

CENTRE OF EXCELLENCE

ARCHITECTURAL DRAWING SET FOR :

ROYAL INSTITUTE FOR DEAF & BLIND CHILDREN: CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

CLIENT :

ROYAL INSTITUTE FOR DEAF AND BLIND CHILDREN

ISSUED FOR :

DEVELOPMENT APPLICATION

DRAWING LIST	
Drawing No	Draw Name
A000	COVER SHEET & LOCATION PLAN
A010	SITE PLAN
A040	SITE ANALYSIS PLAN
A050	SITE DEMOLITION PLAN
A100	OVERALL PLAN - BASEMENT
A101	OVERALL PLAN - GROUND
A102	OVERALL PLAN - LEVEL 1
A110	FLOOR PLAN - ZONE 1 - BASEMENT
A111	FLOOR PLAN - ZONE 1 - LOWER GROUND
A112	FLOOR PLAN - ZONE 2 - UPPER GROUND
A113	FLOOR PLAN - ZONE 1 - LEVEL 1
A114	ROOF PLAN - ZONE 1
A115	ROOF PLAN - ZONE 2
A500	OVERALL SITE ELEVATIONS
A510	BUILDING ELEVATIONS - ZONE 1
A511	BUILDING ELEVATIONS - ZONE 1
A512	BUILDING ELEVATIONS - ZONE 2
A513	BUILDING ELEVATIONS - ZONE 2
A600	BUILDING SECTIONS - ZONE 1
A601	BUILDING SECTIONS - ZONE 1
A602	BUILDING SECTIONS - ZONE 2
A900	SHADOW DIAGRAMS
A910	3D PERSPECTIVES - ARTIST IMPRESSION
A960	AREA DIAGRAMS
A980	GFA & GBA DIAGRAMS
A990	ROOM SCHEDULES

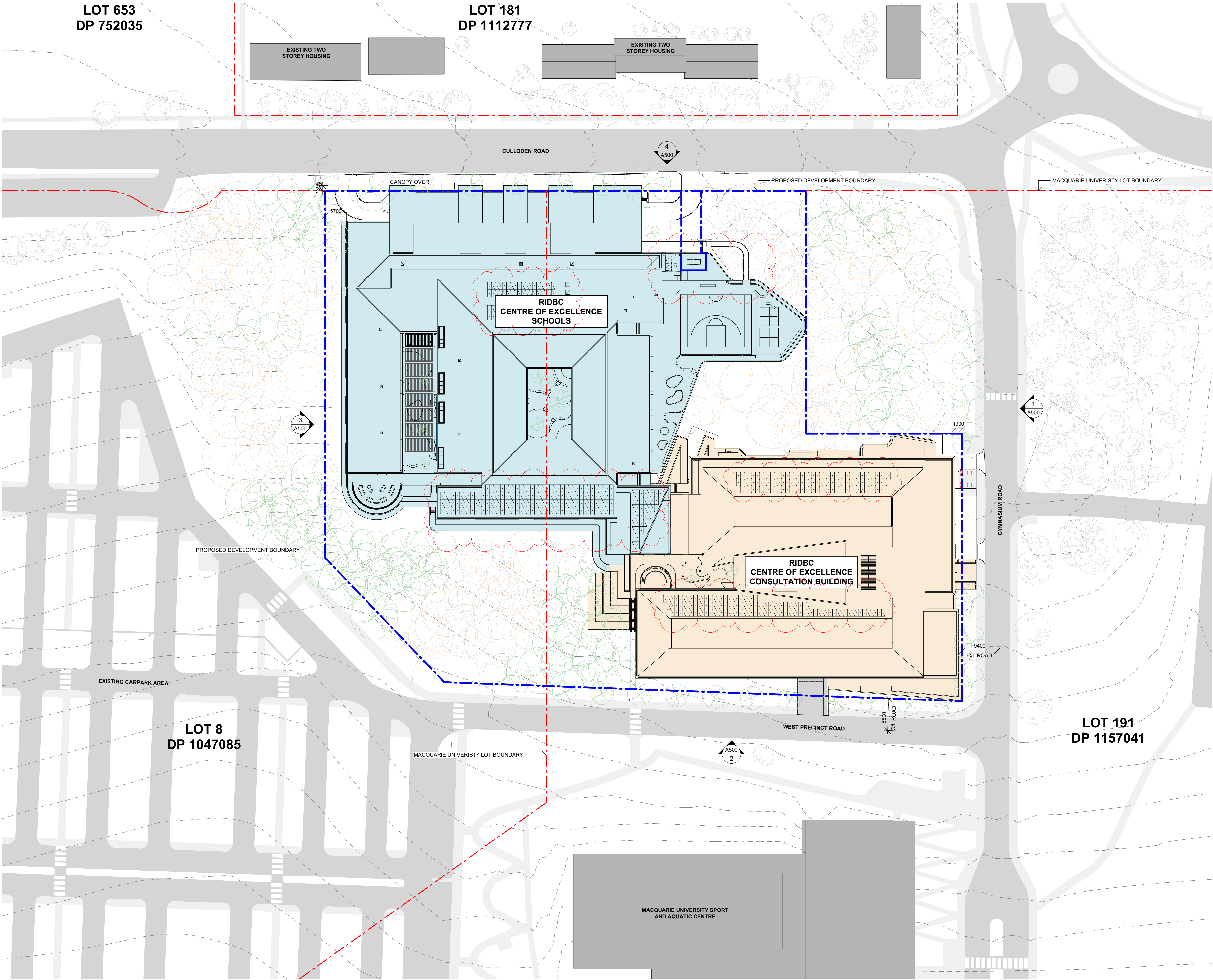


1 LOCATION PLAN
UNIVERSITY CONTEXT



2 ARTIST IMPRESSION
GYMNASIUM ROAD ENTRY

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21
DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION		
WMK WMK Architecture L2 364 Kent Street Sydney NSW 2000 Telephone 02 9299 0401 Facsimile 02 9299 0402 wmkarchitecture.com ABN 25 082 956 929		
Client ROYAL INSTITUTE FOR DEAF AND BLIND CHILDREN		
Project CENTRE OF EXCELLENCE CULLODEN ROAD MACQUARIE UNIVERSITY NSW 2109		
Title COVER SHEET & LOCATION PLAN		
Drawing No. A000	Issue C	
Scale N/A	Drawing Size A1	
Project No. 19181	Drawn By SC & MM	
CAD Reference P:\19181 RIBC Centre of Excellence at Macquarie University\dwg\19181 Rev1.dwg 16/04/2021 1:29:56 PM Dimensioned Drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd ©		

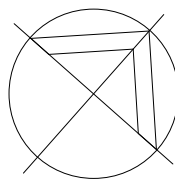


Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

SITE PLAN LEGEND

- MACQUARIE UNIVERSITY LOT BOUNDARY
- PROPOSED DEVELOPMENT BOUNDARY
- ZONE 1 - CONSULT / WORKPLACE (INDOOR & OUTDOOR SPACE)
- ZONE 2 - SCHOOL / EDUCATION (INDOOR & OUTDOOR SPACE)
- TREE TO BE REMOVED
- TREE TO BE RETAINED
- PROPOSED TREE

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0 5 10 15 20m
1:500

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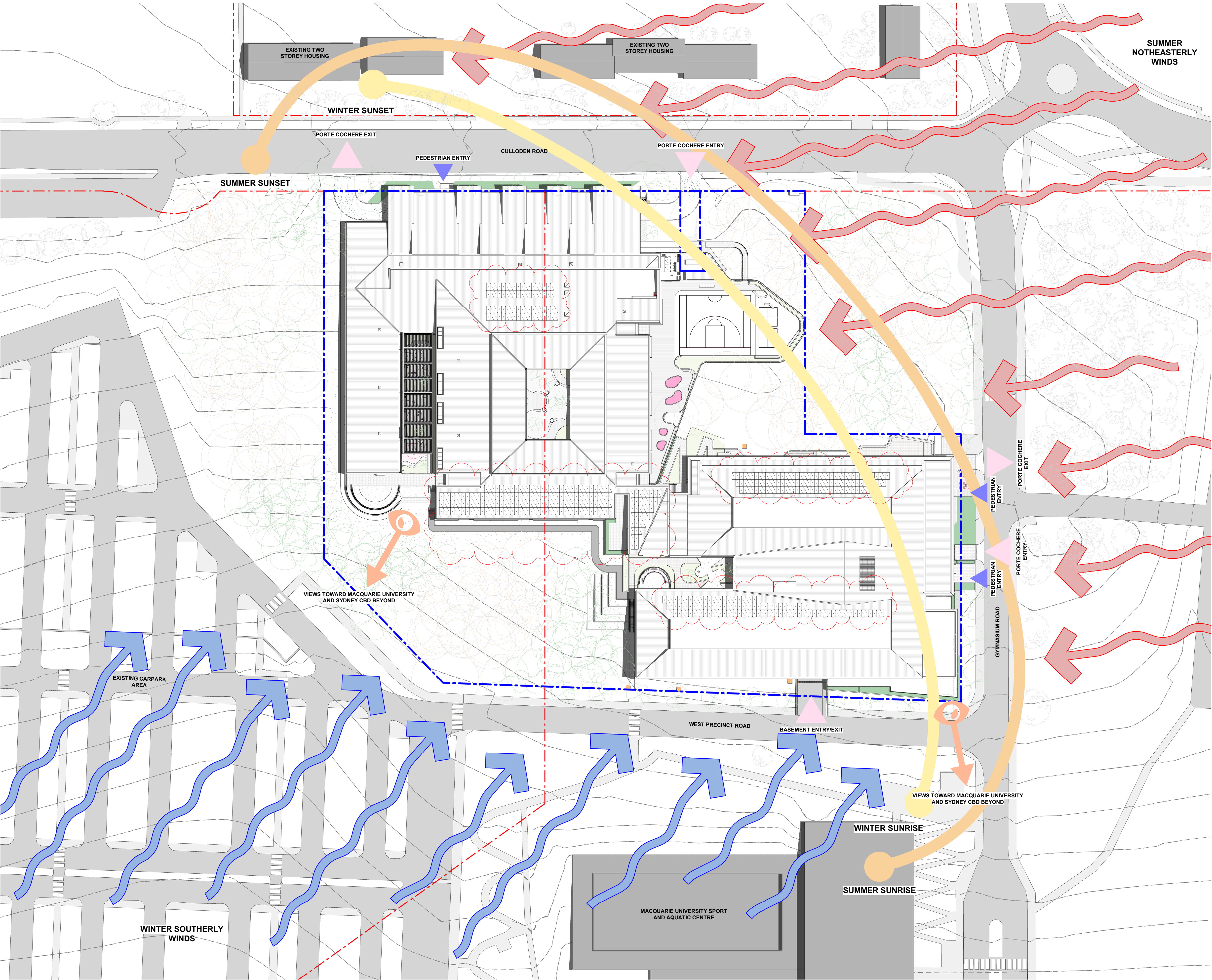
Project
CENTRE OF EXCELLENCE

CULODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
SITE PLAN

Drawing No. A010	Issue C
Scale 1: 500	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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19/04/2021 3:54:35 PM
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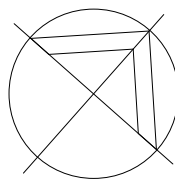


SUN & SHADOWS SHOWN ON 21 DECEMBER AT 12 NOON

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

SITE ANALYSIS LEGEND

- MACQUARIE UNIVERSITY LOT BOUNDARY
- PROPOSED DEVELOPMENT BOUNDARY
- SUMMER SOLSTICE SUNPATH
- WINTER SOLSTICE SUNPATH
- SUMMER WINDS
- WINTER WINDS
- VIEWS
- PEDESTRIAN ACCESS
- VEHICLE ACCESS
- TREE TO BE REMOVED
- TREE TO BE RETAINED
- PROPOSED TREE
- DEVELOPMENT APPLICATION ONLY
- NOT FOR CONSTRUCTION



0 5 10 15 20m
1:500



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Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
SITE ANALYSIS PLAN

Drawing No.
A040

Scale
1:500

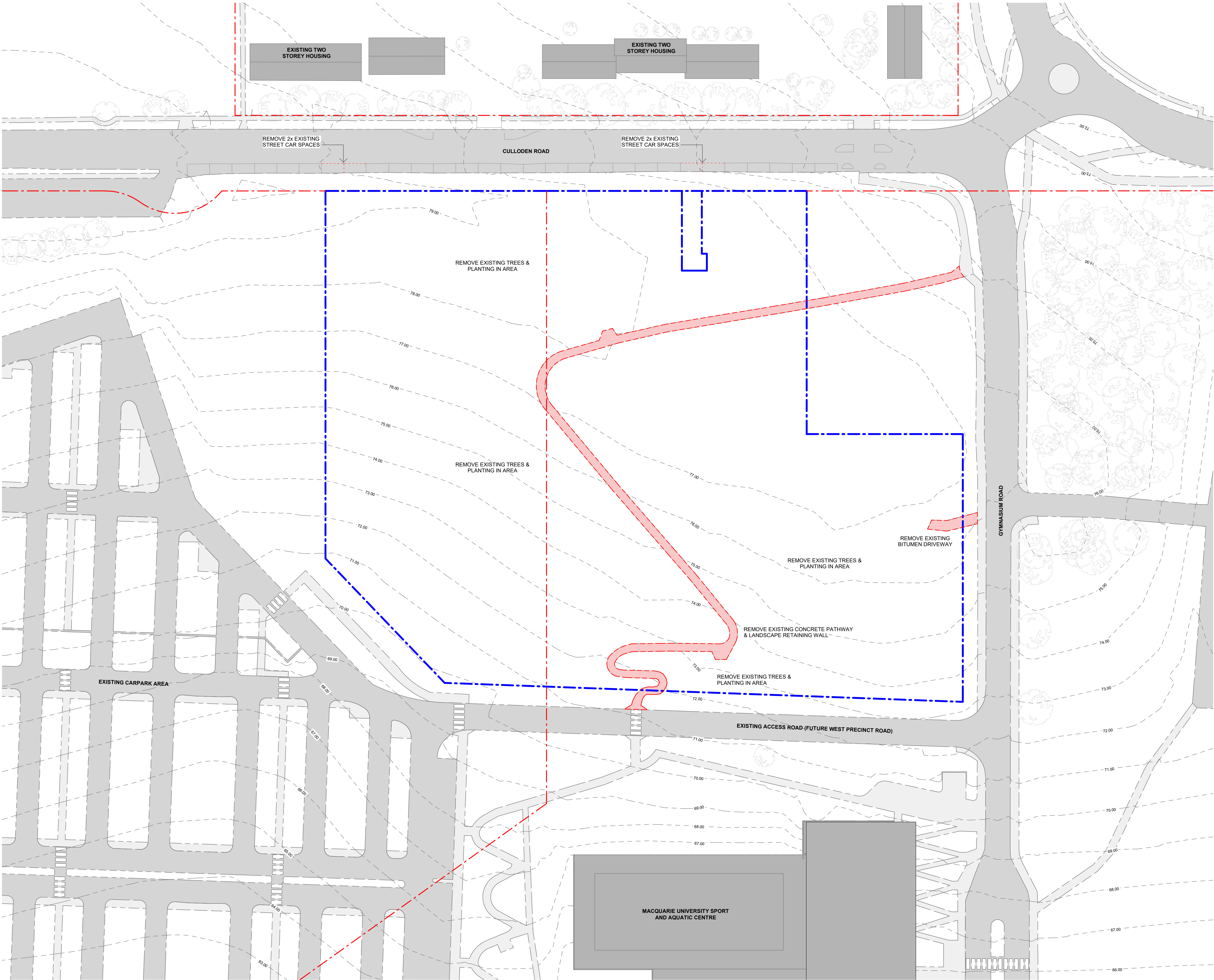
Project No.
19181

Issue
C

Drawing Size
A1

Drawn By
MM

CAD Reference
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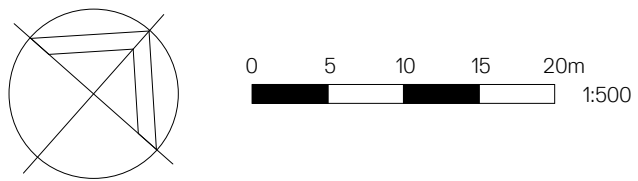
Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

SITE DEMOLITION LEGEND

- MACQUARIE UNIVERSITY LOT BOUNDARY
- PROPOSED DEVELOPMENT BOUNDARY
- LANDSCAPE STRUCTURES, PATHS, FEATURES TO BE REMOVED
- TREE TO BE REMOVED
- TREE TO BE RETAINED
- PROPOSED TREE

DEVELOPMENT APPLICATION
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NOTE:
-REFER TO BOTH ARBORIST & LANDSCAPE REPORTS /
DRAWINGS FOR FURTHER INFORMATION ON
RETENTION & REMOVAL OF SITE TREES. TREE SIZES,
& LOCATIONS SHOWN ARE INDICATIVE ONLY.



