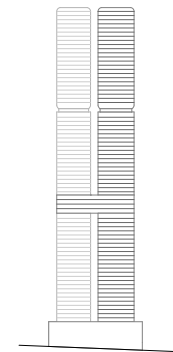
197

Telstra  
RL 161.400

**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	02/02/21	Per Approval	JB
04	02/02/21	Per Approval	JB
05	02/02/21	Per Approval	KOK
06	14/1/20	Per Development Application	KOK
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10	02/02/19	Per Submission	KOK
11	02/02/19	Per Submission	KOK
REV	02/02	Submit	by cjh

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**fjmt**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 06 - Hotel+Hotel Rooftop Spa +**  
**Residential**

scale 1:200 @ A1 first issued 8/11/19

project code	sheet no.	revision
H338	2014	09

**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

**APPROVAL**

**SSD 10362 (D/2020/610)**

**09/08/2021**

**These plans must be read in  
conjunction with the decision notice**

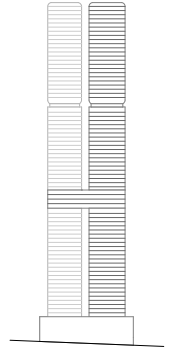
198

Telstra  
RL 161.400



- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



09	09/09/21	Per Approval	BS
08	02/09/20	Per Approval	BS
07	02/09/20	Per Approval	BS
06	14/1/20	Per Development Application	KOK
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02	02/12/19	Per Development Application	KOK
01	02/12/19	Per Development Application	KOK
REV	02/12/19	Revise	BS

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project	338 Pitt Street 338 Pitt Street Sydney NSW 2000
title	General Arrangement Plans Level 09-16 - Hotel+Typical Residential low rise 1 in North Tower
scale	1:200 @ A1
project code	H338
sheet no.	2015
first issued	8/11/19
revision	09

# CITY OF SYDNEY CITY PLANNING DIVISION

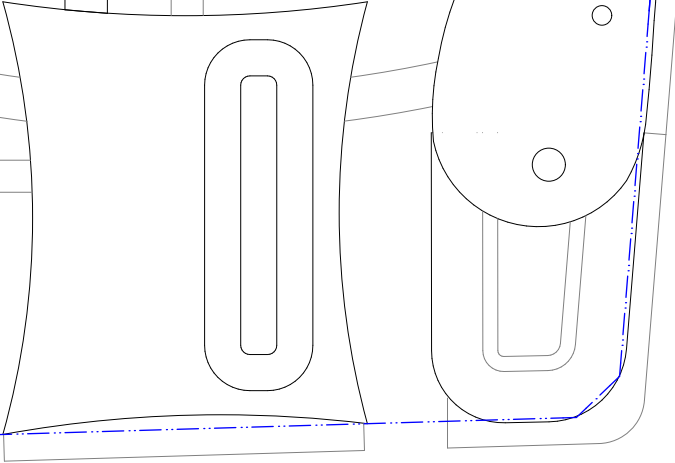
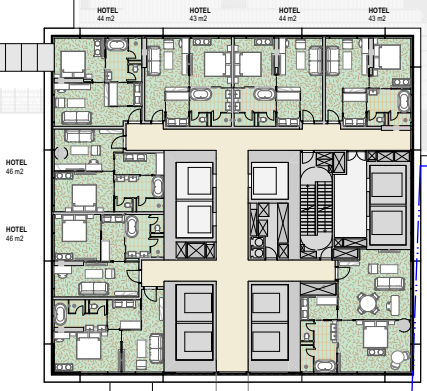
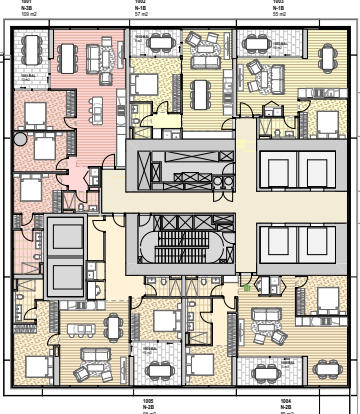
APPROVAL

SSD 10362 (D/2020/610)

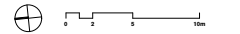
09/08/2021

These plans must be read in  
conjunction with the decision notice

199



For Approval

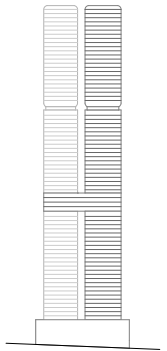


- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
  - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
  - DO NOT SCALE DRAWINGS.
  - USE FIGURED DIMENSIONS ONLY.

Legend

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary

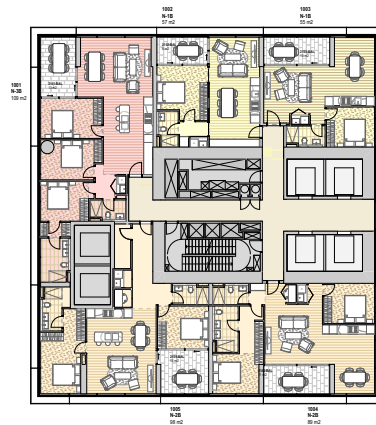
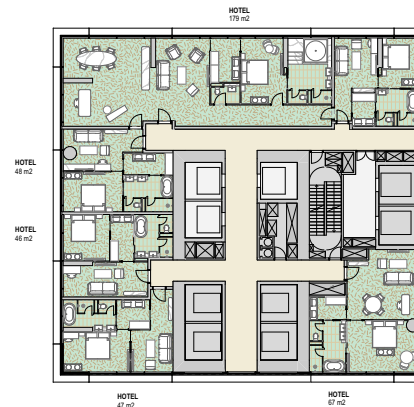


# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



200

08	05/05/21	For Approval	05
09	10/05/21	For Approval	05
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100	05/12/19	For Approval	KSC

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sydney melbourne lae  
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**fjmt**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 17 - Typical Residential low rise 1 in**  
**North Tower+ Hotel presidential suit**

scale 1:200 @ A1 first issued 6/12/19

project code sheet no. revision

H338 2016 06

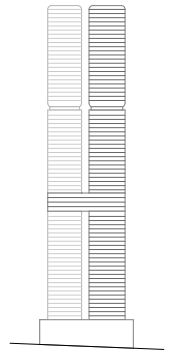
**For Approval**



**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	02/02/21	Per Approval	IB
04	02/02/20	Per Approval	IB
05	02/02/20	Per Approval	IB
06	14/1/20	Per Development Application	KOK
07	04/12/19	Per Submission	KOK
08	04/12/19	Per Submission	IB
09	02/02/19	Per Submission	PH
10	02/02/19	Per Submission	KOK
11	02/02/19	Per Submission	KOK
REV	DATE	NAME	BY

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**fjmt**

project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 31 - Plant**

scale 1:200 @ A1 first issued 8/11/19

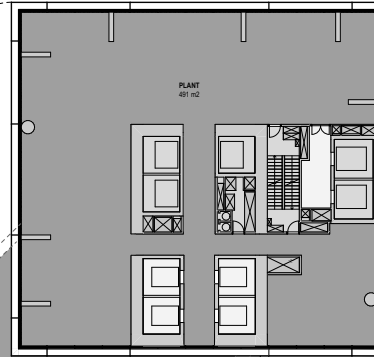
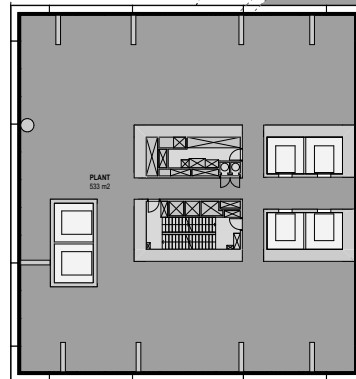
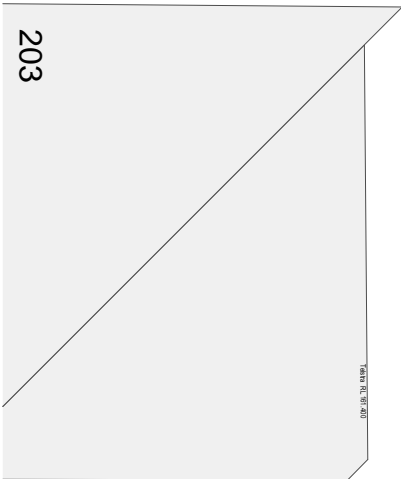
project code	sheet no.	revision
H338	2019	09

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

**SSD 10362 (D/2020/610)**  
**09/08/2021**

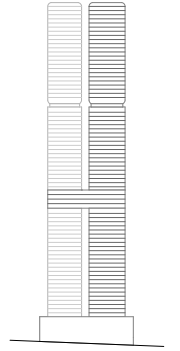
**These plans must be read in  
conjunction with the decision notice**



**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	02/02/21	Pre Approval	IB
04	02/02/21	Pre Approval	IB
05	02/02/21	Pre Approval	IB
06	14/1/20	Pre Development Application	KOK
07	04/12/19	Pre Development Application	KOK
08	04/12/19	Pre Development Application	KOK
09	04/12/19	Pre Development Application	KOK
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97	04/12/19	Pre Development Application	KOK
98	04/12/19	Pre Development Application	KOK
99	04/12/19	Pre Development Application	KOK
100	04/12/19	Pre Development Application	KOK

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project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 32 - Sky Bridge - F&B**

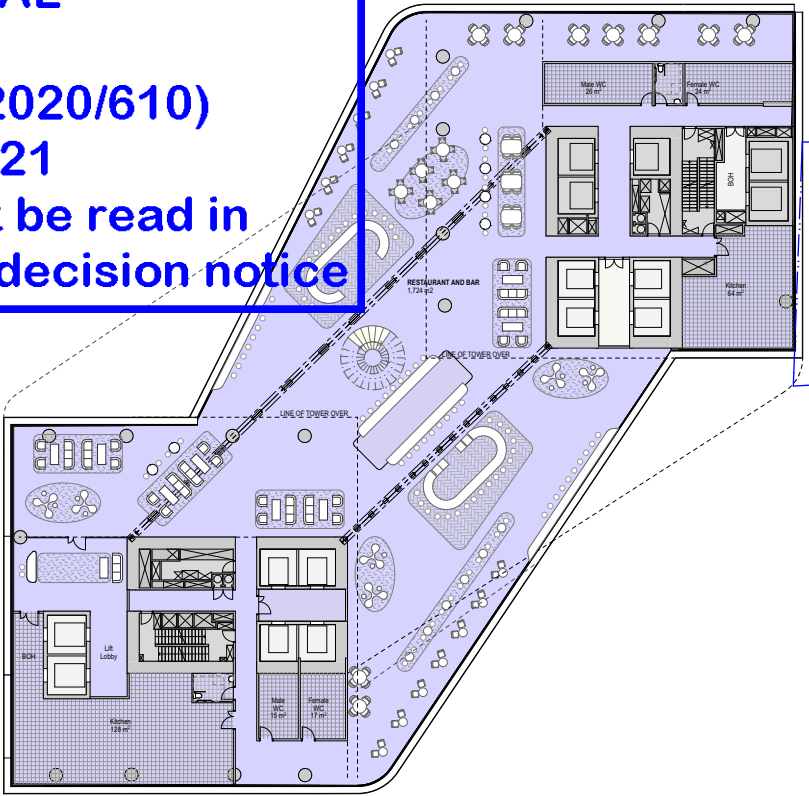
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project code	sheet no.	revision	
H338	2020		09

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

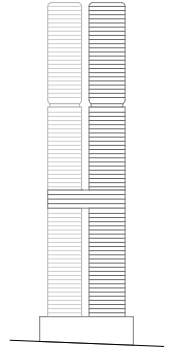
These plans must be read in  
conjunction with the decision notice



For Approval

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	03/03/21	Pre Approval	10
04	03/03/21	Pre Approval	10
05	03/03/21	Pre Approval	10
06	14/1/20	Pre Development Application	KOK
07	04/12/19	Pre Development	KOK
08	04/12/19	Pre Development	10
09	04/12/19	Pre Development	10
10	04/12/19	Pre Development	KOK
11	04/12/19	Pre Development	KOK
REV	04/12/19	Pre Development	10
REV	04/12/19	Pre Development	10

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project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 33 - Sky Bridge - Residential**

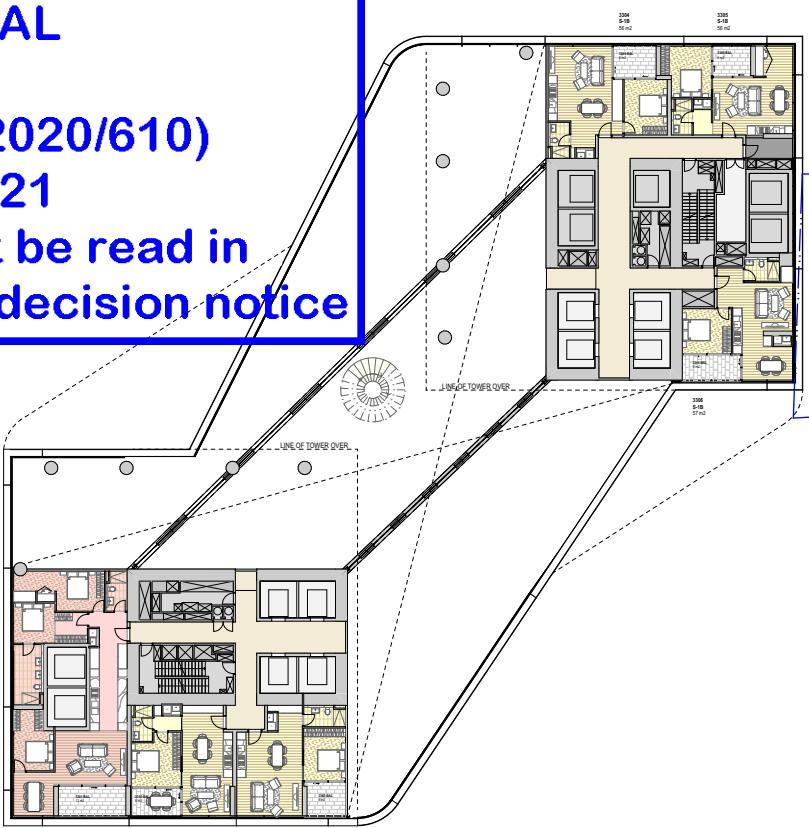
scale	1:200 @ A1	first issued	8/11/19
project code	sheet no.	revision	
H338	2021	09	

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



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 3302 5.10 51.10  
 3303 5.10 51.10

205

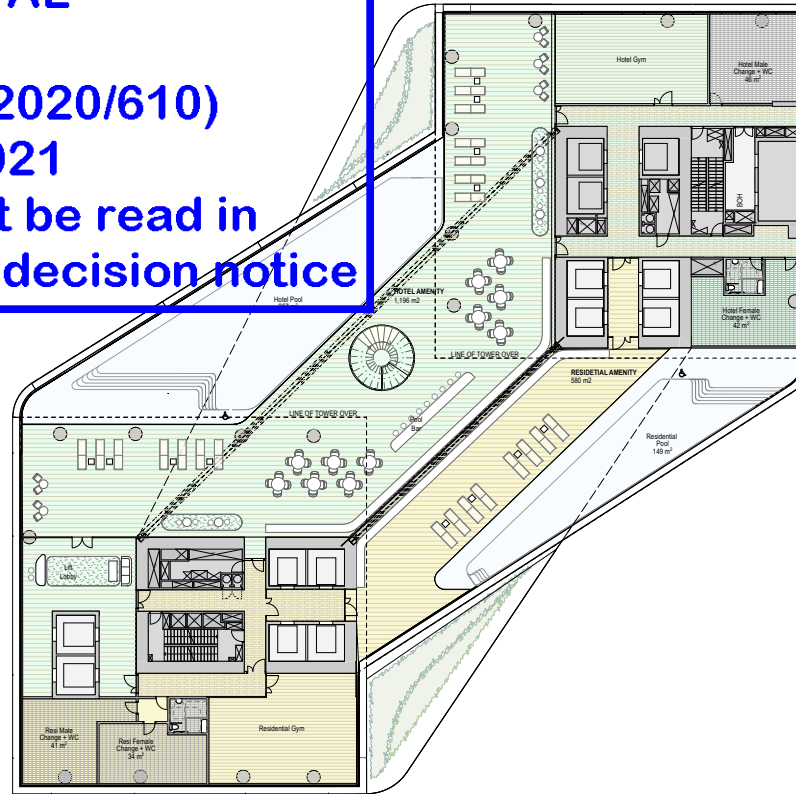
For Approval

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

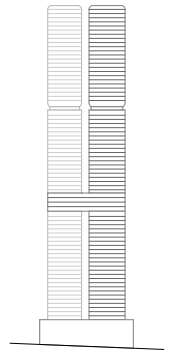
SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



01	01/01/21	Per Approval	JB
02	02/01/21	Per Approval	JB
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100	100/01/21	Per Approval	JB

Project studio architecture interior landscape urban community  
338 Pitt Street  
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**fjmt**

Project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

Title  
**General Arrangement Plans  
Level 34 - Sky Bridge - Hotel  
Amenity + Residential Amenity**

Scale 1:200 @ A1 First issued 8/11/19

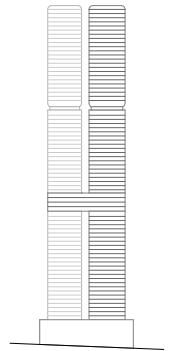
Project code sheet no. revision

H338 2022 09

**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	05/02/21	Per Approval	BS
04	02/09/20	Per Approval	BS
05	05/11/20	Per Approval	BS
06	14/11/20	Per Development Application	KOK
07	04/12/20	Per Development Application	KOK
08	02/02/21	Per Development Application	KOK
09	02/02/21	Per Development Application	KOK
10	02/02/21	Per Development Application	KOK
11	02/02/21	Per Development Application	KOK
12	02/02/21	Per Development Application	KOK

