

# **HERITAGE IMPACT STATEMENT**

**MORIAH COLLEGE,  
QUEENS PARK ROAD  
QUEENS PARK NSW 2022**

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Job Code	P0013492
Report Number	01 Draft for co-ordination 17 September 2019
	02 Report issue 31 October 2019

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# EXECUTIVE SUMMARY

Urbis has been engaged by Moriah War Memorial College to prepare the following Heritage Impact Statement. This Heritage Impact Statement (HIS) pertains to a State Significant Development (SSD) Application seeking staged consent for the redevelopment of the southern portion of the Senior School Campus. This HIS responds to and addresses the requirements of the Secretary's Environmental Assessment Requirements (SEARs) for SSD-10352.

The requirements have been outlined below in Table 1.

Table 1 – SEARs Requirements for SSD-10352.

SEARs Requirement	Refer to Section
A Statement of Heritage Impact (SOHI) should be prepared for the project by a suitably qualified heritage consultant in accordance with the guidelines in the NSW Heritage Manual.	Section 1.5 and Section 1.4
The SOHI is to address the impacts of the proposal on the heritage significance of the site and adjacent areas and is to identify the following:	Section 5
Identifies all heritage items (state and local) within and near the site, including built heritage, landscapes and archaeology, and includes detailed mapping of these items, and assessment of why the items and site(s) are of heritage significance.	Section 1.3
Assesses the proposal's impact on the heritage significance of heritage items or potential heritage items on, and near the development site.	Section 5
Assesses the proposal's impact on the heritage significance of heritage items or potential heritage items on, and near the development site.	Section 5
Addresses the proposal's compliance with policies of relevant Conservation Management Plans for the affected sites.	Section 5
Includes a detailed visual impact assessment along with photomontages.	Section 6.1
Provides detailed mitigation measures and strategies to avoid and mitigate any adverse impacts on heritage values of the affected sites.	Section 7
If the SOHI identifies impact on potential historical archaeology, a historical archaeological assessment should be prepared by a suitably qualified archaeologist in accordance with the Heritage Guidelines 'Archaeological Assessment' 1996 and 'Assessing Significance for Historical Archaeological Sites and Relics' 2009. This assessment should identify what relics, if any, are likely to be present, assess their significance and consider the impacts from the proposal on this potential archaeological resource. Where harm is likely to occur, it is recommended that the significance of the relics be considered in determining an appropriate mitigation strategy. If harm cannot be avoided in whole or part, an appropriate Research Design and Excavation Methodology should also be prepared to guide any proposed excavations or salvage programme.	Section 4.3

The subject site is listed as a Landscape Heritage Conservation Area ("Remnant Bushland" C57) under Schedule 5 of the *Waverly Local Environmental Plan 2012* (LEP). In addition, the subject site is located in the vicinity of a number of heritage sites as detailed in Table 2.

Due to the proximity of the site and historical relationship of the subject site with Centennial Park and Queens Park, this report has referenced the *Centennial Parklands Conservation Management Plan*, prepared by Conybeare Morrison & Partners (2003) for Centennial Parklands. However, the subject site has been excluded from the CMP. The site was originally part of the Centennial Parklands until it was repurposed during the inter-war period for the Eastern Suburbs Hospital. (constructed throughout the 1930s). The Moriah College has been located on the site since the late 1980s and has redeveloped the site to accommodate a Primary School, High School and Early Learning Centre.

Table 2 – Heritage listed sites located in the vicinity of the site

Item name	Address	Significance	Item No
<b>As listed under Schedule 5 of Waverly Council LEP 2012</b>			
Eastern Suburbs Banksia Scrub Landscape Conservation Area		Local	C40
Former Tram Shed	York Road	Local	I428
Centennial Park Landscape Conservation Area		State	C33
Queens Park Landscape Conservation Area		Local	C55
Alt Street Landscape Conservation Area		Local	C18
Queens Park Conservation Area—General		Local	C14
<b>As listed under Schedule 5 of Randwick Council LEP 2012</b>			
Centennial Park, including Federation monument, Superintendent's residence, park gates, 2 Corinthian columns, 2 statues	1R Oxford Street; 2R Darley Road; 1 Martin Road	State	I01
North Randwick Conservation Area		Local and State (in part)	C1

The proposed works are located to the southern portion of the site. The proposed works includes the demolition of nine school buildings and structures (including demountable) and to erect two new buildings in the south-eastern corner of the College site. These buildings will be low in scale (between three to four storeys) and will extend further south than the existing buildings (proposed for demolition). The new buildings will improve amenity for the College by providing new learning spaces for the High School. The two buildings are proposed in two stages, with the building along the eastern boundary being the first to be constructed and the one immediately to the west constructed as part of stage two. For this reason, the building proposed for stage two is concept only and indicates the overall location, scale and footprint. More detail has been provided for the building proposed for stage one.

In addition to the proposed building works, it is also proposed to remove a number of trees from the site the new buildings and landscaping works to improve the sports field to the north and courtyards within the Highschool.

These works have been assessed in detail in section 5 of this report however a summary of the assessment has been provided below.

- The isolation of the works to the south-eastern corner of the subject site, particularly along the eastern boundary places the proposed works an acceptable distance from the protect scrub land on site and on the adjacent lot. Therefore, the protected landscaped areas will not be affected.



- The low scale of the proposed new buildings ensures they will not overshadow the protected landscape areas.
- The buildings and structures proposed for demolition do not contribute to the landscape significance of the site. The buildings were constructed in the late twentieth century and do not have a historic or visual relationship with the surrounding vicinity items
- The use of the site will not be altered, therefore the character of the site and the contribution or existing relationship of the site to the surrounding heritage items and conservation areas will not be altered.
- The low scale and location of the proposed new buildings minimises any visual impacts to the visual relationships between Centennial Park and Queens Park. The only disturbance will be caused by the extension of the built form further south (in the current location of the tennis courts). However, due to the setback of the building from the boundary of the site and the clear views down York Road, this disruption is minor and will not detrimentally impact the visual relationships between the two parks.
- Due to the location of the proposed buildings and the existing College buildings along Queens Park Road (which will remain), they will not be visible from the Queens Park heritage Conservation Area. Likewise, the substantial distance and the low scale of the buildings, ensures they will have no physical or visual impacts to the North Randwick Conservation Area.
- In addition, the shelter located on York Street (I428) will not be impacted due to the scale of the heritage item and the physical separation of the proposed works created by the location on the opposite corner of the site. The proposed buildings will not be visible from the vicinity of the small shelter due to the existing College buildings, the low scale of the proposed buildings and topography of the site which slopes down to the south of the site.
- Overall, the works will not have any physical impacts to the vicinity items due to the isolation of the works.

Overall, the proposed works are acceptable from a heritage perspective.



# 1. INTRODUCTION

## 1.1. BACKGROUND

Urbis has been engaged by Moriah War Memorial College to prepare the following Heritage Impact Statement. This Heritage Impact Statement (HIS) pertains to a State Significant Development (SSD) Application seeking staged consent for the redevelopment of the southern portion of the Senior School Campus. This HIS responds to and addresses the requirements of the Secretary's Environmental Assessment Requirements (SEARs) for SSD-10352.

## 1.2. SITE LOCATION

The subject site is located at Queens Park Road, Queens Park (refer to Figure 1). The site consists of three allotments:

- 101 York Road, Queens Park/Lot 22 DP 879582 - approximate area of 4,830m<sup>2</sup>. The lot contains the ELC buildings and car parking.
- 1 Queens Park Road, Queens Park/Lot 1 DP 701512 - approximate area of 1.45 hectares. The lot comprises the junior school campus
- 3 Queens Park Road, Queens Park/Lot 3 DP 701512 - approximate area of 2.6 hectares. The lot comprises the senior school campus.

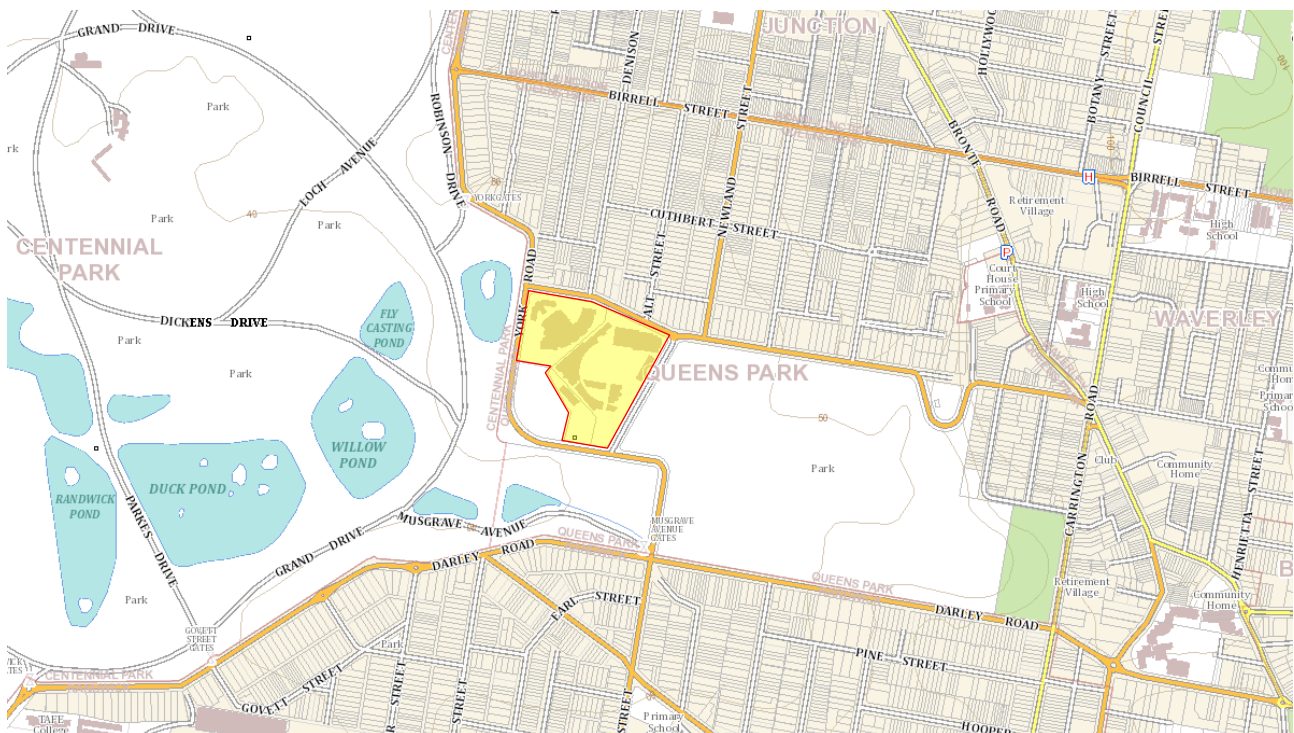


Figure 1 – Locality map with approximate location of subject site indicated by highlight

Source: Six Maps with Urbis overlay, 2019

## 1.3. HERITAGE LISTING

The subject site is listed as a landscape conservation area, Remanent Bushland Landscape Conservation Area (C57) as listed under Schedule 5 of the *Waverly Local Environment Plan 2012* (LEP), refer to Figure 1.

Additionally, the site is located in proximity to multiple heritage items as detailed in Table 3.

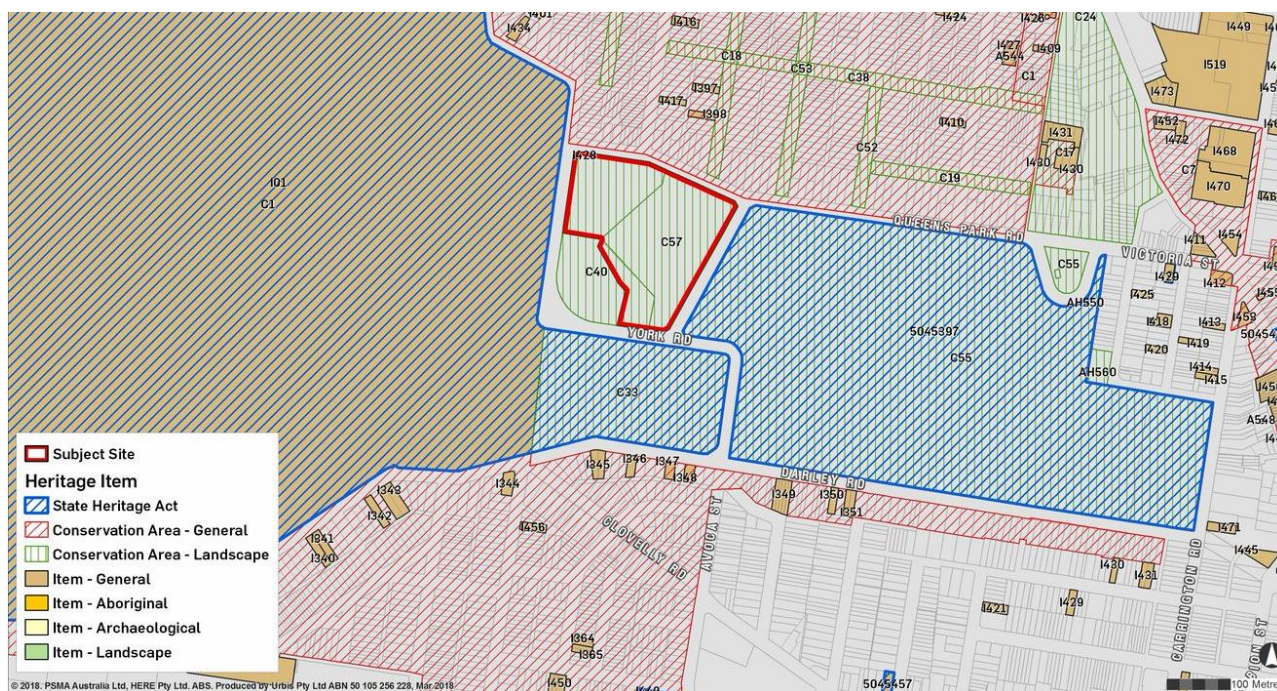


Figure 2 – Locality map with heritage overlays, approximate location of subject site indicated by red outline

Source: Urbis utilising available GIS data, 2019

Table 3 – Heritage listed sites located in the vicinity of the site

Item name	Address	Significance	Item No
<b>As listed under Schedule 5 of Waverly Council LEP 2012</b>			
Eastern Suburbs Banksia Scrub Landscape Conservation Area		Local	C40
Former Tram Shed	York Road	Local	I428
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Alt Street Landscape Conservation Area		Local	C18
Queens Park Conservation Area—General		Local	C14
<b>As listed under Schedule 5 of Randwick Council LEP 2012</b>			
Centennial Park, including Federation monument, Superintendent's residence, park gates, 2 Corinthian columns, 2 statues	1R Oxford Street; 2R Darley Road; 1 Martin Road	State	I01
North Randwick Conservation Area		Local and State (in part)	C1



## 1.4. METHODOLOGY

This Heritage Impact Statement has been prepared in accordance with the NSW Heritage Division guidelines 'Assessing Heritage Significance', and 'Statements of Heritage Impact'. The philosophy and process adopted is that guided by the *Australia ICOMOS Burra Charter 1999* (revised 2013).