Client
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CHILDREN

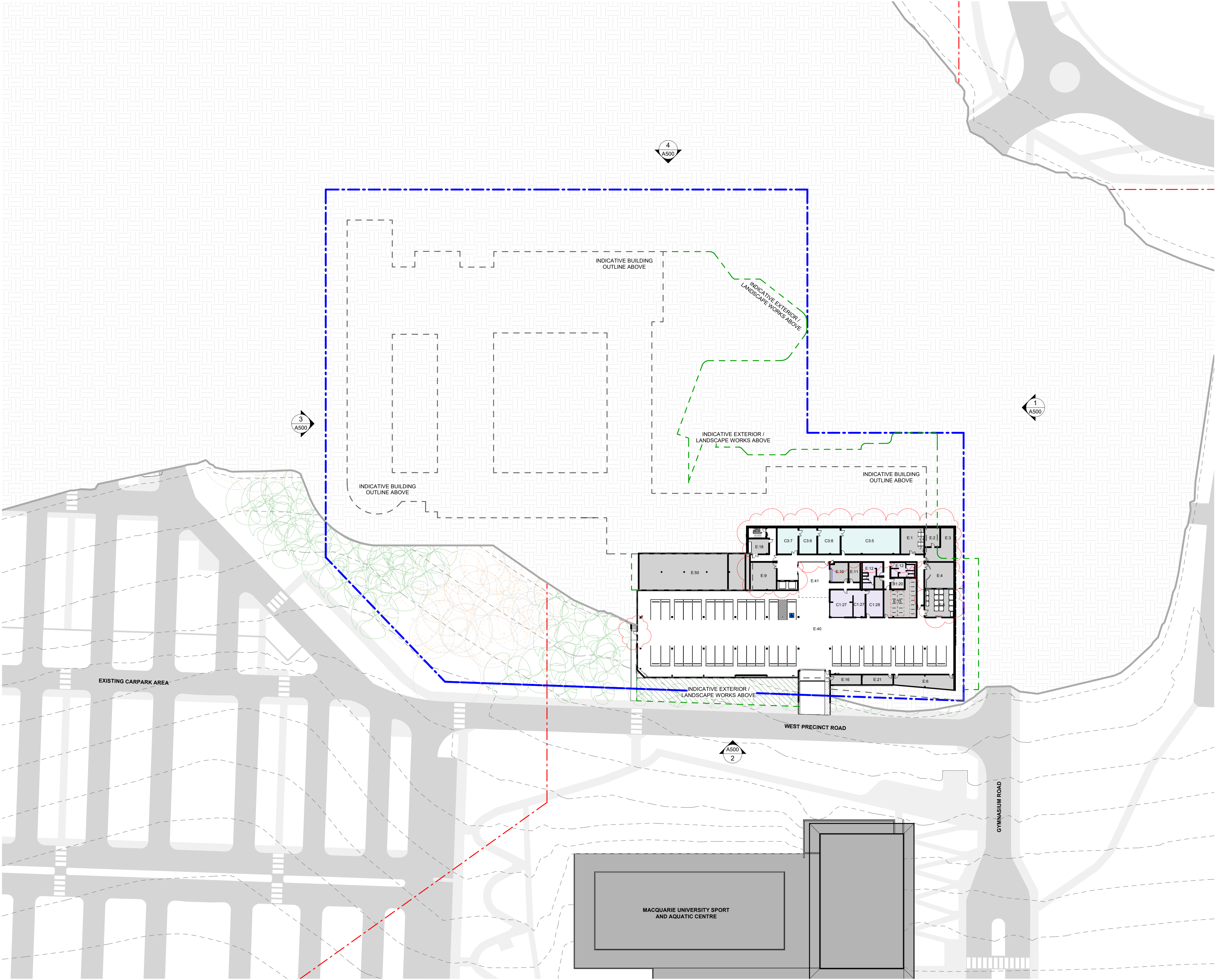
Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
SITE DEMOLITION PLAN

Drawing No. A050	Issue C
Scale 1: 500	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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A	SSDA SUBMISSION	11.11.20
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C	SSDA RE-SUBMISSION	16.04.21

OVERALL BUILDING PLAN LEGEND

MACQUARIE UNIVERSITY
LOT BOUNDARY

PROPOSED SITE BOUNDARY

PUBLIC

INVITED / CONSULTATION

PRIVATE / EDUCATION

PRIVATE / WORKPLACE

INFRASTRUCTURE

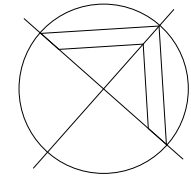
PROPOSED LANDSCAPE BATTER

TREE TO BE REMOVED

TREE TO BE RETAINED

PROPOSED TREE

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0 5 10 15 20m
1:500



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CHILDREN

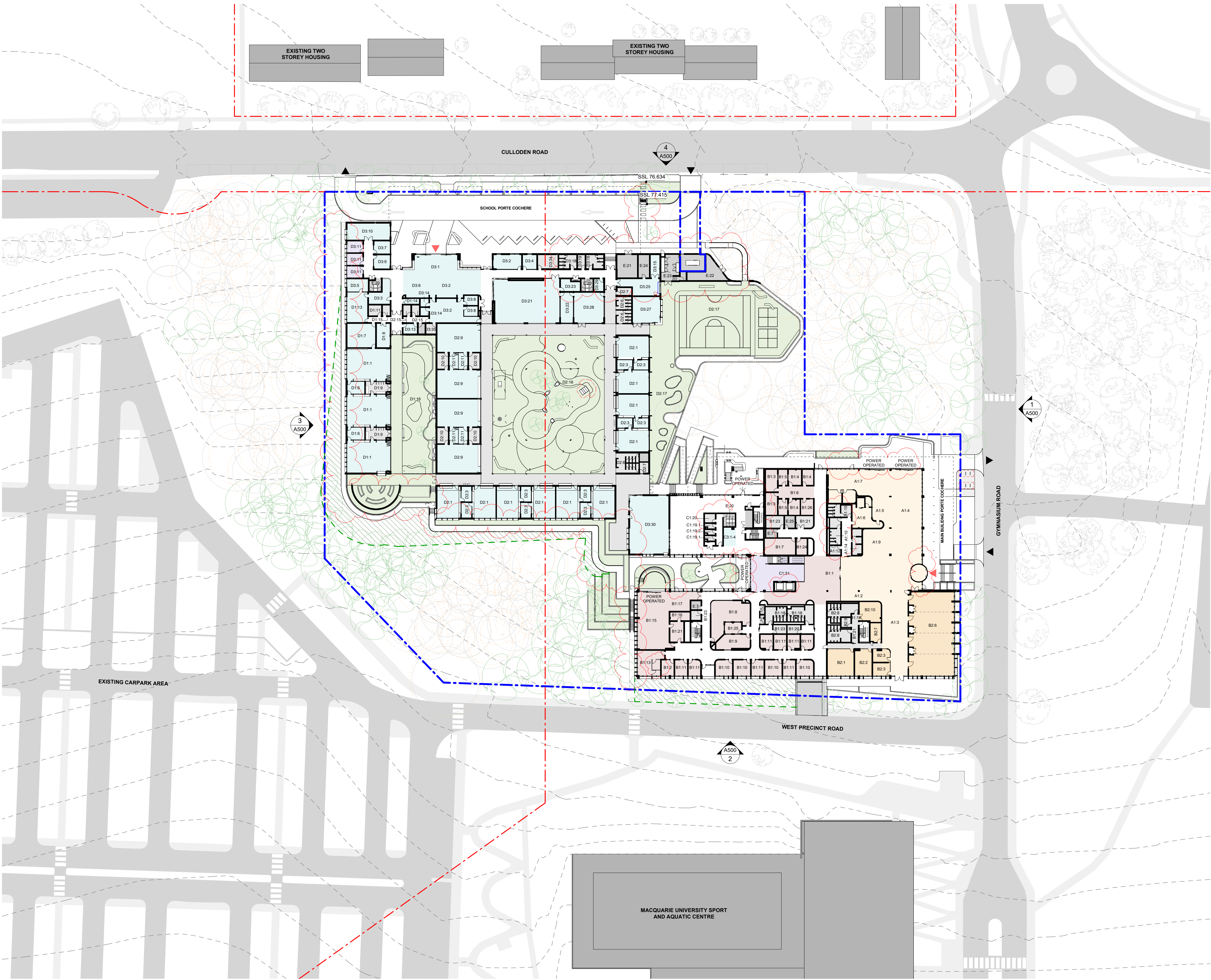
Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
OVERALL PLAN - BASEMENT

Drawing No. A100	Issue C
Scale 1 : 500	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

OVERALL BUILDING PLAN LEGEND

- MACQUARIE UNIVERSITY LOT BOUNDARY
- PROPOSED SITE BOUNDARY
- PUBLIC
- INVITED / CONSULTATION
- PRIVATE / EDUCATION
- PRIVATE / WORKPLACE
- INFRASTRUCTURE
- PROPOSED LANDSCAPE BATTER
- TREE TO BE REMOVED
- TREE TO BE RETAINED
- PROPOSED TREE
- DEVELOPMENT APPLICATION ONLY
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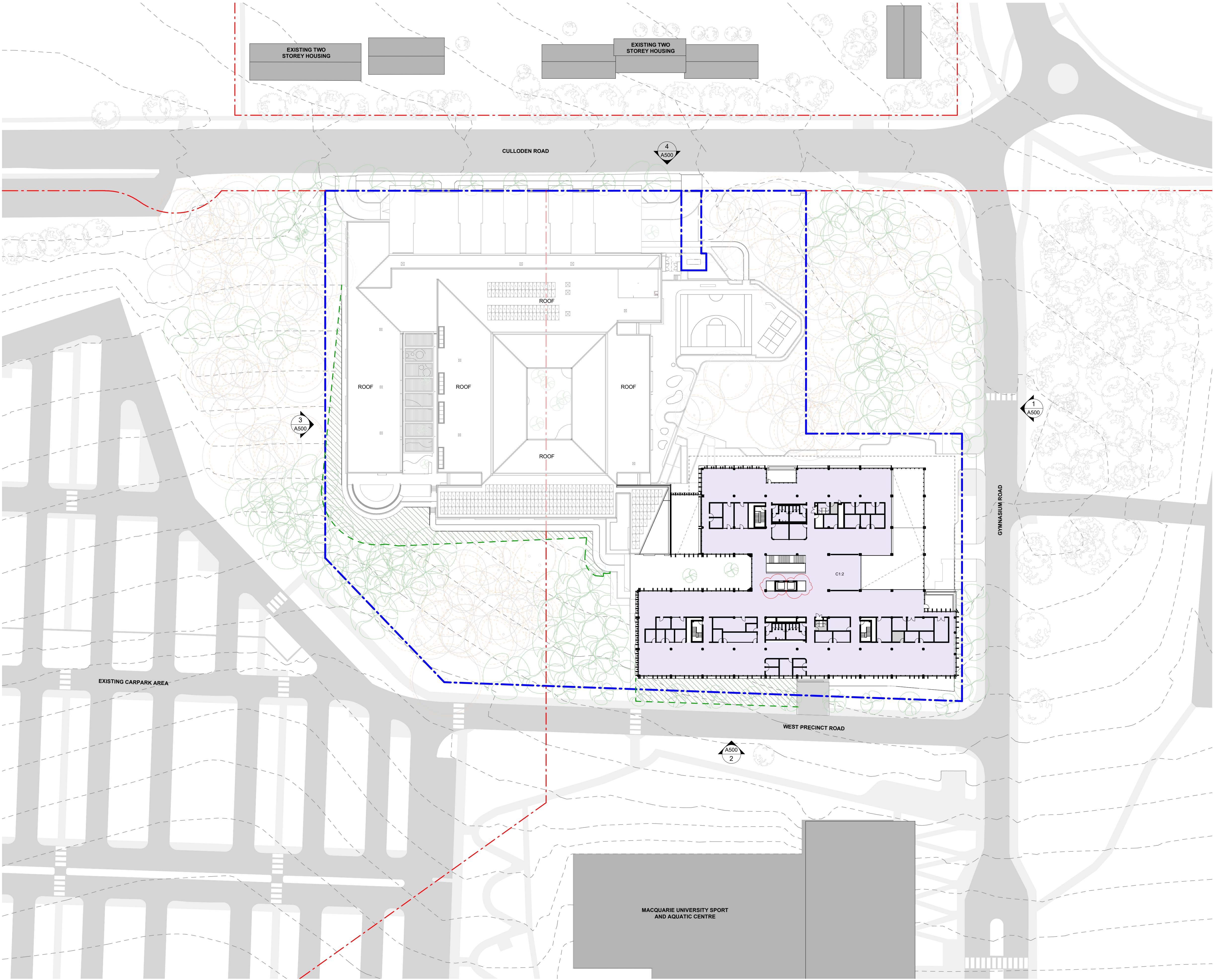
Project
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NSW 2109

Title
OVERALL PLAN - GROUND

Drawing No. A101	Issue C
Scale 1 : 500	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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A	SSDA SUBMISSION	11.11.20
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C	SSDA RE-SUBMISSION	16.04.21

OVERALL BUILDING PLAN LEGEND

MACQUARIE UNIVERSITY
LOT BOUNDARY

PROPOSED SITE BOUNDARY

PUBLIC

INVITED / CONSULTATION

PRIVATE / EDUCATION

PRIVATE / WORKPLACE

INFRASTRUCTURE

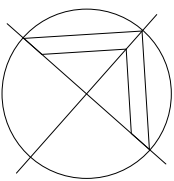
PROPOSED LANDSCAPE BATTER

TREE TO BE REMOVED

TREE TO BE RETAINED

PROPOSED TREE

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Title
OVERALL PLAN - LEVEL 1

Drawing No. A102	Issue C
Scale 1 : 500	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

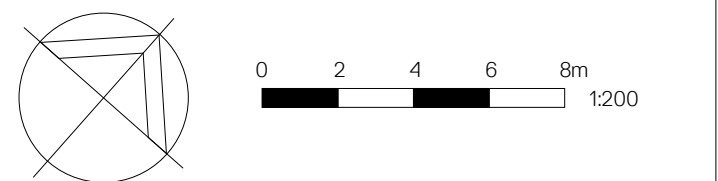
ZONE BUILDING PLAN LEGEND

-
- MACQUARIE UNIVERSITY LOT BOUNDARY
- PROPOSED DEVELOPMENT BOUNDARY
- PUBLIC
- CONFERENCE
- CONSULT
- EDUCATION
- WORK
- INFRASTRUCTURE
- TOILETS
- PROPOSED LANDSCAPE BATTER
- TREE TO BE RETAINED
- PROPOSED TREE
- DEVELOPMENT APPLICATION ONLY
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NOTE:

-EXISTING & NEW TREE SIZING & LOCATION ARE INDICATIVE ONLY, REFER TO ARBORIST & LANDSCAPE REPORTS / DRAWINGS FOR FURTHER INFORMATION.

-FOR EXTERNAL FINISHES & MATERIALS REFER TO A510
DRAWING SERIES.



Client

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CHILDREN

Project

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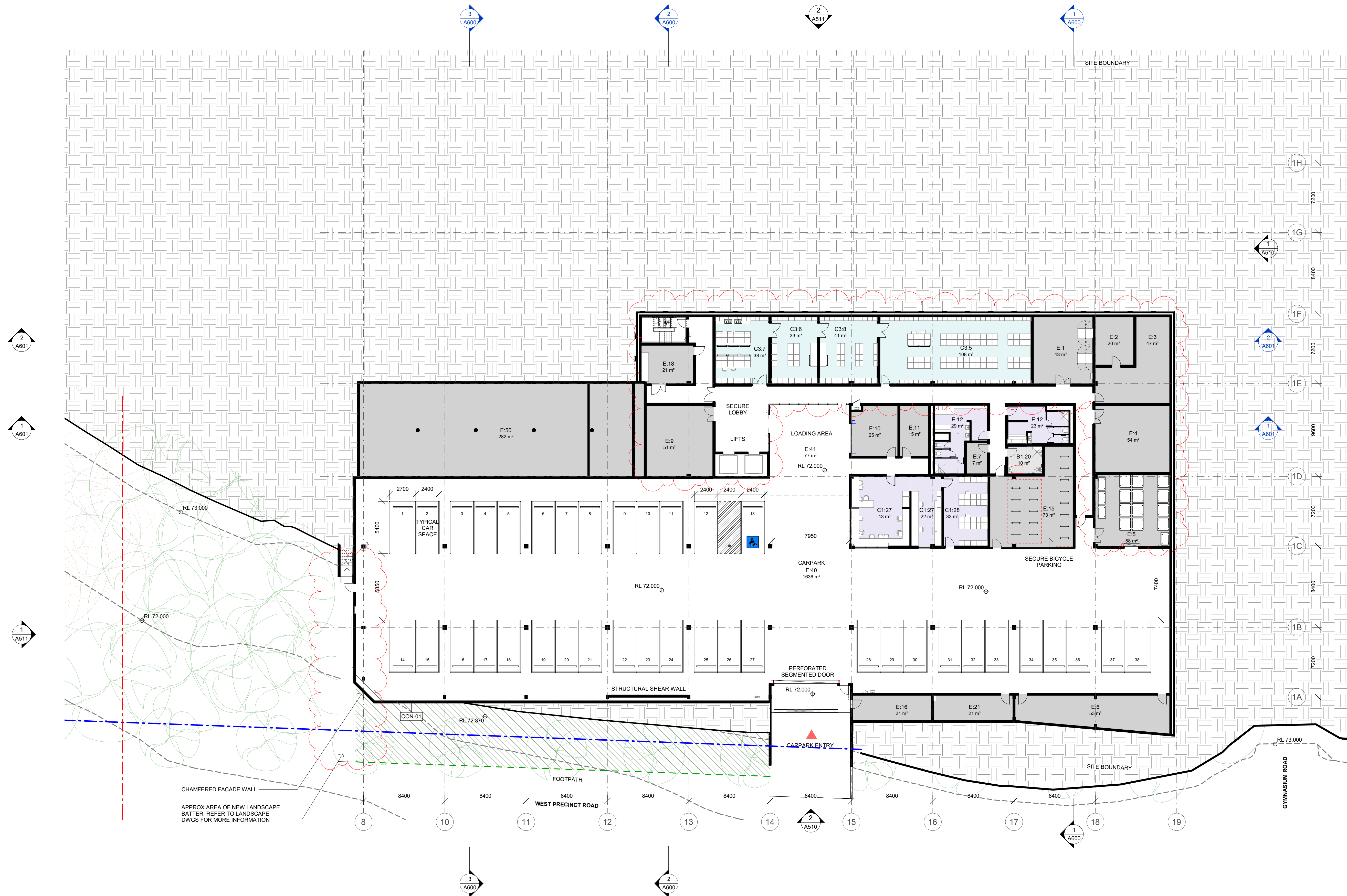
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NSW 2109

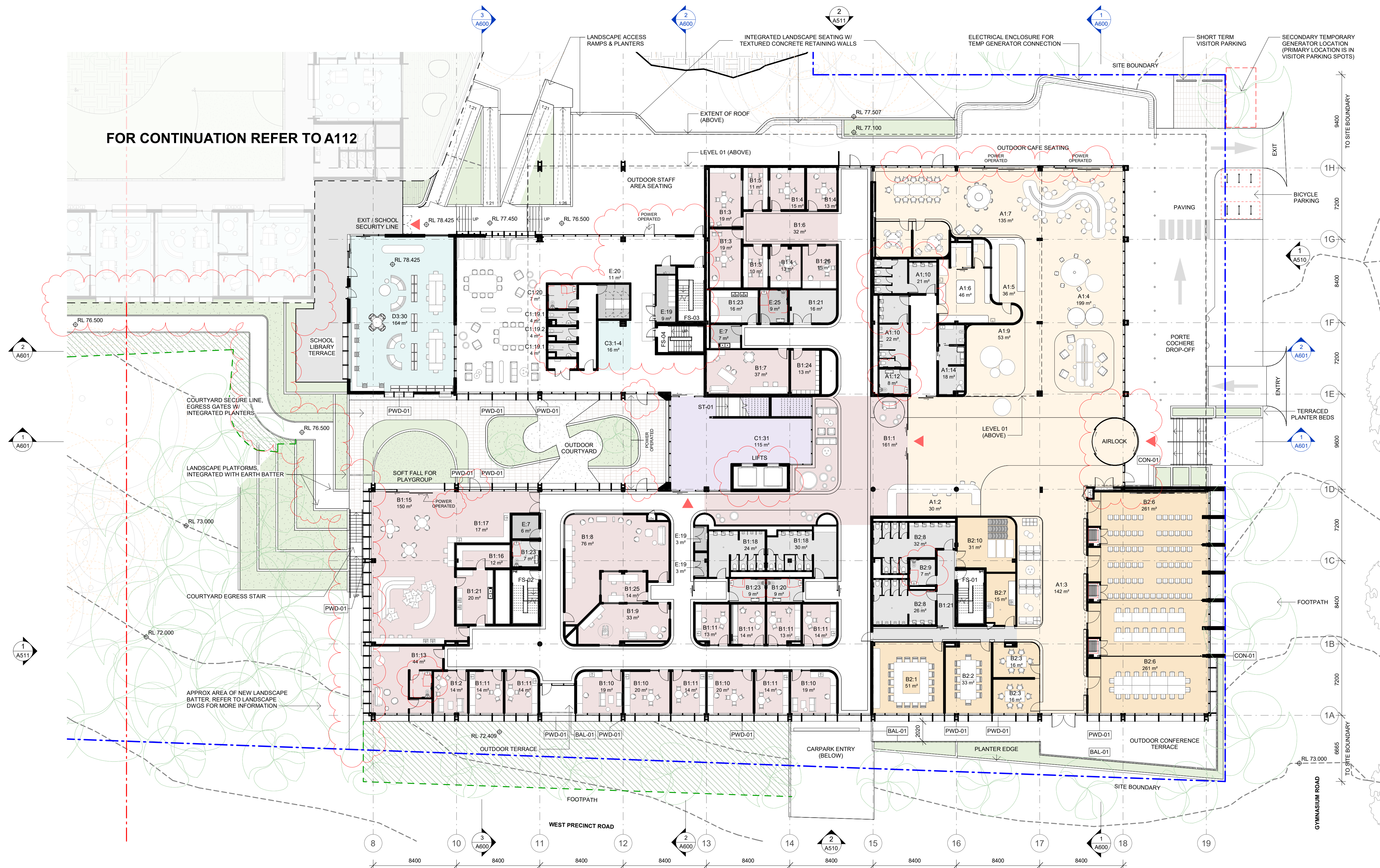
Title
FLOOR PLAN - ZONE 1 - BASEMENT

Drawing No. A110	Issue C
Scale 1 : 200	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
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C	SSDA RE-SUBMISSION	16.04.21