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 Sydney Melbourne LA  
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**fjmt**

project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 35 - Sky Bridge - Residential**

scale 1:200 @ A1 first issued 8/11/19

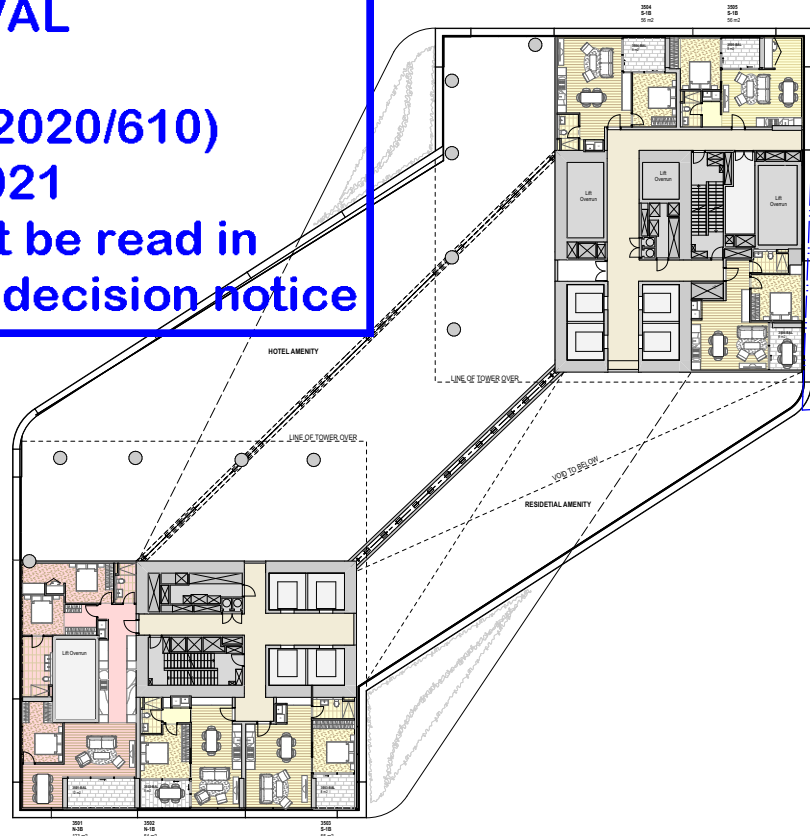
project code	sheet no.	revision
H338	2023	09

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



207

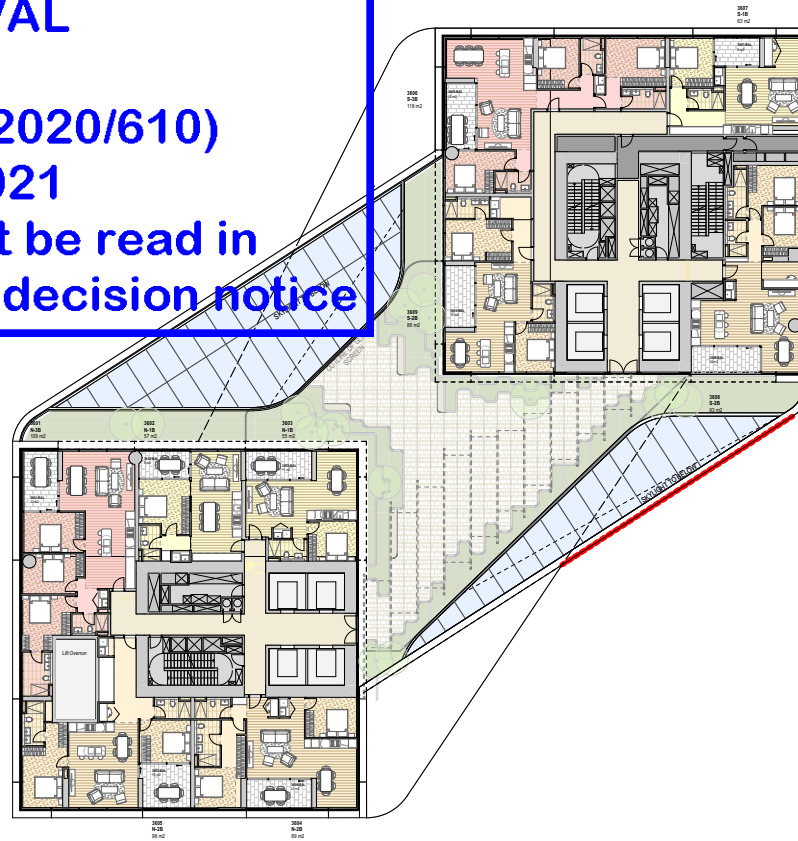
**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

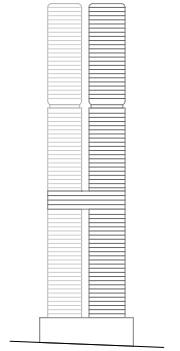
SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	02/02/21	Per Approval	BS
04	02/02/21	Per Approval	BS
05	02/02/21	Per Approval	BS
06	14/1/20	Per Development Application	KOK
07	04/12/19	Per Development Application	KOK
08	02/02/19	Per Development Application	KOK
09	02/02/19	Per Development Application	KOK
10	02/02/19	Per Development Application	KOK
11	02/02/19	Per Development Application	KOK
12	02/02/19	Per Development Application	KOK

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project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**General Arrangement Plans  
Level 36 - Sky Bridge - Residential  
Amenity+Roof**

scale 1:200 @ A1 first issued 8/11/19

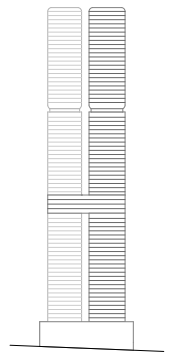
project code sheet no. revision

H338 2024 09

For Approval

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	03/03/21	Per Approval	JB
04	02/09/20	Per Approval	JB
05	02/09/20	Per Approval	JB
06	14/1/20	Per Development Application	KOK
07	04/12/19	Per Submission	KOK
08	02/09/19	Per Submission	JB
09	02/09/19	Per Submission	JB
10	02/09/19	Per Submission	JB
REV	02/09/19	Submitted	JB

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project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 37 - Residential**

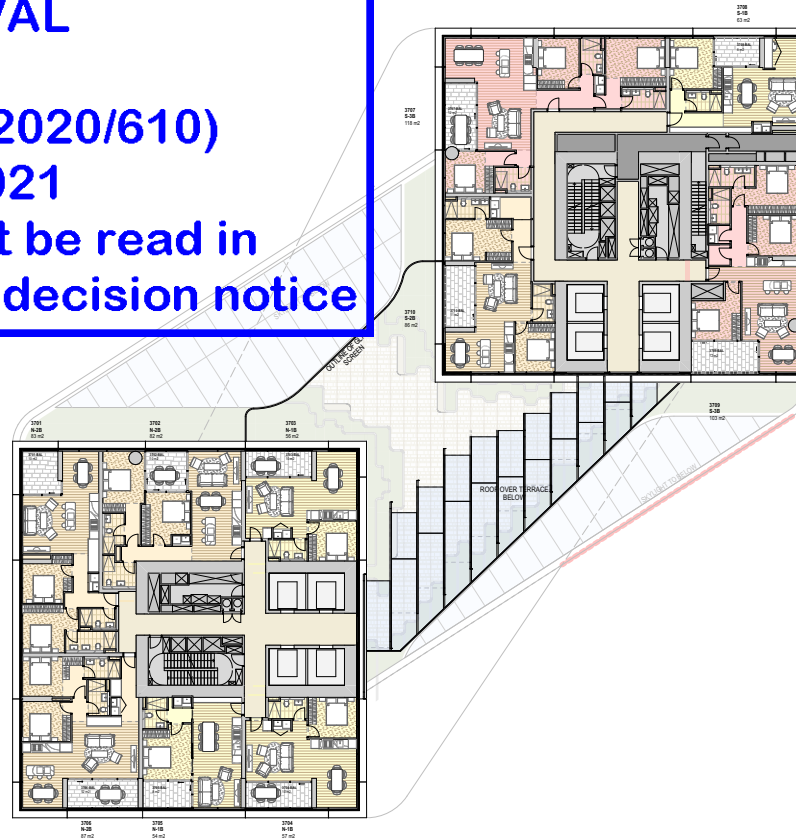
scale	1:200 @ A1	first issued	8/11/19
project code	sheet no.	revision	
H338	2025		09

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



209

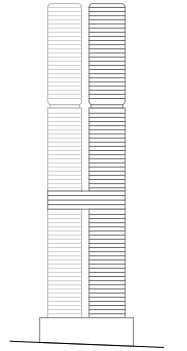
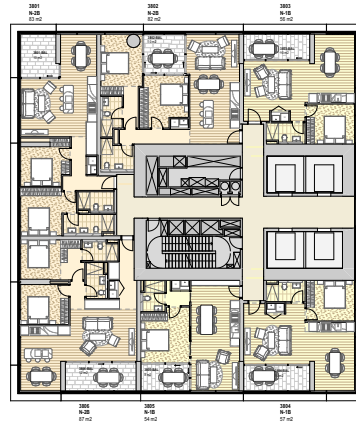
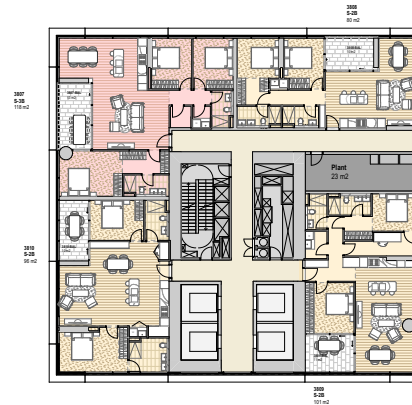
For Approval

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



rev	date	name	by	chk
01	01/01/21	Rev Approval	JB	
02	01/01/21	Rev Approval	JB	
03	01/01/21	Rev Approval	JB	
04	01/01/21	Rev Approval	JB	
05	01/01/21	Rev Approval	JB	
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07	01/01/21	Rev Approval	JB	
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338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

General Arrangement Plans  
Level 36 - Riser transfer

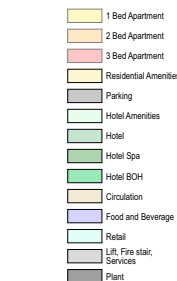
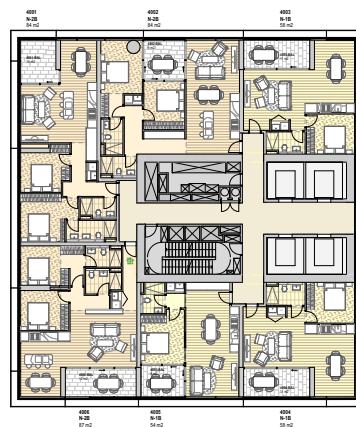
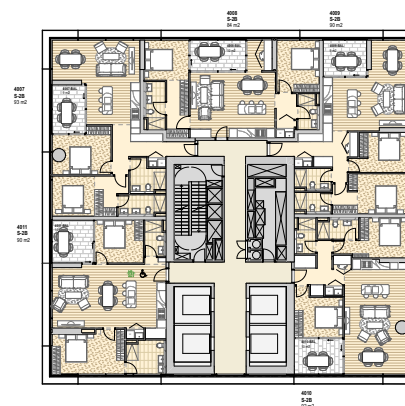
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project code	sheet no.	revision	
H338	2026	09	

For Approval

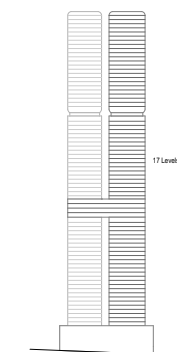
## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

**These plans must be read in conjunction with the decision notice**



**Boundary**



rev	date	name	by	chk
09	22/2/21	For Approval	IB	
08	12/3/20	For Approval	TS	
07	24/1/20	For Approval	KJK	
06	14/1/20	For Development Application	KJK	
05	15/12/19	For information	KJK	
04	6/12/19	For Coordination	TS	
03	27/12/19	For Coordination	PN	
02	22/11/19	For Coordination	KJK	
01	8/1/19	For Coordination	KJK	

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sydney melbourne uk  
Level 5, 70 Kina Street t +61 2 9291 7077 w [firststudio.com](http://firststudio.com)

**fjmt**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

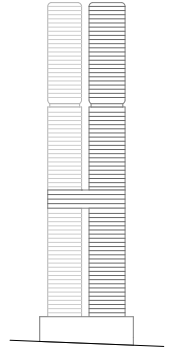
## General Arrangement Plans Level 39-55 Typical Low Rise 2

scale	1:100 @ A1	first issued	8/11/19
project code	sheet no.	revision	
<b>H338</b>	<b>2027</b>	<b>09</b>	

**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	02/02/21	Per Approval	RS
04	02/02/20	Per Approval	RS
05	02/02/20	Per Approval	RS
06	14/1/20	Per Development Application	KOK
07	04/12/19	Per Development Application	KOK
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100	02/12/19	Per Development Application	KOK

Project: 338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

Project: 338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

Project: 338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

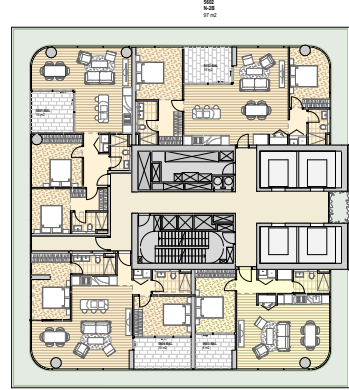
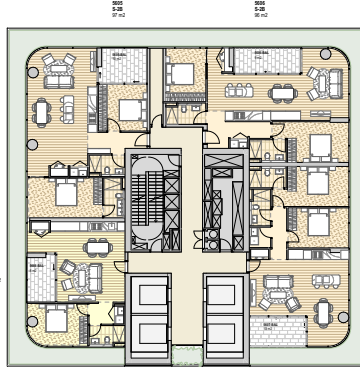
Project: 338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice

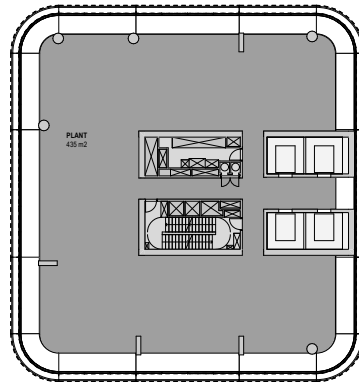
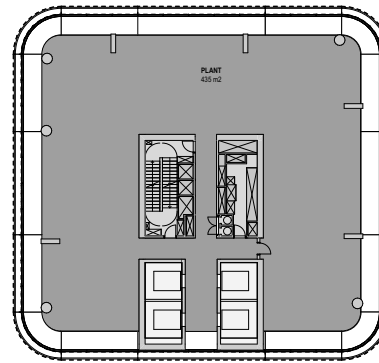


# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

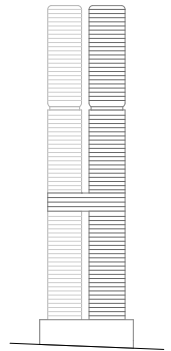
SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



09	09/09/21	Per Approval	IB
08	02/09/20	Per Approval	IB
07	05/11/20	Per Approval	KOK
06	14/11/20	Per Development Application	KOK
05	04/12/19	Per Submission	KOK
04	01/12/19	Per Submission	IB
03	02/08/19	Per Submission	PN
02	05/11/19	Per Submission	KOK
01	09/11/19	Per Submission	KOK
REV	DATE	NAME	BY

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project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 57 - Plant**

scale 1:200 @ A1 first issued 8/11/19

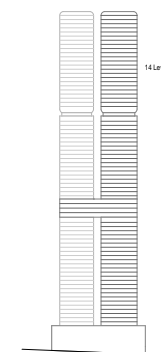
project code sheet no. revision

H338 2029 09

For Approval

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	22/02/21	Per Approval	BS
04	02/03/20	Per Approval	BS
05	05/05/20	Per Approval	BS
06	14/1/20	Per Development Application	KOK
07	04/12/19	Per Development Application	KOK
08	02/02/19	Per Development Application	PS
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99	02/02/19	Per Development Application	PS
100	02/02/19	Per Development Application	PS

Project studio architecture interiors landscape urban community  
 Sydney Melbourne LA  
 Level 5, 70 King Street & 451 2 8251 7077 • [info@studio.com](mailto:info@studio.com)

Project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

Title  
**General Arrangement Plans**  
**Level 58-71 Typical High Rise**

scale	1:200 @ A1	first issued	8/11/19
project code	sheet no.	revision	
H338	2030		09

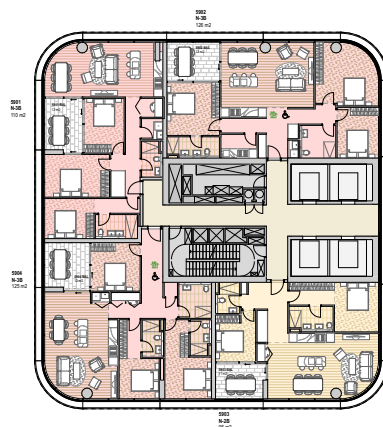
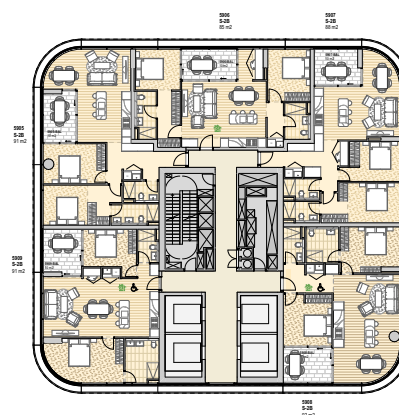
**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice

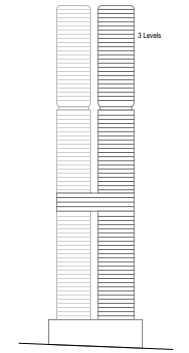
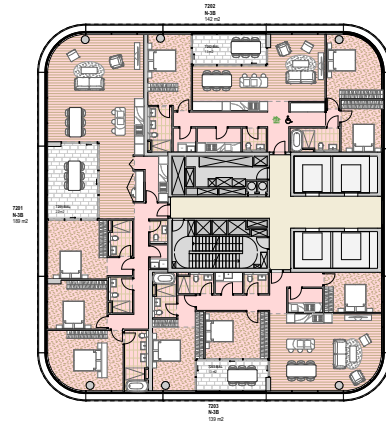
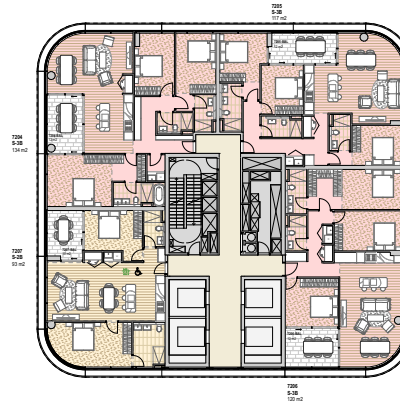


# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



09	09/09/21	Per Approval	JB
08	02/09/20	Per Approval	JB
07	02/09/20	Per Approval	JB
06	14/1/20	Per Development Application	KOK
05	04/12/19	Per Development Application	KOK
04	01/12/19	Per Development Application	KOK
03	01/12/19	Per Development Application	KOK
02	01/12/19	Per Development Application	KOK
01	01/12/19	Per Development Application	KOK
REV	01/12/19	Revise	JB

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Level 5, 70 King Street & 451 2 8201 7077 • fpmlstudio.com

**fpml**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 72-75 Typical Penthouse Levels**

scale 1:200 @ A1 first issued 8/11/19

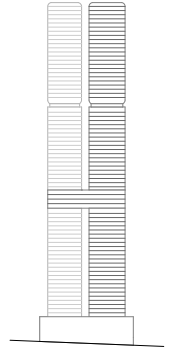
project code sheet no. revision

H338 2031 09

**For Approval**

- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	22/02/21	Pre Approval	IB
04	02/03/20	Pre Approval	IB
05	05/11/20	Pre Approval	KOK
06	14/11/20	Pre Development Application	KOK
08	04/12/20	Pre Development	KOK
09	01/01/21	Pre Development	IB
10	02/02/21	Pre Development	PN
11	05/11/20	Pre Development	KOK
12	05/11/20	Pre Development	KOK
REV	05/11/20	Revise	by cjh

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project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 76 - Penthouse**

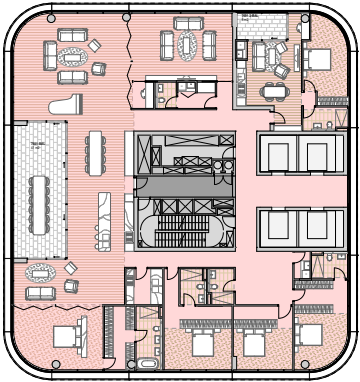
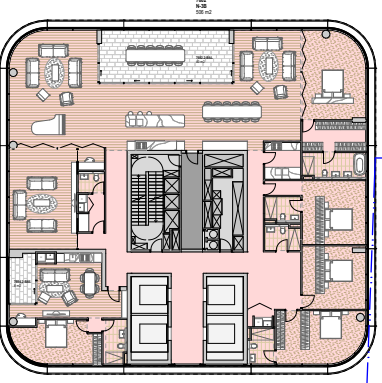
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project code	sheet no.	revision	
H338	2032		09

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

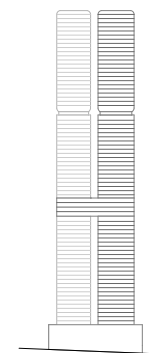
**SSD 10362 (D/2020/610)**  
**09/08/2021**

**These plans must be read in  
conjunction with the decision notice**



- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	22/02/21	Pre Approval	18
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100	02/02/20	Pre Development Application	KOK

first studio architecture interior landscape urban community  
 338 Pitt Street & 451 Pitt Street  
 Level 5, 70 King Street & 451 Pitt Street  
 Sydney NSW 2000

**fjmt**

project	338 Pitt Street 338 Pitt Street Sydney NSW 2000
title	General Arrangement Plans Level 77 - Duplex Penthouse
scale	1:200 @ A1
first issued	8/11/19
project code	H338
sheet no.	2033
revision	09

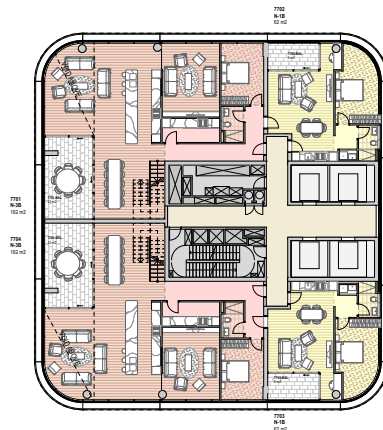
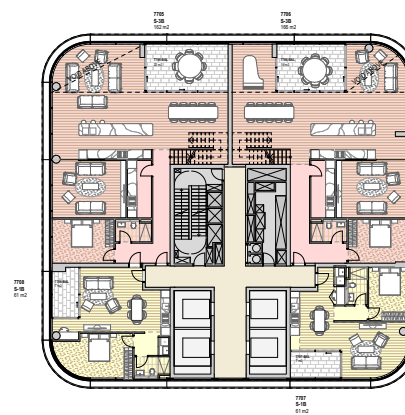
**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

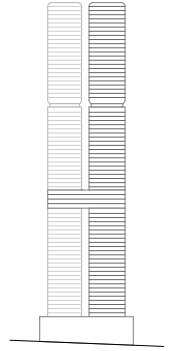
SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice



- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



03	22/02/21	Per Approval	IB
04	02/03/20	Per Approval	IB
05	05/11/20	Per Approval	KOK
06	14/11/20	Per Development Application	KOK
08	04/12/19	Per Submission	KOK
09	02/02/20	Per Submission	IB
10	02/02/20	Per Submission	PN
11	02/11/19	Per Submission	KOK
12	02/11/19	Per Submission	KOK
REV	03/03	Submit	by cjh

first studio architecture interior landscape urban community  
 338 Pitt Street Sydney NSW 2000  
 Level 5, 70 King Street & 451 2 8251 7077 • firststudio.com



project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 78 - Duplex Penthouse**

scale 1:200 @ A1 first issued 8/11/19

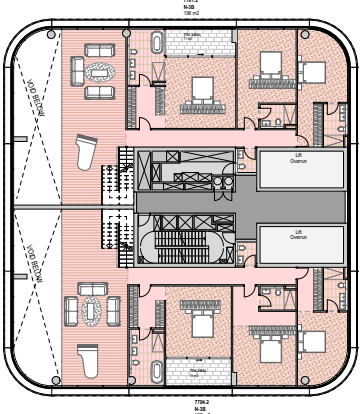
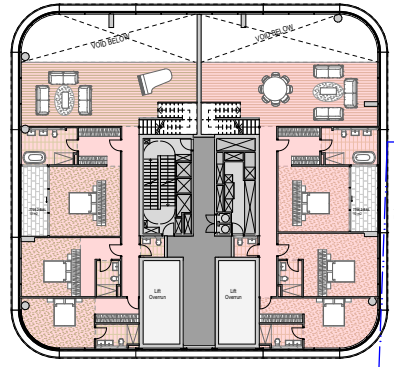
project code	sheet no.	revision
H338	2034	09

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

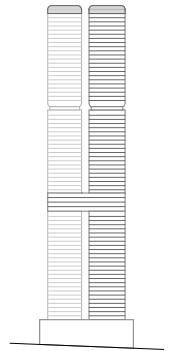
**SSD 10362 (D/2020/610)**  
**09/08/2021**

**These plans must be read in  
conjunction with the decision notice**



- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



09	05/02/21	Per Approval	IB
08	02/09/20	Per Approval	IB
07	05/11/20	Per Approval	KOK
06	14/11/20	Per Development Application	KOK
05	04/12/19	Per Information	KOK
04	01/12/19	Per Coordination	IB
03	02/08/19	Per Coordination	PN
02	05/11/19	Per Coordination	KOK
01	05/11/19	Per Coordination	KOK
REV	05/11/19	Revise	by cjh

fpmt studio architecture interiors landscape urban community  
 338 Pitt Street  
 Level 5, 70 King Street & 451 2 8251 7077 • fpmtstudio.com

**fpmt**

project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**General Arrangement Plans**  
**Level 79 and 80 - Plant**

scale 1:200 @ A1 first issued 8/11/19

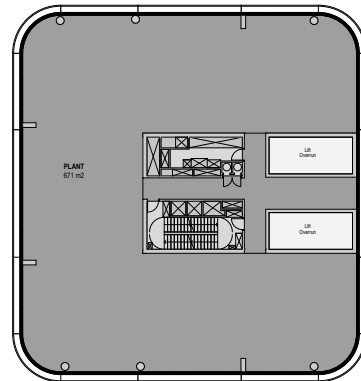
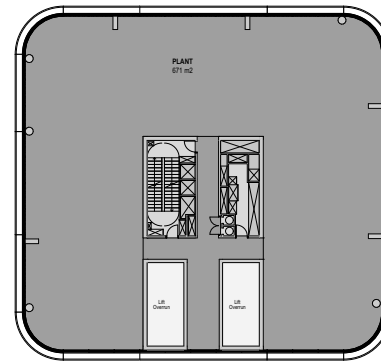
project code	sheet no.	revision
H338	2035	09

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

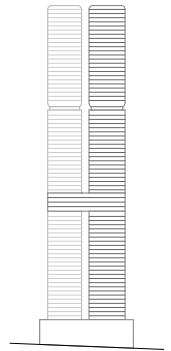
**SSD 10362 (D/2020/610)**  
**09/08/2021**

**These plans must be read in  
conjunction with the decision notice**



- 1 Bed Apartment
- 2 Bed Apartment
- 3 Bed Apartment
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Boundary



08	08/12/19	Per Approval	IS
07	07/12/19	Per Approval	IS
06	06/12/19	Per Approval	KOR
05	05/12/19	Per Approval	KOR
04	04/12/19	Per Approval	IS
03	03/12/19	Per Approval	IS
02	02/12/19	Per Approval	IS
01	01/12/19	Per Approval	KOR

338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

**General Arrangement Plans  
Roof**

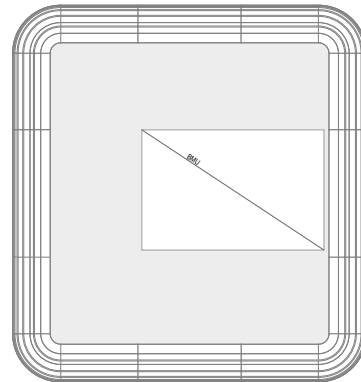
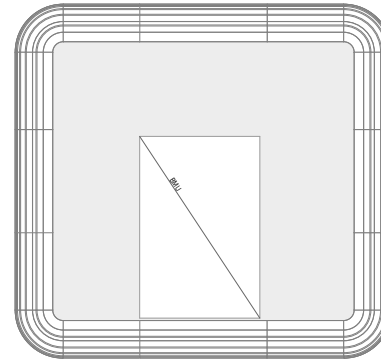
scale	1:200 @ A1	first issued	8/11/19
project code	sheet no.	revision	
H338	2036	08	

# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice

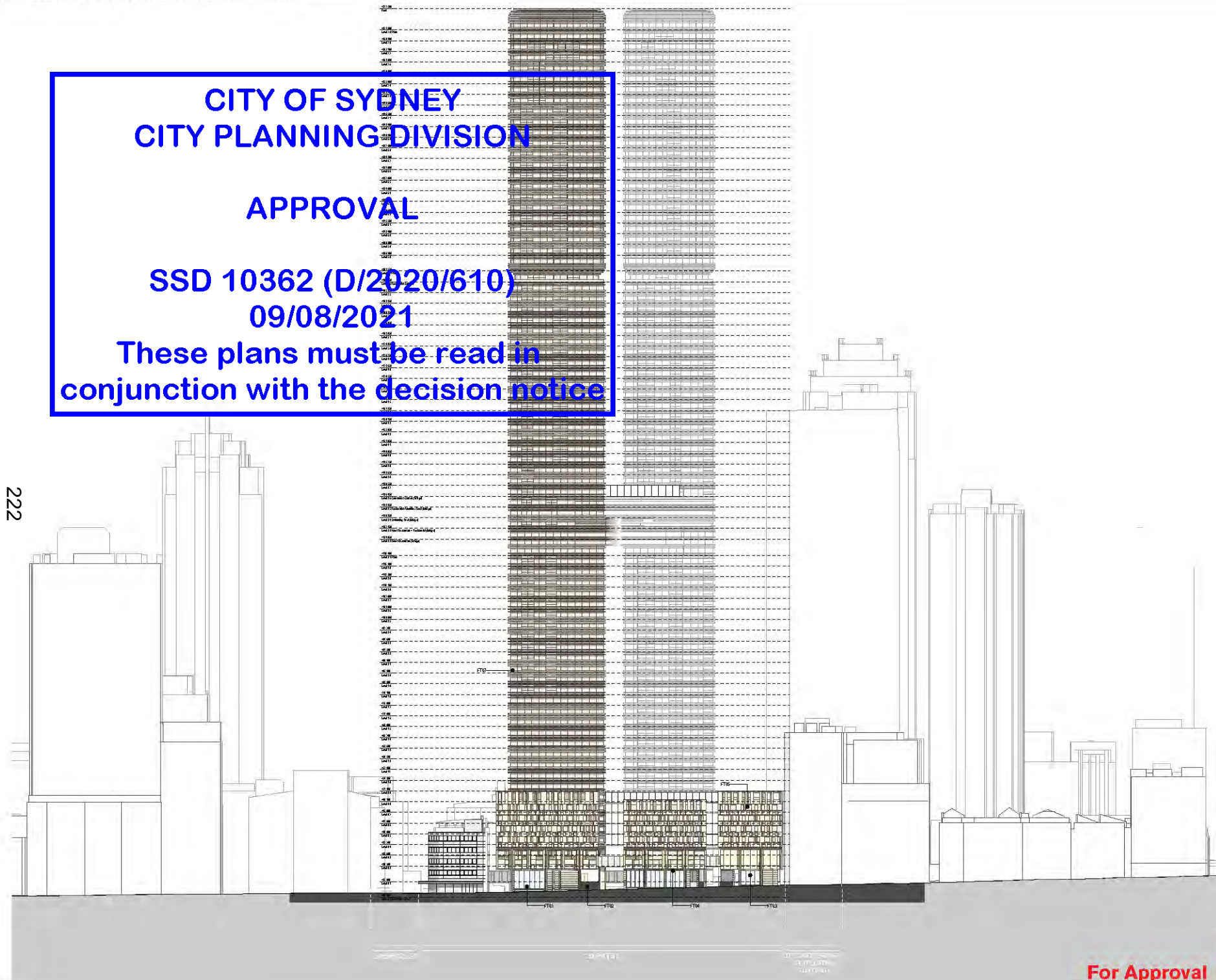


# APPROVAL

**SSD 10362 (D/2020/610)**

09/08/2021

**These plans must be read in conjunction with the decision notice**



**GENERAL NOTES**

- ALL DIMENSIONS AND EXISTING CONDITIONS
- 2. SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE PRELIMINARY DIMENSIONS ONLY.

**Legend**

- Residential
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Service
- Plant

**Site Boundary**

FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING

FT2 POLISHED SANDSTONE CLADDING

FT3 ALUMINIUM FRAMED FLOOR BY FLOOR  
FRAMED GLAZING WITH INTERGLAZ MESH

FT4 PROTECTED METAL FRAMES, INTERGLAZ  
GLAZING WITH INTERGLAZ MESH AND COLOURED GLAZING

FT5 HIGH PERFORMANCE UNFINISHED ALUMINIUM  
ROCKERS WITH INTERGLAZTING SANDSTONE AND  
PRECAST CLADDING

FT6 FRAMELESS GLAZING

FT7 ALUMINIUM FRAMED FLOOR BY FLOOR  
FRAMED GLAZING WITH ALUMINIUM PROTECTED  
SLIP EDGE AND LOGO REBARS

FT8 METAL CYLINDERS WITH INTERGLAZTING  
SANDSTONE CAPS

FT9 PERFORATED METAL SCREEN

FT10 STONE SCREEN AND CLADDING

FT11 REWORK

05	09/05/01	Per Approval	IK
06	12/2/01	Per Approval	IK
07	04/1/02	Per Approval	IKK
08	14/1/02	Per Co-ordinators and Application	IKK
09	13/3/02	Per Information	IKK
10	10/3/02	Per Information	IKK
11	9/10/02	Per Co-ordination	IKK
12	09/07/02	Per Co-ordination	IKK
13	8/8/02	Per Co-ordination	IKK

**first state** architects creates professional community  
sydney@firststate.com.au  
Level 5, 20 King Street +61 2 9233 2022 - firststate.com

project  
338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

**General Elevation**  
**East Elevation - Castlereagh Street**

Grado 1-900-A1 Egr1300001 8/11/19

H338	3000	09
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**For Approval**

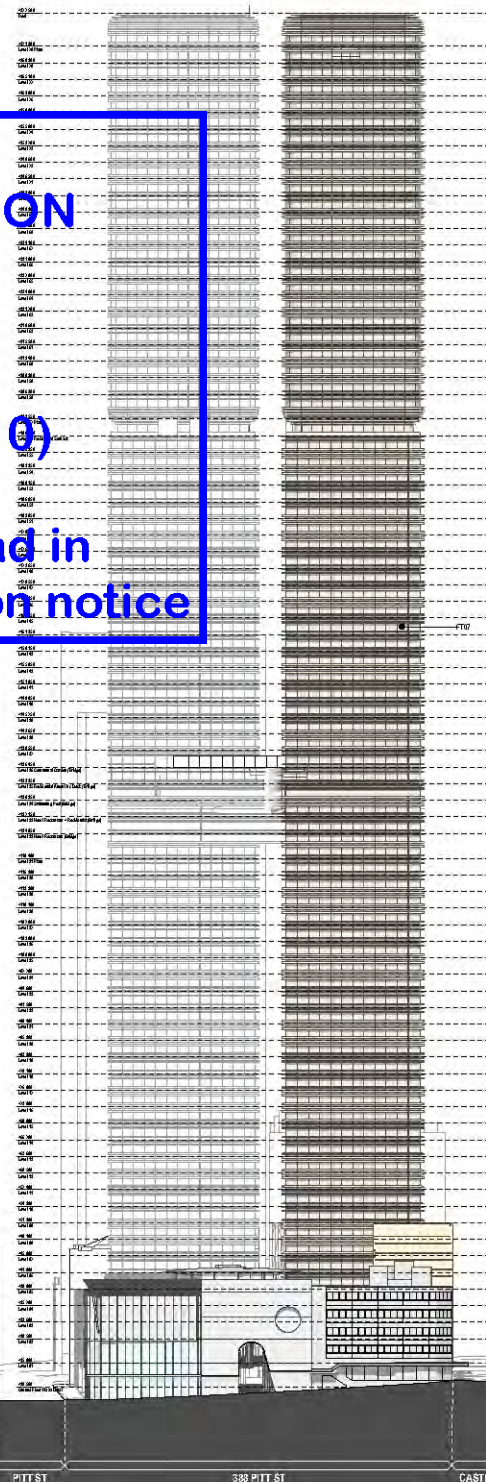
# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