Site constraints and opportunities have been considered with reference to relevant controls and provisions contained within the Waverly Local Environmental Plan 2012 and the Waverly Development Control Plan 2012.

In addition, consideration has been given to the *Centennial Parklands Conservation Management Plan*, prepared by Conybeare Morrison & Partners (2003) for Centennial Parklands. This is due to the proximity of the subject site to Centennial Park and Queens Park. The plan included below illustrates that the subject site has been excluded from the CMP however the document has been referenced in the history and assessment sections of this report (Section 3 and 5).

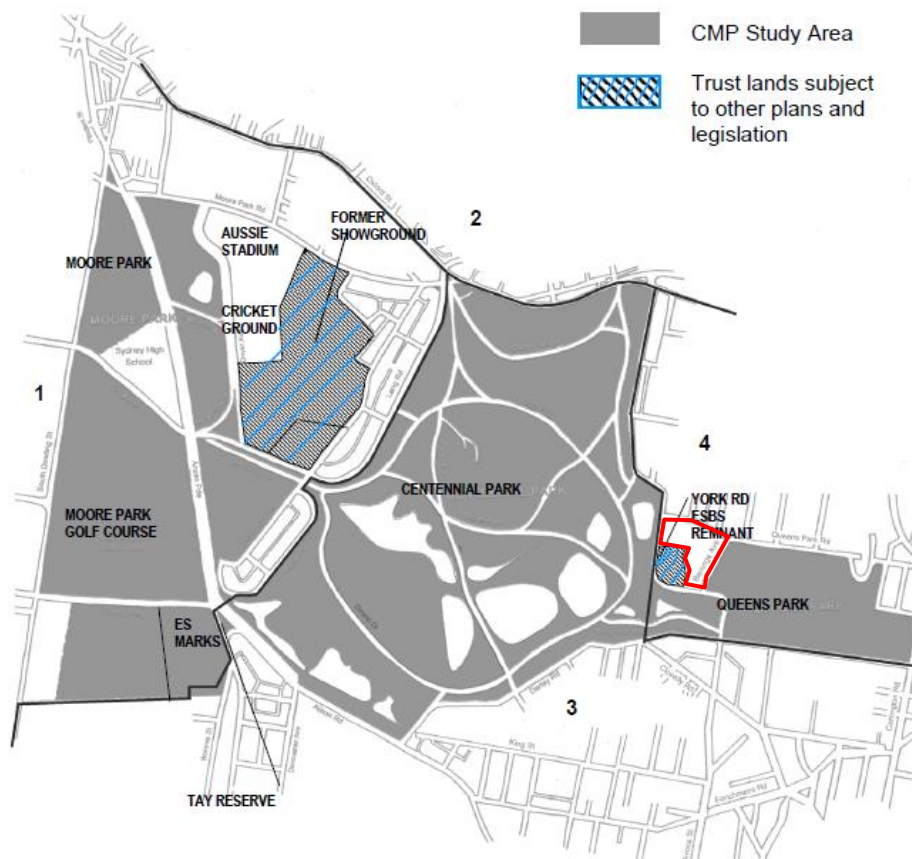


Figure 1: Local Councils areas that are adjacent to or encompass sections of Centennial Parklands

1. South Sydney City Council
2. Woollahra Council
3. Randwick City Council
4. Waverley Municipal Council

Figure 3 – Centennial Park CMP study area, approximate location of subject site indicated by red outline

Source: Conybeare Morrison & Partners and Centennial Parklands, "Centennial Parklands Conservation Management Plan" (2003).

## 1.5. AUTHOR IDENTIFICATION

The following report has been prepared by, Bernice Phillips (Heritage Consultant) and Alida Eisermann (Senior Consultant).

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis.

## 2. SITE DESCRIPTION

### 2.1. SUBJECT SITE

Moriah War Memorial College or Moriah College is located at Queens Park Road, Queens Park. The site is legally defined as Lot 1 DP 701512, Lot 3 DP 701512, and Lot 22 DP 879582. The site is bounded by Queens Park Road to the north, York Road to the south and west, and Baronga Avenue to the east. Queens Park is located to the east of the site and Centennial Park is located to the west and south. Residential dwellings are located to the north.

The College grounds contain a security fence around the perimeter and significant use of vegetation for privacy. The College has four entry gates, at York Road (Gates 1 and 4) to the west and south, Queens Park Road to the north (Gate 2) and Baronga Avenue (Gate 3) to the east. Three carparks are located on site for staff and visitors.

The area of the site in which works are proposed is the College High School, which occupies the eastern and southern portions of the College site (shown below at Figure 4, outlined in red). The Primary School is located in the north-west corner of the site which includes a remnant building from the Hospital (on the north-west corner), the earliest structure located on the site. The early learning centre in the south-east corner is a recent addition to the site. The early learning centre consists of demountable buildings (refer to Figure 39) and an outdoor play area which is within the subject area of the proposed works for Stage 2.

The architectural style of the buildings located on the site vary as the college was constructed in stages. Notwithstanding, all built structures located on the college grounds are between 1-3 storeys in height and are constructed in brick with typically a yellow or red brick finish, typically the built structures have concrete and metal walkways that provide access to upper levels. Some of the school buildings were constructed with a concrete wall to resemble Jerusalem Stone. This technique is shown in figures Figure 17 and Figure 21.

A number of courtyards are also scattered between the buildings, providing communal outdoor areas. In addition, there are two tennis courts (located in the south-east of the site) and sports fields in the north-east.



Figure 4 – Aerial view of the locality with approximate boundaries of the college, outlined in blue. The general area of the proposed works is outlined in red.

Source: Six Maps, 2019





Figure 5 – View east over the northern-east sports field.  
Source: Urbis, 2019.



Figure 6 – Temporary building/structure located along the northern sports field.  
Source: Urbis, 2019.



Figure 7 – View south.  
Source: Urbis, 2019.



Figure 8 – View south-west towards the Biggs Family Cafeteria.  
Source: Urbis, 2019.



Figure 9 – View south-west across the central courtyard.  
Source: Urbis, 2019.



Figure 10 – View south-west towards the Biggs Family Cafeteria.  
Source: Urbis, 2019.



Figure 11 – View west of the northern façade of the Harry Triguboff Jewish Studies Building

Source: Urbis, 2019.



Figure 12 – View north, onto courtyard. Moshe Triguboff Auditorium located on the left.

Source: Urbis, 2019.

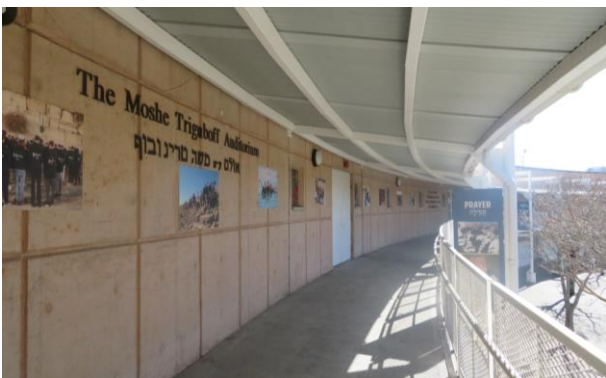


Figure 13 – View north, from first floor walkway along the Moshe Triguboff Auditorium.

Source: Urbis, 2019.



Figure 14 – View east along first floor walkway on

Source: Urbis, 2019



Figure 15 – View south-east from the first-floor walkway of the Harry Triguboff Jewish Studies Building.

Source: Urbis, 2019



Figure 16 – Typical classroom within the Harry Triguboff Jewish Studies Building.

Source: Urbis, 2019





Figure 17 – View of the northern façade wall of the Harry Triguboff Jewish Studies Building. With the use of a particular concrete technique to resemble Jerusalem Stone.

Source: Urbis, 2019



Figure 18 – View south from the first floor walkway to the entrance to the Hugo Lowy Synagogue.

Source: Urbis, 2019



Figure 19 – The eastern façade of the Harry Triguboff Jewish Studies Building.

Source: Urbis, 2019



Figure 20 – The eastern end of the Harry Triguboff Jewish Studies Building.

Source: Urbis, 2019



Figure 21 – The Brender Moss Library.

Source: Urbis, 2019



Figure 22 – View south along the eastern façade of the Brender Moss Library building. The Gavshon Goulburn Independent Learning Centre building can be seen in the distance.

Source: Urbis, 2019



Figure 23 – The Brender Moss Library interior.

Source: Urbis, 2019



Figure 24 – The Brender Moss Library interior.

Source: Urbis, 2019



Figure 25 – Ground floor of The Gavshon Goulburn Independent Learning Centre.

Source: Urbis, 2019



Figure 26 – View south, from first floor walkway at The Gavshon Goulburn Independent Learning Centre.

Source: Urbis, 2019



Figure 27 – Typical classroom.

Source: Urbis, 2019



Figure 28 – Locker area.

Source: Urbis, 2019





Figure 29 – View south across the carpark located at Gate 4 (from York Road).

Source: Urbis, 2019



Figure 30 – *Ficus benjamina* or Benjamina Fig located within carpark (tennis courts located behind).

Source: Urbis, 2019



Figure 31 – View east over tennis court.

Source: Urbis, 2019



Figure 32 – View north-east at both tennis courts.

Source: Urbis, 2019



Figure 33 – View south-west toward day-care centre (The Johns I Einfield AM Building in the distance).

Source: Urbis, 2019



Figure 34 – View north back toward College buildings.

Source: Urbis, 2019

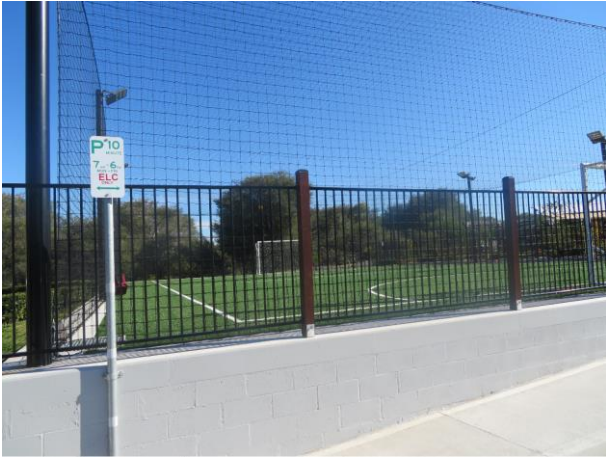


Figure 35 – Small soccer field located on the western side of the parking lot.

Source: Urbis, 2019



Figure 36 – View south-east at pavilion (school pick up area).

Source: Urbis, 2019



Figure 37 – Rear (southern façade) of the School buildings.

Source: Urbis, 2019



Figure 38 – Early learning centre play area.

Source: Urbis, 2019.



Figure 39 – Rear of the early learning centre building.

Source: Urbis, 2019



Figure 40 – Rear of the Synagogue.

Source: Urbis, 2019.



## 2.2. EASTERN SUBURBS BANKSIA SCRUB

The lot located in the south-west corner of the subject block (Lot 23 DP 879582) is excluded from the subject site and is used as a conservation and protected area for the Eastern Suburbs Banksia Scrub which is a critically endangered ecological community. The scrub land in this site is still part of Centennial Parklands however an agreement is in place with the College that allows them to help protect and manage the area.<sup>1</sup>

A portion of this scrub land is also located within the College grounds, to the south of the carpark located in the north-west corner (shown below at Figure 41 and circled in green). It is understood that this area is protected and must not be disturbed.

The following description of the protected scrub land has been sourced from the NSW Office of Environment and Heritage, Threatened Species database.

*Description* Predominantly a sclerophyllous heath or scrub community although, depending on site topography and hydrology, some remnants contain small patches of woodland, low forest of limited wetter areas. Common species include *Banksia aemula*, *B. ericifolia*, *B. serrata*, *Eriostemon australasius*, *Lepidosperma laterale*, *Leptospermum laevigatum*, *Monotoca elliptica* and *Xanthorrhoea resinifera*.