ZONE BUILDING PLAN LEGEND

MACQUARIE UNIVERSITY LOT BOUNDARY	PUBLIC	CONFERENCE
PROPOSED DEVELOPMENT BOUNDARY	CONSULT	EDUCATION
TOILETS	WORK	INFRASTRUCTURE
TREE TO BE RETAINED	PROPOSED LANDSCAPE BATTER	
PROPOSED TREE		

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Project
CENTRE OF EXCELLENCE

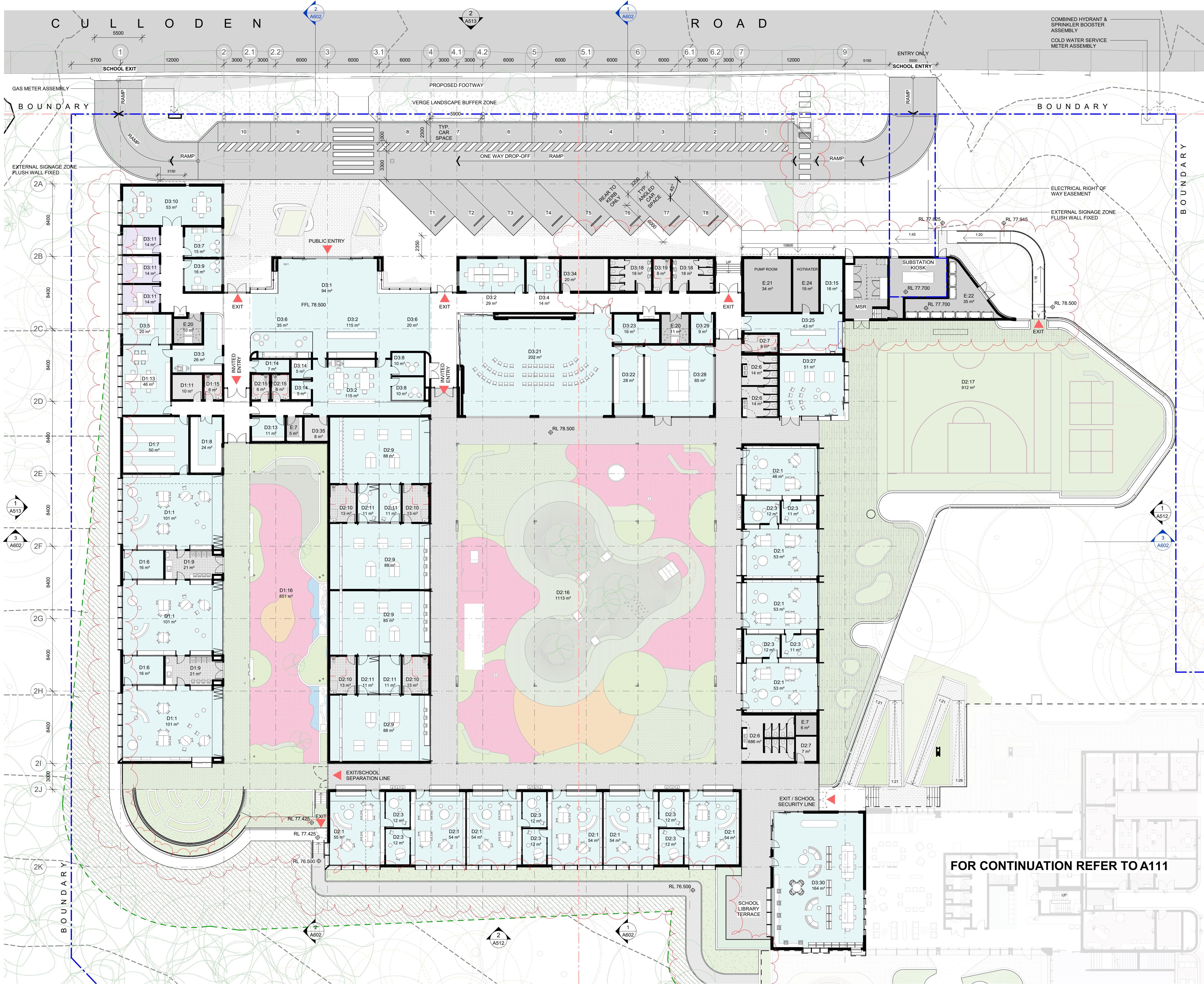
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NSW 2109

Title
FLOOR PLAN - ZONE 1 - LOWER GROUND

Drawing No. A111	Issue C
Scale 1: 200	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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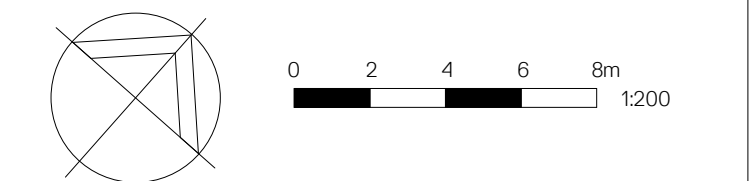
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Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

ZONE BUILDING PLAN LEGEND	
---	MACQUARIE UNIVERSITY LOT BOUNDARY
---	PROPOSED DEVELOPMENT BOUNDARY
	PUBLIC
	CONFERENCE
	CONSULT
	EDUCATION
	WORK
	INFRASTRUCTURE
	TOILETS
	PROPOSED LANDSCAPE BATTER
	TREE TO BE RETAINED
	PROPOSED TREE
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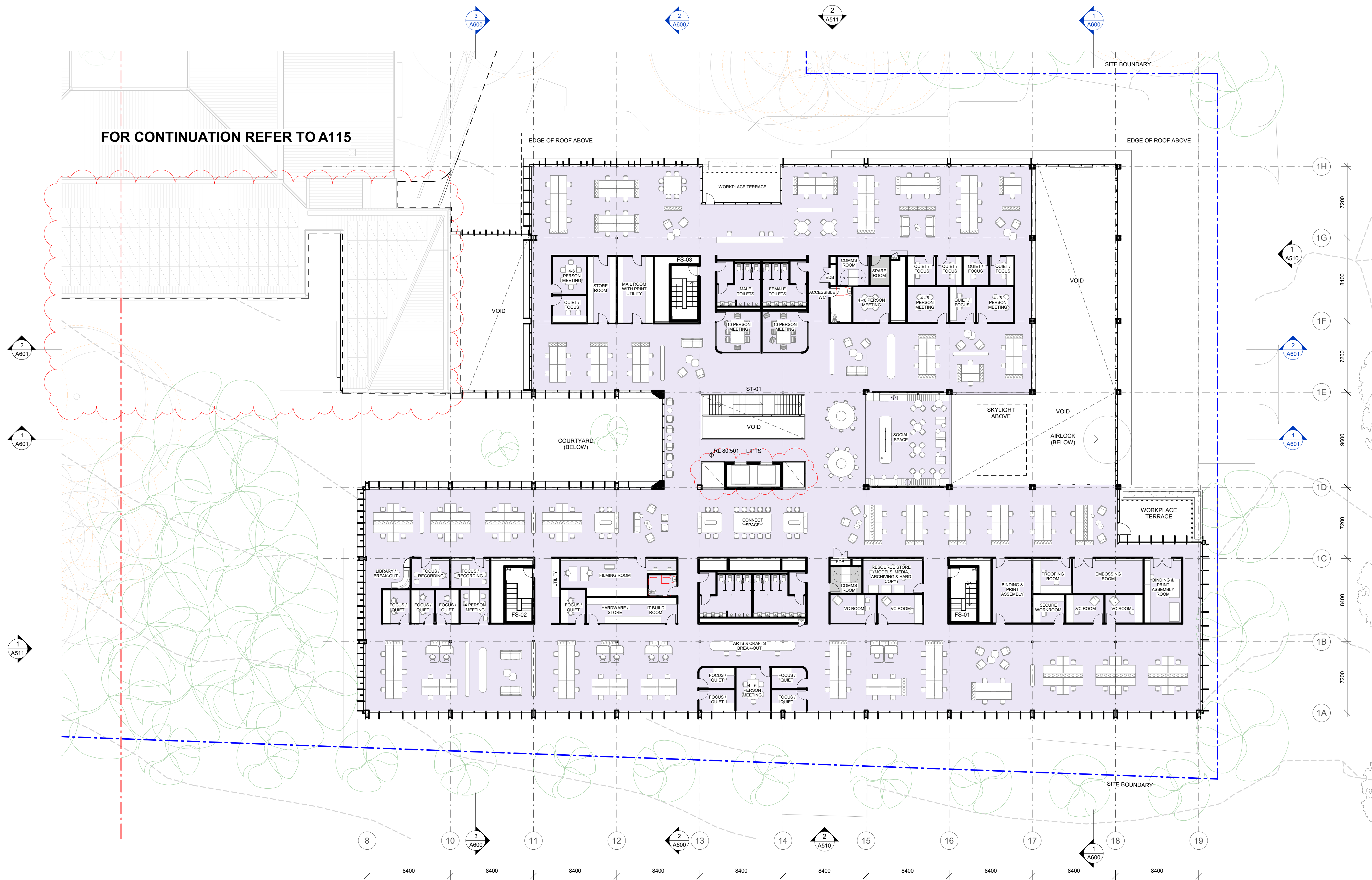
Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
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NSW 2109

Title
FLOOR PLAN - ZONE 2 - UPPER GROUND

Drawing No. A112	Issue C
Scale 1: 200	Drawing Size A1
Project No. 19181	Drawn By SC

CAD Reference
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Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

ZONE BUILDING PLAN LEGEND

MACQUARIE UNIVERSITY LOT BOUNDARY

PROPOSED DEVELOPMENT BOUNDARY

PUBLIC

CONFERENCE

CONSULT

EDUCATION

WORK

INFRASTRUCTURE

TOILETS

PROPOSED LANDSCAPE BATTER

TREE TO BE RETAINED

PROPOSED TREE

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0 2 4 6 8m
1200

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Client
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Project
CENTRE OF EXCELLENCE

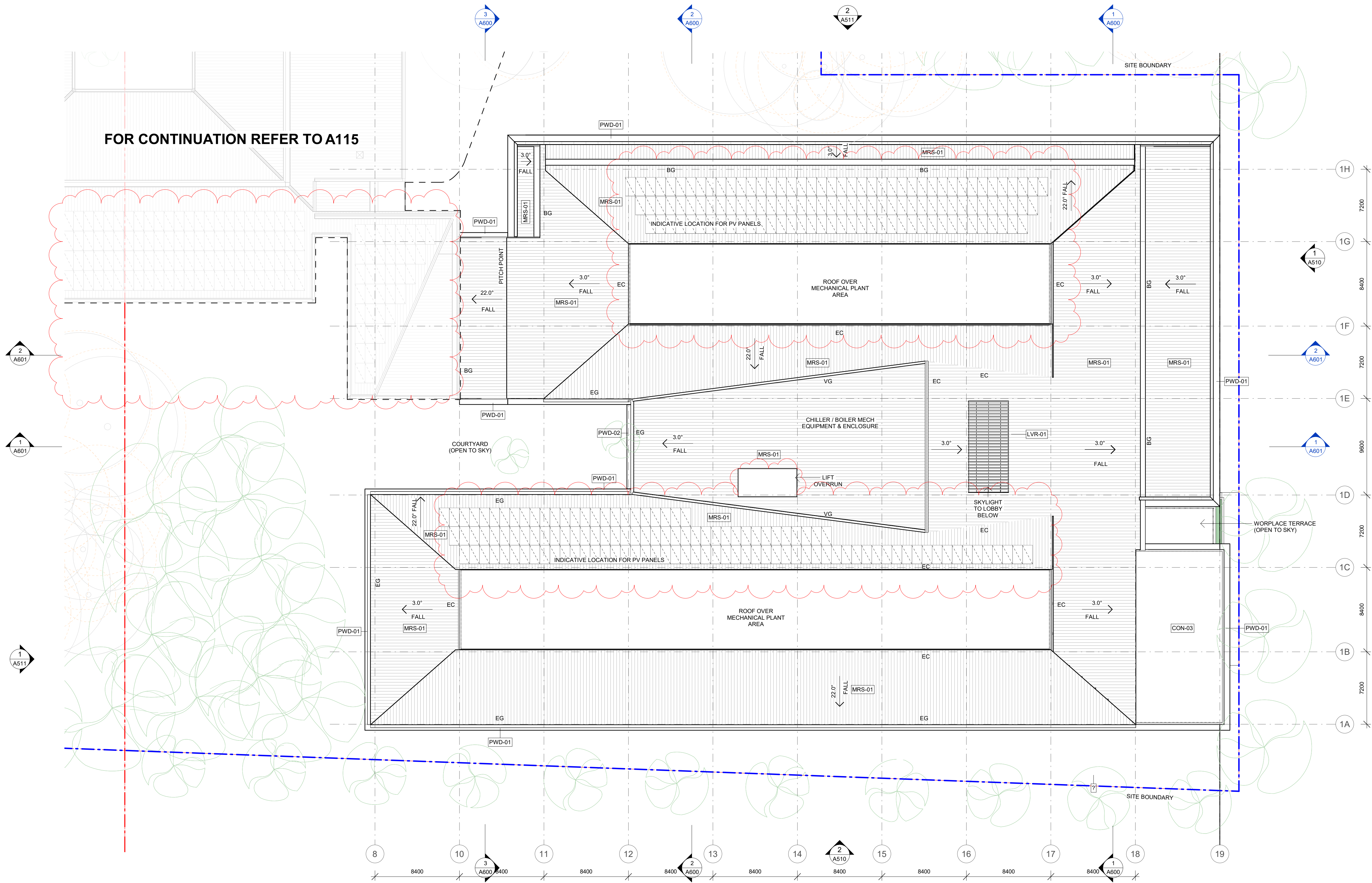
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NSW 2109

Title
FLOOR PLAN - ZONE 1 - LEVEL 1

Drawing No. A113	Issue C
Scale 1 : 200	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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16/04/2021 1:42:00 PM

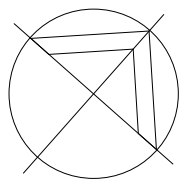
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FOR CONTINUATION REFER TO A115

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

DEVELOPMENT APPLICATION
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NOT FOR CONSTRUCTION



0 2 4 6 8m
1200



Client
ROYAL INSTITUTE FOR DEAF AND BLIND
CHILDREN

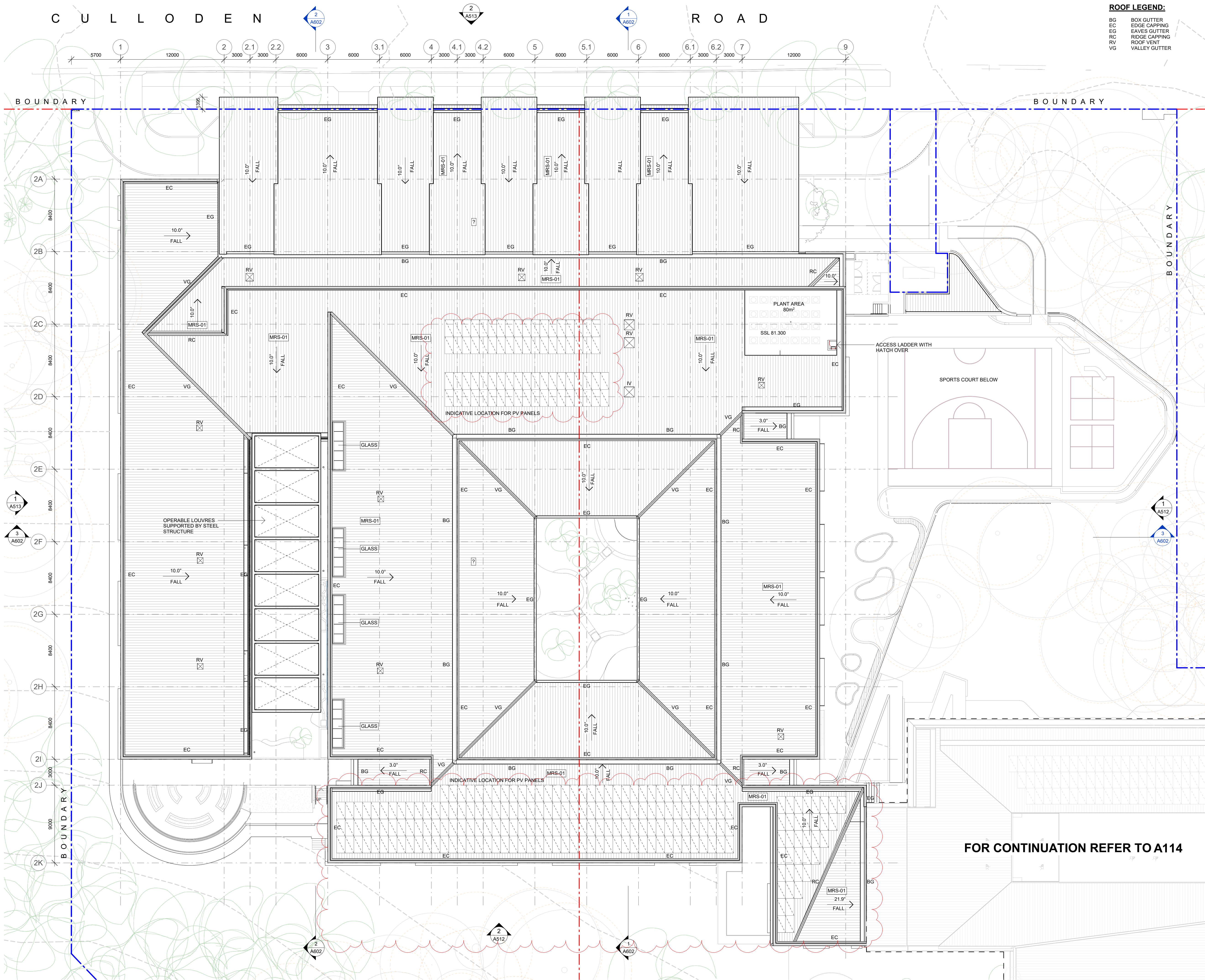
Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
ROOF PLAN - ZONE 1

Drawing No. A114	Issue C
Scale 1: 200	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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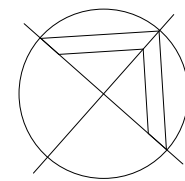


ROOF LEGEND:

BG	BOX GUTTER
EC	EDGE CAPPING
EG	EAVES GUTTER
RC	RIDGE CAPPING
RV	ROOF VENT
VG	VALLEY GUTTER

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
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DEVELOPMENT APPLICATION
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0 2 4 6 8m 1200

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Client
ROYAL INSTITUTE FOR DEAF AND BLIND
CHILDREN