### SSD 10362 (D/2020/610)

### 09/08/2021

These plans must be read in  
conjunction with the decision notice



- FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING
- FT2 PANELLED SANDSTONE CLADDING
- FT3 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH INTERLAY MESH
- FT4 PROJECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERLAY MESH AND CLEAR GLAZING
- FT5 HIGH PERFORMANCE TINTED ALUMINIUM WINDOW, WITH INTERMITTENT SANDSTONE AND PRECAST CLADDING
- FT6 FRAMELESS GLAZING
- FT7 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH ALUMINIUM PROJECTED SLAB EDGE AND LOUVER BALCONY
- FT8 METAL CYLINDERS WITH INTERMITTENT SANDSTONE CAPS
- FT9 PERFORATED METAL SCREEN
- FT10 STONE SCREEN AND CLADDING
- FT11 BRICKWORK

08	08/08/21	Per Approval	08
09	09/08/21	Per Approval	09
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18	18/08/21	Per Approval	18
19	19/08/21	Per Approval	19
20	20/08/21	Per Approval	20

for scale construction documents prepared by jfm  
Level 5, 70 King Street 1st Fl Sydney NSW 2000

project  
308 Pitt Street  
308 Pitt Street  
Sydney NSW 2000

General Elevation  
South Elevation - Liverpool Street

scale 1:500 @ A1 next issued 9/11/19

project no: 3001 revision: 09

For Approval

# CITY OF SYDNEY CITY PLANNING DIVISION

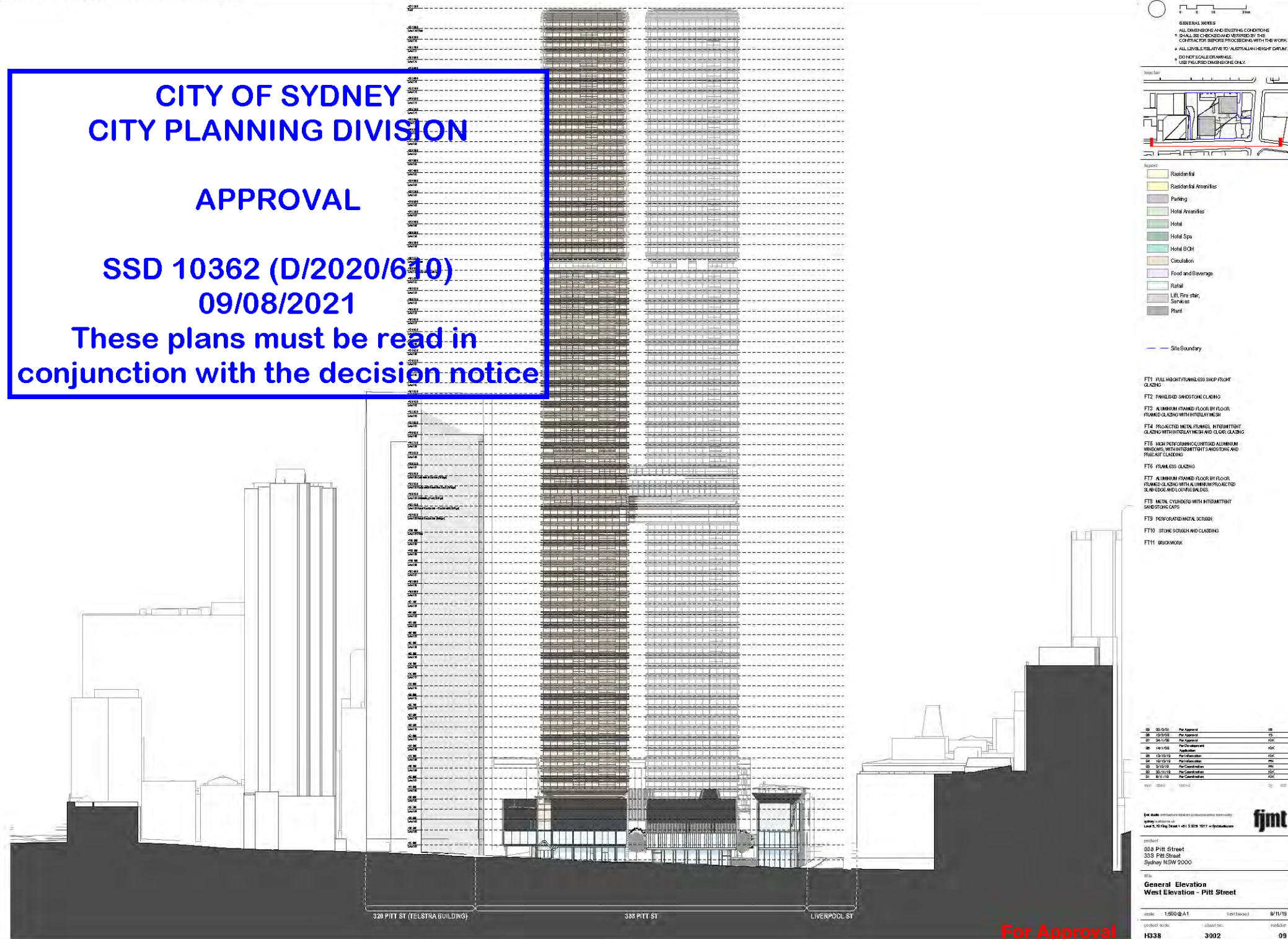
## APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

These plans must be read in  
conjunction with the decision notice

224



For Approval

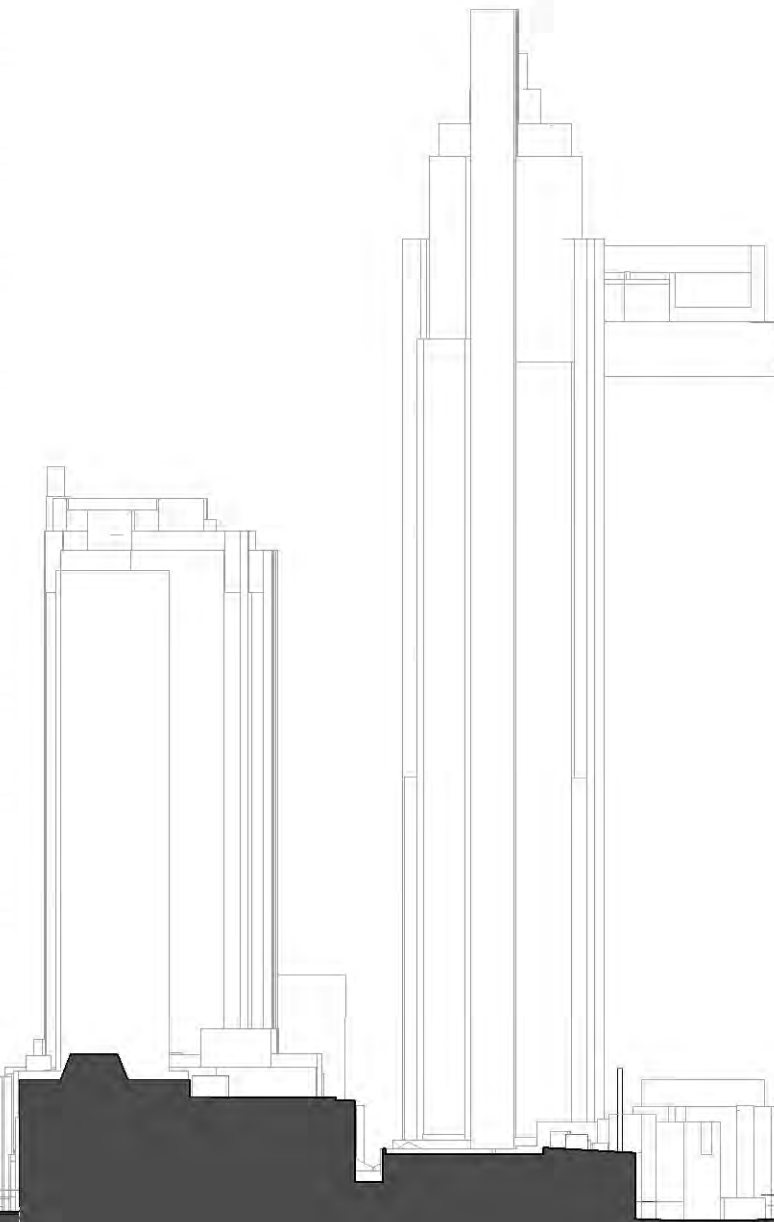
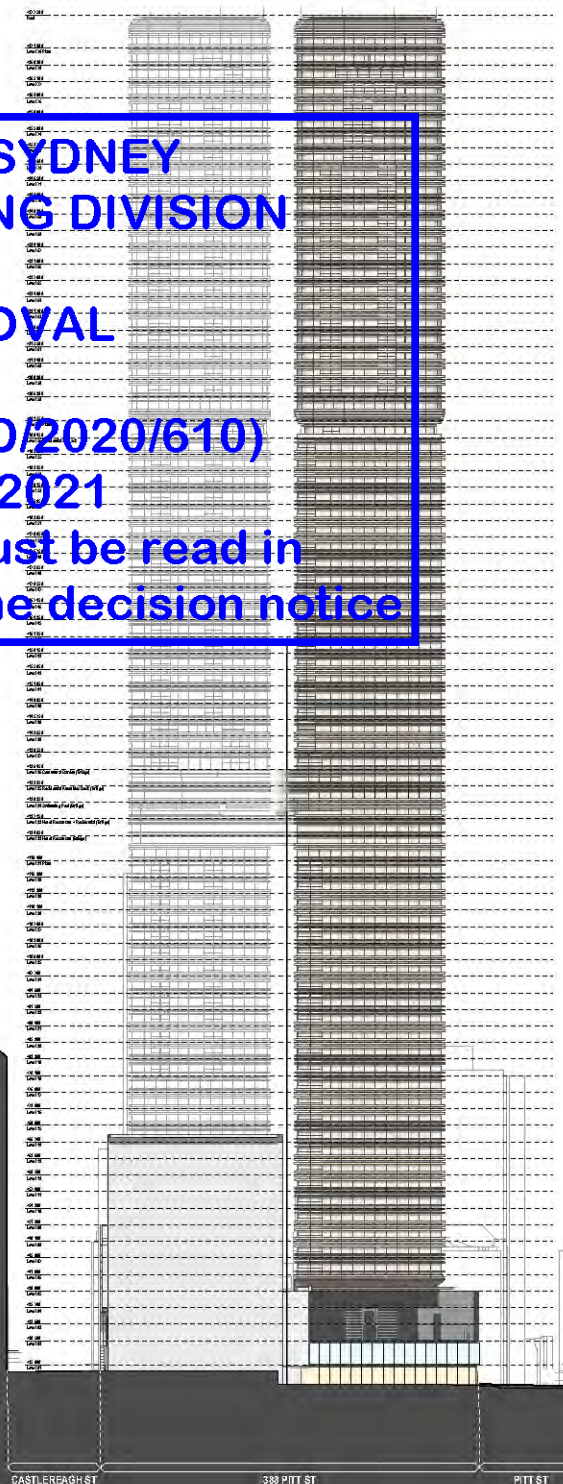
# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice

225



GENERAL NOTES  
ALL DIMENSIONS AND BUILDING CONDITIONS  
SHALL BE CHECKED AND VERIFIED BY THE  
CONTRACTOR BEFORE PROCEEDING WITH THE WORK  
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM  
DO NOT SCALE DRAWINGS  
USE FOLLOWING DIMENSIONS ONLY

Legend

- Residential
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Services
- Plant

Site Boundary

FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING

FT2 FRAMELESS SANDSTONE CLADDING

FT3 ALUMINIUM FRAMED FLOOR BY FLOOR FRAME GLAZING WITH INTERLAY MESH

FT4 PROJECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERLAY MESH AND CLEAR GLAZING

FT5 HIGH PERFORMANCE TINTED ALUMINIUM WINDOWS, WITH INTERMITTENT SANDSTONE AND PROJECT GLAZING

FT6 FRAMELESS GLAZING

FT7 ALUMINIUM FRAMED FLOOR BY FLOOR FRAME GLAZING WITH ALUMINIUM PROJECTED SLAB EDGE AND LOUVER BALCONIES

FT8 METAL CYLINDERS WITH INTERMITTENT SANDSTONE CAPS

FT9 PERFORATED METAL SCREEN

FT10 STONE SCREEN AND CLADDING

FT11 BRICKWORK

REV	DATE	BY	APP	DESCRIPTION
01	05/05/21	Per Approval	JB	
02	05/05/21	Per Approval	JB	
03	05/05/21	Per Approval	JB	
04	14/05/21	Per Approval	KAC	
05	13/05/21	Per Approval	KAC	
06	05/05/21	Per Approval	PM	
07	05/05/21	Per Approval	PM	
08	05/05/21	Per Approval	KAC	

Project: 038 Pitt Street  
388 Pitt Street  
Sydney NSW 2000

General Elevation  
North Elevation

Scale: 1:500 @ A1  
Date Issued: 9/11/19  
Project No: H338  
Sheet No: 3003  
Revision: 09

For Approval

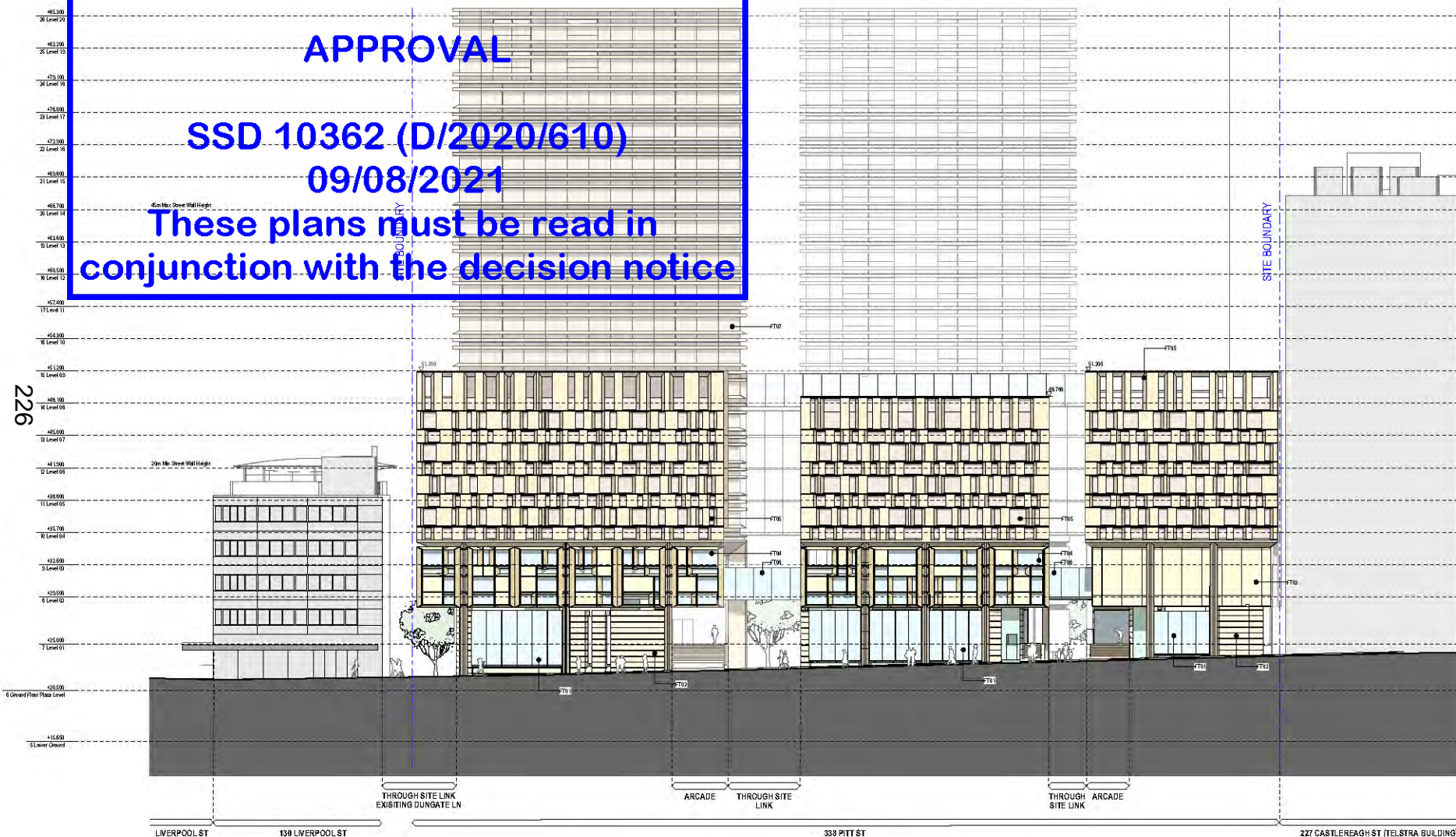
# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