*Distribution* Once occupied around 5,300 hectares of land between North Head and Botany Bay in Sydney's eastern suburbs. Surviving stands totalling approximately 146 hectares have been recorded from the local government areas of Botany, Randwick, Waverly and Manly.<sup>2</sup>



Figure 41 – Protected scrub land on the College site. Indicated in red (informed by Waverly Council). Part of the area of proposed works is outlined in red.

Source: Six Maps.

<sup>1</sup> This information was provided by Moriah College.

<sup>2</sup> NSW Office of Environment and Heritage, "Eastern Suburbs Banksia Scrub in the Sydney Basin Bioregion -profile", <https://www.environment.nsw.gov.au/threatenedspeciesapp/profile.aspx?id=10257>.





Figure 42 – View of the scrub land on the adjacent site (Lot 23, DP 879582).

Source: Urbis, 2019.



Figure 43 – View of the scrub land on the College Site, just on the inside of Gate 1 (from York Road).

Source: Urbis, 2019.

## 2.3. VICINITY HERITAGE ITEMS

In addition to the Eastern Suburbs Banksia Scrub landscape conservation area, the subject site is located in the vicinity of the State Heritage Item, “Centennial Park, Moore Park, Queens Park”, the local heritage item, “Former Tram Depot” (shelter), the Queens Park Heritage Conservation Area and the Alt Street Park Landscape Conservation Area. The subject site was formerly part of Queens Park (Centennial Park) however it was rezoned in early twentieth century for the Eastern Suburbs Hospital and was removed from the Parklands site.



### 2.3.1. Centennial Park

The subject site is located east of the Model Yacht Pond which is located in the south-east corner of Centennial Park. This section of the park has tall trees (pine trees and fig trees) that runs along the eastern fence line (across the road from the College site) on York Road. Therefore, there are limited views to the College from the Park. The views facing east from within the Park are shown below at Figure 45 and Figure 46.



Figure 44 – View south-west along the tree line around the Model Yacht Pond.

Source: Urbis, 2019.



Figure 45 – View west from the southern edge of the pond. Limited visibility through the trees.

Source: Urbis, 2019



Figure 46 – Views west from the northern edge of the pond. Limited views of the old hospital building on the corner of York Road and Queens Park Road is visible.

Source: Urbis, 2019.

### 2.3.2. Queens Park

Queens Park sports field is located to the west. This park is much more open and clearer views toward the eastern side of the College are present. However, these views are interrupted by the vegetation on the school grounds. Queens Park is a large urban park with numerous playing fields located on the southern and western flattish sections of the park. The park is surrounded by houses on three sides (to the north, east and south) and Centennial Parks and the subject site to the west. Tall trees are located on the corners of the western boundary including, the south-west corner across from the school (on the corner of York Road and Baronga Avenue).



Figure 47 – View south down Baronga Avenue with the subject site on the right and Queens Park on the left.

Source: Urbis, 2019.



### 2.3.3. Former Tram Depot

The “Former Tram Depot” is a small brick shelter with a hipped terracotta roof. The details on the heritage listing of this item suggests it has associations with the “Bus Depot/Waverly Tram Depot Building” (I224) located further north on York Street.



Figure 48 – View of the shelter located on Queens Park Road (with the former hospital building behind).

Source: Urbis, 2019.

### 2.3.4. Conservation Areas

The two conservation areas that are located to the north of the subject area consist of residential development recording the periods of successive subdivision from the 1850's to the early 1950's. Later construction is largely in the form of alterations and additions with some residential flat buildings generally of Post-World War 2 construction. The landscape is characterised by substantial mature planting including avenue planting largely of Brush Box and Fig; varied mature tree species within front and rear yards of residences and palms.

Views from the College to the Conservation and landscape areas to the north are limited due to the low scale of the residences and dwellings and the vegetation that lines the College's site boundary. Views to the College from the area to the north are likewise limited due to these restrictions.

The following images were taken from Queens Park Road.



Figure 49 – View south east from Queens Park Road.

Source: Urbis, 2019.



Figure 50 – View south west from Queens Park Road.

Source: Urbis, 2019.

## 3. HISTORICAL OVERVIEW

### 3.1. CENTENNIAL PARK AND QUEENS PARK

The subject site was originally part of Centennial Park and the broader site known as “Sydney Commons” (refer to Figure 51). As the timeline at Table 4 illustrates, Sydney Commons was subdivided and altered to accommodate the growing population of Sydney. Moore Park was dedicated in 1866, and Centennial Park was officially opened in 1888 (refer to Figure 53).

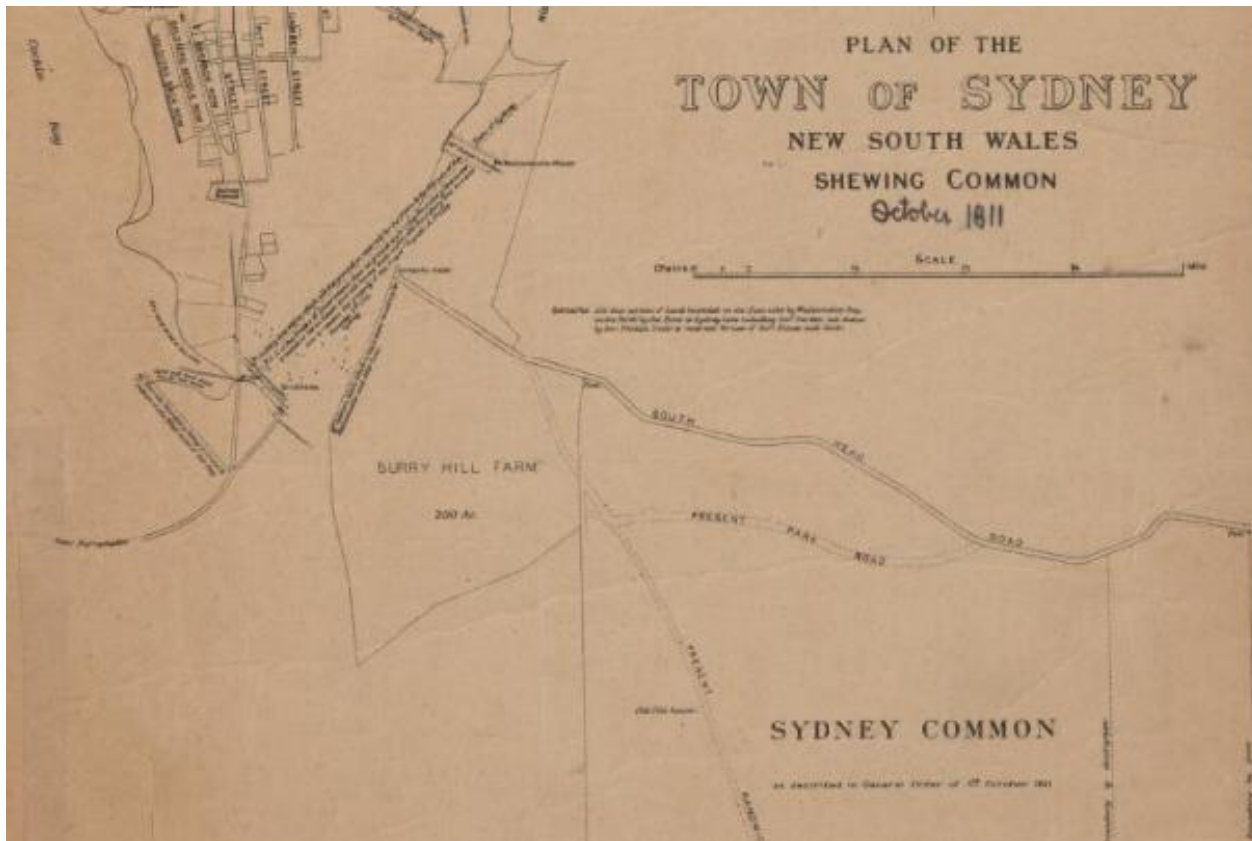


Figure 51 – Town of Sydney (1811) with Sydney Commons shown in the bottom right corner.

Source: National Library of Australia: [nla.obj-230009455](https://nla.gov.au/nla.obj-230009455).



Figure 52 – Panoramic view of Centennial Park (1886).

Source: National Library of Australia, [nla.obj-145069483](https://nla.gov.au/nla.obj-145069483).



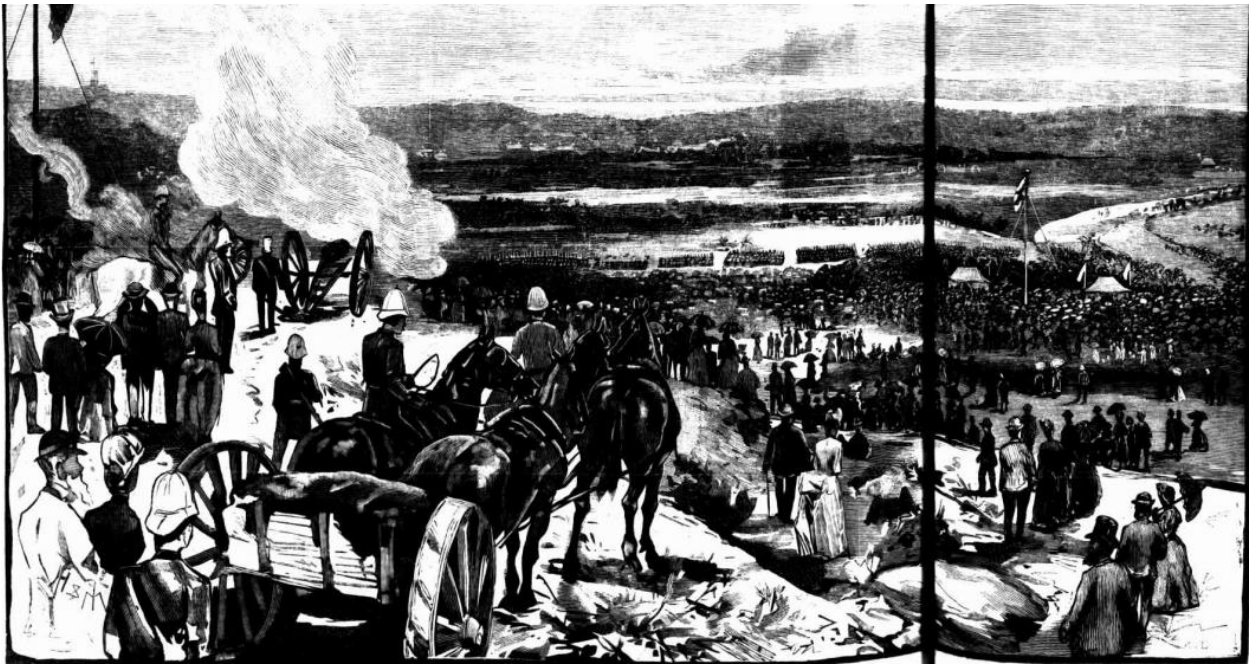


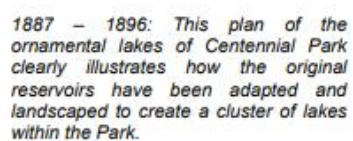
Figure 53 – Illustration showing the official opening of Centennial Park in 1888.

Source: *The Sydney Mail and New South Wales Advertiser*, Saturday 4th February 1888, page 249.



Figure 54 – Photograph of Centennial Park in c.1890.

Source: *State Library NSW*, FL 1719413.



- URBIS  
P0013492 MORIAH COLLEGE QUEENS PARK ROAD HIS



1914 layout

1. Anzac Parade
2. Driver Ave.
3. Dacey Ave.
4. Sports Ground
5. Show Ground
6. Moore Park
7. Robertson Rd
8. Oxford St.
9. Lang Rd.
10. Centennial Park
11. Undeveloped land
12. Queen's Park

Figure 56 – 1914 layout of Centennial Park – the subject site is no. 11 “Undeveloped Land”, indicated by red outline.

Source: *Conservation Management Plan: Centennial Parklands*, Conybeare Morrison & Partners (2003)

The following timeline is a concise summary of the historical timeline included within the Centennial Park CMP.<sup>3</sup>

Table 4 – Concise summary of historical timeline of Centennial Park

Year	Event
1788	Arrival of the first fleet under Governor Arthur Philip – NSW proclaimed.
1816	Sydney Botanical Gardens established; Charles Fraser, Overseer of Botanic Gardens until 1831.
1820	Lachlan Water Reserve proclaimed as the water supply for Sydney.

<sup>3</sup> Conybeare Morrison & Partners, *Centennial Parklands: Conservation Management Plan* (2003)

Year	Event
1827	Work commenced on construction of Lachlan Water Tunnel (known as Busby's Bore) using convict labour. The area within the Parklands was known as the Tunnel Reserve.
1829	Gordon's Mill occupies a 2 acres site within the Sydney Common (mill and house constructed c.1831).
1849	Sydney Common boundaries redefined and gazetted (comprising 1000 acres)
1850	Creation of Dowling Street (south Dowling Street) along western boundary of the Sydney Common.
1860s	Mr Billy Timberly ("King Billy") operated a toll gate. Believed to be the first Indigenous person officially employed in the Centennial Parklands area.
1861	Sydney Common re-dedicated (excluding incursions) as 490 acres.
1864	Paddington Reservoir (corner of Oatley Road and South Head Road) operating pumping water from the Botany Pumping Station via Crown Street Reservoir. Operating until 1899 and replaced by Centennial Park Reservoir and No. 1 Reservoir.
1866	Declaration of Moore Park. Sydney Council dedicates 378 acres of Sydney Common as Moore Park (named after Charles Moor, Mayor of Sydney).
1867	29 allotments of Sydney Common approved for sale between Elizabeth Street and South Head Road (Oxford Street).
1884	Crown Land Act; Public Parks Act.
1887	Centennial Park and Queens Park created by the <i>Centenary Celebrations Act 1887</i> . James Jones appointed as Head Gardener, Overseer of Centennial Park until 1889. Construction of perimeter of fence around Centennial Park commenced; roads laid out; Lang, Cook Robertson and Martin Roads and Mitchell Street together with Darval, Badham (now Dibbs Street) and Oxley Streets (now extended Martin Road) laid out. Grand Drive extended into Moore Park.
1888	Public Works Act. Centennial Park officially opens 26 <sup>th</sup> January.
1890	Two sandstone columns installed (from the Australian Museum) Model Yachts were sailed in the Ponds of Centennial Park Centennial Park Model Yacht Club was established.
1894	Picnics officially allowed in the Parklands.
1895	Australian Golf Club established in Queens Park as an 11-hole Golf course
1899	Queens Park Golf Club Course moved to Botany
1901	Federation ceremony conducted in Snake Valley (Federation Valley), 1 <sup>st</sup> January and attracted a crowd of more than 60,000; Aborigines excluded.