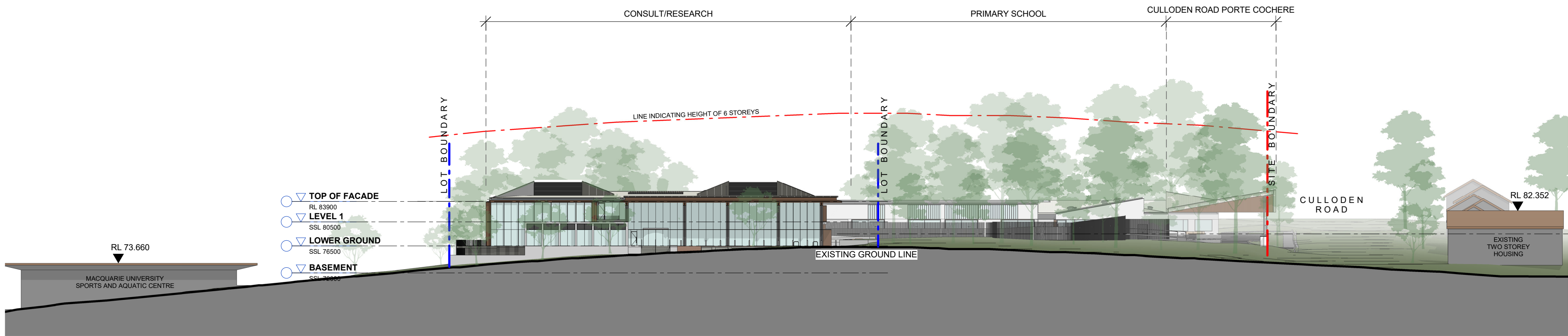
Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
ROOF PLAN - ZONE 2

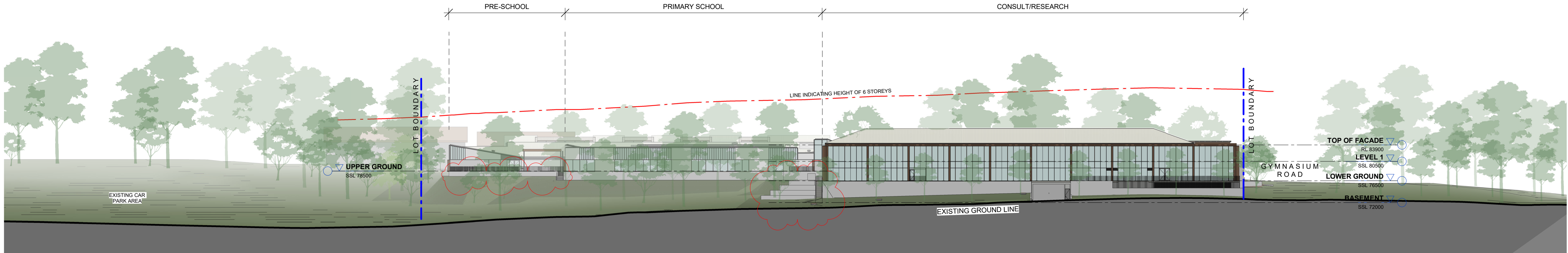
Drawing No. A115	Issue C
Scale 1: 200	Drawing Size A1
Project No. 19181	Drawn By SC

CAD Reference
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1 ELEVATION
OVERALL NORTH

SCALE 1 : 500



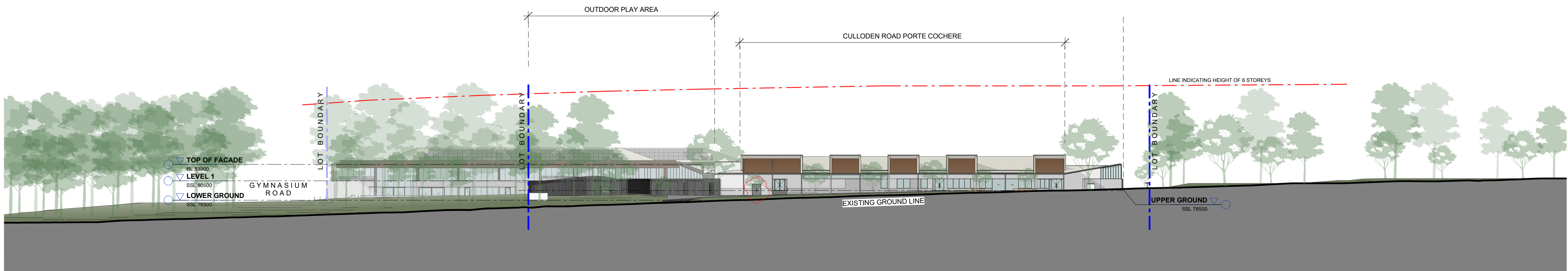
2 ELEVATION
OVERALL EAST

SCALE 1 : 500



3 ELEVATION
OVERALL SOUTH

SCALE 1 : 500



4 ELEVATION
OVERALL WEST

SCALE 1 : 500

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

0 5 10 15 20m
1:500



Client
ROYAL INSTITUTE FOR DEAF AND BLIND
CHILDREN

Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
OVERALL SITE ELEVATIONS

Drawing No. A500	Issue C
Scale 1 : 500	Drawing Size A1
Project No. 19181	Drawn By SC

CAD Reference
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16/04/2021 12:56:05 PM
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Architect immediately. This drawing and its contents remain the copyright of
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1 ELEVATION
ZONE 1 - NORTH
SCALE 1 : 200



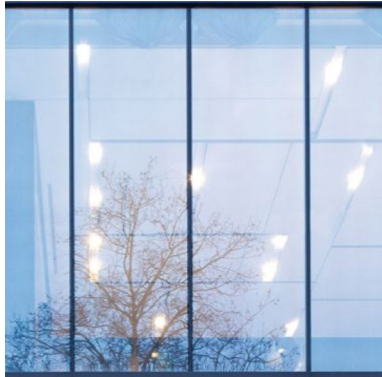
2 ELEVATION
ZONE 1 - EAST
SCALE 1 : 200

Zone 1 - Consultation Building

Zone 2 - School Building

EWG-01 GL-01 EWG-02 GL-02

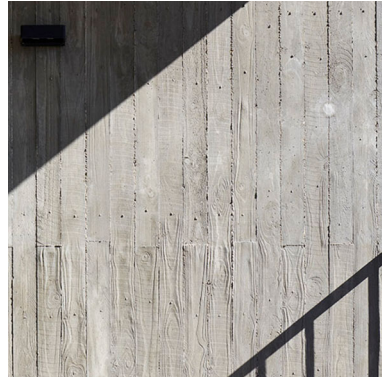
ERG-01 GL-03



LOCATION:
EWG-01 & GL-01: Zone 1 - external wall glazing system & glass type.
EWG-02 & GL-02: Zone 2 - external wall glazing system & glass type. All high-level glazing to have manually operated louvres (LVR-04) to 50% coverage, all low-level glazing to incorporate external aluminium frames and reveals as shown on drawings.

ERG-01 & GL-03: Zone 1 - external roof glazing.
SURFACE: Glass coatings to suit performance specification per ESD report.
FRAMING FINISH: Powdercoat finish, Dulux Basalt Matte.
GLASS COLOUR: Colour to suit performance specifications per ESD report.

CON-01



LOCATION: Zone 1 & 2 - base / podium, retaining walls & planters.
SURFACE: Off-form / board-marked, in-situ or precast concrete.
FINISH: Nawkaw coating.



LOCATION: Zone 1 - North facade, to selected, concrete feature wall(s) only.
SURFACE: In-situ or precast concrete.
FINISH: Nawkaw surface coating, metallic finish

CON-02



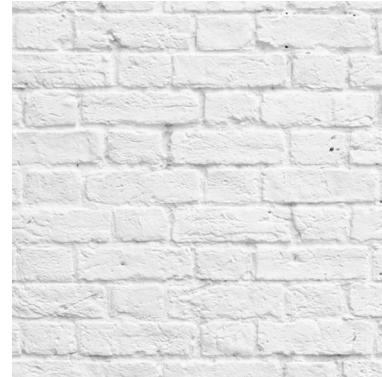
LOCATION: Zone 2 - courtyard play areas & planters.
SURFACE: In-situ or precast concrete.
FINISH: Nawkaw fair-faced coating.

LVR-01

LOCATION: Zone 1 - porte cochere roof canopy (entry side), skylight above main foyer & canopy over Northern edge of building.

SUFACE: Fixed, extruded aluminium louvres, profile TBD.
FINISH: Powdercoat finish PWD-01.

BRK-01



LOCATION: Zone 2.
SURFACE: Brick.
FINISH: Bagged coating render.
COLOUR: Dulux Summer Cloud Quarter.

LVR-02

LOCATION: Zone 1.
DESCRIPTION: Fixed, aluminium weather-proof louvres for mechanical ventilation & exhaust. Colour to match curtainwall framing (powdercoat finish).

BRK-02



LOCATION: Zone 2 - parapet walls where required roof plant is located.
SURFACE: Hit-and-miss brick.
FINISH: Bagged coating render.
COLOUR: Dulux Summer Cloud Quarter.

LVR-03

LOCATION: Zone 2.
DESCRIPTION: Automated glass louvres in high level COLA roof.

SFT-01

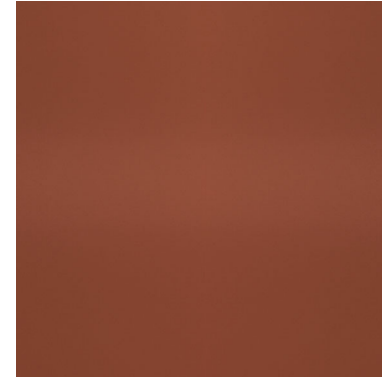


LOCATION: Zone 2 - porte cochere canopy soffit.
SURFACE: Aluminium, timber-lock battens.
FINISH: Covet Ever-Art, colour / pattern TBD.

LVR-04

LOCATION: Zone 2.
DESCRIPTION: Manually operated glass louvres in high level EWG-01 glazing system.

PWD-01



LOCATION PNT-01: Zone 1 - exposed structural steel components associated with roofs, columns and facade.
SUBSTRATE: Steel.
PRODUCT: 3-coat high durability paint system, suitable for steel exposed to weather, comprising of Interprinc315 + Intergard 345 + Interthane 870.
COLOUR: Custom colour, to match Interpon 'Copper Penny.'

LOCATION PWD-01: Zone 1 & 2 - external sunshade devices, lintels, shelves and window reveal systems as part of glazed facades.

SUBSTRATE: Extruded Aluminium profiles, aluminium sheets and aluminium panels.
PRODUCT: Interpon D3020 Fluoromax TGIC-Free Fluoropolymer.
COLOUR: "Copper Penny."

PNT-01



LOCATION: Zone 1 & 2, metal roof sheeting, roof cappings, gutters & exposed downpipes.
SURFACE: Steel.
FINISH: Colourbond Surfist, concealed downpipes to be painted PVC.

MRS-01



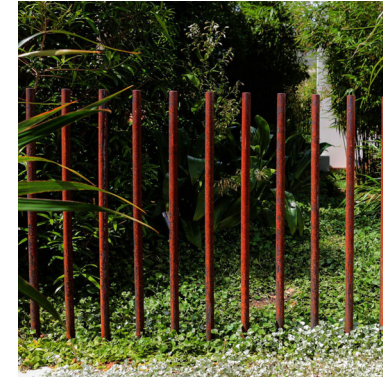
LOCATION: Zone 1 & 2, metal roof sheeting, roof cappings, gutters & exposed downpipes.
SURFACE: Steel.
FINISH: Colourbond Surfist, concealed downpipes to be painted PVC.

FEN-01



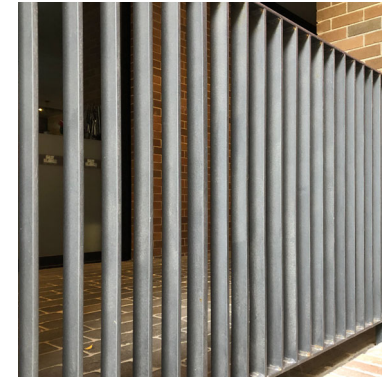
LOCATION: Zone 2, security and balustrade fencing.
SURFACE: Painted steel plate fencing.
COLOUR: Dulux Basalt Matte.

FEN-02



LOCATION: Zone 2, outdoor play area fencing.
SURFACE: Painted steel rod fencing.
COLOUR: Colour patterning TBD.

BAL-01



LOCATION: Zone 1, general balustrades around elevated terraces.
SURFACE: Painted steel plate / fin balustrade.
COLOUR: Dulux Basalt Matte.

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

0 2 4 6 8m
1:200



Client
ROYAL INSTITUTE FOR DEAF AND BLIND CHILDREN

Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

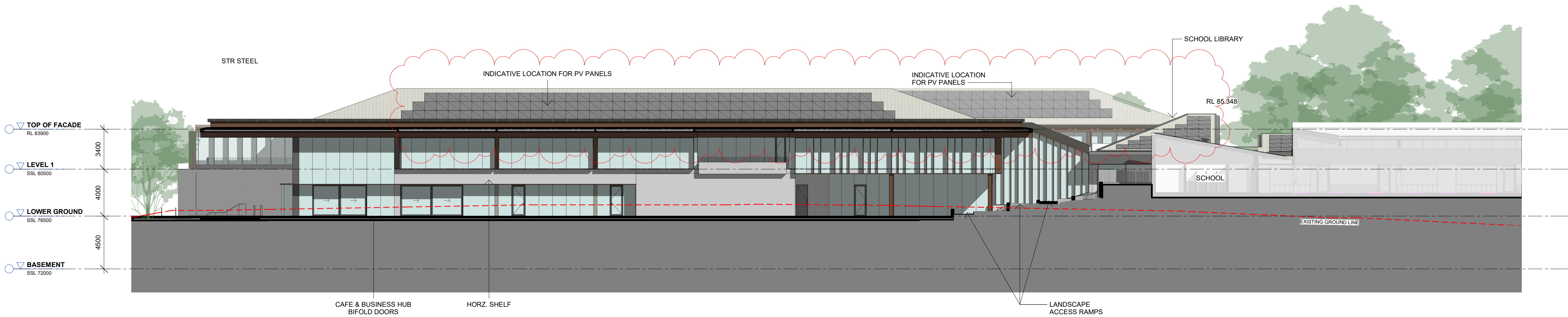
Title
BUILDING ELEVATIONS - ZONE 1

Drawing No. A510	Issue C
Scale 1 : 200	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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1 ELEVATION
ZONE 1 - SOUTH
SCALE 1 : 200



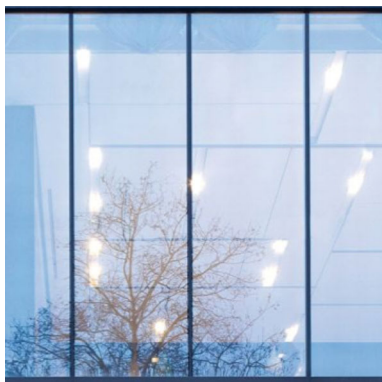
2 ELEVATION
ZONE 1 - WEST
SCALE 1 : 200

Zone 1 - Consultation Building

Zone 2 - School Building

EWG-01 GL-01 EWG-02 GL-02

ERG-01 GL-03



LOCATION:

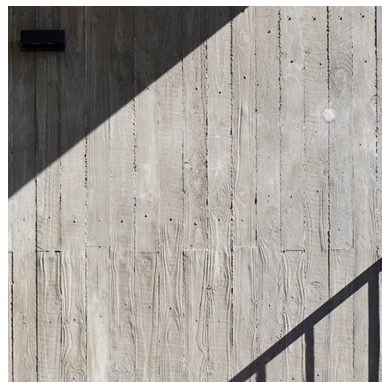
EWG-01 & GL-01: Zone 1 - external wall glazing system & glass type.

EWG-02 & GL-02: Zone 2 - external wall glazing system & glass type. All high-level glazing to have manually operated louvres (LVR-04) to 50% coverage, all low-level glazing to incorporate external aluminium frames and reveals as shown on drawings.

ERG-01 & GL-03: Zone 1 - external roof glazing.

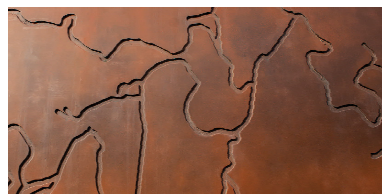
SURFACE: Glass coatings to suit performance specification per ESD report.
FRAMING FINISH: Powdercoat finish, Dulux Basalt Matte.
GLASS COLOUR: Colour to suit performance specifications per ESD report.

CON-01



LOCATION: Zone 1 & 2 - base / podium, retaining walls & planters.

SURFACE: Off-form / board-marked, in-situ or precast concrete.
FINISH: Nawkaw coating.



LOCATION: Zone 1 - North facade, to selected, concrete feature wall(s) only.
SURFACE: In-situ or precast concrete.
FINISH: Nawkaw surface coating, metallic finish

CON-02



LOCATION: Zone 2 - courtyard play areas & planters.

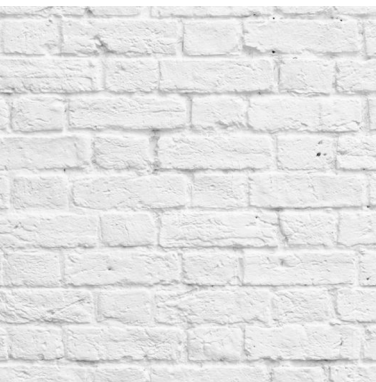
SURFACE: In-situ or precast concrete.
FINISH: Nawkaw fair-faced coating.

LVR-01

LOCATION: Zone 1 - porte cochere roof canopy (entry side), skylight above main foyer & canopy over Northern edge of building.

SURFACE: Fixed, extruded aluminium louvres, profile TBD.
FINISH: Powdercoat finish PWD-01.

BRK-01



LOCATION: Zone 2.

SURFACE: Brick.
FINISH: Bagged coating render.
COLOUR: Dulux Summer Cloud Quarter.

LVR-02

LOCATION: Zone 1.
DESCRIPTION: Fixed, aluminium weather-proof louvres for mechanical ventilation & exhaust. Colour to match curtainwall framing (powdercoat finish).

BRK-02



LOCATION: Zone 2 - parapet walls where required roof plant is located.

SURFACE: Hit-and-miss brick.
FINISH: Bagged coating render.
COLOUR: Dulux Summer Cloud Quarter.

LVR-03

LOCATION: Zone 2.
DESCRIPTION: Automated glass louvres in high level COLA roof.

SFT-01



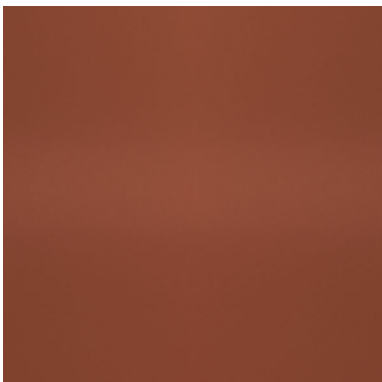
LOCATION: Zone 2 - porte cochere canopy soffit.

SURFACE: Aluminium, timber-lock battens.
FINISH: Covet Ever-Art, colour / pattern TBD.

LVR-04

LOCATION: Zone 2.
DESCRIPTION: Manually operated glass louvres in high level EWG-01 glazing system.

PWD-01



LOCATION PNT-01: Zone 1 - exposed structural steel components associated with roofs, columns and facade.

SUBSTRATE: Steel.
PRODUCT: 3-coat high durability paint system, suitable for steel exposed to weather, comprising of Interpon315 + Intergard 345 + Interthane 870.
COLOUR: Custom colour, to match Interpon 'Copper Penny.'