### SSD 10362 (D/2020/610)

### 09/08/2021

These plans must be read in  
conjunction with the decision notice



01	02/02/21	Per Approval	02	03/02/21	Per Approval
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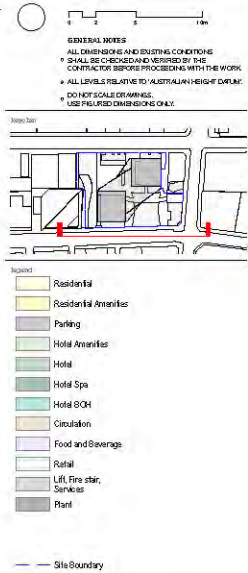
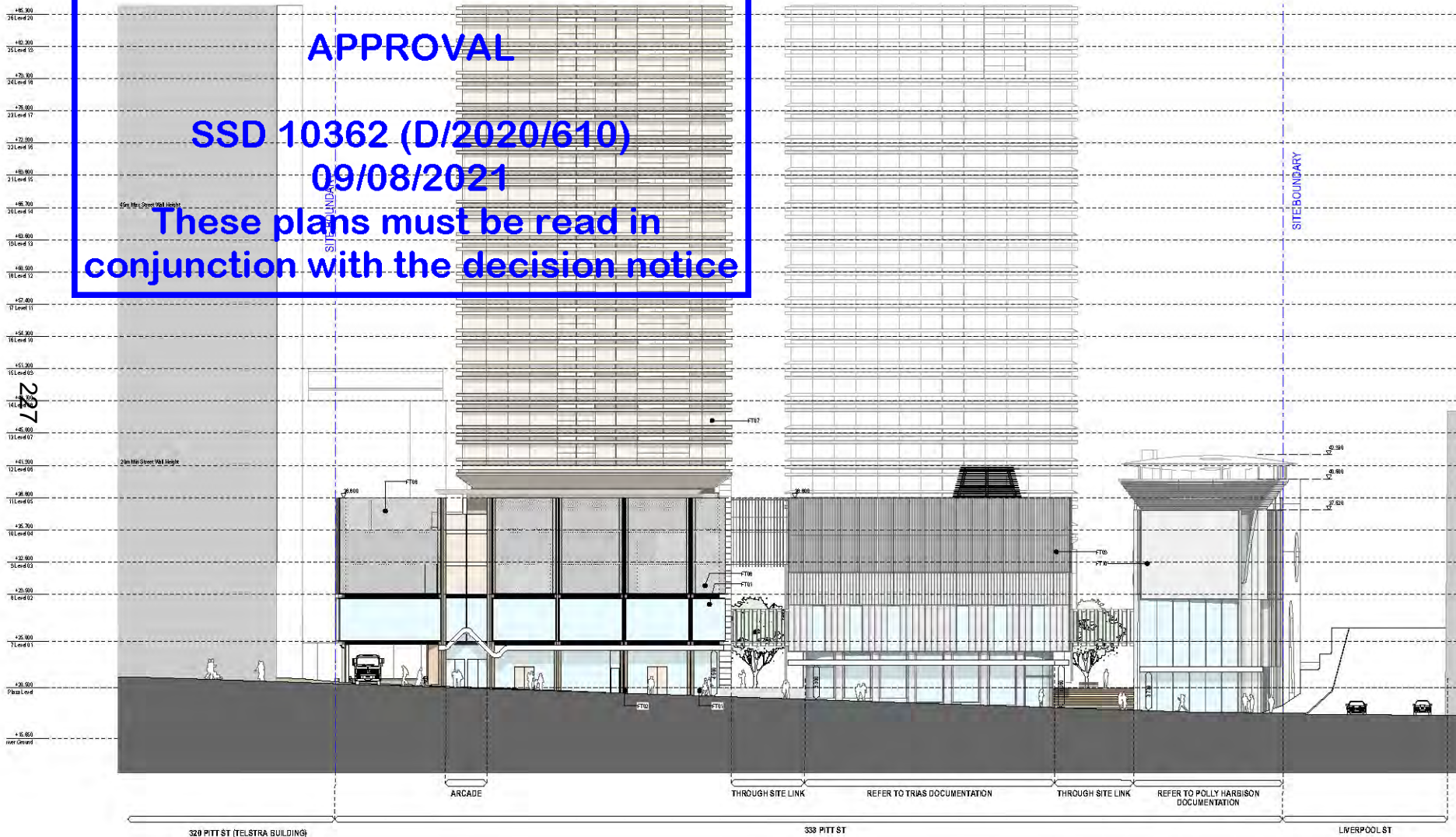
# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

### SSD 10362 (D/2020/610)

### 09/08/2021

These plans must be read in  
conjunction with the decision notice



- FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING
- FT2 FRAMELESS SANDSTONE CLADDING
- FT3 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH INTERSLAY MESH
- FT4 PROJECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERSLAY MESH AND CLEAR GLAZING
- FT5 HIGH PERFORMANCE UNFINISHED ALUMINIUM WINDOWING, WITH INTERMITTENT SANDSTONE AND PRECAST CLADDING
- FT6 FRAMELESS GLAZING
- FT7 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH ALUMINIUM PROJECTED SLAB EDGE AND LOUVER BALCONIES
- FT8 METAL CYLINDERS WITH INTERMITTENT SANDSTONE CAPS
- FT9 PERFORATED METAL SCREEN
- FT10 STONE SCREEN AND CLADDING
- FT11 BRICKWORK

01	05/2021	Per Approval	05
02	12/2020	Per Approval	02
03	04/1/20	Per Approval	03
04	14/1/20	Per Publication and Publication	04
05	13/1/19	Per Publication	05
06	10/1/19	Per Publication	06

For Approval

038 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

Podium Elevation  
West Podium Elevation - Pitt Street

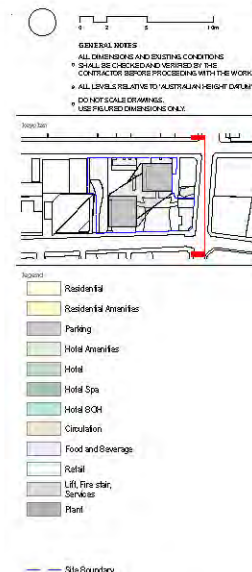
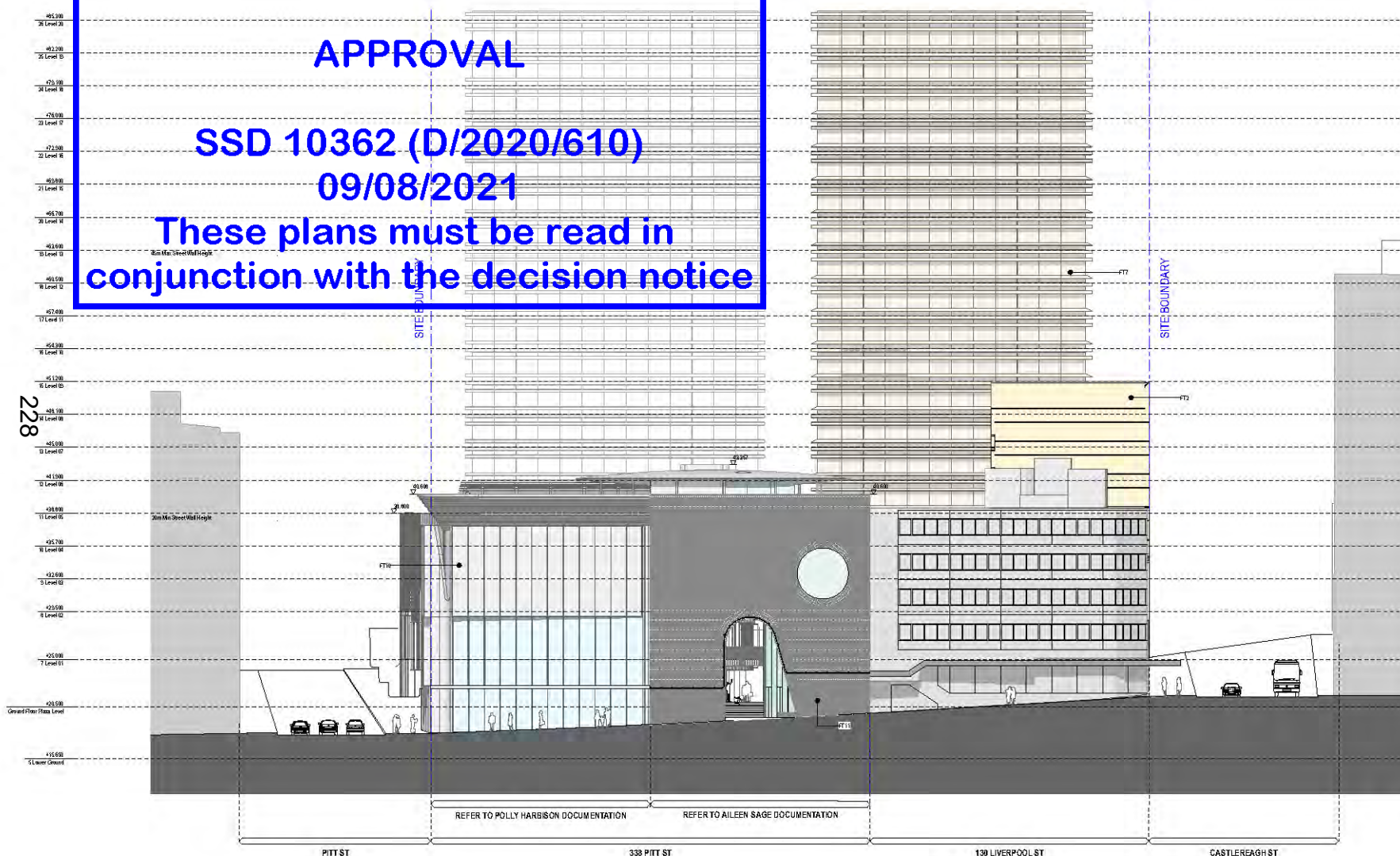
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project no.	3102	revision	06

# APPROVAL

**SSD 10362 (D/2020/610)**

09/08/2021

**These plans must be read in conjunction with the decision notice**



- FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING
- FT2 PAVELLED SANDSTONE CLADDING
- FT3 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH INTERSLAY MESH
- FT4 PROTECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERSLAY MESH AND CLASP GLAZING
- FT5 HIGH PERFORMANCE UNLIMITED ALUMINIUM MESH WITH INTERMITTENT SANDSTONE AND PROCAST GLAZING
- FT6 FRAMELESS GLAZING
- FT7 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH ALUMINIUM PROTECTED SLAB EDGE AND LOUVER BLENDS
- FT8 METAL CYLINDERS WITH INTERMITTENT SANDSTONE CAPS
- FT9 PERFORATED METAL SCREEN
- FT10 STONE SCREEN AND CLADDING
- FT11 BRICKWORK

05	00/00/00	For Approval	10
05	10/00/00	For Approval	15
05	04/11/00	For Approval	10K
05	14/11/00	For Citations and Application	10K
05	13/10/10	For Information	10K
05	10/10/10	For Information	10K

**(red shade) architecture** *sketches* *architectural community*

project  
338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

**Podium Elevation**  
**South Podium Elevation - Liverpool Street**

00000 1-200 @ A1 5m1130000 10/12/19

project code	sheet no.	revision
<b>H338</b>	<b>3103</b>	<b>06</b>

**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

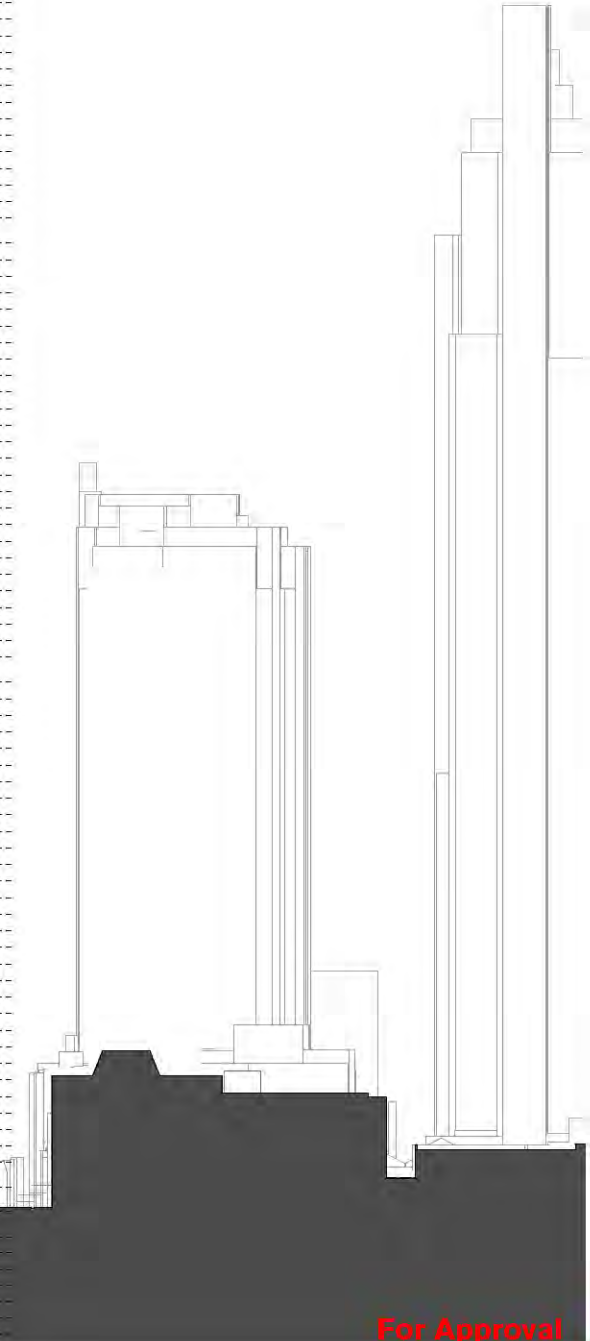
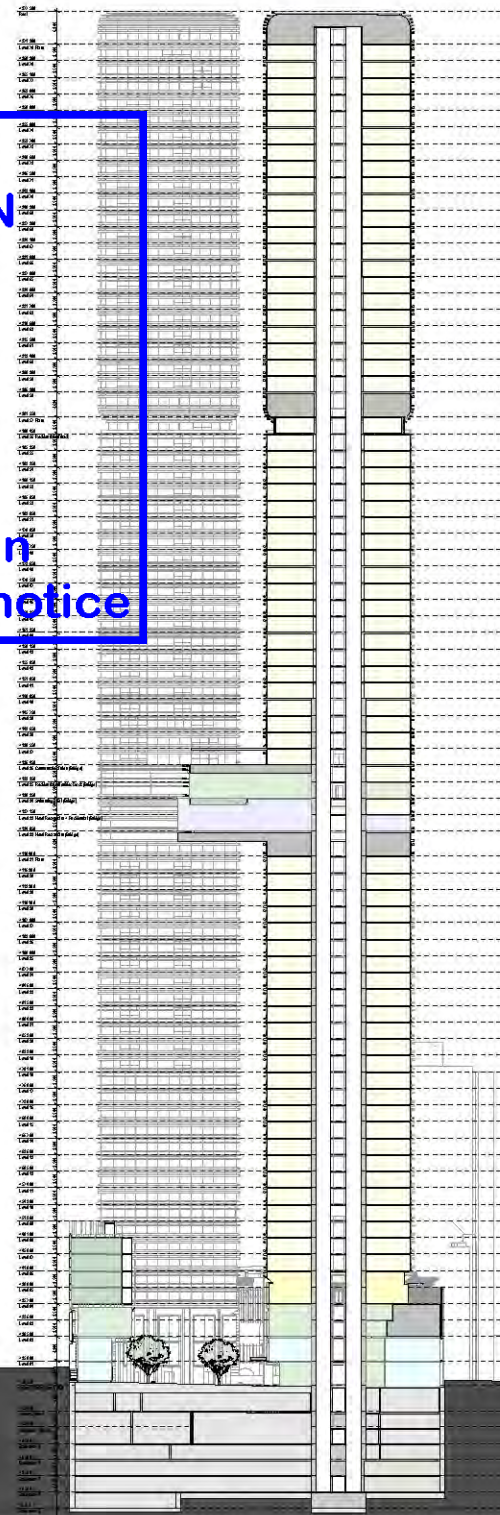
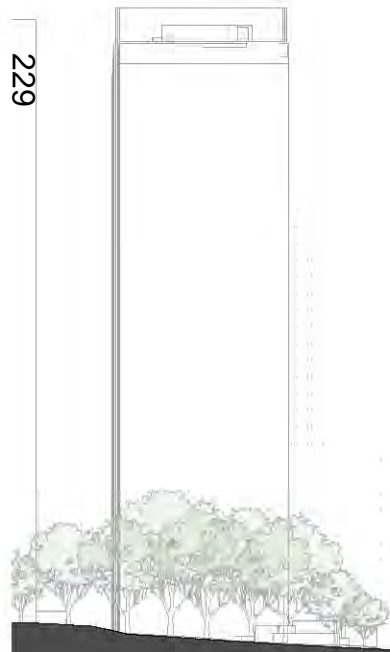
## APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

These plans must be read in  
conjunction with the decision notice

229



GENERAL NOTES  
ALL DIMENSIONS AND EXISTING CONDITIONS  
SHALL BE CHECKED AND VERIFIED BY THE  
CONTRACTOR BEFORE PROCEEDING WITH THE WORK  
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM  
DO NOT SCALE DRAWINGS  
USE FOLLOWING DIMENSIONS ONLY

Section

Legend

- Residential
- Residential Amenities
- Parking
- Hotel Amenities
- Hotel
- Hotel Spa
- Hotel BOH
- Circulation
- Food and Beverage
- Retail
- Lift, Fire stair, Service
- Plant

Site Boundary

FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING

FT2 POWDERED SANDSTONE CLADDING

FT3 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH INTERLAY MESH

FT4 PROJECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERLAY MESH AND CLEAR GLAZING

FT5 HIGH PERFORMANCE UNUNITED ALUMINIUM WINDOWS, WITH INTERMITTENT SANDSTONE AND PRECAST CLADDING

FT6 FRAMELESS GLAZING

FT7 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH ALUMINIUM PROJECTED SLAB EDGE AND LOUVER BALCONIES

FT8 METAL CYLINDERS WITH INTERMITTENT SANDSTONE CAPS

FT9 PERFORATED METAL SCREEN

FT10 STONE SCREEN AND CLADDING

FT11 BRICKWORK

NO	DATE	FOR APPROVAL	BY
01	05/05/21	Per Approval	JS
02	05/05/21	Per Approval	JS
03	05/05/21	Per Approval	JS
04	14/05/21	Per Designation	KAC
05	13/05/21	Per Information	KAC
06	07/05/21	Per Information	PM
07	07/05/21	Per Coordination	PM
08	07/05/21	Per Coordination	KAC
09	07/05/21	Per Coordination	KAC