Year	Event
1904	Centenary Park Sale Act; Land sales of 41 hectares to finance park construction.
1905	Construction of housing estate begins along Lang and Martin Roads. First use of motor vehicles in the park.
1916	Moore Park Zoo ceased to exist (moved to Taronga Park)
1918	Much vegetation killed or badly damaged due to a very dry spell that continued until early 1920s.
1919	Centennial Park was declared a sanctuary for birds & animals. Former zoo site dedicated for Sydney Girls High School.
1926	Centennial Park Model Yacht Club ceased sailing their boats due to silt in the Pond.
1929	York road extended through Queens Park to join Victoria Street.
1930	Eastern Suburbs hospital bill; Land grant to Eastern Suburbs Hospital.
1935	Eastern Suburbs Hospital constructed on York Road.
1938	Agreement between Christian Brothers College, Waverly and State Government to use Queens Park for sports.
1954	State Cabinet separate Queens Park from Centennial Park and place it under trust.
1957	Proposal to develop sports area in Queens Park.
1960	A playground was provided in Queens Park
1984	Centennial Park Trust appointed to administer Centennial park and Queens Park
1988	Bicentenary celebrations – Federation Pavilion opened as Bicentenary monument. Trust placed under the Department of Environment and Planning (26 <sup>th</sup> August).
1993-94	Moriah College Queens Park campus constructed.
2000	Centennial Parklands listed on NSW State Heritage Register

## 3.2. SITE HISTORY

The site was part of the Queens Park area, from 1886 when Queens Park was established as part of the Centennial Celebration Act. The site was not developed on until the early twentieth century for the Eastern Suburbs Hospital. This is shown below in the 1930 aerial (refer to Figure 51). The site was granted to the Eastern Suburbs Hospital in 1930, and the hospital buildings constructed in 1935.



Figure 57 – Historic aerial view of the locality with approximate boundaries of the site indicated (approximately) by outline, 1930

Source: *Land and Property Information, Historic Aerial, 1930.*

Figure 58 shows one of the first hospital buildings constructed on site and an inter-war bus shelter which are still present on Queens Park Road and York Road. By 1935, the hospital had identified Casualty and Outpatients buildings, along with Pathology and X-ray Departments, and a small In-Patients' Department.



Figure 58 – 1959, photograph of the main entrance to the Eastern Suburbs Hospital (Constructed in 1935). The two structures in this image (bus shelter and main entrance building) are still occupying the corner site.

Source: *Waverly Council Library, 02/002675*

The 1943 aerial (refer to Figure 58) shows the extent of the hospital development with the majority of the site still cleared (including the portion in the south-west corner that was still part of Queens Park). In 1943-44 the U.S. Navy Authority took over the hospital and turned it into a Naval Hospital. As shown in the 1950s aerial (refer to Figure 60), the Navy constructed a number of hospital buildings over the site after taking ownership.





Figure 59 – Historic aerial view of the locality with approximate boundaries of the site indicated by outline, 1943  
 Source: Six Maps, 2019



Figure 60 – Historic aerial view of the locality with approximate boundaries of the site indicated (approximately) by outline, 1955  
 Source: Land and Property Information, Historic Aerial, 1955



Figure 61 – 1982, Historic aerial view of the locality with approximate location of the site indicated by blue outline.

Source: *Land and Property Information, Historic Aerial, 1978*

The hospital was located on the subject site until 1983 when Moriah College took over the lease. The Primary School was the first to occupy the site in the renovated old hospital buildings in 1985. By 1994, the majority of the hospital buildings had been demolished and the new construction of the College was completed. This is illustrated in the aerial provided below from 1994 (**Error! Reference source not found.**).

In 2003, the Moriah College Board obtained long term lease over the remaining government land at Queens Park. Phase B of the development began. The current Primary School buildings were completed in 2006, and the whole of the College from years K-12 were finally located on one site.

In 2010, the NSW State Government agreed to offer the Queens Park site for sale to Moriah College, the cost to be paid over 15 years. In 2014, Moriah College was granted a scientific licence to access, manage, monitor and regenerate the scrub. New plantings are chosen considering the scrub's sensitivities as well as providing wildlife habitat and corridors.<sup>4</sup>

### 3.3. DATE OF CONSTRUCTION

The corner building (on Queens Park Road and York Road) as constructed in 1935. The School buildings were constructed in stages from the 1990s and 2003.

<sup>4</sup> Information provided by Moriah College.

## 4. HERITAGE SIGNIFICANCE

### 4.1. WHAT IS HERITAGE SIGNIFICANCE?

Before making decisions to change a heritage item, an item within a heritage conservation area, or an item located in proximity to a heritage listed item, it is important to understand its values and the values of its context. This leads to decisions that will retain these values in the future. Statements of heritage significance summarise the heritage values of a place – why it is important and why a statutory listing was made to protect these values.

### 4.2. EXISTING STATEMENTS OF SIGNIFICANCE

#### 4.2.1. Subject Site, Remnant Bushland Landscape Conservation Area (C57)

Urbis has lodged a request for this information from Waverley Council on 9 September 2019. However, this has not been provided at the time of completion of this report.

#### 4.2.2. Eastern Suburbs Banksia Scrub Landscape Conservation Area (C40)

The following statement of significance was sourced from the Heritage Division online database. The database has labelled the area as “Remnant Bushland”, however the address provided is “south-west corner of Former Eastern Suburbs Hospital”.

*Area of native bushland conserving many rare plant species. Very few patches of remnant native vegetation have survived in the Eastern Suburbs. Historical interest as part of the original Sydney Common and later water reserve. Special educational value close to an urban area and major parkland. Relatively easily restored. Regional Significance.<sup>5</sup>*

#### 4.2.3. Centennial Park

The following statement of significance was sourced from the CMP.

*Centennial Parklands is a unique place of exceptional National, State and Local Heritage Significance. It is a grand, linked open space of largely nineteenth-century landscape design intended for social and physical activity. The Parklands has developed at the head of the Botany Bay catchment in an area originally part of the territory of the Gadi people on lands designated in 1811 as the Sydney common. The Parklands retains evidence of the original landforms and plays a vital role in sustaining natural processes and biological diversity on a scale that is rare in the inner urban environment. The Parklands has national significance as the place of the inauguration of the nation, the creation of a People's Park, events, persons and monuments of national importance. The place also has strong associations with convict heritage, pathways and transportation routes, water supply, horticultural and agricultural experimentation, nature conservation, military use and a diversity of sport, recreation and cultures.<sup>6</sup>*

#### 4.2.4. Queens Park Heritage Conservation Area

The following statement of significance has been sourced from Waverley Council (inventory sheet 2013).

*The Queens Park Urban Conservation Area incorporates land grants of the 1840's retaining remnant-built forms of early settlement, rural and extractive industry in Waverley, combined with sequential layers of residential subdivision associated with improved transport during the later 19<sup>th</sup> and early 20<sup>th</sup> centuries. The resultant streetscapes have evolved in response to the natural topography forming the upper catchment of the Lachlan/Botany aquifer and illustrate the influence of the Garden City/Garden Suburb movement upon suburban Estates in Sydney of the period 1880-1945. The layered fabric includes notable 19<sup>th</sup> and 20<sup>th</sup> century buildings together with sites of archaeological potential related to the early European occupation and industry of Waverley. Areas within the Conservation Area retain key aspects of residences and streetscapes of the 1850's; the boom years of 1875-1890 and the Federation Era of 189-1915. The south and western extent*

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<sup>5</sup> NSW Heritage Division, “Remnant Bushland”,

<https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2620373>.

<sup>6</sup> Conybeare Morrison & Partners, *Centennial Parklands: Conservation Management Plan* (2003), page iii.



*portrays the pattern and standard of subdivisions associated with the early 1900's sale of lands about Centennial and Queens Parks as a means of subsidising development of the parks and provision of associated built surrounds of a notable and sympathetic standard of design.<sup>7</sup>*

#### 4.2.5. North Randwick Heritage Conservation Area

The following statement of significance has been sourced from the NSW Heritage Division online database.

*A large area to the south of Centennial Park, originally reserved for water purposes, delaying its release for housing.<sup>8</sup>*

### 4.3. ASSESSMENT OF HISTORICAL ARCHAEOLOGICAL POTENTIAL

Historical archaeological potential is defined as:

The degree of physical evidence present on an archaeological site, usually assessed on the basis of physical evaluation and historical research. (Department of Urban Affairs and Planning 1996)

Archaeological research potential of a site is the extent to which further study of relics likely to be found is expected to contribute to improved knowledge about NSW history which is not demonstrated by other sites, archaeological resources or available historical evidence. The archaeological potential of the subject area is assessed based on the background information presented earlier in the report, and graded as per:

- **Nil Potential:** the land use history demonstrates that high levels of ground disturbance have occurred that would have completely destroyed any archaeological remains. Alternatively, archaeological excavation has already occurred, and removed any potential resource.
- **Low Potential:** the land use history suggests limited development or use, or there is likely to be quite high impacts in these areas, however deeper sub-surface features such as wells, cesspits and their artefact-bearing deposits may survive.
- **Moderate Potential:** the land use history suggests limited phases of low-moderate development intensity, or that there are impacts in this area. A variety of archaeological remains is likely to survive, including building footings and shallower remains, as well as deeper sub-surface features.
- **High Potential:** substantially intact archaeological deposits could survive in these areas.

The potential for archaeological relics to survive in a particular place is significantly affected by land use activities that may have caused ground disturbance. These processes include the physical development of the site (for example, phases of building construction) and the activities that occurred there. The following definitions are used to consider levels of disturbance:

- **Low Disturbance:** the area or feature has been subject to activities that may have had a minor effect on the integrity and survival of archaeological remains.
- **Moderate Disturbance:** the area or feature has been subject to activities that may have affected the integrity and survival of archaeological remains. Archaeological evidence may be present, however it may be disturbed.
- **High Disturbance:** the area or feature has been subject to activities that would have had a major effect on the integrity and survival of archaeological remains. Archaeological evidence may be greatly disturbed or destroyed.

Table 5 – Assessment of the potential archaeological resource and likelihood of survival at the subject site

<sup>7</sup> Waverly Council, "Queens Park Urban Conservation Area" NSW State Heritage Inventory Form (2013).

<sup>8</sup> NSW Heritage Division, "North Randwick Heritage Conservation Area", <https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2310513>.

Phase and Date	Potential Archaeological Resource	Integrity of Archaeological Evidence	Archaeological Potential
1886-1930, Queens Park	Rubbish dumps and discard sites, animal bones	The subject area was not developed until the establishment of the Eastern Suburbs Hospital in the 1930s. Prior to this it formed part of the Sydney Commons area, and then the Centennial Parklands area. It is acknowledged that a major reason for the cessation of use of the Lachlan Swamps as a source of water was the pollution caused by rubbish dumping and animal waste. Given the deep soil profile and the use of the subject area for these activities, there is a very low potential for materials related to rubbish dumping and animal grazing to be present.	Low to Nil
1930-1983. Eastern Suburbs Hospital	Rubbish Dumps, privies, structural remains	From the 1930s, planning and construction commenced on the Eastern Suburbs Hospital, which later became a US Naval Hospital. Some of the original hospital buildings still stand in the wider Moriah College Campus, however within the subject area the original buildings have been demolished and the newly built structures could have completely removed the previous footings of those early buildings. There is a very low to nil potential for subsurface structural remains of these buildings to exist within the subject area in the form of footings. There is also a very low to nil potential for privies and rubbish dumps associated with the hospital phase to exist within the subject area.	Low to Nil
1983-present. Moriah War Memorial College	Occupational debris	The subject area is current comprised of buildings and infrastructure relating to the Moriah War Memorial College. These remain present within the subject area today. There is a very low potential that beneath these structures, items relating to previous phases of occupation or the early days of the school – including original building footings and rubbish dumps – may occur. If these items do occur, they are identified as presumably being of low significance.	Low

Overall, the subject area has very low historical archaeological potential. Since the dredging of the Lachlan Swamps and creation of the Centennial Parklands, the subject area has played a significant role in the functioning of the local community – first as a common public space, then as a hospital and now as a place of education. However, consequent development on the site has impacted the upper sections of the soil profile to the extent that might have removed all traces of previously constructed buildings, structures and associated deposits. There is only a very low potential that items relating to these historical uses may remain within the subject area, from rubbish dumps and privies to the footings of hospital buildings long since demolished.