LOCATION PWD-01: Zone 1 & 2 - external sunshade devices, lintels, shelves and window reveal systems as part of glazed facades.

SUBSTRATE: Extruded Aluminium profiles, aluminium sheets and aluminium panels.
PRODUCT: Interpon D3020 Fluoromax TGIC-Free Fluoropolymer.
COLOUR: "Copper Penny."

PNT-01



LOCATION PNT-01: Zone 1 - exposed structural steel components associated with roofs, columns and facade.

SUBSTRATE: Steel.
PRODUCT: 3-coat high durability paint system, suitable for steel exposed to weather, comprising of Interpon315 + Intergard 345 + Interthane 870.
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SUBSTRATE: Extruded Aluminium profiles, aluminium sheets and aluminium panels.
PRODUCT: Interpon D3020 Fluoromax TGIC-Free Fluoropolymer.
COLOUR: "Copper Penny."

MRS-01



LOCATION: Zone 1 & 2, metal roof sheeting, roof cappings, gutters & exposed downpipes.

SURFACE: Steel.
FINISH: Colourbond Surfist, concealed downpipes to be painted PVC.

LOCATION PWD-01: Zone 1 & 2 - external sunshade devices, lintels, shelves and window reveal systems as part of glazed facades.

SUBSTRATE: Extruded Aluminium profiles, aluminium sheets and aluminium panels.
PRODUCT: Interpon D3020 Fluoromax TGIC-Free Fluoropolymer.
COLOUR: "Copper Penny."

FEN-01



LOCATION: Zone 2, security and balustrade fencing.

SURFACE: Painted steel plate fencing.
COLOUR: Dulux Basalt Matte.

LOCATION PWD-01: Zone 1 & 2 - external sunshade devices, lintels, shelves and window reveal systems as part of glazed facades.

SUBSTRATE: Extruded Aluminium profiles, aluminium sheets and aluminium panels.
PRODUCT: Interpon D3020 Fluoromax TGIC-Free Fluoropolymer.
COLOUR: "Copper Penny."

FEN-02



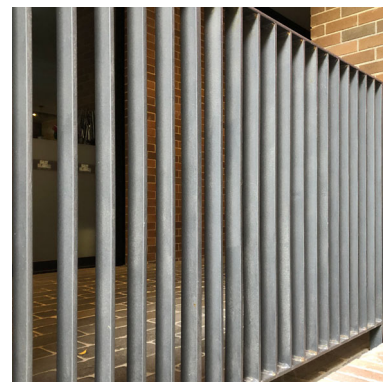
LOCATION: Zone 2, outdoor play area fencing.

SURFACE: Painted steel rod fencing.
COLOUR: Colour patterning TBD.

LOCATION PWD-01: Zone 1 & 2 - external sunshade devices, lintels, shelves and window reveal systems as part of glazed facades.

SUBSTRATE: Extruded Aluminium profiles, aluminium sheets and aluminium panels.
PRODUCT: Interpon D3020 Fluoromax TGIC-Free Fluoropolymer.
COLOUR: "Copper Penny."

BAL-01



LOCATION: Zone 1, general balustrades around elevated terraces.

SURFACE: Painted steel plate / fin balustrade.
COLOUR: Dulux Basalt Matte.

LOCATION PWD-01: Zone 1 & 2 - external sunshade devices, lintels, shelves and window reveal systems as part of glazed facades.

SUBSTRATE: Extruded Aluminium profiles, aluminium sheets and aluminium panels.
PRODUCT: Interpon D3020 Fluoromax TGIC-Free Fluoropolymer.
COLOUR: "Copper Penny."

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

0 2 4 6 8m
1:200



Client
ROYAL INSTITUTE FOR DEAF AND BLIND CHILDREN

Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
BUILDING ELEVATIONS - ZONE 1

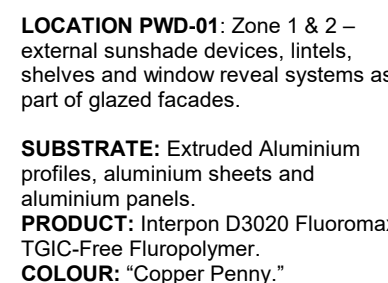
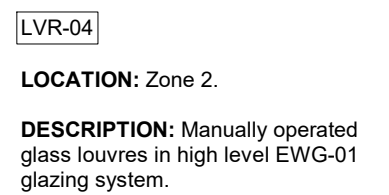
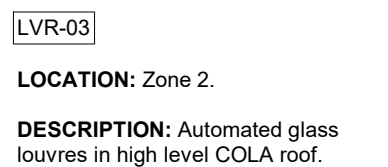
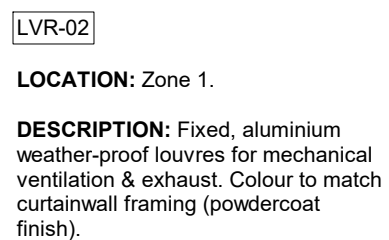
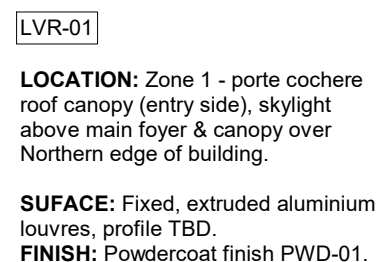
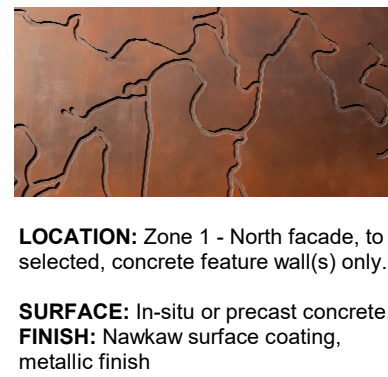
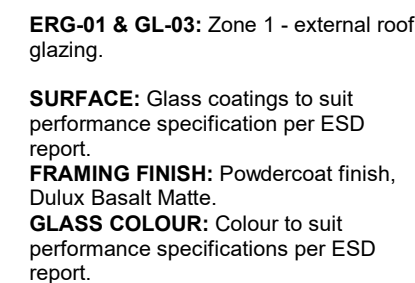
Drawing No. A511	Issue C
Scale 1 : 200	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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Zone 2 - School Building

ERG-01 GL-03



DEVELOPMENT APPLICATION
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NOT FOR CONSTRUCTION



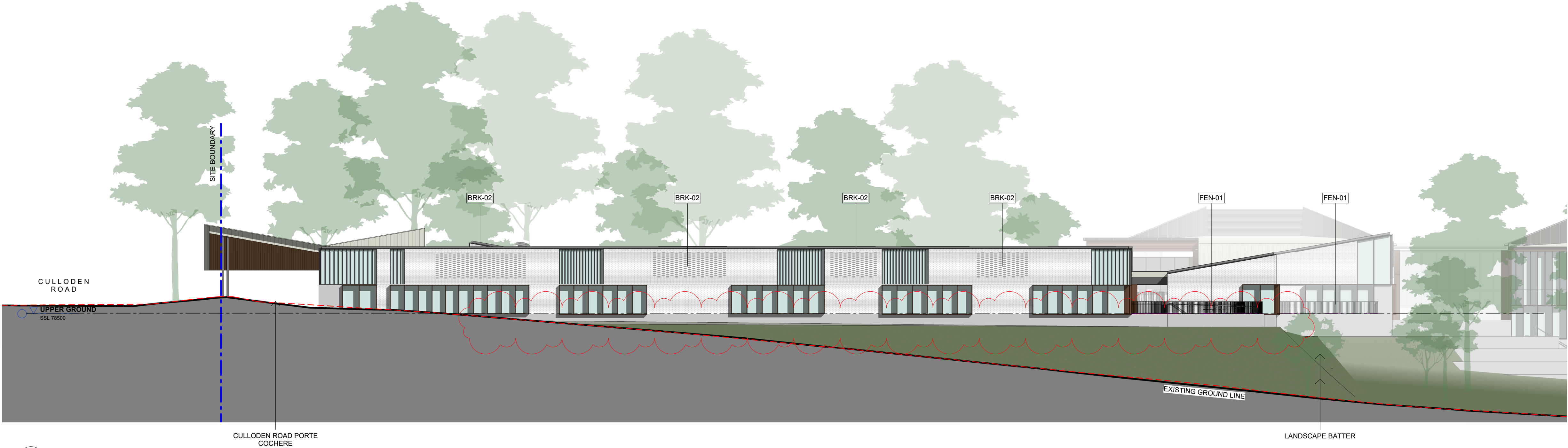
Client
ROYAL INSTITUTE FOR DEAF AND BLIND
CHILDREN

Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
BUILDING ELEVATIONS - ZONE 2

Drawing No. A512	Issue C
Scale 1: 200	Drawing Size A1
Project No. 19181	Drawn By SC
CAD Reference p:\19181\19181-001\General Excellence at Macquarie University\dwg\res\Revit 16/04/2021 13:37:26 AM	
Dimensioned Drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of W&K Architecture Pty Ltd ©	



1 ELEVATION
ZONE 2 - SOUTH
SCALE 1 : 200



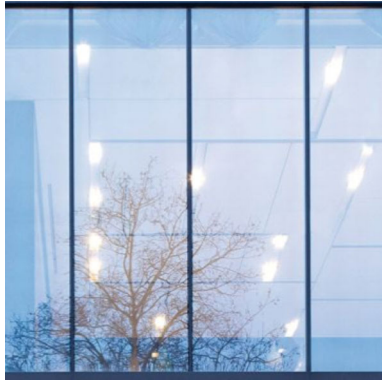
2 ELEVATION
ZONE 2 - WEST
SCALE 1 : 200

Zone 1 - Consultation Building

Zone 2 - School Building

EWG-01 GL-01 EWG-02 GL-02

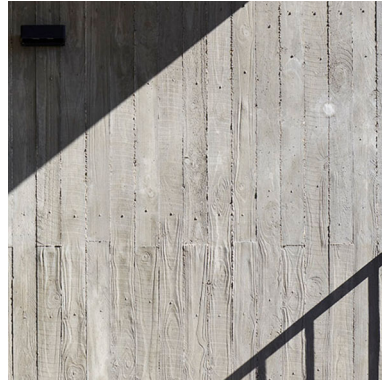
ERG-01 GL-03



LOCATION:
EWG-01 & GL-01: Zone 1 - external wall glazing system & glass type.
EWG-02 & GL-02: Zone 2 - external wall glazing system & glass type. All high-level glazing to have manually operated louvres (LVR-04) to 50% coverage, all low-level glazing to incorporate external aluminium frames and reveals as shown on drawings.

ERG-01 & GL-03: Zone 1 - external roof glazing.
SURFACE: Glass coatings to suit performance specification per ESD report.
FRAMING FINISH: Powdercoat finish, Dulux Basalt Matte.
GLASS COLOUR: Colour to suit performance specifications per ESD report.

CON-01



LOCATION: Zone 1 & 2 - base / podium, retaining walls & planters.
SURFACE: Off-form / board-marked, in-situ or precast concrete.
FINISH: Nawkaw coating.



LOCATION: Zone 1 - North facade, to selected, concrete feature wall(s) only.
SURFACE: In-situ or precast concrete.
FINISH: Nawkaw surface coating, metallic finish

CON-02



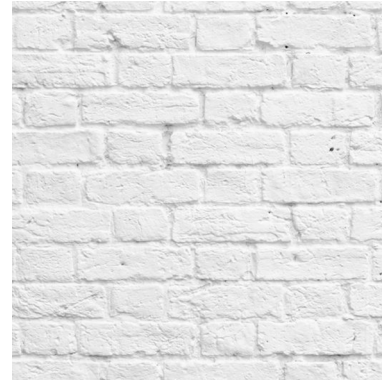
LOCATION: Zone 2 - courtyard play areas & planters.
SURFACE: In-situ or precast concrete.
FINISH: Nawkaw fair-faced coating.

LVR-01

LOCATION: Zone 1 - porte cochere roof canopy (entry side), skylight above main foyer & canopy over Northern edge of building.

SUFACE: Fixed, extruded aluminium louvres, profile TBD.
FINISH: Powdercoat finish PWD-01.

BRK-01



LOCATION: Zone 2.
SURFACE: Brick.
FINISH: Bagged coating render.
COLOUR: Dulux Summer Cloud Quarter.

LVR-02

LOCATION: Zone 1.
DESCRIPTION: Fixed, aluminium weather-proof louvres for mechanical ventilation & exhaust. Colour to match curtainwall framing (powdercoat finish).

BRK-02



LOCATION: Zone 2 - parapet walls where required roof plant is located.
SURFACE: Hit-and-miss brick.
FINISH: Bagged coating render.
COLOUR: Dulux Summer Cloud Quarter.

LVR-03

LOCATION: Zone 2.
DESCRIPTION: Automated glass louvres in high level COLA roof.

SFT-01



LOCATION: Zone 2 - porte cochere canopy soffit.
SURFACE: Aluminium, timber-lock battens.
FINISH: Covet Ever-Art, colour / pattern TBD.

LVR-04

LOCATION: Zone 2.
DESCRIPTION: Manually operated glass louvres in high level EWG-01 glazing system.

PWD-01



LOCATION PNT-01: Zone 1 - exposed structural steel components associated with roofs, columns and facade.
SUBSTRATE: Steel.
PRODUCT: 3-coat high durability paint system, suitable for steel exposed to weather, comprising of Interzinc315 + Intergard 345 + Interthane 870.
COLOUR: Custom colour, to match Interpon 'Copper Penny.'

PNT-01

LOCATION PWD-01: Zone 1 & 2 - external sunshade devices, lintels, shelves and window reveal systems as part of glazed facades.
SUBSTRATE: Extruded Aluminium profiles, aluminium sheets and aluminium panels.
PRODUCT: Interpon D3020 Fluoromax TGIC-Free Fluoropolymer.
COLOUR: "Copper Penny."

MRS-01



LOCATION: Zone 1 & 2, metal roof sheeting, roof cappings, gutters & exposed downpipes.
SURFACE: Steel.
FINISH: Colourbond Surfist, concealed downpipes to be painted PVC.

FEN-01



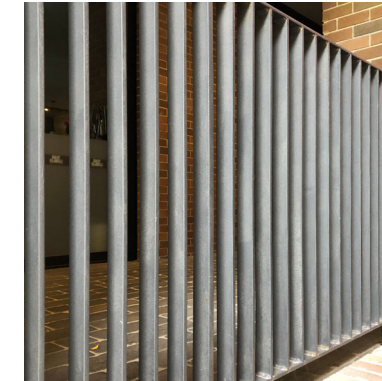
LOCATION: Zone 2, security and balustrade fencing.
SURFACE: Painted steel plate fencing.
COLOUR: Dulux Basalt Matte.

FEN-02



LOCATION: Zone 2, outdoor play area fencing.
SURFACE: Painted steel rod fencing.
COLOUR: Colour patterning TBD.

BAL-01



LOCATION: Zone 1, general balustrades around elevated terraces.
SURFACE: Painted steel plate / fin balustrade.
COLOUR: Dulux Basalt Matte.

Issue	Description	Date
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DEVELOPMENT APPLICATION
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0 2 4 6 8m
1:200



Client
ROYAL INSTITUTE FOR DEAF AND BLIND CHILDREN

Project
CENTRE OF EXCELLENCE

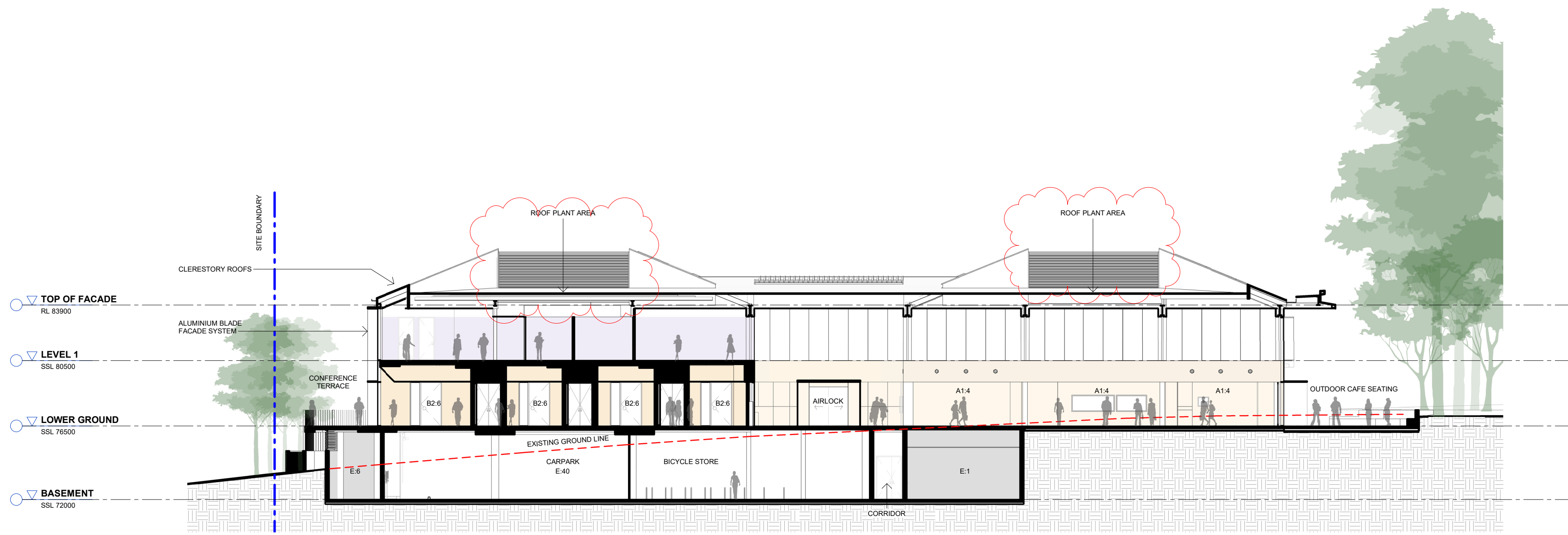
CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
BUILDING ELEVATIONS - ZONE 2

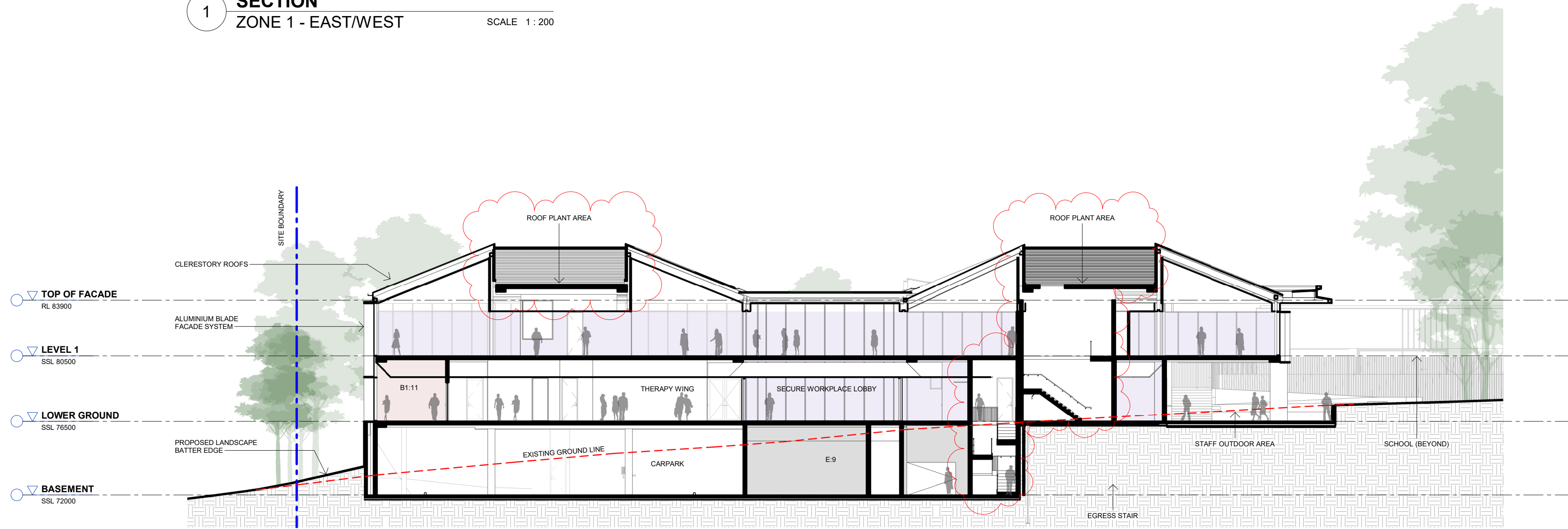
Drawing No.
A513
Scale
1 : 200
Project No.
19181