Scale: 1:500 @ A1

Project No: H338

Sheet No: 4000

Date: 9/11/19

For Approval

# CITY OF SYDNEY CITY PLANNING DIVISION

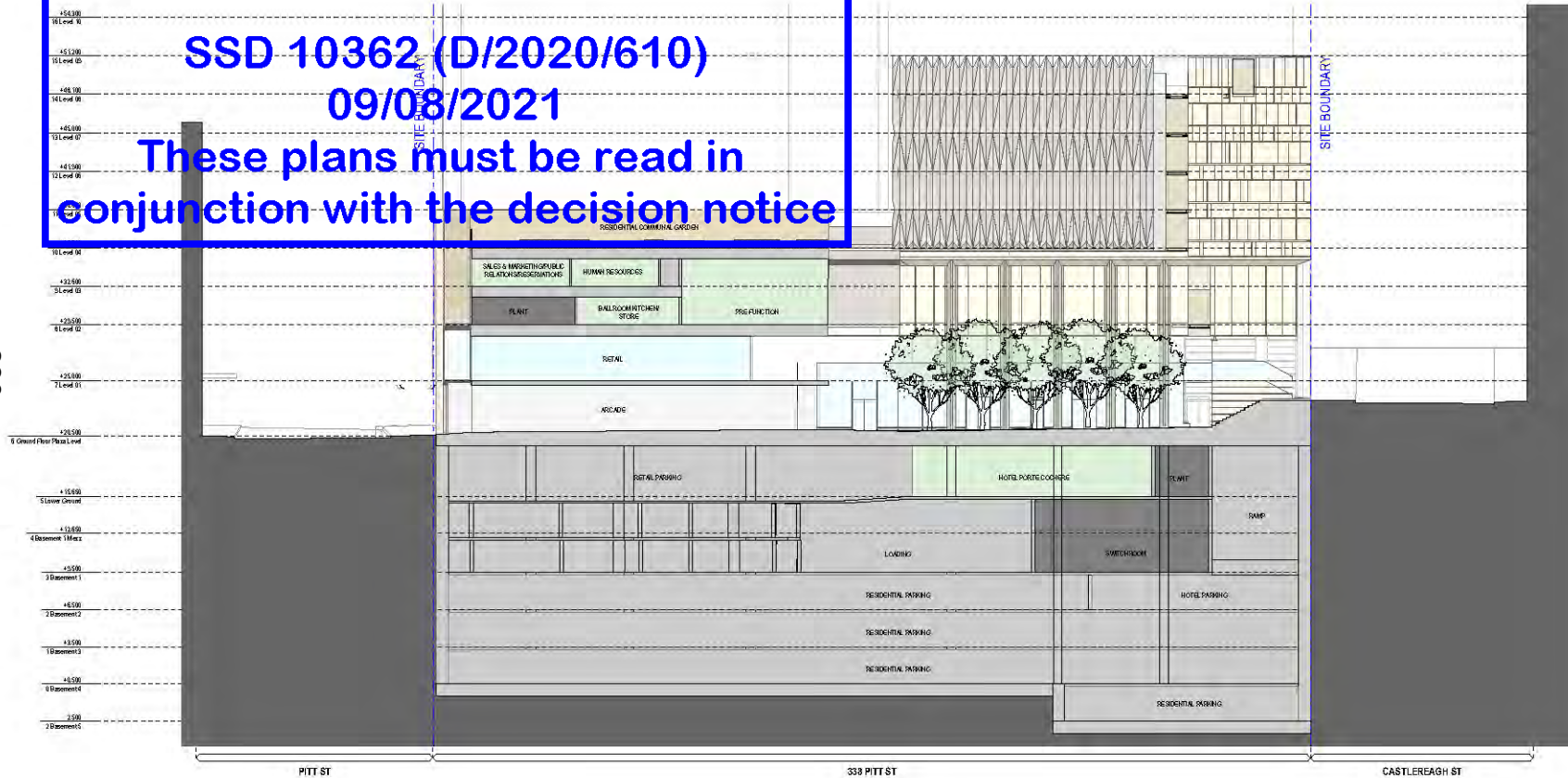
## APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

These plans must be read in  
conjunction with the decision notice

230



- FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING
- FT2 PAVED SIDEWALK GLAZING
- FT3 ALUMINUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH INTERLAYER MESH
- FT4 PROJECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERLAYER MESH AND CLEAR GLAZING
- FT5 HIGH PERFORMANCE UNGLAZED ALUMINUM WINDOW, WITH INTERMITTENT GLAZING AND PRECAST GLAZING
- FT6 FRAMELESS GLAZING
- FT7 ALUMINUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH ALUMINUM PROJECTED SLAB EDGE AND LOUVER BALCONY
- FT8 METAL CYLINDERS WITH INTERMITTENT SIDEWALK GLAZING
- FT9 PERFORATED METAL GLAZING
- FT10 STONE SCREEN AND GLAZING
- FT11 BRICKWORK

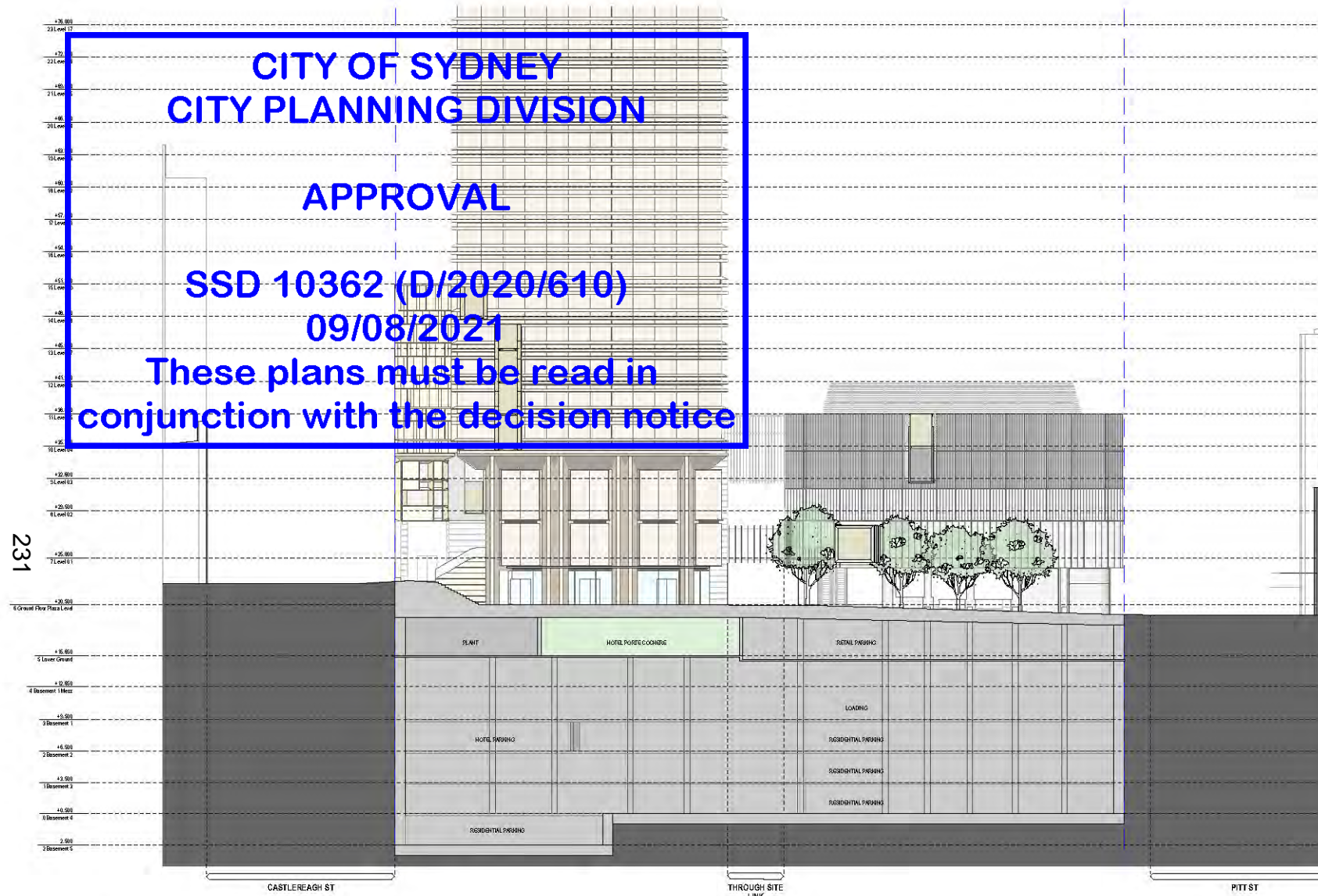
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09/08/2021	Per Approval	09/08/2021
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09/08/2021	Per Approval	09/08/2021
09/08/2021	Per Approval	09/08/2021
09/08/2021	Per Approval	09/08/2021

038 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

4200 1:200 Sections  
Podium Section - East West A

scale	1:200 @ A1	10/12/19
project no	4200	06

For Approval



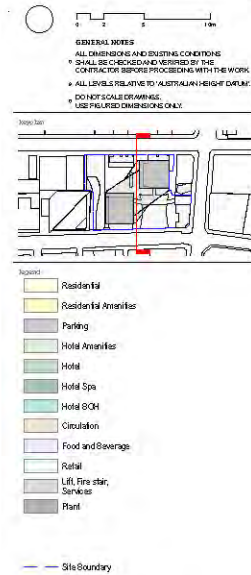
# CITY OF SYDNEY CITY PLANNING DIVISION

## APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

These plans must be read in  
conjunction with the decision notice



- FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING
- FT2 FRAMELESS SANDSTONE CLADDING
- FT3 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH INTERSLAY MESH
- FT4 PROJECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERSLAY MESH AND CLEAR GLAZING
- FT5 HIGH PERFORMANCE UNITISED ALUMINIUM WINDOWS, WITH INTERMITTENT SANDSTONE AND PRECAST CLADDING
- FT6 FRAMELESS GLAZING
- FT7 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH ALUMINIUM PROJECTED SLAB EDGE AND LOUVER BLADES
- FT8 METAL CYLINDERS WITH INTERMITTENT SANDSTONE CAPS
- FT9 PERFORATED METAL SCREEN
- FT10 STONE SCREEN AND CLADDING
- FT11 BRICKWORK

01	05/2021	Per Approval	05
02	05/2021	Per Approval	05
03	04/1/20	Per Approval	05K
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05	13/12/19	Per Information	05K
06	10/12/19	Per Information	05K

# CITY OF SYDNEY CITY PLANNING DIVISION

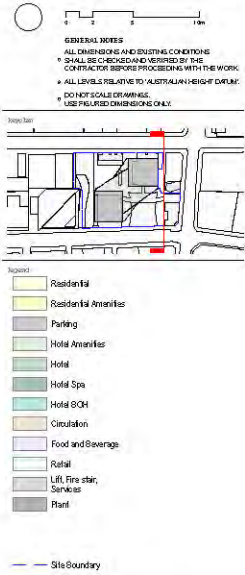
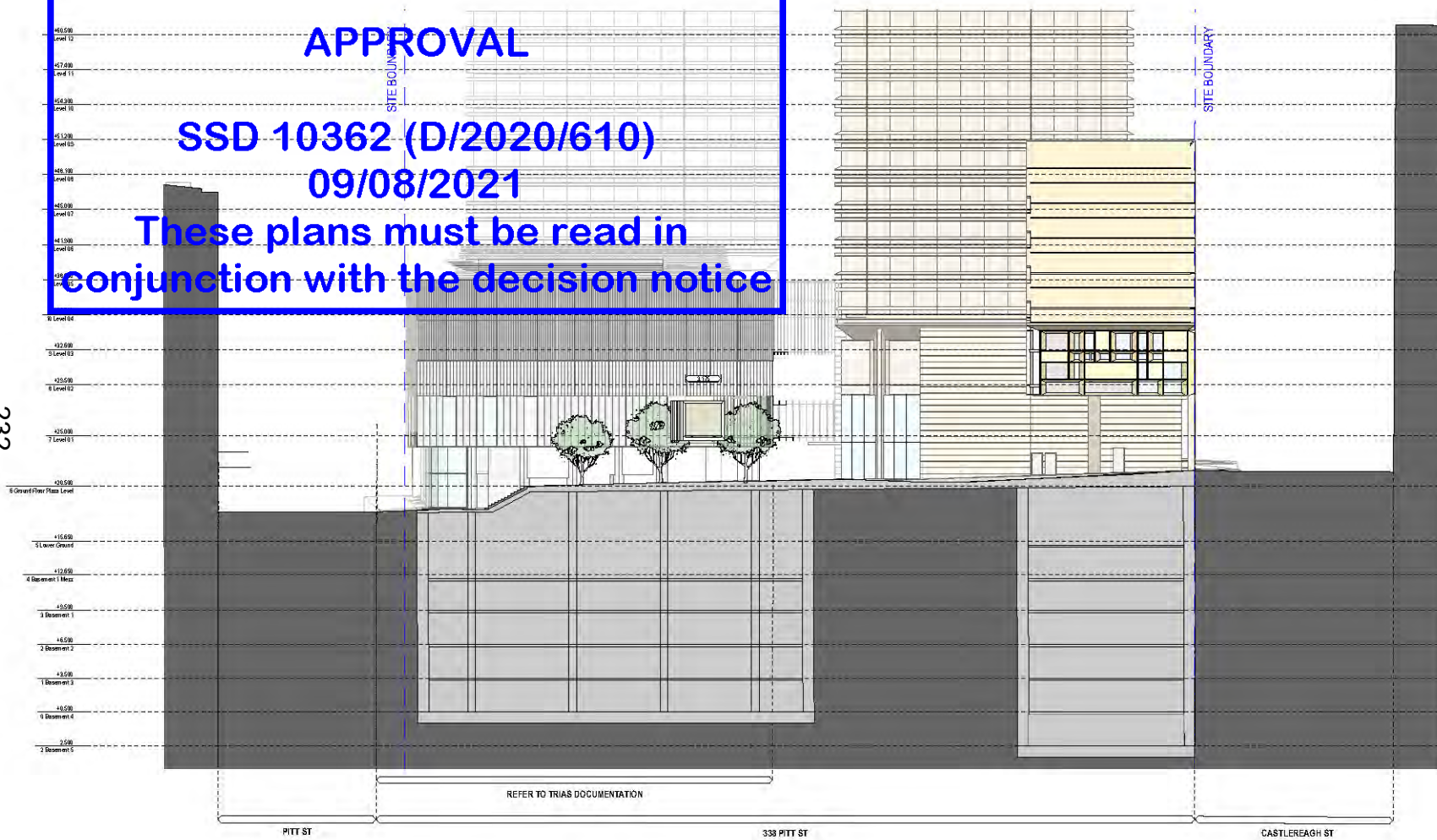
## APPROVAL

### SSD 10362 (D/2020/610)

### 09/08/2021

These plans must be read in  
conjunction with the decision notice

232



- FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING
- FT2 FRAMELESS SHOP FRONT GLAZING
- FT3 ALUMINUM FRAMED FLOOR TO FLOOR FRAMED GLAZING WITH INTERGLAZ MESH
- FT4 PROJECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERGLAZ MESH AND CLEAR GLAZING
- FT5 HIGH PERFORMANCE UNFINISHED ALUMINUM WINDOWS, WITH INTERMITTENT SANDSTONE AND PRECAST GLAZING
- FT6 FRAMELESS GLAZING
- FT7 ALUMINUM FRAMED GROUND TO FLOOR FRAMED GLAZING WITH ALUMINUM PROJECTED SLAB EDGE AND LOUVER BALCONIES
- FT8 METAL CYLINDERS WITH INTERMITTENT SANDSTONE CAPS
- FT9 PERFORATED METAL SCREEN
- FT10 STONE SCREEN AND GLAZING
- FT11 BRICKWORK

REV	DATE	BY	APP	CHK
01	10/12/19	Per Approval	10	10
02	04/11/20	Per Approval	20K	20K
03	04/11/20	Per Publication and Publication	20K	20K
04	13/12/19	Per Publication	20K	20K
05	10/12/19	Per Publication	20K	20K