## 5. THE PROPOSAL

It is understood that the proposed works aim to:

- Re-orientate the High School Main Entrance away from the residential areas of Queen's Park. The High School Pedestrian Entrance will be at Gate 3 on Baronga Avenue and the Vehicular Entrance will be at Gate 4 on York Road, south.
- Provide an improved traffic management system with on-site Drop Off and Pick Up for the High School students and the Early Learning Centre entering from York Road (Gate 4).
- Provide enhanced visitor parking for after-hours School Community Events accessed from Gate 4, York Road.
- Provide a new contemporary learning facility in Stage 1 to replace existing building stock which is 25 years old. This facility will provide updated environments for Science, Technology, Engineering, Art and Mathematics (STEAM) and an Independent Learning Centre, including a new High School Library.
- Provide for the future development of a new Early Learning Centre (ELC) and college teaching rooms in Stage 2.
- Provide significantly improved external recreational areas for the school community, including additional landscaped areas with a focus on increasing the parkland setting of the campus.
- Enable the growth of the student numbers to be developed in stages over a period of time.

The first stage of works will include:

- Staged demolition of existing buildings and structures, removal of existing tennis court and trees;
- Construction of a new part three, part four-storey STEAM Building and ILC;
- Creation of a new student and visitor pedestrian entrance on Baronga Avenue;
- Construction of a new internal drop off and pick up area, as well as provision for an additional 17 staff car parking spaces, bicycle and bus parking, as well as waste and service vehicle loading area; and
- Construction of a new sports court complex, new outdoor learning gardens, and open space.

### 5.1. DOCUMENT REGISTER

Table 6 – Architectural Drawing Register

Layout ID	Layout Name	Revision ID
<b>1000 Coversheet</b>		
DA-1001	Cover Sheet and Drawing Schedule	A
<b>1200 Site Plan</b>		
DA-1201	Existing Site Plan	A
DA-1202	Site Analysis	A
DA-1203	Building Condition	A
DA-1204	Proposed Site Plan 1A	A

Layout ID	Layout Name	Revision ID
DA-1205	Proposed Site Plan 1B	A
DA-1206	Proposed Site Plan 2	A
DA-1207	Stage 1 Envelope Plan	A
DA-1208	Stage 1 Envelope Massing	A
DA-1209	Stage 2 Envelope Plan	A
DA-1210	Stage 2 Envelope Massing	A
<b>2000 Staging and Demolition Plans</b>		
DA-2001	Demolition 1	A
DA-2002	Demolition 2	A
DA-2003	Demolition 3	A
DA-2004	Demolition 4	A
DA-2005	Demolition 5 (Landscaping)	A
DA-2006	Phase 1A Complete	A
DA-2007	Phase 1B Construction	A
DA-2008	Phase 1A and 1B Complete	A
DA-2009	Phase 2 Construction	A
DA-2010	Phase 2 ELC Demo	A
DA-2011	Phase 2 Complete	A
<b>2100 General Arrangement Plans</b>		
DA-2101	Lower Ground	A
DA-2102	Upper Ground	A
DA-2103	First Floor	A
DA-2104	Second Floor	A
DA-2105	Third Floor	A
DA-2106	Roof Plan	A
<b>2200 Detail General Arrangement Plans</b>		
DA-2201	New Ausgrid Access	A
<b>2300 GFA/GBA Plans</b>		

Layout ID	Layout Name	Revision ID
DA-2301	Lower Ground	A
DA-2302	Upper Ground	A
DA-2303	First Floor	A
DA-2304	Second Floor	A
DA-2305	Third Floor	A
<b>3000 Elevations 1:200</b>		
DA-3001	East and North Elevation	A
DA-3002	South and West Elevation	A
DA-3003	LEP Height Elevations	A
<b>3100 Detail Elevations 1:200</b>		
DA-3101	Detail Signage Elevations	A
<b>4000 Sections 1:250</b>		
DA-4001	Long Sections	A
DA-4002	Short Sections	A
<b>5000 Shadow Diagrams</b>		
DA-5001	June Shadow Diagrams 9am	A
DA-5002	June Shadow Diagrams 10am	A
DA-5003	June Shadow Diagrams 11am	A
DA-5004	June Shadow Diagrams 12pm	A
DA-5005	June Shadow Diagrams 1pm	A
DA-5006	June Shadow Diagrams 2pm	A
DA-5007	June Shadow Diagrams 3pm	A
DA-5008	Equinox Shadow Diagrams 9am	A
DA-5009	Equinox Shadow Diagrams 10am	A
DA-5010	Equinox Shadow Diagrams 11am	A
DA-5011	Equinox Shadow Diagrams 12pm	A
DA-5012	Equinox Shadow Diagrams 1pm	A
DA-5013	Equinox Shadow Diagrams 2pm	A



Layout ID	Layout Name	Revision ID
DA-5014	Equinox Shadow Diagrams 3pm	A
DA-5015	December Shadow Diagrams 9am	A
DA-5016	December Shadow Diagrams 10am	A
DA-5017	December Shadow Diagrams 11am	A
DA-5018	December Shadow Diagrams 12pm	A
DA-5019	December Shadow Diagrams 1pm	A
DA-5020	December Shadow Diagrams 2pm	A
DA-5021	December Shadow Diagrams 3pm	A
<b>6000 Visual Impact Photomontages</b>		
DA-6001	Visual Impact Photomontages	A
DA-6002	Visual Impact Photomontages	A
<b>9000 GFA Schedule</b>		
DA-9001	GFA Schedule	A
DA-9002	Area Comparison Schedule	A
<b>9100 Exterior Finishes Schedule</b>		
DA-9101	Exterior Finishes Board	A
<b>9900 For information Presentation Plans</b>		
DA-2151	Lower Ground	A
DA-2152	Upper Ground	A
DA-2153	First Floor	A
DA-2154	Second Floor	A
DA-2155	Third Floor	A
DA-2156	Roof Plan	A
DA-2157	Composite Parking Plan	A

Table 7 – Landscape Drawings

Dwg No.	Drawing Title
LA-DA-00	Cover Page and Drawing Schedule
LA-DA-01	Introduction
LA-DA-02	Landscape Principles
LA-DA-03	Landscape Strategy
LA-DA-04	Delivery Stages
LA-DA-05	Security and Circulation Strategy
LA-DA-06	Canopy Area Analysis
LA-DA-07	Landscape Area Analysis
LA-DA-08	Open Space Area Analysis
LA-DA-09	Stage 1A – Landscape Masterplan
LA-DA-10	Stage 1B – Landscape Masterplan
LA-DA-11	Stage 2 Landscape Masterplan
LA-DA-12	Landscape Sections
LA-DA-13	Central Lawn – Detailed Landscape Plan
LA-DA-14	Central Lawn – Landscape Summary
LA-DA-15	Active Courts – Detailed Landscape Plan
LA-DA-16	Active Courts – Landscape Summary
LA-DA-17	Reflection Gardens – Detailed Landscape Plan
LA-DA-18	Reflection Gardens – Landscape Summary
LA-DA-19	Building and Atrium Gardens – Detailed Landscape Plan
LA-DA-20	Building and Atrium Gardens – Landscape Summary
LA-DA-21	Cultural Narrative
LA-DA-22	Lighting, Safety and Security
LA-DA-23	Materials and Furniture
LA-DA-24	Planting Character
LA-DA-25	Planting Palette 01 – Lawns, Courts and Gardens
LA-DA-26	Planting Palette 02 – Entries and New Building
LA-DA-27	Planting Palette 03 – Stage 2, ESBS and Schedule

## 5.2. ARCHITECTURAL DRAWINGS

Urbis have been provided with Architectural Drawings prepared by FJMT. This Heritage Impact Statement (HIS) has relied on these drawings for the impact assessment included in Section 6 of this report. A selection of these drawings relating to the proposed works has been included herein. Full size drawings should be referred to for any detail.