Issue
C
Drawing Size
A1
Drawn By
SC

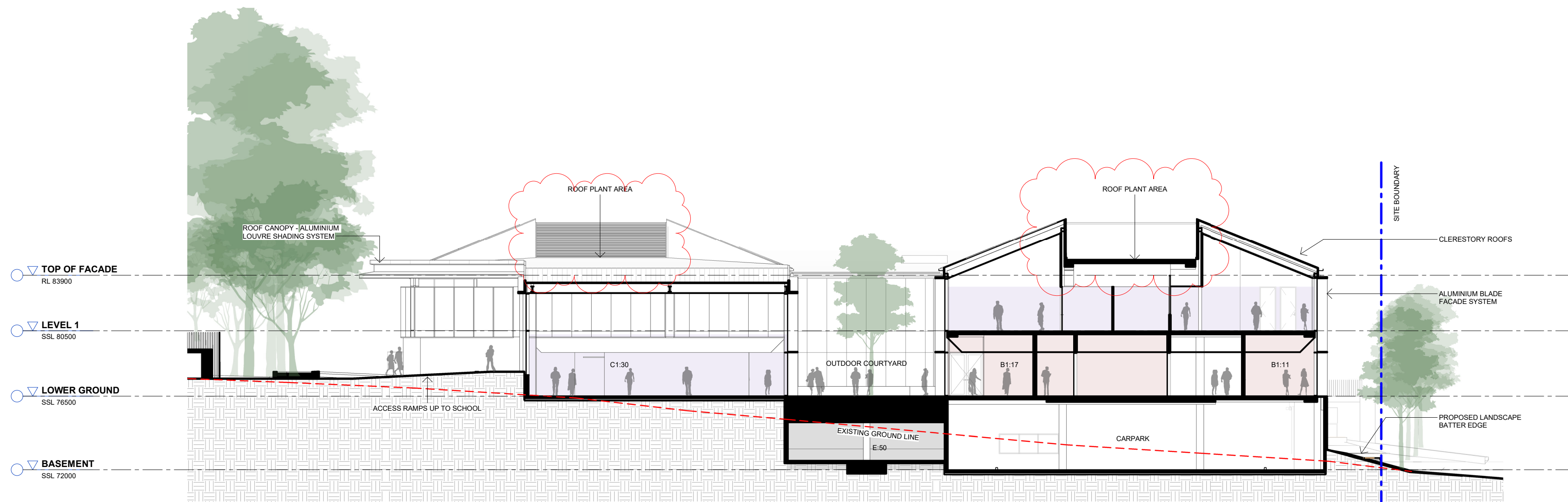
CAD Reference
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16/04/2021 11:38:34 AM
Dimensioned Drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd ©



1 SECTION
ZONE 1 - EAST/WEST SCALE 1 : 200



2 SECTION
ZONE 1 - EAST/WEST SCALE 1 : 200



3 SECTION
ZONE 1 - EAST/WEST SCALE 1 : 200

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

DEVELOPMENT APPLICATION
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0 2 4 6 8m
1:200



Client
ROYAL INSTITUTE FOR DEAF AND BLIND
CHILDREN

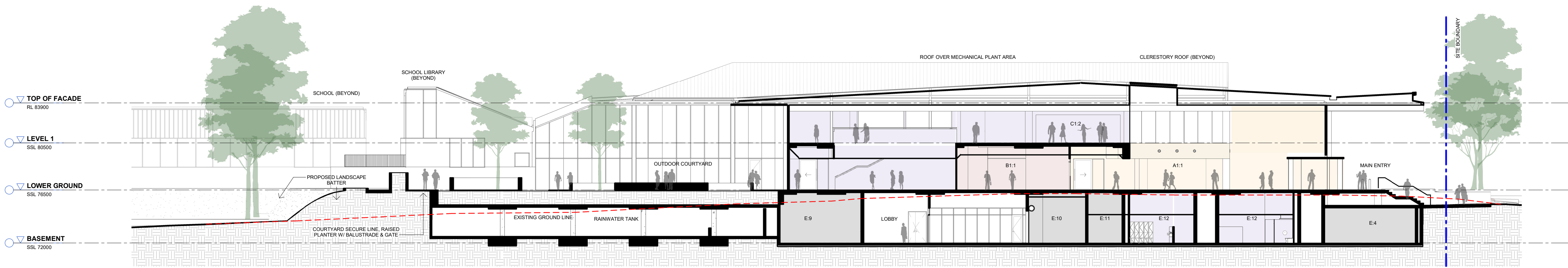
Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

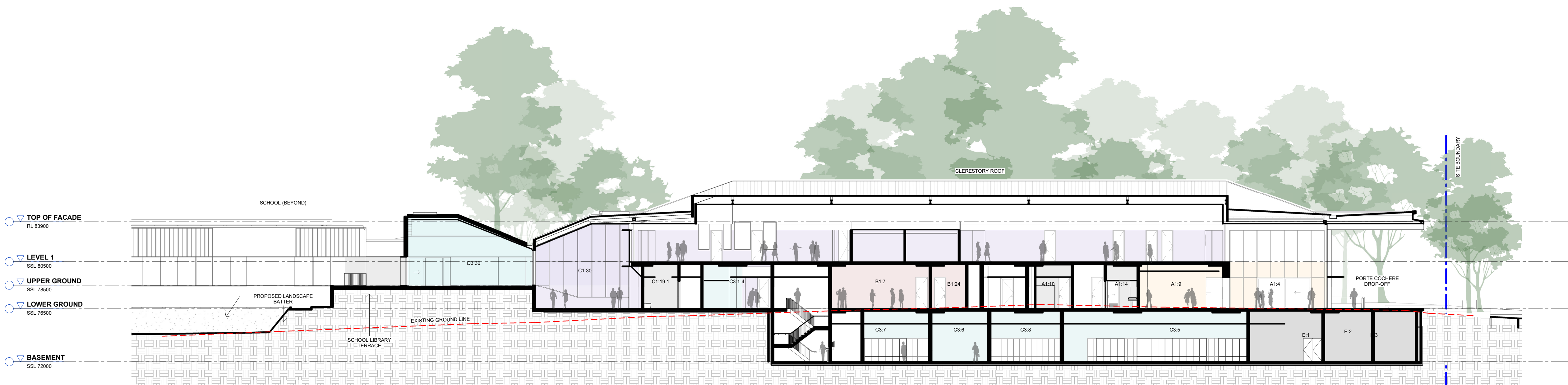
Title
BUILDING SECTIONS - ZONE 1

Drawing No. A600	Issue C
Scale 1 : 200	Drawing Size A1
Project No. 19181	Drawn By MM

CAD Reference
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1 SECTION
ZONE 1 - NORTH/SOUTH
SCALE 1:200



2 SECTION
ZONE 1 - NORTH/SOUTH
SCALE 1:200

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

0 2 4 6 8m
1200



Client
ROYAL INSTITUTE FOR DEAF AND BLIND
CHILDREN

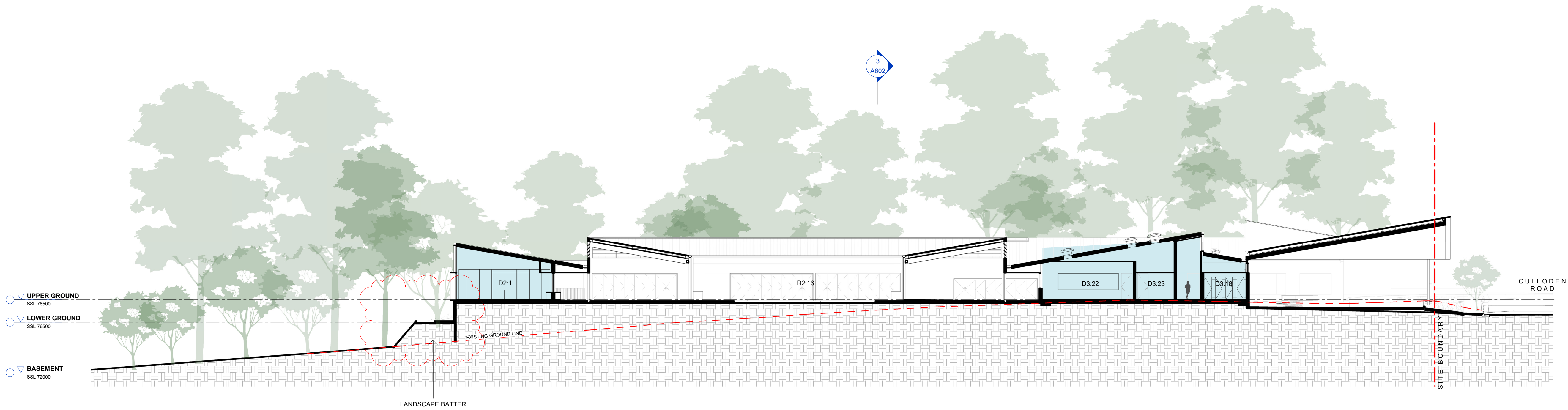
Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

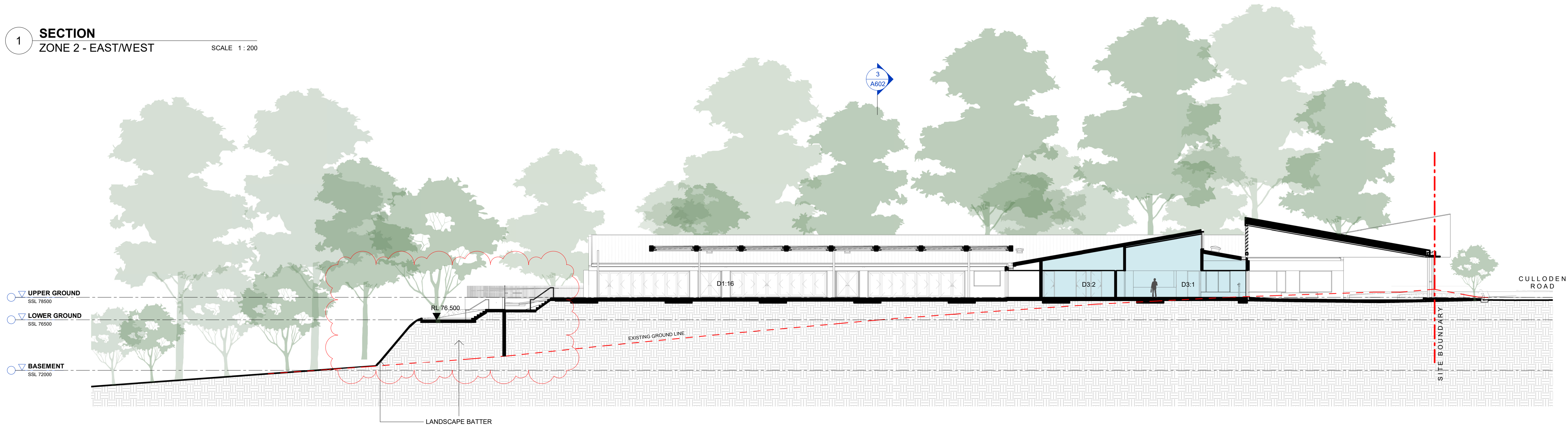
Title
BUILDING SECTIONS - ZONE 1

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Project No. 19181	Drawn By MM

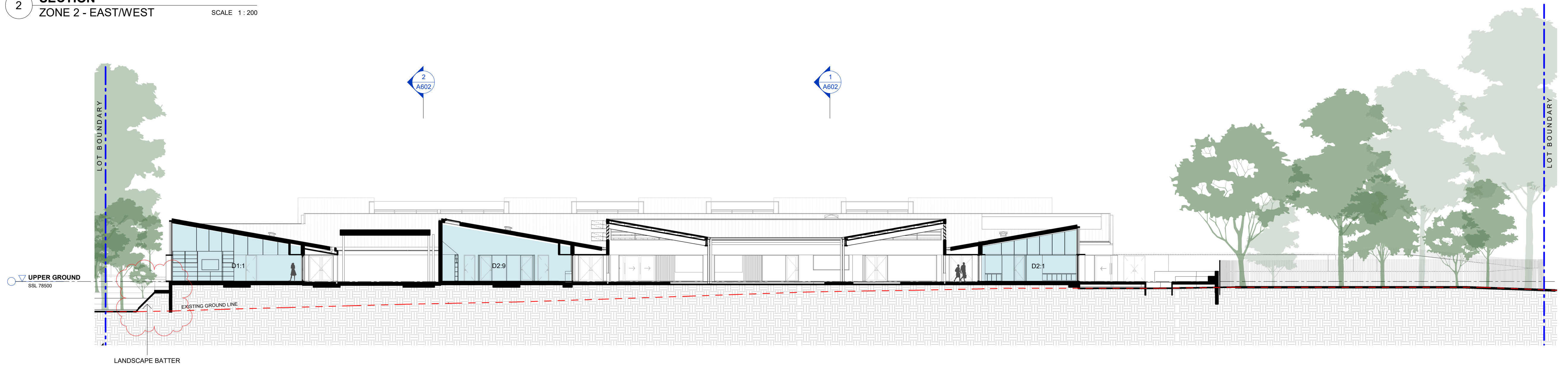
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1 SECTION
ZONE 2 - EAST/WEST
SCALE 1 : 200



2 SECTION
ZONE 2 - EAST/WEST
SCALE 1 : 200



3 SECTION
ZONE 2 - NORTH/SOUTH
SCALE 1 : 200

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

0 2 4 6 8m
1200



Client
ROYAL INSTITUTE FOR DEAF AND BLIND
CHILDREN

Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
BUILDING SECTIONS - ZONE 2

Drawing No. A602	Issue C
Scale 1 : 200	Drawing Size A1
Project No. 19181	Drawn By SC

CAD Reference
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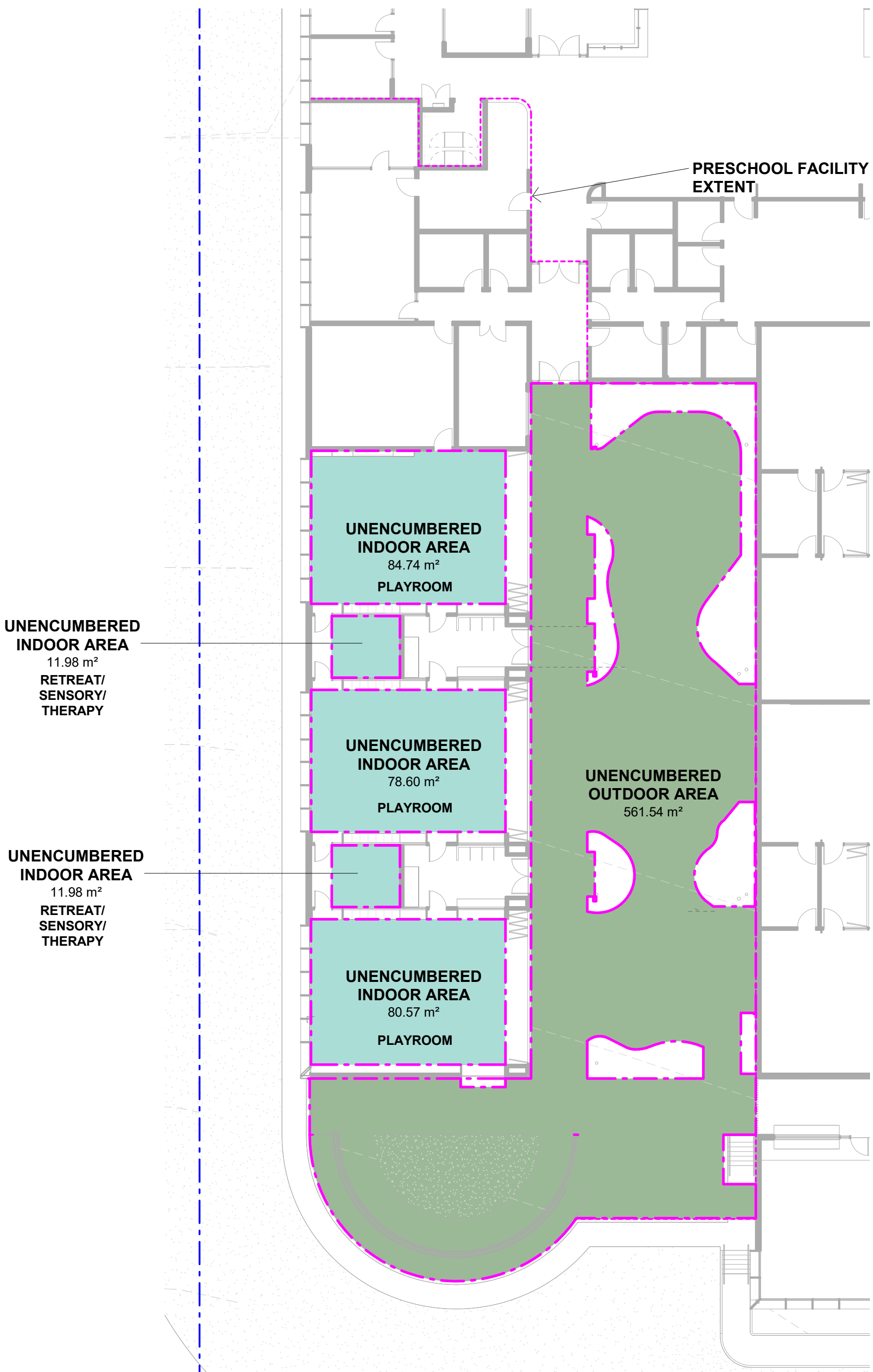


1 **ARTIST IMPRESSION**
GYMNASIUM & WEST PRECINCT RD



2 **ARTIST IMPRESSION**
CULODEN RD ENTRY

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
<div>DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION</div>		
<div><div></div><div><p>WMK Architecture L2 364 Kent Street Sydney NSW 2000 Telephone 02 9299 0401 Facsimile 02 9299 0402 wmkarchitecture.com ABN 25 082 956 929</p></div></div>		
Client ROYAL INSTITUTE FOR DEAF AND BLIND CHILDREN		
Project CENTRE OF EXCELLENCE CULLODEN ROAD MACQUARIE UNIVERSITY NSW 2109		
Title 3D PERSPECTIVES - ARTIST IMPRESSION		
Drawing No. A910		Issue B
Scale N/A		Drawing Size A1
Project No. 19181		Drawn By
CAD Reference P:\19181\19181-Centre of Excellence at Macquarie University.dwg\Rev1 16/04/2021 1:44:29 PM Dimensioned Drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd ©		



LEGEND

- UNENCUMBERED INDOOR AREA
- UNENCUMBERED OUTDOOR AREA

1 CHILDCARE AREAS

Name	Area (m ²)	No. children	Area per child (m ²)	Minimum area requirements in accordance with State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 (the Education SEPP) and the Child Care Planning Guideline 2017 (Guideline)		Compliance
				Area (m ²)	Area per child (m ²)	
unencumbered indoor space	267.87	80	3.35	260.00	3.25	Complies ✓
unencumbered outdoor space	561.54	80	7.02	560.00	7.00	Complies ✓
	829.41					

CHILDCARE FACILITY - INDOOR AREA (REG. 107)

(1) This regulation does not apply in respect of a family day care residence.