For Approval

038 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

4200 1:200 Sections  
Podium Section - East West C

scale	1:200 @ A1	sheet no.	10/12/19
project no.	4202	revision	06

For Approval

# CITY OF SYDNEY CITY PLANNING DIVISION

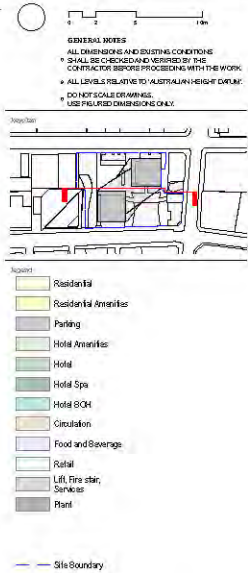
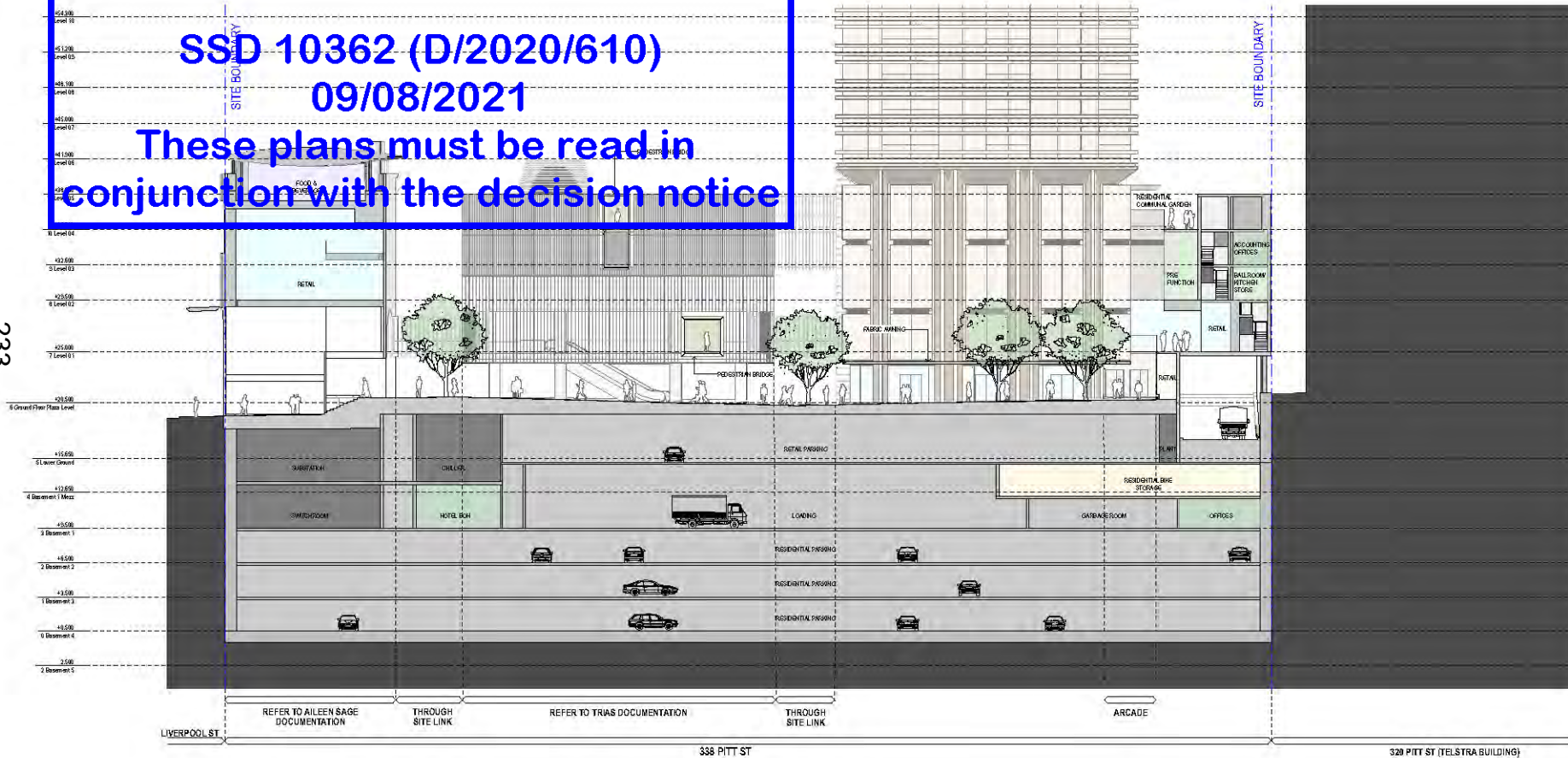
## APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

These plans must be read in  
conjunction with the decision notice

233



- FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING
- FT2 PAVED/SLAB SANDSTONE CLADDING
- FT3 ALUMINUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH INTERSLAT MESH
- FT4 PROJECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERSLAT MESH AND CLEAR GLAZING
- FT5 HIGH PERFORMANCE UNFINISHED ALUMINUM WINDOWING WITH INTERMITTENT SANDSTONE AND PRECAST CLADDING
- FT6 FRAMELESS GLAZING
- FT7 ALUMINUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH ALUMINUM PROJECTED SLAB EDGE AND LOUVER BLADES
- FT8 METAL CYLINDERS WITH INTERMITTENT SANDSTONE CAPS
- FT9 PERFORATED METAL SCREEN
- FT10 STONE SCREEN AND CLADDING
- FT11 BRICKWORK

Rev	Description	Per Approval	Date
01	Initial Design	Per Approval	09/08/2021
02	Revised Design	Per Approval	09/08/2021
03	Final Design	Per Approval	09/08/2021
04	Final Design	Per Approval	09/08/2021
05	Final Design	Per Approval	09/08/2021
06	Final Design	Per Approval	09/08/2021
07	Final Design	Per Approval	09/08/2021

For Approval

038 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

4200 1:200 Sections  
Podium Section - North South A

Scale: 1:200 @ A1  
Project No: 4203  
Revision: 07

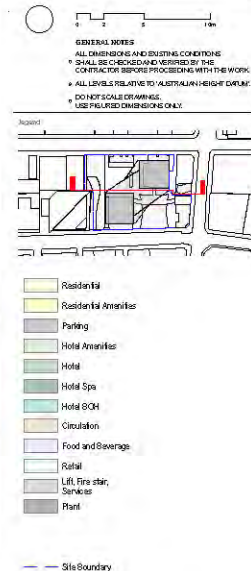
For Approval

## APPROVAL

**SSD 10362 (D/2020/610)**

09/08/2021

**These plans must be read in conjunction with the decision notice**



- FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING
- FT2 PAINTED SLIDING CLADDING
- FT3 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH INSULATING MESH
- FT4 PROJECTED METAL FRAMES, INTENSIFIED GLAZING WITH INSULATING MESH AND CLEAR GLAZING
- FT5 HIGH PERFORMANCE UNFRAMED ALUMINIUM HIGH PERFORMANCE FRAMED SLIDING STONE AND PROJECT GLAZING
- FT6 FRAMELESS GLAZING
- FT7 ALUMINIUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH ALUMINIUM PROJECTED SLIDING AND LOCKING BARS
- FT8 METAL CYLINDERS WITH INTENSIFIED SLIDING STONE CAPS
- FT9 PERFORATED METAL SCREEN
- FT10 STONE SCREEN AND GLAZING
- FT11 BRICKWORK

05/02/2011	Per Approval	10
05/19/2011	Per Approval	75
04/04/2010	Per Approval	12K
04/14/2010	Per Checkpoint and Application	12K
05/13/2012	Per Information	12K
05/10/2012	Per Information	12K

**(no shade)** architecture interior architecture community  
agency in alabama inc  
Level 2, 70 King Street t +61 9 923 2072 w firstbuild.com

project  
338 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

**4200 1:200 Sections**  
**Podium Section - North South B**

order	1-200 @ A1	first issued	10/12/19
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Year	1990	1991	1992	1993
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1991	1.00	1.00	1.00	1.00
1992	1.00	1.00	1.00	1.00
1993	1.00	1.00	1.00	1.00

project code	sheet no.	rev/date
11328	1204	00

H338	4204	06
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**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

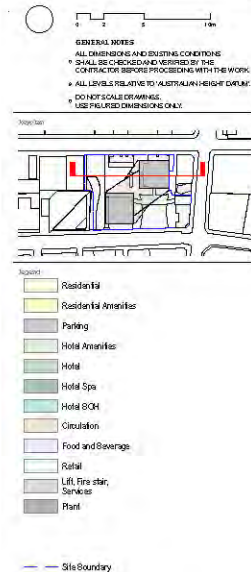
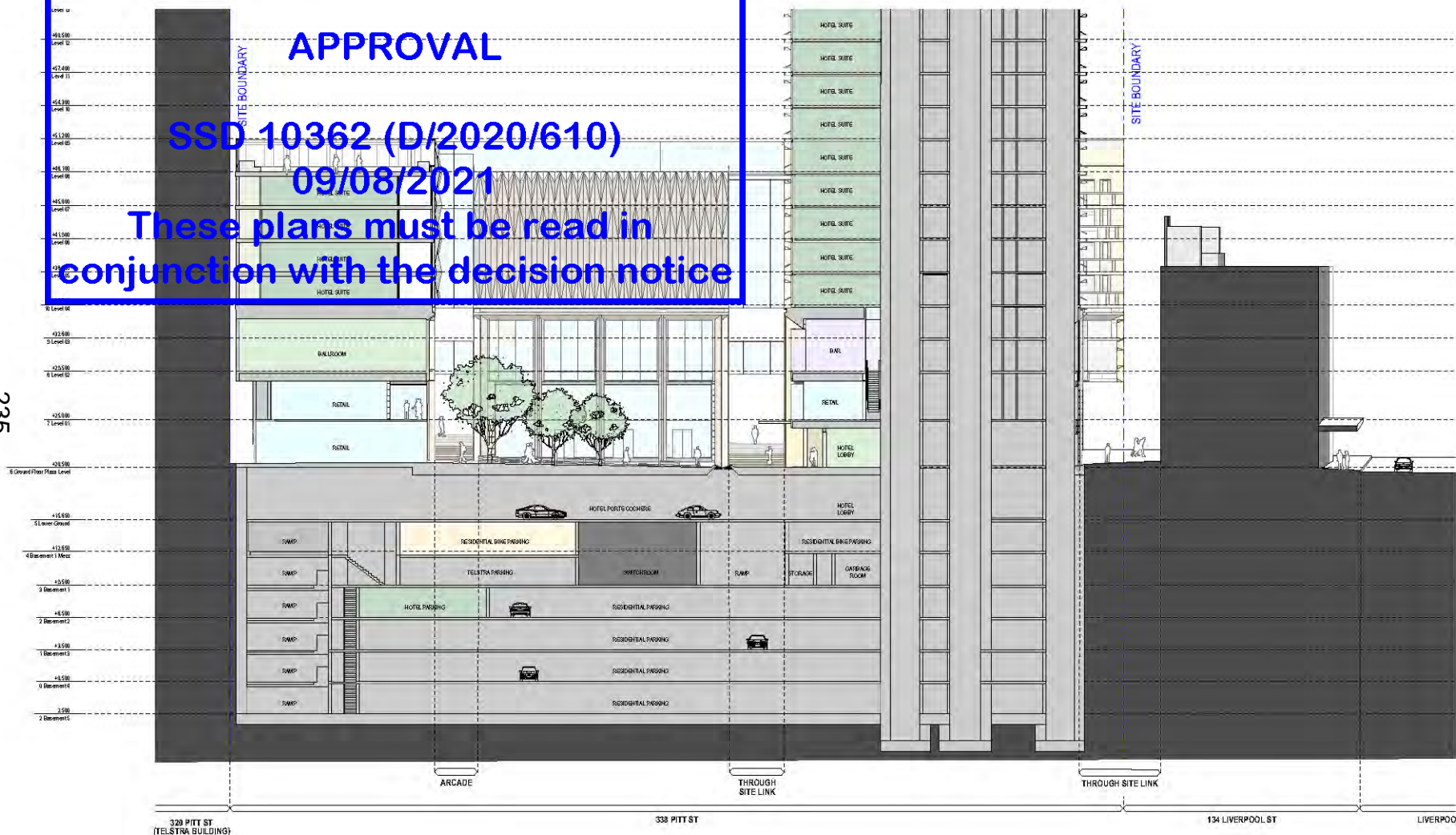
## APPROVAL

### SSD 10362 (D/2020/610)

### 09/08/2021

These plans must be read in  
conjunction with the decision notice

235



- FT1 FULL HEIGHT FRAMELESS SHOP FRONT GLAZING
- FT2 FRAMELESS SHOP FRONT GLAZING
- FT3 ALUMINUM FRAMED FLOOR BY FLOOR FRAMED GLAZING WITH INTERLAY MESH
- FT4 PROJECTED METAL FRAMES, INTERMITTENT GLAZING WITH INTERLAY MESH AND CLEAR GLAZING
- FT5 HIGH PERFORMANCE UNITIZED ALUMINUM WINDOWING, WITH INTERMITTENT SANDSTONE AND PRECAST CLADDING
- FT6 FRAMELESS GLAZING
- FT7 ALUMINUM FRAMED GROUND FLOOR FRAMED GLAZING WITH ALUMINUM PROJECTED SLAB EDGE AND LOUVER BALCONIES
- FT8 METAL CYLINDERS WITH INTERMITTENT SANDSTONE CARP
- FT9 PERFORATED METAL SCREEN
- FT10 STONE SCREEN AND CLADDING
- FT11 BRICKWORK

REV	DATE	BY	APP	DESCRIPTION
01	05/05/20	Per Approval	108	
02	05/05/20	Per Approval	108	
03	05/05/20	Per Approval	108	
04	05/05/20	Per Approval	108	
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07	05/05/20	Per Approval	108	
08	05/05/20	Per Approval	108	
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10	05/05/20	Per Approval	108	

For Approval

038 Pitt Street  
338 Pitt Street  
Sydney NSW 2000

4200 1:200 Sections  
Podium Section - North South C

SCALE	1:200 @ A1	DATE	10/12/19
PROJECT NO.	4205	REVISED NO.	07

Contact

E:studio@trias.com.au

Nominated Architect

Casey Bryant NSW 9652 VIC 18129  
Jennifer McMaster NSW 10693

Intellectual Property

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Compliance

Comply with all relevant authorities, NCC and Australian Standards. Dimensions in mm. Do not scale from drawings - use figured dimensions only and notify architect if discrepancy exists.

Date	Rev.	Description
08.11.19	A	Consultant Issue
18.11.19	B	Consultant Review
18.11.19	C	Consultant Review
18.11.19	D	Consultant Review
18.11.19	E	Consultant Review
20.11.19	F	Issue to fjmt
22.11.19	G	Issue to fjmt
04.12.19	H	Issue to fjmt
12.12.19	I	Issue to fjmt

Project

338 Pitt Street  
Sydney CBD

Client

Hans  
FJMT

Status

Development Application (DA)

Scale

1:250 @ A3

North



Drawing

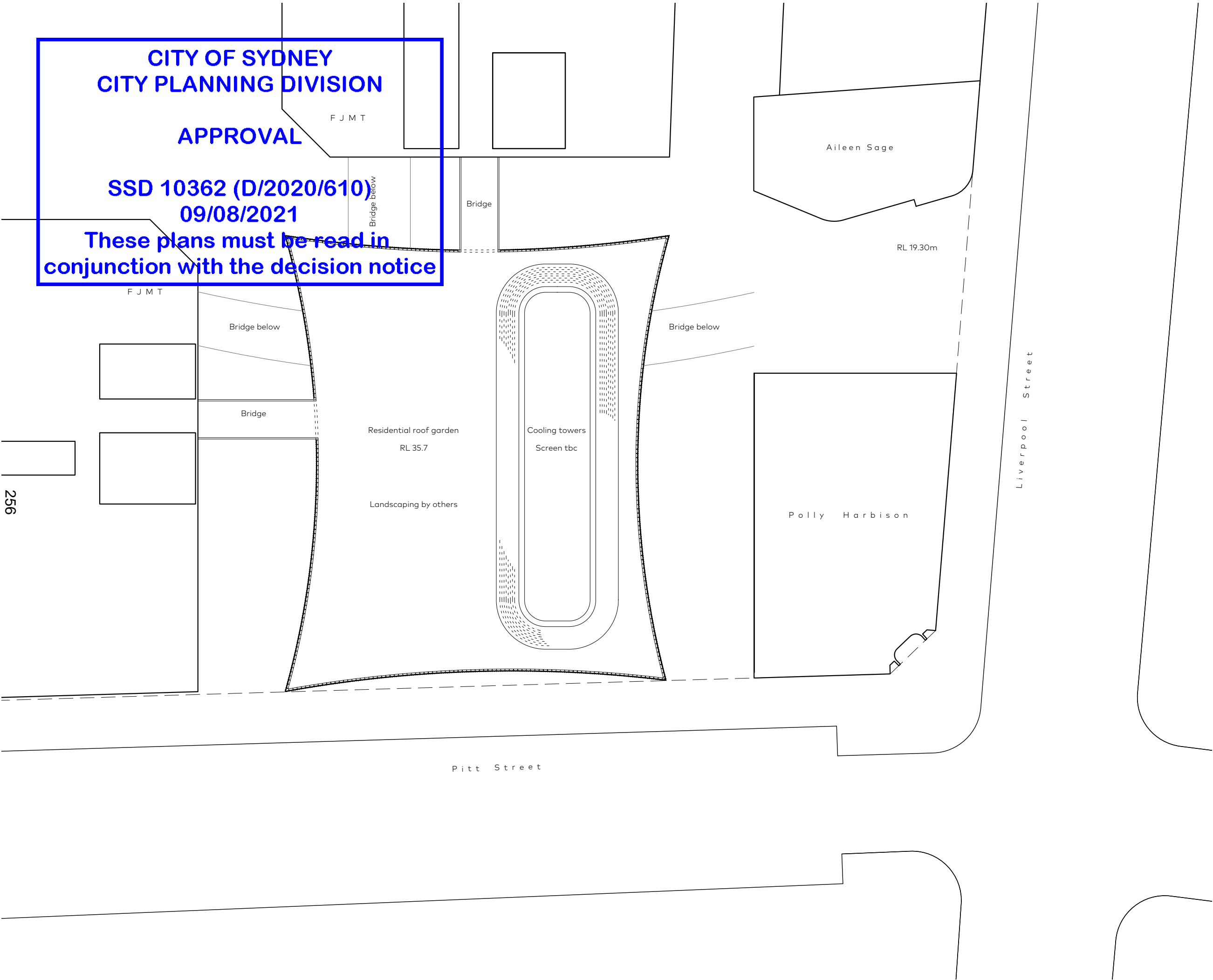
Roof Plan : Residential Roof Garden

Project No.