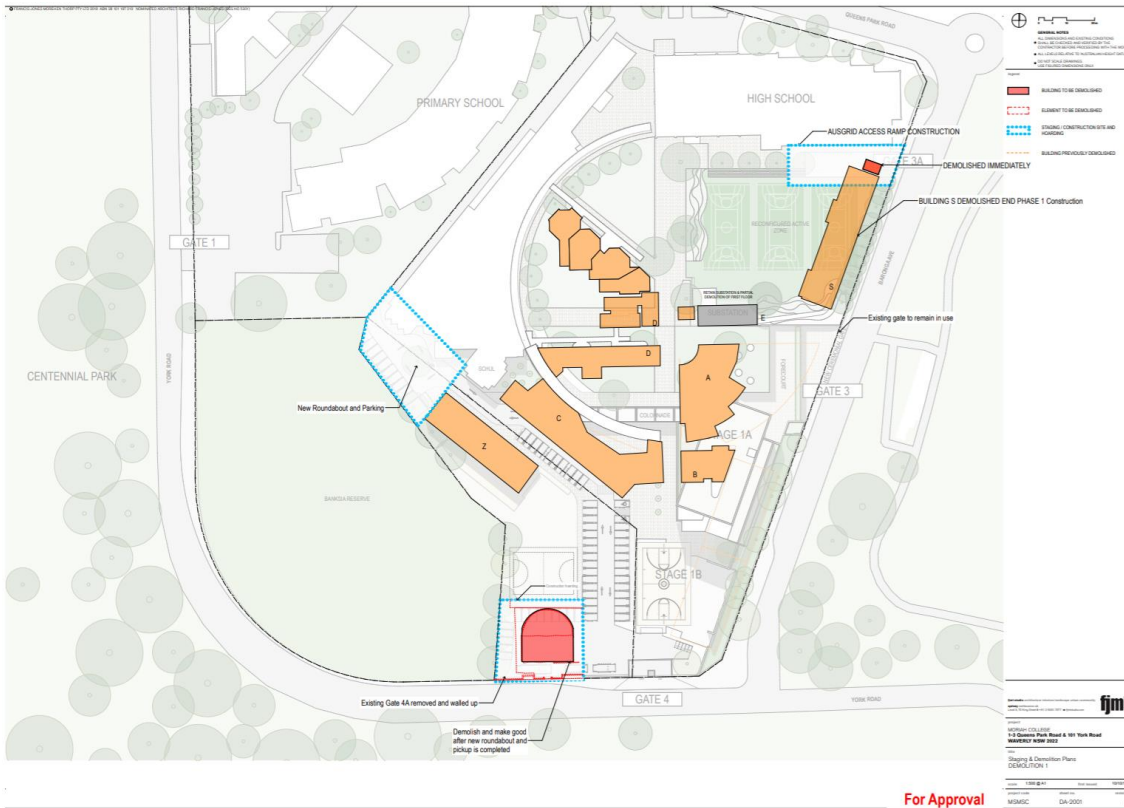


Figure 62 – Demolition 1

Source: FJMT, DA-2001, Demolition 1, 10 October 2019

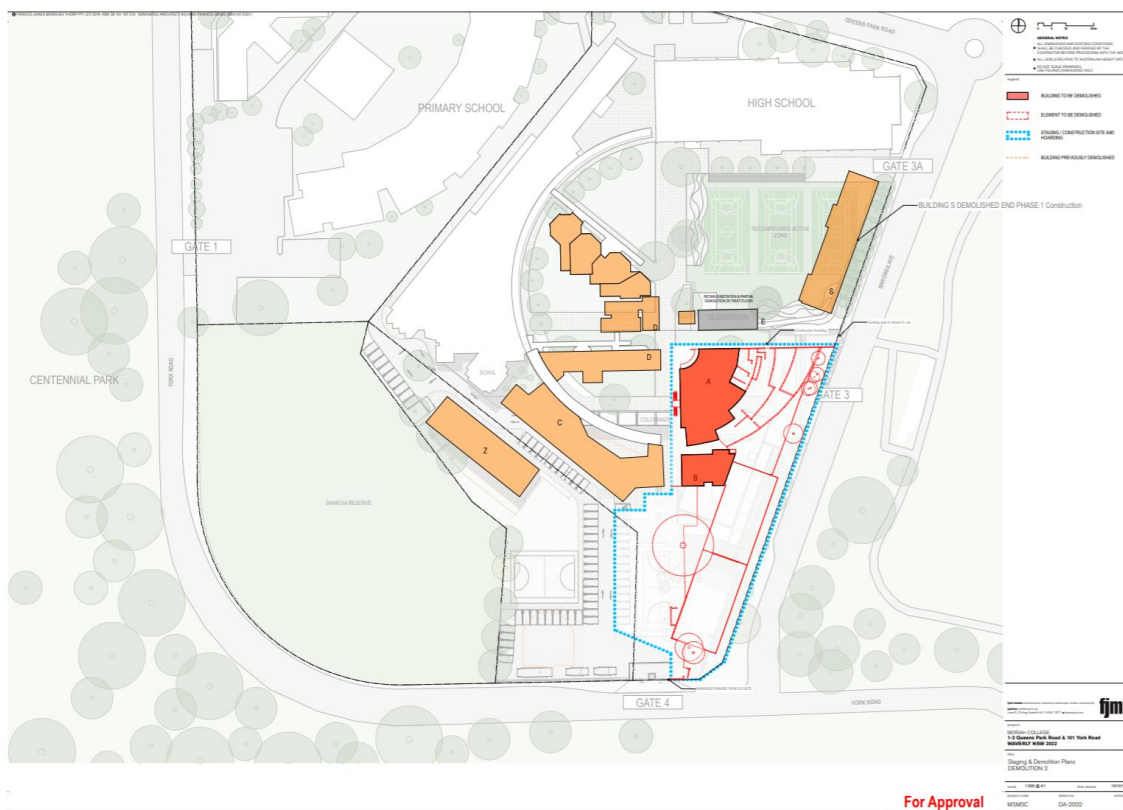


Figure 63 – Demolition 2

Source: FJMT, DA-2002, Demolition 2, 10 October 2019

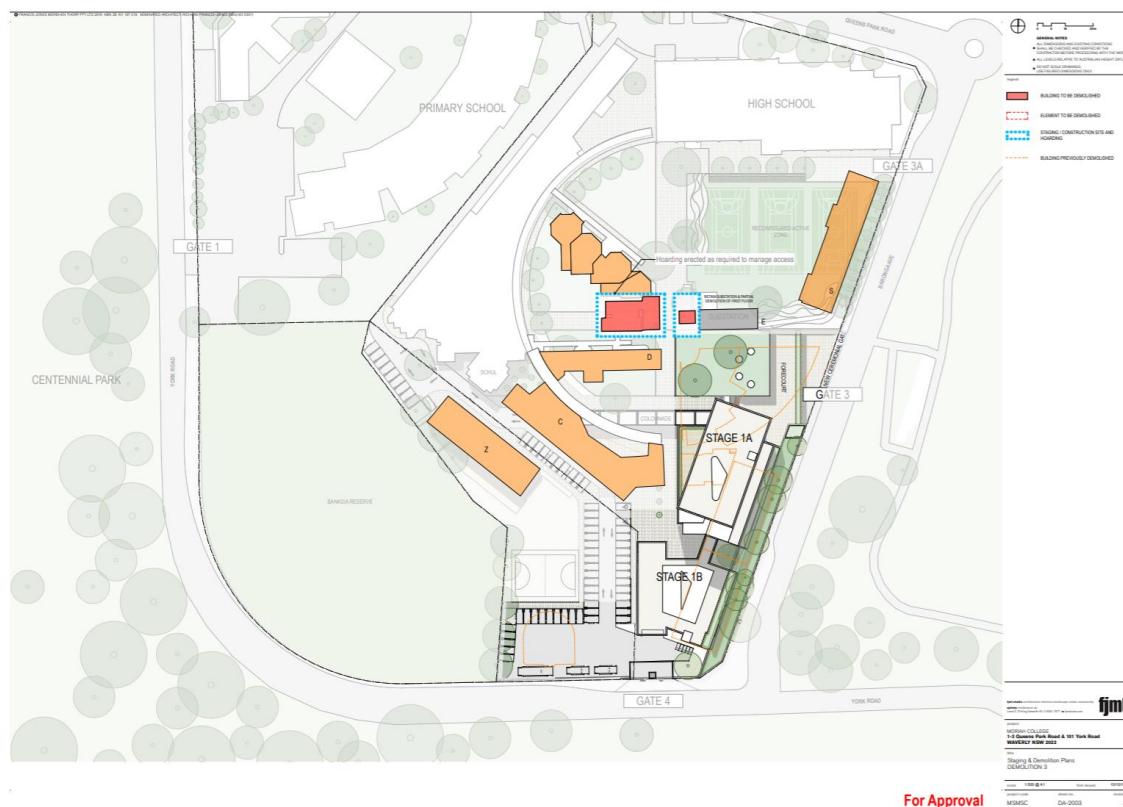


Figure 64 – Demolition 3

Source: FJMT, DA-2003, Demolition 3, 10 October 2019



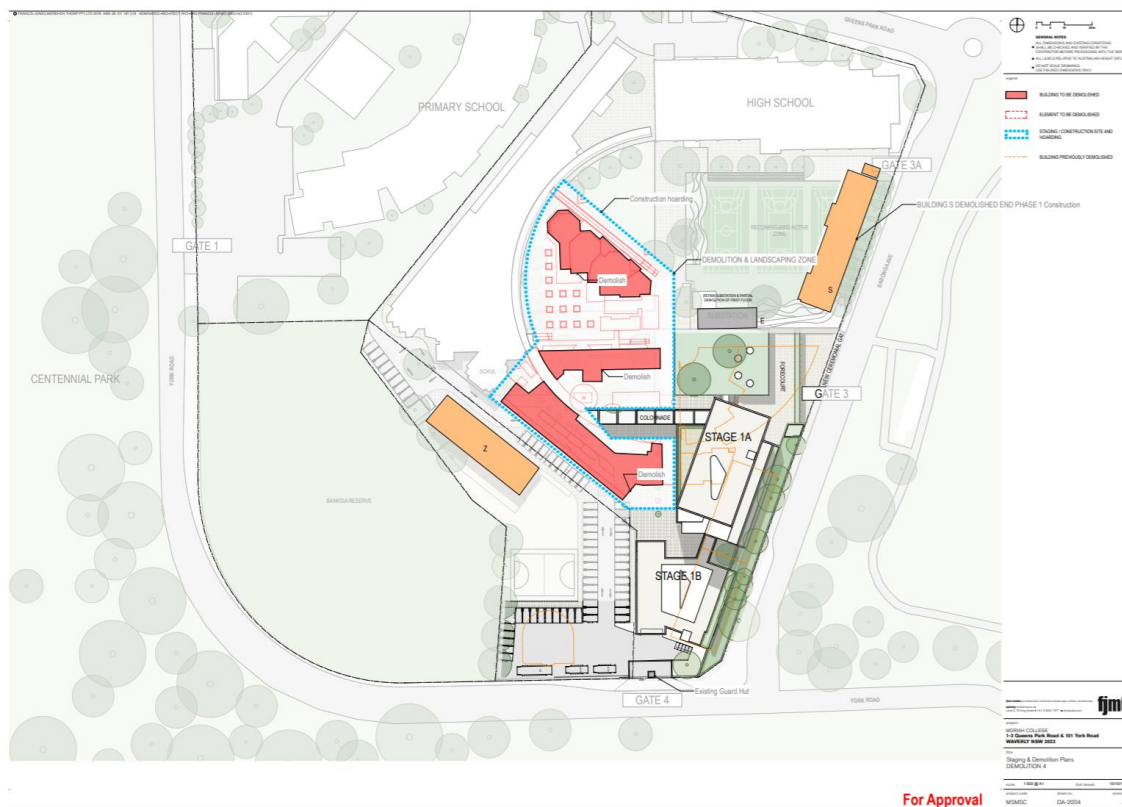


Figure 65 – Demolition 4

Source: FJMT, DA-2004, Demolition 4, 10 October 2019

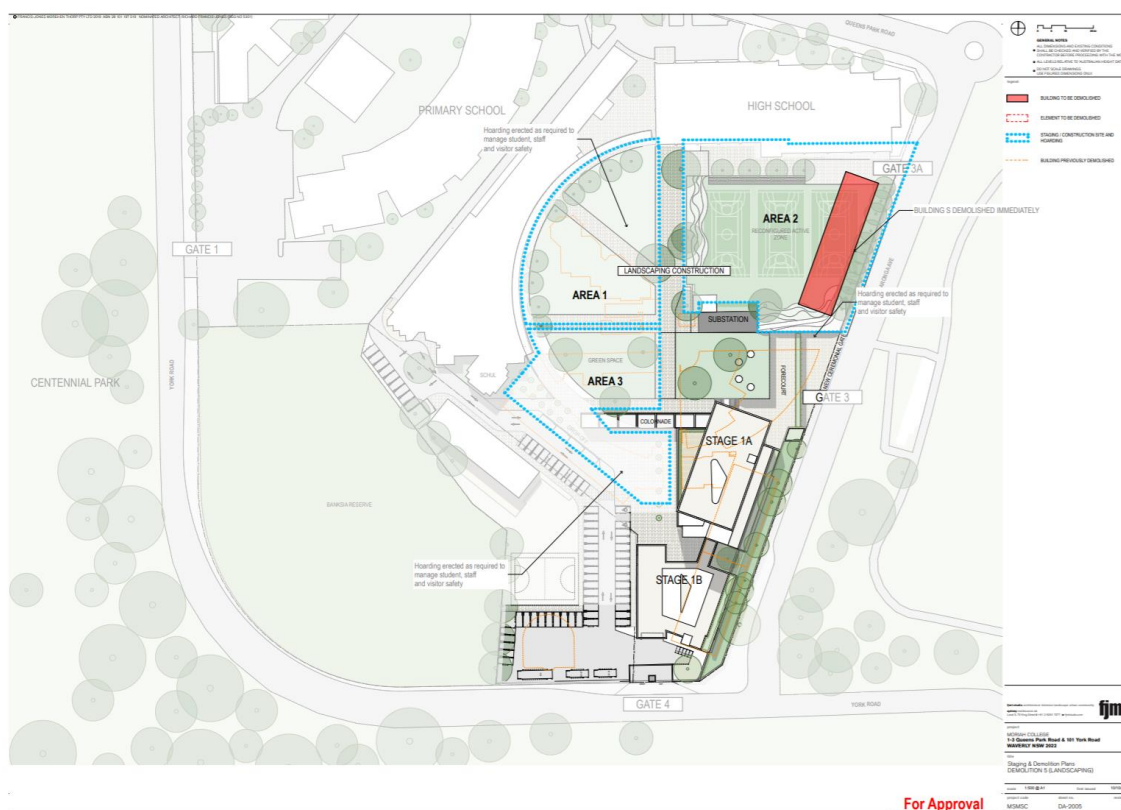


Figure 66 – Demolition 5

Source: FJMT, DA-2005, Demolition 5, 10 October 2019



Figure 67 - Photomontages

Source: FJMT, DA-6001, Visual Impact Photomontages, 10 October 2019



Figure 68 – Photomontages

Source: FJMT, DA-6001, Visual Impact Photomontages, 10 October 2019





Source: FJMT, DA-9101, Exterior Finishes Board, 10 October 2019



## 5.3. LANDSCAPE DRAWINGS

Urbis have been provided with Landscape Drawings prepared by 360 Degrees Landscape Architects. This Heritage Impact Statement (HIS) has relied on these drawings for the impact assessment included in Section 6 of this report. A selection of these drawings relating to the proposed works has been included herein. Full size drawings should be referred to for any detail.