(2) The approved provider of an education and care service must ensure that, for each child being educated and cared for by the service, the education and care service premises has at least 3.25 square metres of unencumbered indoor space.

In calculating the area of unencumbered indoor space--

(a) the following areas are to be excluded--

- (i) any passageway or thoroughfare (including door swings);
- (ii) any toilet and hygiene facilities;
- (iii) any nappy changing area or area for preparing bottles;
- (iv) any area permanently set aside for the use or storage of cots;
- (v) any area permanently set aside for storage;
- (vi) any area or room for staff or administration;
- (vii) any other space that is not suitable for children;

(b) the area of a kitchen is to be excluded, unless the kitchen is primarily to be used by children as part of an educational program provided by the service.

The area of a verandah may be included in calculating the area of indoor space only with the written approval of the Regulatory Authority.

A verandah that is included in calculating the area of outdoor space cannot be included in calculating the area of indoor space.

In this regulation a reference to a child does not include--

- (a) a child being educated or cared for in an emergency in the circumstances set out in regulation 123(5); or
- (b) an additional child being educated or cared for in exceptional circumstances as set out in regulation 124(5) and (6).

CHILDCARE FACILITY - OUTDOOR AREA (REG. 108)

(1) This regulation does not apply in respect of a family day care residence.

(2) The approved provider of an education and care service must ensure that, for each child being educated and cared for by the service, the education and care service premises has at least 7 square metres of unencumbered outdoor space.

(3) In calculating the area of unencumbered outdoor space required, the following areas are to be excluded--

- (a) any pathway or thoroughfare, except where used by children as part of the education and care program;
- (b) any car parking area;
- (c) any storage shed or other storage area;
- (d) any other space that is not suitable for children.

(4) A verandah that is included in calculating the area of indoor space cannot be included in calculating the area of outdoor space.

(5) An area of unencumbered indoor space may be included in calculating the outdoor space of a service that provides education and care to children over preschool age

If--

- (a) the Regulatory Authority has given written approval; and
- (b) that indoor space has not been included in calculating the indoor space under regulation 107.

(6) In this regulation a reference to a child does not include--
(a) a child being educated or cared for in an emergency in the circumstances set out in regulation 123(5); or
(b) an additional child being educated or cared for in exceptional circumstances as set out in regulation 124(5) and (6).

CHILDCARE FACILITY - UNENCUMBERED AREAS

The drawing on this sheet provides graphic representation of the calculation method used to confirm the unencumbered indoor and outdoor areas in accordance with the requirements of the State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 (the Education SEPP) and the Child Care Planning Guideline 2017 (Guideline).

Regulation 107 requires every child being educated and cared for within a facility must have a minimum of 3.25m2 of unencumbered indoor space, as defined by the regulation. At least 267.87m2 of space is provided for a maximum of 80 children at an average of 3.35m2 per child (260m2 target).

Regulation 108 requires an education and care service premises to provide for every child being educated and cared for within the facility to have a minimum of 7.0m2 of unencumbered outdoor space. 561.54m2 of space is provided for a maximum of 80 children at an average of 7.02m2 per child (560m2 target).

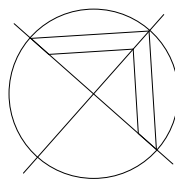
Unencumbered area calculations can be reviewed in isolation for assessing compliance with the State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 (the Education SEPP) and the Child Care Planning Guideline 2017 (Guideline). Holistic picture of area allowances can be obtained when the unencumbered area schedule is reviewed in conjunction with the following:

- Gross Floor Area schedule (dwg A980)**
Gross Floor Area schedules on drawing no. A980 have been aligned with GFA measurement based on City of Ryde LEP 2014 GFA definition. Areas quoted are an approximation only. For accurate areas a licensed surveyor must be engaged.
- Gross Building Area schedule (dwg A980)**
Gross Building Area schedules on drawing no. A980 have been aligned with GBA measurement based on the Australian Property Institute method of measurement.
- Area Schedules (dwg A990)**
Area Schedules on drawing no. A990 provide total internal area for each room within the project and they therefore do not exclude the following in relation to the Pre-School areas:
(i) any passageway or thoroughfare (including door swings);
(ii) any toilet and hygiene facilities;
(iii) any nappy changing area or area for preparing bottles;
(iv) any area permanently set aside for the use or storage of cots;
(v) any area permanently set aside for storage;
(vi) any area or room for staff or administration;
(vii) any other space that is not suitable for children.

Any discrepancies between the above listed area schedules are expected as they result from the different area calculation methods applied, as per the detailed description provided.

Issue	Description	Date
A	SSDA RE-SUBMISSION	18.02.21
B	FOR INFORMATION	09.04.21
C	SSDA RE-SUBMISSION	16.04.21

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NOT FOR CONSTRUCTION



0 1 2 3 4m
1:100



Client
ROYAL INSTITUTE FOR DEAF AND BLIND CHILDREN

Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
AREA DIAGRAMS

Drawing No.
A960

Issue
C

Scale
1 : 200

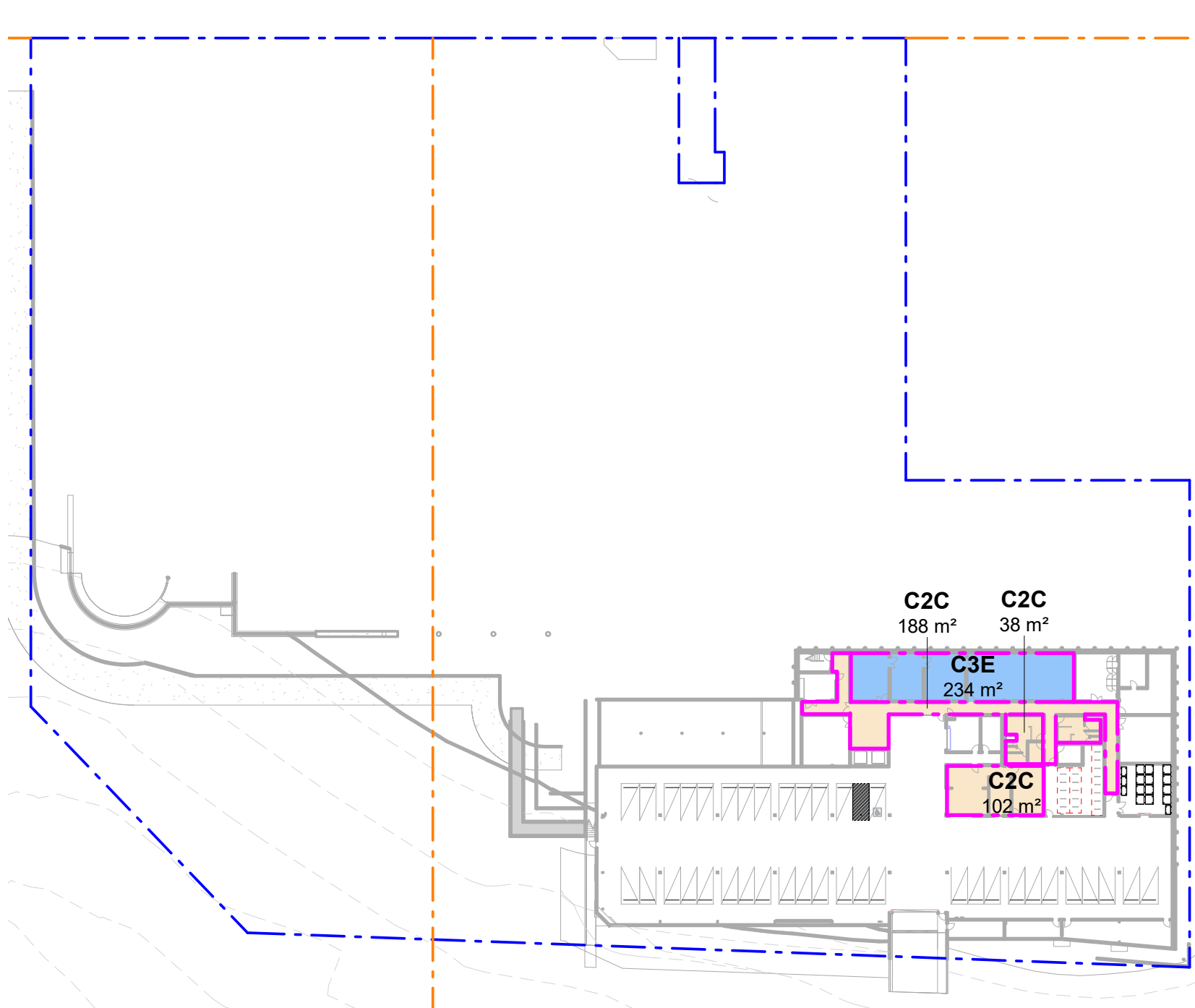
Drawing Size
A1

Project No.
19181

Drawn By
KP

CAD Reference
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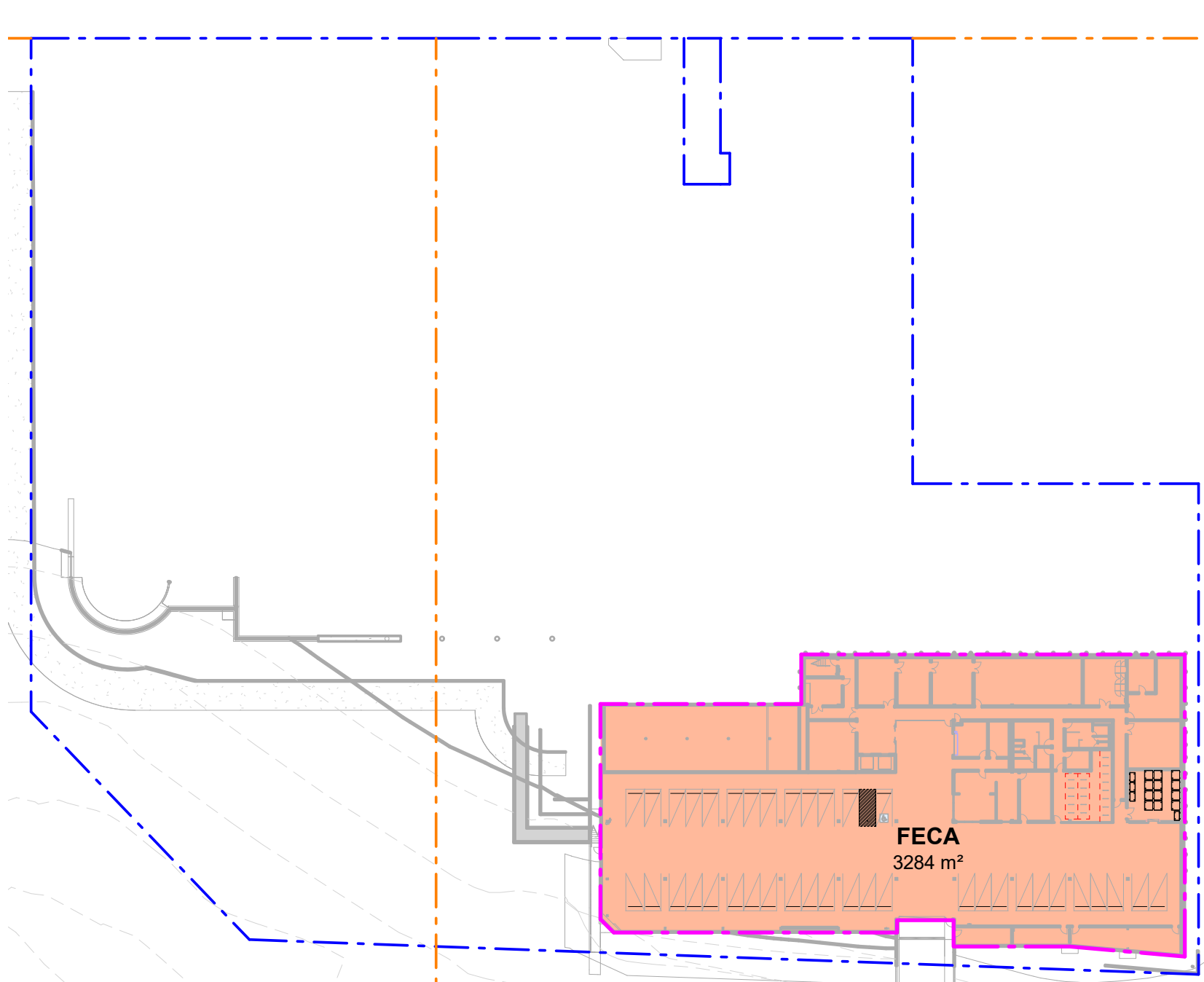
01 GFA BY AREA CATEGORY
BASEMENT

SITE AREA COMPARISON	
SITE BOUNDARY	AREA
PROPOSED BOUNDARY (BLUE)	19339.8 m²

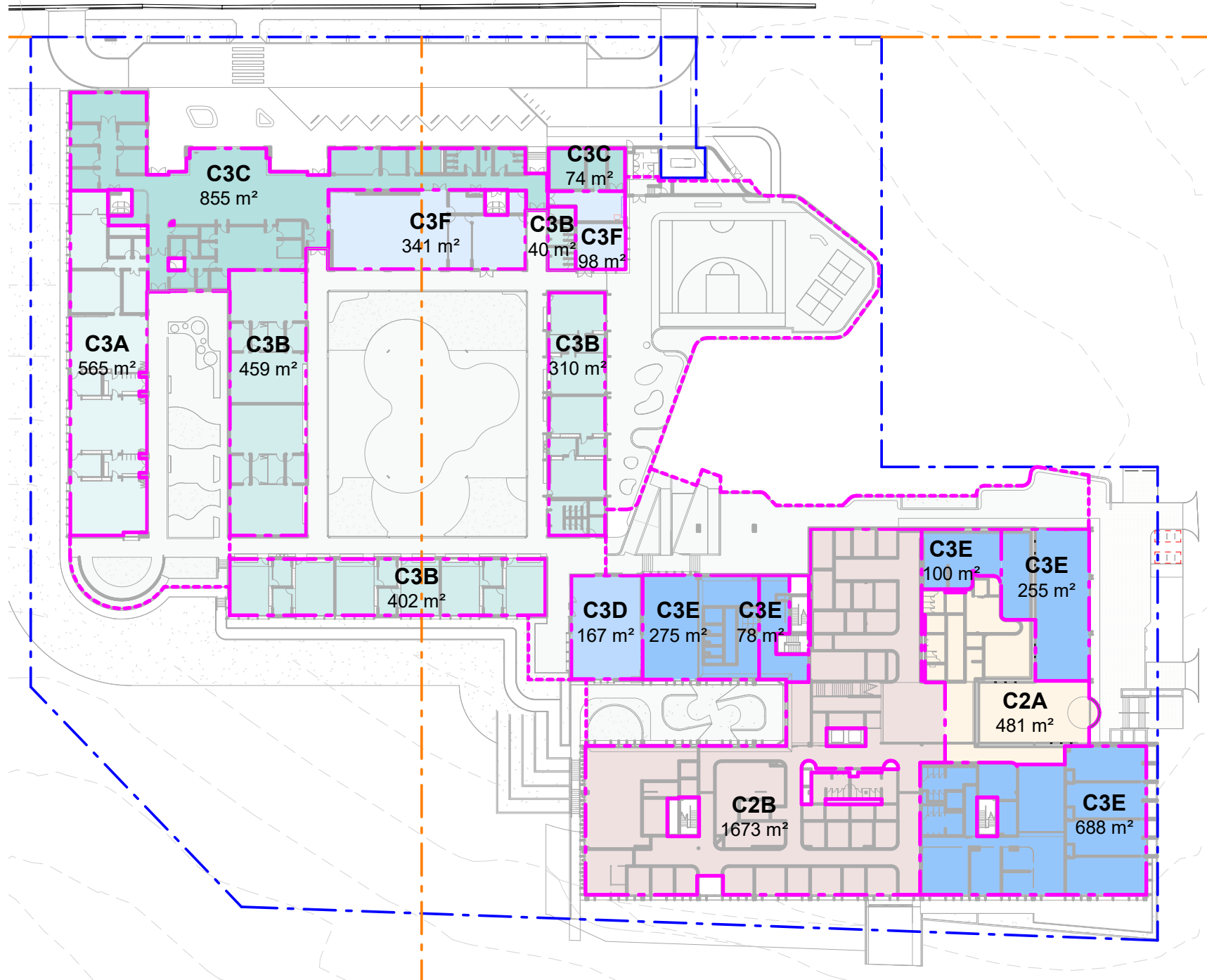
GROSS FLOOR AREA SCHEDULE	
LEVEL	AREA
BASEMENT	561 m²
LOWER GROUND	3549 m²
UPPER GROUND	3311 m²
LEVEL 01	3051 m²
GROSS FLOOR AREA	10472 m²

GROSS FLOOR AREA SCHEDULE TOTALS PER USE:	
Academic Use (3A, 3B, 3C, 3D, 3E, 3F, 3G)	
Grand total:	6108 m²
Commercial Use (2A, 2B, 2C)	
Grand total:	4364 m²

NOTE:
-All areas are indicative only and subject to further design development.
-Indicative allowance has been made for structure, plant rooms and services which is subject to detail design development.
-Facade allowances are indicative only and subject to further design development.
-GFA measurement based on City of Ryde LEP 2014 GFA definition. Areas quoted are an approximation only. For accurate areas a licensed surveyor must be engaged.
-GBA measurement based on the Australian Property Institute method of measurement.