P1816

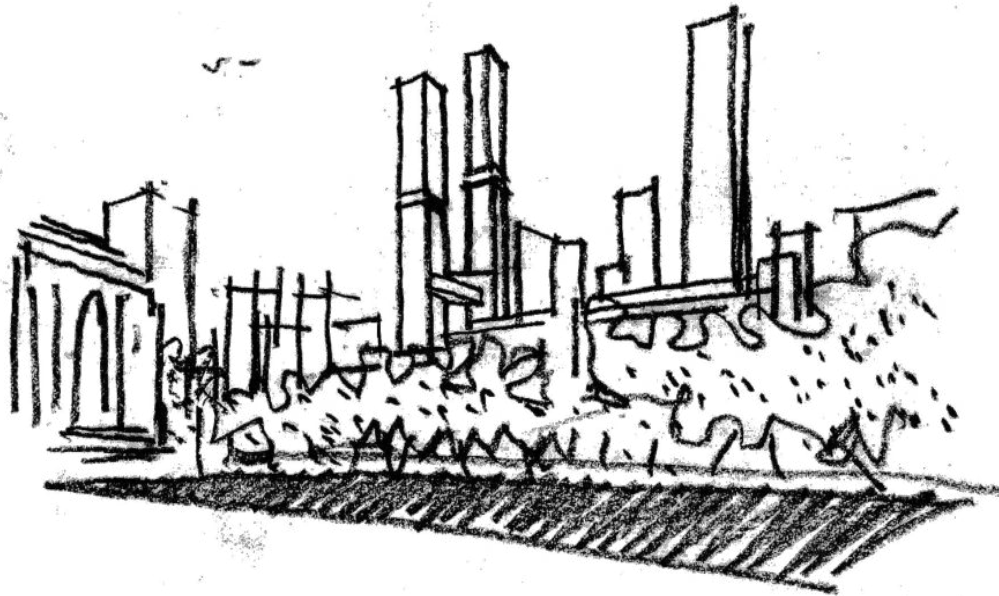
Sheet

DA-105



# APPROVAL

**These plans must be read in conjunction with the decision notice**



	SITE BOUNDARY
	EXISTING TREES
	PROPOSED TREES GROUND FLOOR PLAZA
	PROPOSED TREES TERRACES
	PROPOSED AREAS OF MASS PLANTING
	PROPOSED AREAS OF TURF
	PAV1 - CITY OF SYDNEY PUBLIC DOMAIN
	PAV2 - GRANITE WITH BANDS PLAZA
	PAV3 - GRANITE WITH BANDS TERRACES
	PAV4 - GRANITE WITH BANDS TERRACES
	RM1 - RETAINING WALL TERRACES
	RM2 - RETAINING WALL WITH INTEGRATED SEATING
	SE1 - PLAZA SEATING INTEGRATED WITH PAVING
	SE2 - TREE PITS INTEGRATED WITH PAVING
	T02 - PLANKS OVER WATER TO SPA POOLS
E+18.000 T0+18.300 T6+18.720	EXISTING LEVELS TOP OF KERB REDUCED LEVEL

[illegible]

legend

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**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

These plans must be read in  
conjunction with the decision notice

CASTLEMEAD STREET

LEVEL 08 HOTEL ROOFTOP & SPA  
(REFER DRAWING 8004)

LEVEL 08 HOTEL ROOFTOP  
(REFER DRAWING 8004)

GROUND FLOOR PLAZA  
(REFER DRAWING 8002)

SKY BRIDGE RESIDENTIAL ROOFTOP  
(REFER DRAWING 8005)

LEVEL 04 RESIDENTIAL ROOFTOP  
(REFER DRAWING 8003)

LEVEL 04 RESIDENTIAL ROOFTOP  
(REFER DRAWING 8003)

LEVEL 04 RETAIL TERRACE  
(REFER DRAWING 8003)

PITT STREET

STREET  
LIVERPOOL

291

2 PLAN Site plan  
NTS

04	20/05/21	Pre Approval	05	07
05	12/05/20	Pre Approval	10	07
06	24/11/20	Pre Approval	105	07
07	14/12/20	Pre Development Application	106	07
rev	date	status	by	chk

Landscape Architecture in Association with

first studio architecture interior landscape urban community  
gillies architecture llc  
Level 5, 70 King Street & 451 2 8251 7077 • [firststudio.com](http://firststudio.com)

**fjmt**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**Landscape Plans**  
**Site / Key Plan**

scale first issued 14/1/20

project code sheet no. revision

H338 8001 04

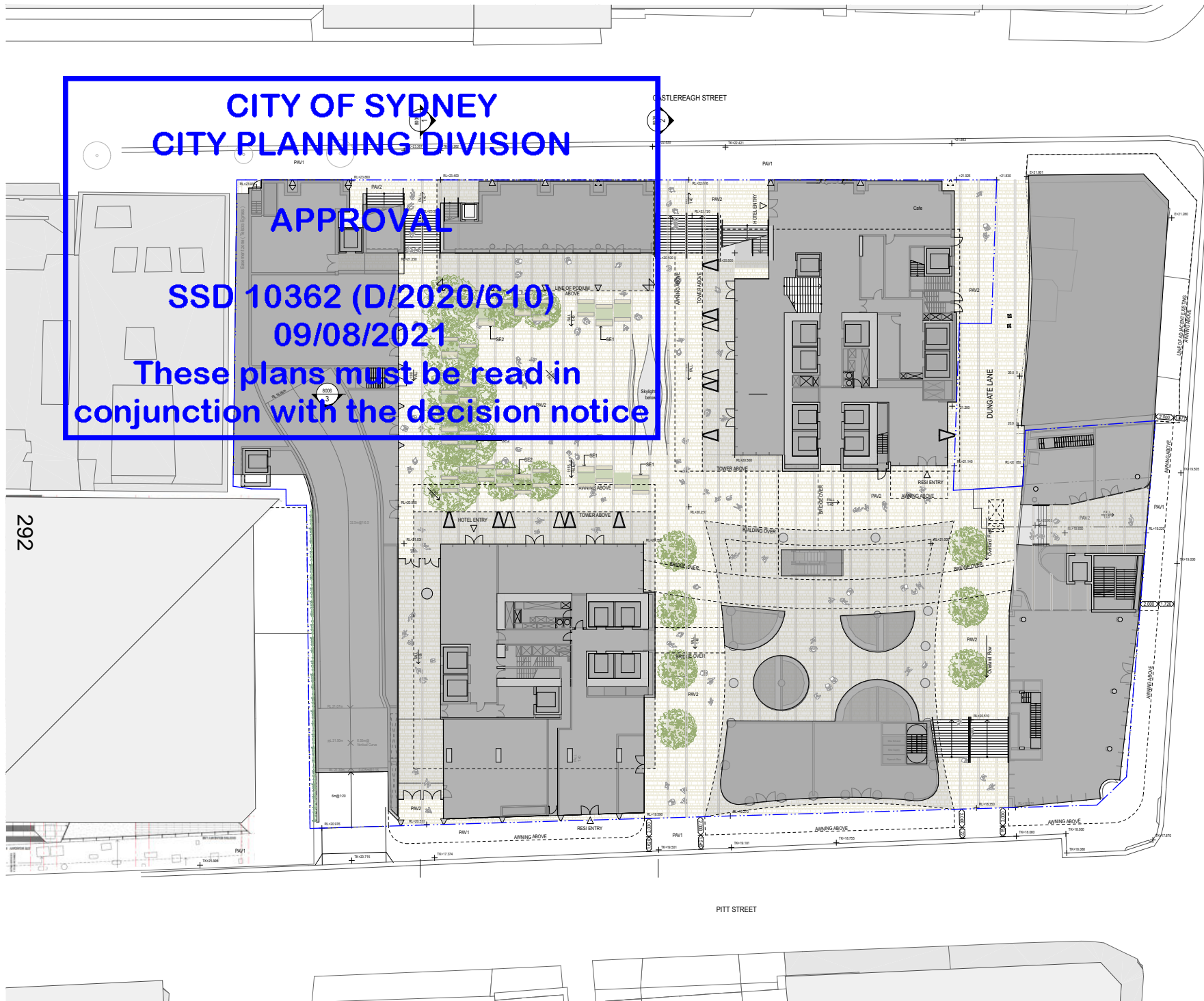
For Approval

# CITY OF SYDNEY CITY PLANNING DIVISION

**APPROVAL**

**SSD 10362 (D/2020/610)**  
**09/08/2021**

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LIVERPOOL STREET

PITT STREET

rev	date	name	by	chk
01	05/05/21	Pre Approval	IS	BT
02	05/05/21	Pre Approval	IS	BT
03	24/11/20	Pre Approval	KSC	BT
04	14/12/20	Application	KSC	BT

Landscape Architecture in Association

lpa studio architecture interior landscape urban community  
gillian williams lpa  
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**project**  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

**title**  
**Landscape Plans**  
**Ground Floor - Hotel Lobby+Residential**  
**Lobby+Retail**

**scale** 1:200 @ A1 **first issued** 14/1/20

project code	sheet no.	revision
H338	8002	04

**For Approval**

# CITY OF SYDNEY CITY PLANNING DIVISION

APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

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conjunction with the decision notice

293

CASTLEREAGH STREET

PITT STREET

- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
  - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
  - DO NOT SCALE DRAWINGS.
  - USE FIGURED DIMENSIONS ONLY.
- Legend**
- SITE BOUNDARY
  - EXISTING TREES
  - PROPOSED TREES GROUND FLOOR PLAZA
  - PROPOSED TREES TERRACES
  - PROPOSED AREAS OF MASS PLANTING
  - PROPOSED AREAS OF TURF
  - PAW1 - CITY OF SYDNEY PUBLIC DOMAIN
  - PAW2 - GRANITE WITH BANDS PLAZA
  - PAW3 - GRANITE WITH BANDS TERRACES
  - PAW4 - GRANITE WITH BANDS TERRACES
  - RW1 - RETAINING WALL TERRACES
  - RW2 - RETAINING WALL WITH INTEGRATED SEATING
  - SE1 - PLAZA SEATING INTEGRATED WITH PAVING
  - SE2 - TREE PITS INTEGRATED WITH PAVING
  - T02 - PLANKS OVER WATER TO SPA POOLS
  - EXISTING LEVELS
  - TOP OF KERB
  - REDUCED LEVEL
- E=18.000  
TK=18.300  
RL=18.720

01	20/05/21	For Approval	RS	BT
02	12/05/20	For Approval	TS	BT
03	24/11/20	For Approval	KSK	BT
04	14/11/20	For Development Application	KSK	BT
REV	08/08	Revised	BY	CLB

Landscape Architecture in Association

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**fjmt**

project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**Landscape Plans**  
**Level 4 - Hotel+Retail rooftop**  
**+Residential Amenity**

scale 1:200 @ A1 first issued 14/1/20

project code sheet no. revision

H338 8003 04

For Approval

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**Legend**

- SITE BOUNDARY
- EXISTING TREES
- PROPOSED TREES GROUND FLOOR PLAZA
- PROPOSED TREES TERRACES
- PROPOSED AREAS OF MASS PLANTING
- PROPOSED AREAS OF TURF
- PAV1 - CITY OF SYDNEY PUBLIC DOMAIN
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- PAV3 - GRANITE WITH BANDS TERRACES
- PAV4 - GRANITE WITH BANDS TERRACES
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- SE2 - TREE PITS INTEGRATED WITH PAVING
- T02 - PLANKS OVER WATER TO SPA POOLS
- E+18.000
- TK+18.300
- RL+18.720
- EXISTING LEVELS
- TOP OF KERB
- REDUCED LEVEL

# CITY OF SYDNEY CITY PLANNING DIVISION

APPROVAL

SSD 10362 (D/2020/610)

09/08/2021

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conjunction with the decision notice

294

04	09/08/21	For Approval	05	07
03	12/07/20	For Approval	02	07
02	24/11/20	For Approval	01	07
01	14/11/20	For Development Application	00	07

REV: 04/20

Landscaping Architecture in Association

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gabriel@3rdstudio.com.au  
Level 5, 70 King Street & +51 2 9251 7077 • 3rdstudio.com

project

**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title

**Landscape Plans**  
**Level 06 - Hotel+Hotel Rooftop Spa + Residential**

scale 1:200 @ A1

first issued 14/1/20

project code sheet no. revision

H338 8004 04

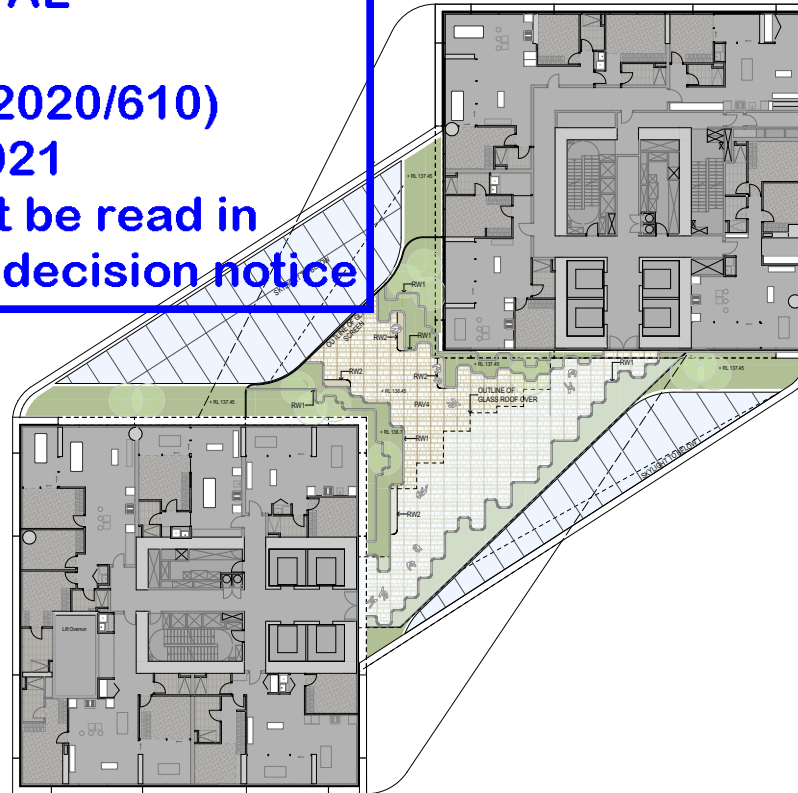
For Approval

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## APPROVAL

SSD 10362 (D/2020/610)  
09/08/2021

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**Legend**

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- SE1 - PLAZA SEATING INTEGRATED WITH PAVING
- SE2 - TREE PITS INTEGRATED WITH PAVING
- T22 - PLANKS OVER WATER TO SPA POOLS
- EXISTING LEVELS
- TOP OF KERB
- REDUCED LEVEL

295

01	20/05/21	Pre Approval	RS	BT
02	12/07/20	Pre Approval	RS	BT
03	24/11/20	Pre Approval	KSC	BT
04	14/12/20	Pre Development Application	KSC	BT
REV	08/08	Approval	BY	CLB

Landscape Architecture in Association with

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project  
**338 Pitt Street**  
338 Pitt Street  
Sydney NSW 2000

title  
**Landscape Plans**  
**Level 36 - Sky Bridge - Residential**  
**Amenity+Roof**

scale 1:200 @ A1 first issued 14/1/20

project code	sheet no.	revision
H338	8005	04

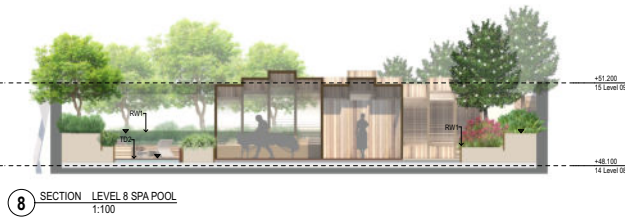
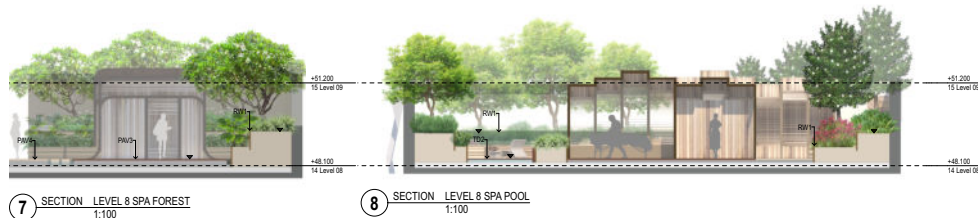
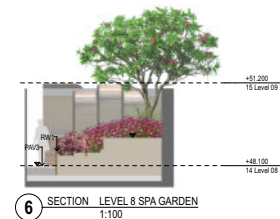
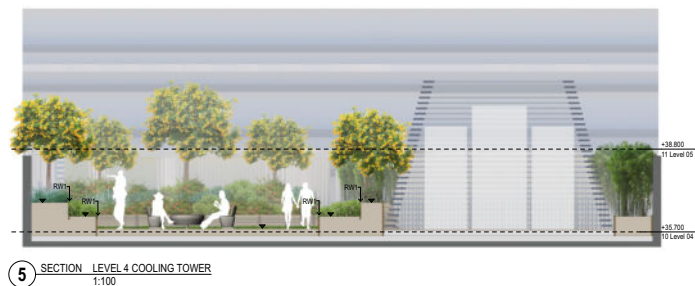
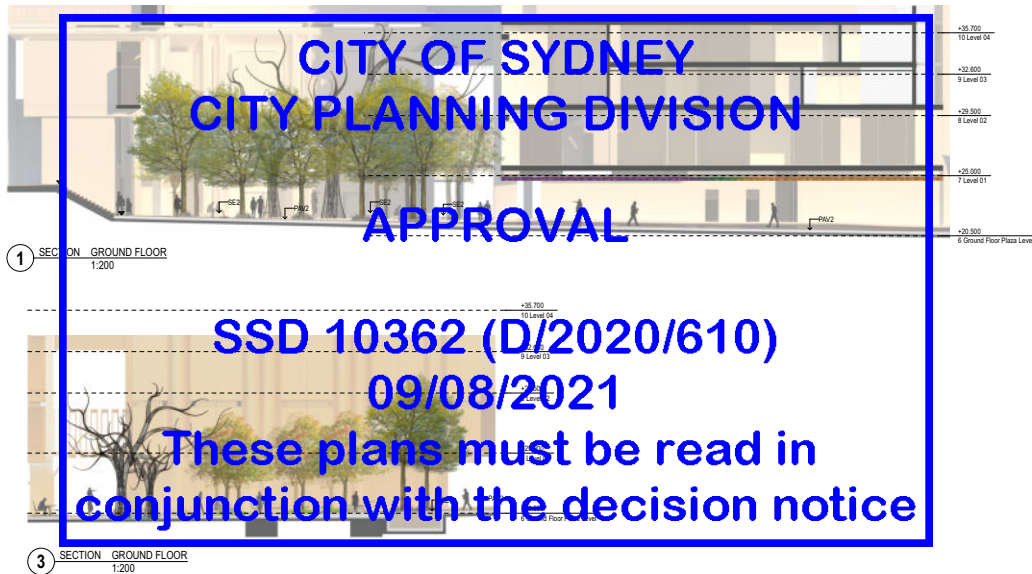
For Approval

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**Legend**

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- TK+18.350 TOP OF KERB
- RL+18.720 REDUCED LEVEL



04	20/05/21	Pre Approval	RS	BT
05	22/05/21	Pre Approval	RS	BT
06	24/07/20	Pre Approval	RS	BT
07	14/12/20	Pre Development Application	RS	BT
Rev	04/05	04/05	by	04/05

Landscape Architecture in Association with **fjmt**

project  
**338 Pitt Street**  
 338 Pitt Street  
 Sydney NSW 2000

title  
**Landscape Plans**  
**Landscape Sections**

scale 1:200 @ A1 first issued 14/1/20  
 project code sheet no. revision  
**H338 8006 04**

**For Approval**