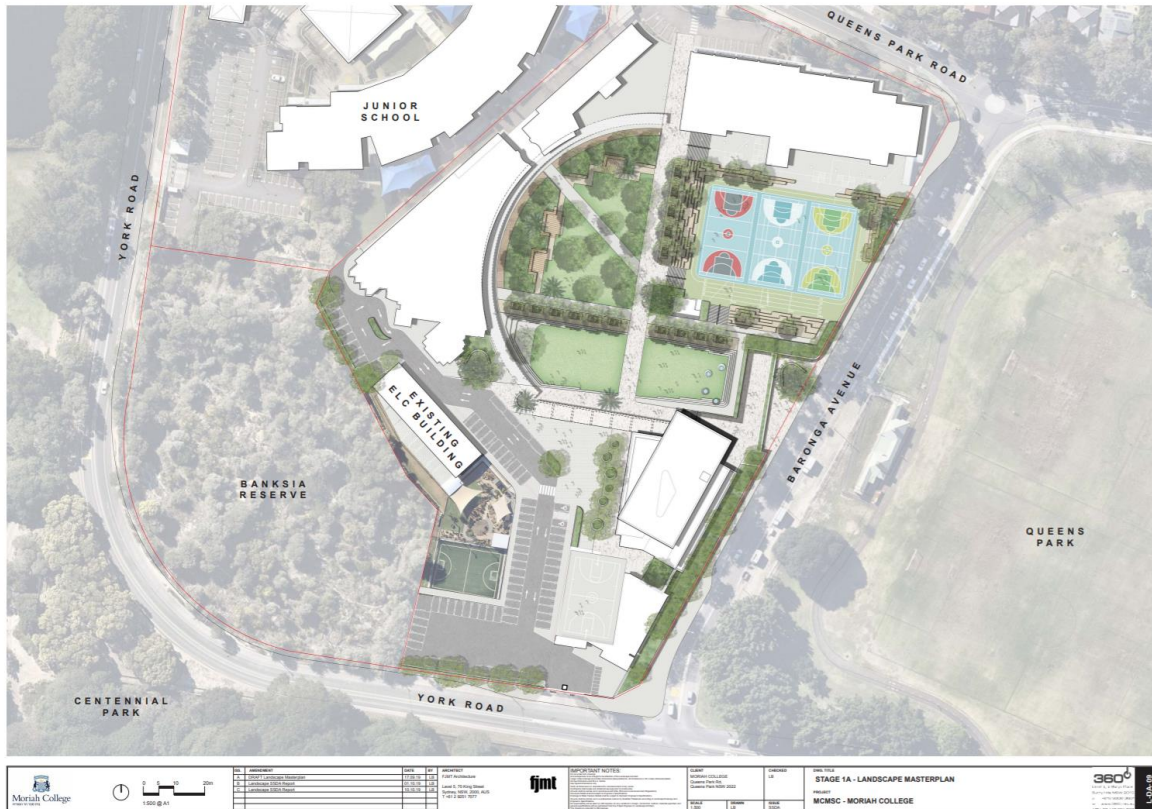


Figure 70 – Stage 1A Landscape Masterplan

Source: 360 Degrees, LA-DA-9, Stage 1A Landscape Masterplan, 10 October 2019

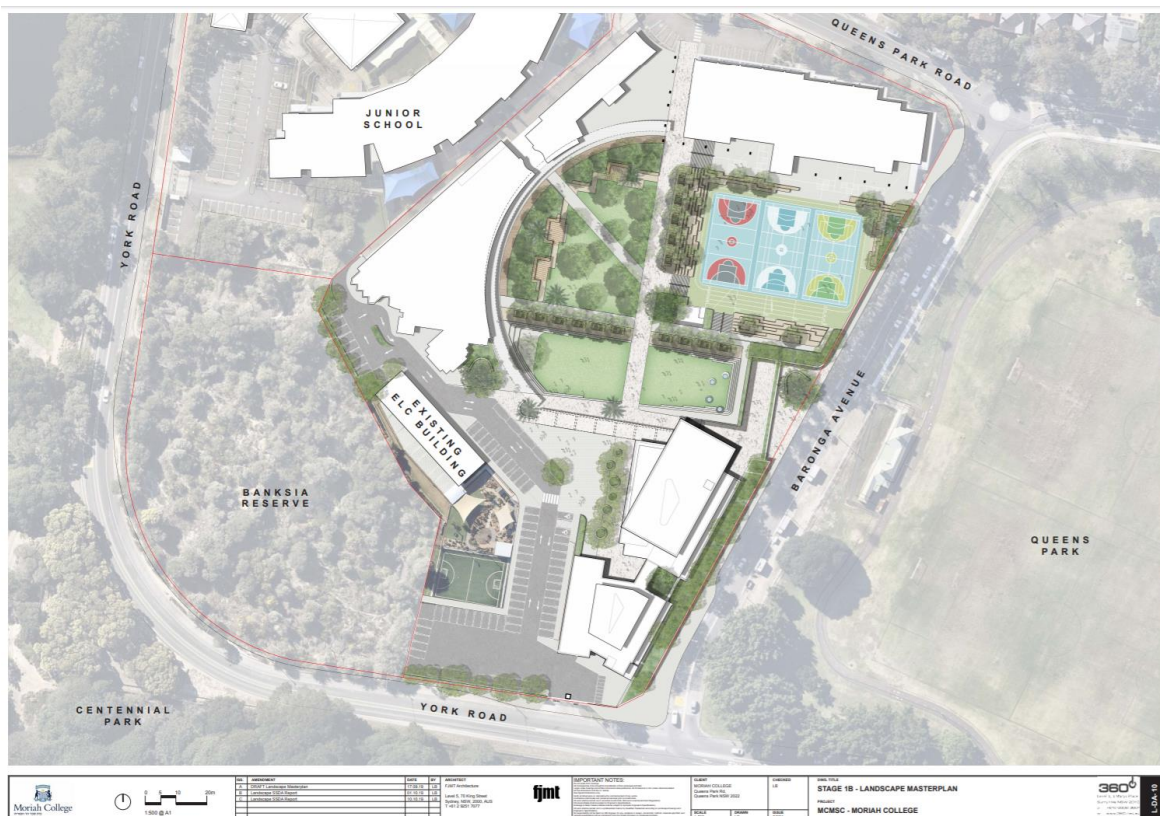


Figure 71 – Stage 1B Landscape Masterplan

Source: 360 Degrees, LA-DA-10, Stage 1B Landscape Masterplan, 10 October 2019

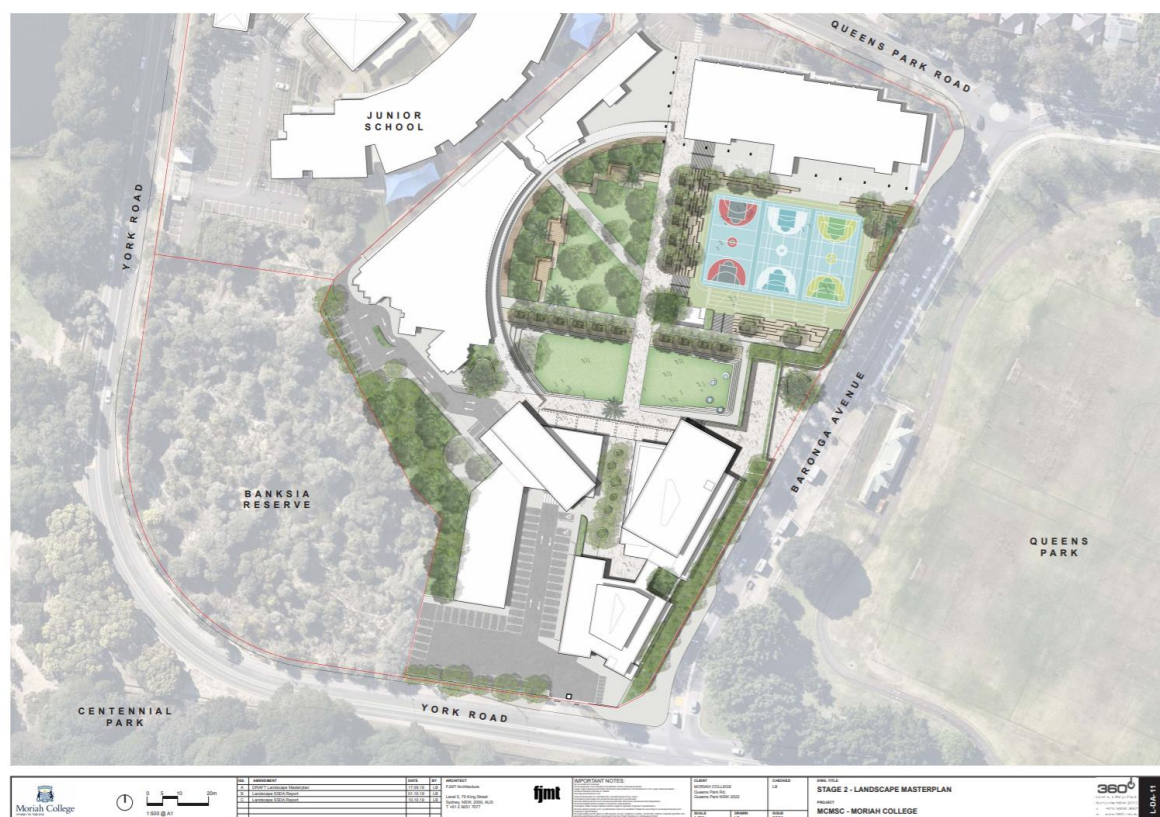


Figure 72 – Stage 2 Landscape Masterplan

Source: 360 Degrees, LA-DA-11, Stage 2 Landscape Masterplan, 10 October 2019



## 6. IMPACT ASSESSMENT

### 6.1. VISUAL IMPACT ASSESSMENT

A views analysis report dated 10 October 2019 was completed by Cardno for the proposed STEAM Facility within Moriah College Queens Park. The analysis was supported by a series of photomontages of views from selected representative viewpoints prepared by Virtual Pty Ltd. For further detail, refer to these supporting documentations that accompanies the submission.

Following review, Urbis is in agreement with the findings and conclusion of Cardno. While the proposed development may be partially visible from Queens Park and the surrounding context, this has been addressed and mitigated during design development by the integration of appropriate landscaping to soften the visual bulk of the built form. The proposed development will be visible from very isolated locations within Centennial Park and its impact has been assessed to be negligible.

As such, Urbis has assessed the proposed development to have an acceptable level of impact on the existing significant views within the locality, specifically from Queens Park and Centennial Park.

### 6.2. WAVERLEY LOCAL ENVIRONMENTAL PLAN 2012

It is understood that the proposed works would be submitted as a State Significant Development Application (SSDA) to the NSW Department of Planning and Environment. Though Waverley Council would not be assessing the application, the proposed works have been assessed against the relevant controls of the *Waverley Local Environment Plan 2012* (LEP) on account of Waverley Council being an essential stakeholder.

Table 8 – Waverley Local Environmental Plan 2012

Clause	Discussion
<b>(1) Objectives</b>  The objectives of this clause are as follows:  (a) to conserve the environmental heritage of Waverley,  (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,  (c) to conserve archaeological sites,  (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.	The proposed works as outlined in Section 5 are in accordance with the objectives set out in the Waverley Local Environment Plan 2012.
<b>(2) Requirement for consent</b>  Development consent is required for any of the following:  (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):  (i) a heritage item,  (ii) an Aboriginal object,  (iii) a building, work, relic or tree within a heritage conservation area,	As the subject site is identified as a landscape conservation area ("Remnant Bushland" C57) and is also located in the vicinity of a number of other heritage items and conservation areas (outlined in detail in Section 1.3). This Heritage Impact Statement (HIS) has been prepared to accompany a State Significant Development Application for the proposed works on the site. This HIS provides an assessment of the potential heritage impact of the proposed works which is detailed in Section 5 herein but include the demolition of a number of buildings and structures within the subject site and the construction of two new buildings in their place. Consent is also required for the proposed landscape works to the college grounds.



Clause	Discussion
<p>(b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,</p> <p>(c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,</p> <p>(d) disturbing or excavating an Aboriginal place of heritage significance,</p> <p>(e) erecting a building on land:</p> <p>(i) on which a heritage item is located or that is within a heritage conservation area, or</p> <p>(ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,</p> <p>(f) subdividing land:</p> <p>(i) on which a heritage item is located or that is within a heritage conservation area, or</p> <p>(ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.</p>	
<p><b>(4) Effect of proposed development on heritage significance</b></p> <p>The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).</p>	<p>This HIS has been prepared in response to this provision, the assessment covered in Section 6 considers the potential impact of the proposed development.</p>
<p><b>(5) Heritage assessment</b></p> <p>The consent authority may, before granting consent to any development:</p> <p>(a) on land on which a heritage item is located, or</p> <p>(b) on land that is within a heritage conservation area, or</p> <p>(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),</p>	<p>A summary of the assessment is outline below. Further detailed assessment has been herein.</p> <ul style="list-style-type: none"> <li>• The isolation of the works to the south-eastern corner of the subject site, particularly along the eastern boundary places the proposed works an acceptable distance from the protected scrub land on site and on the adjacent lot. Therefore, the protected landscaped areas will be protected.</li> </ul>

Clause	Discussion
<p>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.</p>	<ul style="list-style-type: none"> <li>• The low scale of the proposed new buildings ensures they will not overshadow the protected landscape areas.</li> <li>• The buildings and structures proposed for demolition do not contribute to the landscape significance of the site. The buildings were constructed in the late twentieth century and do not have a historic or visual relationship with the surrounding vicinity items</li> <li>• The use of the site will not be altered, therefore the character of the site and the contribution or existing relationship of the site to the surrounding heritage items and conservation areas will not be altered.</li> <li>• The low scale and location of the proposed new buildings minimises any visual impacts to the relationships between Centennial Park and Queens Park. The only disturbance will be caused by the extension of the built form further south (in the currently location of the tennis courts). However, due to the setback of the building from the boundary of the site and the clear views down York Road, this disruption is minor and will not detrimentally impact the visual relationships between the two parks.</li> <li>• Due to the location of the buildings and the existing college buildings (which will remain), they will not be visible from the Queens Park Heritage Conservation Area. Likewise, the substantial distance and the low scale of the buildings, ensures they will have no physical or visual impacts to the North Randwick Conservation Area</li> <li>• Overall, the works will not have any physical impacts to the vicinity items due to the isolation of the works.</li> </ul>
<p><b>(6) Heritage conservation management plans</b></p> <p>The consent authority may require, after considering the heritage significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.</p>	<p>There is no Conservation Management Plan for the subject site. However, reference has been made below to the <i>Centennial Parklands Conservation Management Plan</i> (2003).</p>

## 6.3. WAVERLY DEVELOPMENT CONTROL PLAN 2012

It is understood that the proposed works would be submitted as a State Significant Development Application (SSDA) to the NSW Department of Planning and Environment. Though Waverly Council would not be assessing the application, the proposed works have been assessed against the relevant controls of the Waverly Development Control Plan 2012 on account of Waverly Council being an essential stakeholder.

Table 9 – Waverly Development Control Plan 2012

Controls	Discussion
<b>B9 Heritage</b>	
<b>9.2 Demolition and Excavation</b>	
(a) Unless identified alternately, heritage listing of buildings encompasses the whole building and site including outbuildings and boundary enclosures.	The subject site is not identified as a heritage item; however, it is identified as a landscape conservation area. Council have also identified that the areas of significant landscaping are located to the south of the carpark located in the north-west corner (to the north of the scrub land lot that is separate to the subject site). As such the proposed works have been assessed to in no way impact on the heritage significance of this element on account of the physical and visual distance between the significant landscape and the proposed works.
(b) Demolition of a heritage item or contributory building in a conservation area will generally not be supported, unless there are overriding reasons such as extreme structural damage.	The buildings proposed for demolition do not contribute to the significance of the landscape on the site. The proposed buildings are located on the adjacent side of the Moriah College grounds and the proposed demolition would not physically or visually impact the protected landscape areas.
(c) Demolition of a non-contributory building that detracts from a Conservation Area and replacement with an appropriately designed infill building is generally supported provided the proposed infill development is consistent with the objectives and controls outlined in this Part.	The proposed infill buildings are low in scale and have been designed to complement the existing structures and the site, while providing updated facilities for Moriah College. The buildings will not overshadow the protected areas of the scrub land, to the south or to the west and will not detract from the surrounding parklands or conservation areas.
(d) Excavation beneath and/or adjacent to heritage items and/or buildings in heritage conservation areas will only be permitted if it is supported by both a Geotechnical Engineering report and a Structural Engineering report.	Excavation is confined to the area beneath the proposed Stage 1 building, which is supported by a Geotechnical Engineering Report and a Structural Engineering Report.  For full detail, refer to the Geotechnical Assessment Report dated August 2019 prepared by Douglas Partners for Moriah College and the Structural Engineering Design Report dated 18 September 2019 prepared by Northrop for Moriah College Stage 1 and 2 that accompanies the submission.
(e) Excavation will not be permitted if:	The proposed excavation will be isolated to the areas beneath the demolished buildings. Therefore, other existing buildings and scrubland on site and adjacent will



Controls	Discussion
<p>(i) It will occur under common walls and footings to common walls, or freestanding boundary walls, or under any other part of adjoining land; or</p> <p>(ii) It will occur under or forward of the front facade.</p>	<p>not be impacted by the proposed lower levels of the proposed new buildings.</p>
<b>9.5 Landscape Conservation Areas</b>	
<p>(a) New works in the vicinity of Landscape Conservation Areas and natural settings are to acknowledge the significant character, detail and context of the setting.</p>	<p>The subject site is identified as a landscape conservation area. The proposed works will have no physical or visual impact on the significant landscape. The location of the works to the south-east corner/eastern side of the College grounds ensures a physical separation between the area of the proposed works and the protected scrub land area. In addition, the proposed buildings are low in scale and will not overshadow, nor detract from the protected landscape areas.</p>
<p>(b) Any new works must consider the visual and physical impact upon the setting.</p>	<p>The proposed buildings are between 3-4 storeys however, due to the topography of the site and location of the works, the proposed will have no visual or physical impact (as discussed above).</p>
<p>(c) Any new work should avoid the removal of fabric whether plant material, manmade feature or natural formation and any works likely to cause long or short term impact upon the setting e.g. change in ground water flow, reflected light, illumination of natural planting and stability of natural or manmade features.</p>	<p>No protected landscaping will be removed from site for the construction of any of the proposed buildings.</p>
<b>9.6 Character and Streetscape</b>	
<p><b>Objectives</b></p> <p>(a) To reinforce the existing street character, through appropriate dwelling facades, building setbacks, fence and landscaping.</p>	<p>The buildings proposed for demolition do not currently contribute to the surrounding streetscape. Therefore, their demolition will not impact the existing streetscape character of York Road and Baronga Avenue.</p> <p>The design of the proposed new buildings is refined, clearly identified as contemporary and sympathetic to the existing buildings on site. The proposed buildings will not detract or impact the existing streetscape.</p> <p>The buildings are located on the opposite side of the lot to the Queens Park Heritage Conservation Area and will therefore not alter or impact the significant streetscape or setting of the HCA.</p> <p>Landscaping is proposed to soften the periphery walls of the new development. The proposal appropriately responds to the identified heritage values of the site by segmenting the eastern wall of the proposed development into two sections in order to provide a landscaped</p>

Controls	Discussion
	<p>courtyard and include a landscaped terrace with generous setback. In addition, a landscaped forecourt has been introduced to increase the setback of the entry from the public domain. This would enforce the landscape buffer to Baronga Avenue, and introduces additional vegetation to the public domain.</p> <p>Urbis has assessed that the refinement of the design along with the proposed landscaping will enhance the green connection between Queens Park and Centennial Park through the school. Compatible species are to be planted on campus. Refer to the landscape plans prepared by 360 Degrees Landscape Architects that accompanies the submission for further detail.</p>
(c) to allow infill development that respects and complements the existing character of the area.	<p>The proposed new buildings will be an infill development for the college site and has been designed to complement the existing design of the campus (including remaining buildings).</p> <p>The setbacks and distance created by the streets surrounding the subject site, allow the college to be interpreted as a distinct element in the streetscape, separate to Centennial Parklands, Queens Park and the Queens Park Heritage Conservation Area.</p>
(d) to reinforce existing views along streets and from the public domain.	Refer below to the discussion in Table 11.
<p><u>9.6.1 All Development</u></p> <p>(a) Development should identify and respect the contributory features and characteristics of the item or the conservation area and incorporate these features into the design.</p>	Refer below to the discussion in Table 11.
(b) The established landscape character of the locality including the height of canopy and density of landscaping should be retained.	The majority of the landscaping located on site will be retained. It is proposed to remove some trees (refer to arborist report) however the general landscape character of the site will be retained – particularly through the retention of the trees along the site boundary.
(c) Development near a heritage item should respect the visual curtilage of the item.	Refer below to the discussion in Table 11.
<b>9.8 Scale and Proportion</b>	
<p><b>Objectives</b></p> <p>(a) to ensure that alterations and additions to heritage item and contributory buildings are consistent with the scale and proportion of the item and/or streetscape.</p>	The proposal has been assessed herein to be sympathetic to the landscape conservation area and proximate heritage items. Refer to Table 11 for detailed discussion.

Controls	Discussion
(b) to encourage infill development that recognises the predominant scale and proportion of the setting and responds sympathetically.	The proposal has been assessed herein to the be sympathetic infill development that responds appropriately to the established scale and setting of the locality. Refer to Table 11 for detailed discussion.
(c) to promote development that is respectful of the scale of the surrounding buildings and area.	As discussed, the proposal has been assessed to respond appropriately to the scale of the proximate buildings and surrounding area.

## 6.4. CENTENNIAL PARK CONSERVATION POLICIES

Table 10 – Centennial Park Conservation Policies

Policy	Discussion
<p><u>Fabric and Setting</u></p> <p>Centennial Parklands needs an appropriate physical and visual curtilage including its skyline. It is important that new structures and landscape elements erected in the vicinity of the Centennial Parklands do not negatively impact on the historic precinct, nearby heritage streetscapes/areas, the setting of Centennial Parklands and views to and from Centennial Parklands.</p>	<p>The existing buildings proposed for demolition have been assessed to make a neutral contribution to the adjacent Parklands area. Therefore, the removal of the buildings will have no physical impact or visual impact to the significance of Centennial Parklands.</p> <p>The proposed new buildings have been set back from the school perimeter to the east and south. Therefore, the majority of existing views between Queens park and Centennial Park will be retained.</p> <p>The only views that will have a minor impact are between the south-west corner of Queens Park, toward the south-east corner of Centennial Park (along York Road). This view will be disrupted by the proposed new buildings as part of Stage 1 as the building extends south substantially further than the existing built structures. Current tennis courts and vegetation (trees) are located within in this area. To minimise any disturbance, mature trees will be retained on the corner of the subject site to minimise visual impacts and retain the landscape character of the area and the building has been proposed at three-storeys which is considered low in scale. Further to that, the building is still setback from the College perimeter to enable some of the existing continuous views.</p> <p>Views west along York Road between Queens Park and Centennial Park will still be retained.</p>



## 6.5. HERITAGE DIVISION GUIDELINES

The proposed works are addressed in relation to relevant questions posed in the Heritage Division's 'Statement of Heritage Impact' guidelines.

Table 11 – Heritage Division Guidelines

Question	Discussion
<p>The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:</p>	<p>The existing buildings (proposed for demolition) do not contribute to the overall heritage significance of the subject site (landscape conservation area) or to the vicinity heritage items. This includes Centennial Park and Queens Park. The buildings are of 1990s construction and have no direct associations with the landscape conservation area, or parklands.</p> <p>Due to the location of the proposed new buildings and the isolation of the works within the subject site, they will not cause any physical impacts. This includes overshadowing of the protected scrub land on the site and the adjacent lot.</p> <p>In addition, the proposed works will not alter the significant subdivision patterns and character of the Queens Park Heritage Conservation Area (to the north) or to the North Randwick Heritage Conservation Area (to the south).</p>
<p>The following aspects of the proposal could detrimentally impact on heritage significance.</p> <p>The reasons are explained as well as the measures to be taken to minimise impacts:</p>	<p>There are no aspects of the proposal that will detrimentally impact the heritage significance of the subject site, or the various vicinity items.</p> <p>This is due to the location of the works within the college grounds which date from the late twentieth century, along with the low scale character of the proposed new buildings which ensures the retention of the overall character of the area and significant views toward and from Centennial Park and Queens Park.</p> <p>The protected scrub area on site, and on the site adjacent will be protected by the distance between the scrublands and the proposed site of the works.</p>
<p>The following sympathetic solutions have been considered and discounted for the following reasons:</p>	<p>There were no sympathetic solutions that were considered and discounted.</p>
<p><b>New development adjacent to a heritage item</b></p> <p>How does the new development affect views to, and from, the heritage item?</p> <p>What has been done to minimise negative effects?</p> <p>How is the impact of the new development on the heritage significance of the item or area to be minimised?</p>	<p>In regard to the protected scrub land (including the area on located on the subject site). The identified significant landscape area of the subject site is located in the northwest of the site and is physically and visually separated from the site of the proposed works. This prevents any impacts caused by physical disturbance or overshadowing of the proposed works.</p> <p>In addition, the existing built character of the college is contemporary and visually distinct from the proximate</p>

Question	Discussion
<p>Why is the new development required to be adjacent to a heritage item?</p> <p>How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?</p> <p>Is the development sited on any known, or potentially significant archaeological deposits?</p> <p>If so, have alternative sites been considered? Why were they rejected?</p> <p>Is the new development sympathetic to the heritage item?</p> <p>In what way (e.g. form, siting, proportions, design)?</p> <p>Will the additions visually dominate the heritage item?</p> <p>How has this been minimised?</p> <p>Will the public, and users of the item, still be able to view and appreciate its significance?</p>	<p>heritage items and conservation areas. Therefore, the proposed works will not alter the contribution to the protected scrub areas within the subject site or on the lot adjacent, or to the vicinity heritage items and heritage conservation areas.</p> <p>In addition, the subject site has a street separation between the Queens Park and Alt Street Heritage Conservation Areas to the north, Queens Park to the east and Centennial Park to the west. Therefore, an appropriate setback is already present between these vicinity areas and the college grounds. However, in addition to the street separation, the proposed buildings will also be setback from lot boundary, ensuring a sympathetic curtilage that would in no way physically or visually detract from the identified significance of said items.</p> <p>As discussed above, the proposed works will have minimal impacts on the views to or from the vicinity heritage items or the Queens Park Heritage Conservation Area. The view that will be impacted was already slightly disrupted due to the existing College buildings tree line. Minimal views from the North-west corner of Queens Park have been assessed as acceptable and would in no way detract from the significance of this item.</p> <p>Views from Queens Park Heritage Conservation Area and Alt Street Heritage Conservation Areas (C14 and C18) will not be altered due to the low scale of the proposed buildings and the location on the opposite side of the lot.</p> <p>In addition, the shelter located on York Street (I428) will not be impacted due to the scale of the heritage item and the physical separation of the proposed works created by the location on the opposite corner of the site. The proposed buildings will not be visible from the vicinity of the small shelter due to the existing college buildings, the low scale of the proposed and topography of the site which slopes down to the south of the site.</p>

## 7. CONCLUSION AND RECOMMENDATIONS

This HIS has been prepared in response to the requirements of the Secretary's Environmental Assessment requirements (SEARs) for SSD-10352. The requirements of which have been outlined in Table 1.

The subject site is listed as a landscape conservation area, Remanent Bushland Landscape Conservation Area (C57) as listed under Schedule 5 of the *Waverly Local Environment Plan 2012* (LEP). Additionally, the site is located in proximity to a number of heritage items as detailed in Table 2.

Due to the proximity and historical relationship of the subject site with Centennial Park and Queens Park, this report has referenced the Centennial Parklands Conservation Management Plan, prepared by Conybeare Morrison & Partners (2003) for Centennial Parklands. However, the subject site has been excluded from the CMP. The site was originally part of the Centennial Parklands until it was repurposed during the inter-war period for the Eastern Suburbs Hospital. (constructed throughout the 1930s). Moriah College has been located on the site since the late 1980s and has redeveloped the site to accommodate a Primary School, High School and Early Learning Centre.

The proposed works have been isolated to the south-eastern corner of the subject site. The proposed works include the demolition of nine school buildings and structures (including demountable) and construction of two new buildings in the south-eastern corner of the college site. These buildings will be low in scale (between three to four storeys) and will extend further south than the existing buildings (proposed for demolition). The new buildings will improve amenity for the College by providing new learning spaces for the High School. The two buildings are proposed to be constructed in stages, with the building along the eastern boundary being the first stage and the one immediately to the west constructed as part of stage two works. For this reason, the building proposal for stage two is concept only and indicates the overall location, scale and footprint. Stage One is a detailed proposal which is reflected in the assessment included in Section 5.

In addition to the proposed building works, it is also proposed to remove a number of trees from the site of the proposed new buildings and some landscaping works to improve the sports field to the north and courtyards within the Highschool.

These works have been assessed in detail in Section 5 of this report however a summary of the assessment has been provided below:

- The isolation of the works to the south-eastern corner of the subject site, particularly along the eastern boundary places the proposed works at an acceptable distance from the protected scrub land on site and on the adjacent lot. Therefore, the protected landscaped areas will be protected.
- The low scale of the proposed new buildings ensures they will not overshadow the protected landscape areas.
- The buildings and structures proposed for demolition do not contribute to the landscape significance of the site. The buildings were constructed in the late twentieth century and do not have a historic or visual relationship with the surrounding vicinity items.
- The use of the site will not be altered, therefore the character of the site and the contribution or existing relationship of the site to the surrounding heritage items and conservation areas will not be altered.
- The low scale and location of the proposed new buildings minimises any visual impacts to the visual relationships between Centennial Park and Queens Park. The only disturbance will be caused by the extension of the built form further south (in the current location of the tennis courts). However, due to the setback of the building from the boundary of the site and the clear views down York Road, this disruption is minor and will not detrimentally impact the visual relationships between the two parks.
- Due to the location of the buildings and the existing College buildings (which will remain), they will not be visible from the Queens Park Heritage Conservation Area. Likewise, the substantial distance and the low scale of the buildings, ensures they will have no physical or visual impacts to the North Randwick Conservation Area.
- In addition, the shelter located on York Street (I428) will not be impacted due to the scale of the heritage item and the physical separation of the proposed works created by the location on the opposite corner of the site. The proposed buildings will not be visible from the vicinity of the small shelter due to the existing college buildings, the low scale of the proposed and topography of the site which slopes down to the south of the site.



- Overall, the works will not have any physical impacts to the vicinity items due to the isolation of the works.

Overall, the proposed works are acceptable from a heritage perspective.

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### 8.1. BIBLIOGRAPHY

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[Note: Some government departments have changed their names over time and the above publications state the name at the time of publication.]

# DISCLAIMER

This report is dated 31 October 2019 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd's (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of Moriah College (**Instructing Party**) for the purpose of Heritage Impact Statement for SSD Application (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

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This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.







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