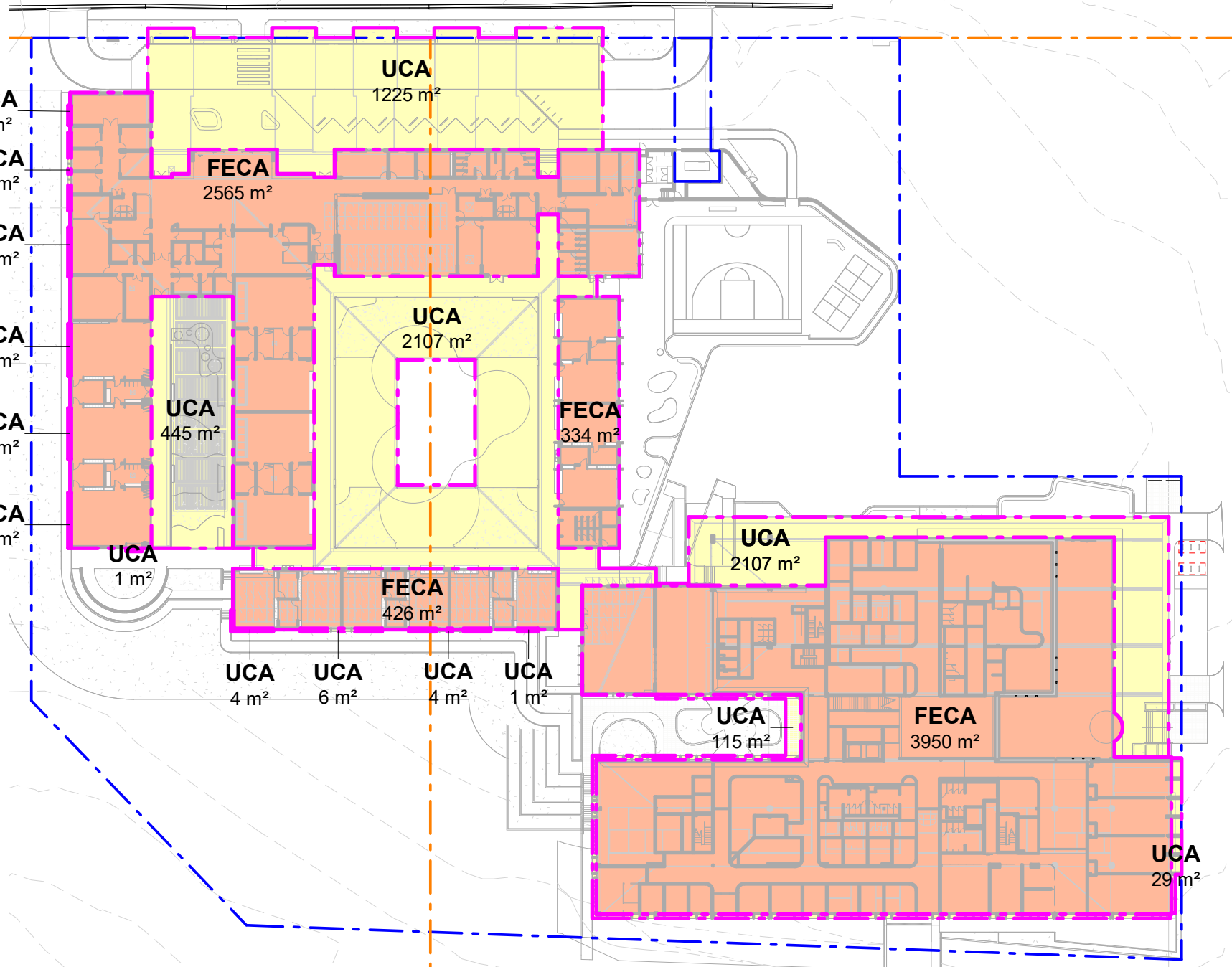
04 GBA DIAGRAM
BASEMENT



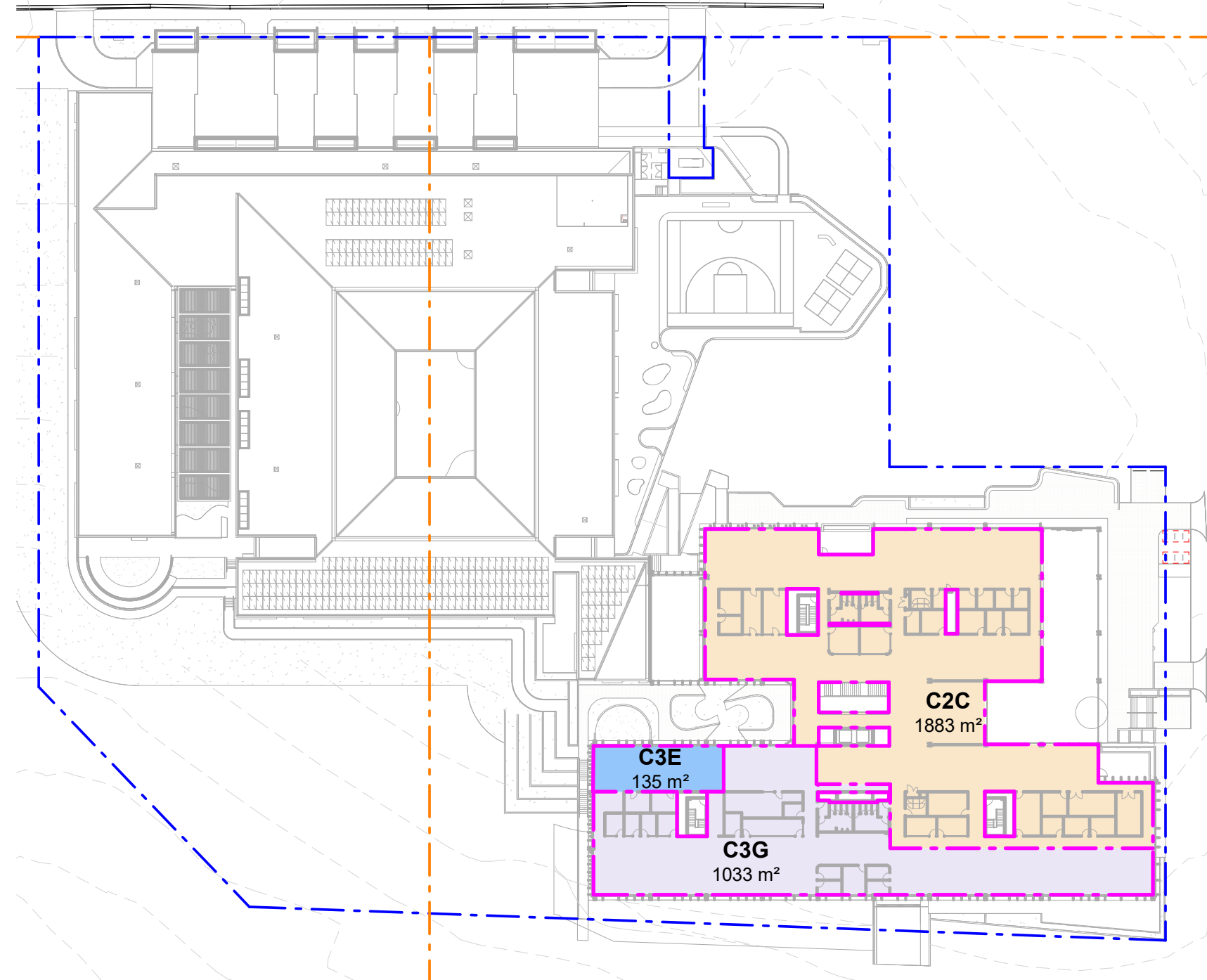
02 GFA BY AREA CATEGORY
GROUND LEVEL

GROSS FLOOR AREA SCHEDULE BY CATEGORY - SCHOOL			
LEVEL	AREA CATEGORY	AREA DESCRIPTION	AREA
UPPER GROUND	3A	Academic - Pre-School	565 m²
UPPER GROUND	3B	Academic - Primary School	1211 m²
UPPER GROUND	3C	Academic - School Admin	929 m²
UPPER GROUND	3D	Academic - School Library	167 m²
UPPER GROUND	3F	Academic - Shared Facilities	439 m²
Grand total			3311 m²

GFA AREA NOTE:
Gross Floor Area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:
(a) the area of a mezzanine;
(b) habitable rooms in a basement or an attic; and
(c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes:
(d) any area for common vertical circulation, such as lifts and stairs;
(e) any basement:
(i) storage; and
(ii) vehicular access, loading areas, garbage and services,
(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting;
(g) car parking to meet any requirements of the consent authority (including access to that car parking);
(h) any space used for the loading or unloading of goods (including access to it);
(i) terraces and balconies with outer walls less than 1.4 metres high; and
(j) voids above a floor at the level of a storey or storey above.



05 GBA DIAGRAM
GROUND LEVEL



03 GFA BY AREA CATEGORY
LEVEL 1

GROSS FLOOR AREA SCHEDULE BY CATEGORY - CONSULTING BUILDING			
LEVEL	AREA CATEGORY	AREA DESCRIPTION	AREA
LOWER GROUND	2A	Commercial - Public	481 m²
LOWER GROUND	2B	Commercial - Consulting	1673 m²
BASEMENT	2C	Commercial - Workspace	327 m²
LEVEL 01	2C	Commercial - Workspace	1883 m²
BASEMENT	3E	Academic - Resource Library	234 m²
LEVEL 01	3E	Academic - Renwick Workplace	135 m²
LOWER GROUND	3E	Academic - Renwick Business Hub	100 m²
LOWER GROUND	3E	Academic - Renwick Cafe	255 m²
LOWER GROUND	3E	Academic - Renwick Collaboration	275 m²
LOWER GROUND	3E	Academic - Renwick Conference	688 m²
LOWER GROUND	3E	Academic - Resource Library	78 m²
LEVEL 01	3G	Academic - Workplace	1033 m²
Grand total			7161 m²

GROSS BUILDING AREA SCHEDULE		
LEVEL	TYPE	AREA
BASEMENT	FECA	3284 m²
BASEMENT	UCA	181 m²
LOWER GROUND	FECA	3950 m²
UPPER GROUND	FECA	3324 m²
UPPER GROUND	UCA	3777 m²
UPPER GROUND	UCA	127 m²
LEVEL 01	FECA	3797 m²
LEVEL 01	UCA	94 m²
LEVEL 01	UCA	3891 m²
GROSS BUILDING AREA		18534 m²

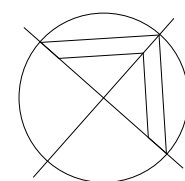
06 GBA DIAGRAM
LEVEL 1

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
P1	AFL ISSUE	15.12.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	18.04.21

AREA CATEGORY LEGEND

- MACQUARIE UNIVERSITY LOT BOUNDARY
- PROPOSED DEVELOPMENT BOUNDARY
- | | |
|-------------------------------|----------------------------------|
| C3A - ACADEMIC PRE-SCHOOL | C3D - ACADEMIC SCHOOL LIBRARY |
| C3B - ACADEMIC PRIMARY SCHOOL | C3E - ACADEMIC RENWICK CENTRE |
| C3C - ACADEMIC SCHOOL ADMIN | C3F - ACADEMIC SHARED FACILITIES |
| C3G - ACADEMIC WORKPLACE | C2A - COMMERCIAL PUBLIC |
| C2B - COMMERCIAL CONSULTING | C2C - COMMERCIAL WORKSPACE |
| FULLY ENCLOSED COVERED AREA | UNENCLOSED COVERED AREA |

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Client
ROYAL INSTITUTE FOR DEAF AND BLIND CHILDREN

Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
GFA & GBA DIAGRAMS

Drawing No. A980	Issue C
Scale N/A	Drawing Size A1
Project No. 19181	Drawn By JN

CAD Reference
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ZONE 1: ROOM SCHEDULE

PUBLIC			
Brief Reference	Space / Room Name	Qty	Area
Business Hub			
A1:7	Business Hub	1	134.53 m²
			134.53 m²
Cafe			
A1:4	Cafe	1	199.35 m²
A1:6	Catering Storage / Prep / Staff	1	45.54 m²
A1:5	Servery	1	36.13 m²
			281.02 m²
Entrance: Consult			
A1:1	Airlock	1	17.95 m²
A1:1	Main Entrance Foyer	1	190.77 m²
			208.72 m²
Reception			
A1:2	Central Reception / Greet / Payment	1	29.86 m²
A1:3	Conference Foyer	1	142.37 m²
			172.23 m²
Toilets			
A1:12	Accessible WC	1	7.57 m²
A1:10	Female Toilets	1	21.15 m²
A1:10	Male Toilets	1	21.81 m²
A1:14	Parents Room	1	17.84 m²
			68.37 m²
Visitor / Showcase			
A1:9	Showcase	1	52.98 m²
			52.98 m²
Grand Total			917.84 m²

INVITED - CENTRAL MEETING			
Brief Reference	Space / Room Name	Qty	Area
Central Meeting			
B2:3	6 Person Meeting Room	2	32.31 m²
B2:2	12 Person Meeting Room	1	32.51 m²
B2:6	Flexible Conference / Board / Training Suite	1	261.45 m²
B2:1	Large Meeting / VC Room	1	51.11 m²
			377.39 m²
Support: Consult			
B2:7	Reheat Kitchen	1	15.37 m²
B2:10	Store Room	1	30.99 m²
			46.36 m²
Toilets			
B2:9	Accessible WC	1	6.90 m²
B2:8	Female Toilets	1	31.55 m²
B2:8	Male Toilets	1	25.52 m²
			63.98 m²
Grand Total			487.73 m²

INVITED - CONSULT			
Brief Reference	Space / Room Name	Qty	Area
Client Facing: Assessment & Diagnostics			
B1:3	Audiology Testing Booth Type 1	2	38.21 m²
B1:4	Audiology Testing Booth Type 2	3	40.83 m²
B1:24	Low Vision Clinic	1	12.94 m²
B1:5	Observation Room	2	21.10 m²
B1:26	Pre-assessment Room	1	14.97 m²
B1:7	Test Equipment Store	1	37.23 m²
B1:6	Testing Booth Lobby	1	31.60 m²
			196.89 m²
Client Facing: Therapy, Rehab & Client Support			
B1:25	Assessment Observation Room	1	13.64 m²
B1:8	Assessment Room Type 1	1	75.73 m²
B1:9	Assessment Room Type 2	1	32.87 m²
B1:2	Family Meeting / Training	1	14.45 m²
B1:21	Hygiene Room	1	20.25 m²
B1:15	Playgroup Activity Space	1	149.80 m²
B1:16	Playroom Store	2	12.48 m²
B1:13	Small Therapy Room (Homelike)	1	43.79 m²
B1:17	Snack Kitchen	1	16.80 m²
B1:10	Therapy Room Type 1	4	77.68 m²
B1:11	Therapy Room Type 2	8	111.51 m²
			569.00 m²
Toilets			
	Accessible WC & Nappy Change	2	17.48 m²
B1:18	Female Toilets	1	29.81 m²
	Hygiene Room	2	15.99 m²
B1:18	Male Toilets	1	23.93 m²
B1:23	Nappy Change	1	7.10 m²
B1:21	Store Room	1	15.51 m²
			109.82 m²
Waiting			
B1:1	Central Waiting	1	161.00 m²
			161.00 m²
Grand Total			1036.71 m²

PRIVATE/WP - GENERAL			
Brief Reference	Space / Room Name	Qty	Area
Collaboration / Quiet Setting			
C1:30	Staff Room	1	278.62 m²
			278.62 m²
Staff Facilities			
E:12	Staff Change Rooms	2	51.45 m²
			51.45 m²
Toilets			
C1:20	Accessible WC	1	7.05 m²
C1:19.1	Female Toilet	2	7.47 m²
C1:19.2	Male Toilet	1	3.73 m²
B1:20	Unisex Accessible WC & Shower	1	10.07 m²
			28.33 m²
Workspace			
	4 - 6 Person Meeting	6	80.73 m²
	8 Person Meeting	2	37.21 m²
	Accessible WC	3	6.22 m²
	Airlock	6	15.26 m²
	Binding, Print, Assembly	2	50.92 m²
	Comms Room	1	9.38 m²
	Embossing Room	1	25.42 m²
	Female Toilets	3	34.03 m²
	Filming Room	2	36.14 m²
	Focus / Quiet Room	15	114.12 m²
	Focus / Recording Room	2	24.06 m²
C1:2	General Workplace	1	2186.96 m²
	Hardware / Store	1	23.71 m²
	Male Toilets	3	33.67 m²
	Proofing Room	1	13.87 m²
C1:28	Property Workroom Store	1	32.96 m²
C1:27	Property Workstations	2	65.73 m²
	Resource Store - Archiving, Hard-Copy	1	0.00 m²
	Resource Store - Models, Media	1	0.00 m²
	Secure Workroom	1	9.15 m²
	Store Room	2	43.69 m²
	VC Room	4	48.07 m²
C1:31	Workplace Vertical Circulation	1	114.89 m²
	Workshop, 3D Printing & Innovation	1	21.49 m²
C1:2	Workspace Social	1	140.35 m²
			3168.04 m²
Grand Total			3526.43 m²

INFRASTRUCTURE			
Brief Reference	Space / Room Name	Qty	Area
Carpark			
E:40	Carpark	1	1636.06 m²
E:41	Loading Dock	1	77.12 m²
			1713.18 m²
Delivery / Goods			
E:10	Goods Delivery Bay	1	24.55 m²
E:11	Mail Service Room	1	15.41 m²
			39.96 m²
FM / Cleaners			
E:6	Central Cleaners Store	1	52.89 m²
E:9	Central Store Room for Mobility and Disability Aids	1	50.59 m²
E:7	Distributed Cleaners Store	4	24.72 m²
			128.21 m²
Infrastructure			
	Comms Room	1	8.64 m²
E:50	Rain Water Tank	1	282.24 m²
	Spare Room	1	5.84 m²
			296.72 m²
IT / Comms / Stores			
E:15	Bicycle Store	1	72.63 m²
E:20	Comms Room	1	11.20 m²
E:7	Distributed Cleaners Store	1	6.98 m²
E:19	Distribution Board	1	3.19 m²
E:19	Fire Alarm Riser	1	1.66 m²
E:19	Fire Panel Cupboard	1	0.51 m²
E:5	Garbage Room	1	57.52 m²
E:21	Hot Water Plant Room	1	21.37 m²
E:20	IT Communications Rooms	2	21.20 m²
E:3	IT Equipment Store (Cages)	1	47.11 m²
E:2	IT Storage Room	1	20.00 m²
E:1	Main Comms Room	1	42.75 m²
E:18	Main Distribution Board	1	21.40 m²
E:19	Mech Distribution Board	1	3.06 m²
E:25	Nappy Change	1	9.31 m²
E:16	Sprinkler Alarm Valve Room	1	21.48 m²
E:19	Storage	1	9.33 m²
E:4	Store Room for Office Equipment & Resources	1	53.62 m²
			424.30 m²
Grand Total			2602.37 m²

ZONE 2: ROOM SCHEDULE

PRE SCHOOL			
Brief Reference	Space / Room Name	Qty	Area
Reception / Administration / Waiting			
D3:5	Pre-school Director's Office	1	20.30 m²
D3:3	Reception / Admin Office - Pre School	1	26.22 m²
			46.52 m²
Support: School			
D1:8	Kitchen	1	23.79 m²
D1:7	Large Resource Store	1	49.68 m²
D1:13	Staff Area	1	45.99 m²
			119.46 m²
Teaching & Learning			
D1:1	Playroom	3	303.22 m²
D1:6	Retreat / Sensory / Therapy	2	32.58 m²
			335.80 m²
Toilets			
D1:15	Accessible WC (Staff)	1	6.09 m²
D1:9	Children's WC	2	42.17 m²
D1:11	Hygiene Room	1	10.15 m²
			58.41 m²
Grand Total			560.18 m²

PRIMARY SCHOOL			
Brief Reference	Space / Room Name	Qty	Area
Teaching & Learning			
D2:1	Classrooms - HI	10	532.75 m²
D2:9	Classrooms VI	4	349.79 m²
D2:3	Retreat / Sensory / Therapy - HI	10	115.65 m²
D2:11	Retreat / Sensory / Therapy - VI	4	43.94 m²
			1042.12 m²
Toilets			
D2:10	Accessible WC (Primary VI)	4	53.24 m²
D2:7	Hygiene Room / DDA	2	15.35 m²
D2:6	WC (Primary - HI)	3	714.75 m²
			783.34 m²
Grand Total			1825.47 m²

SHARED FACILITIES			
Brief Reference	Space / Room Name	Qty	Area
Gym / Hall			
D3:22	Canteen Kitchen	1	27.66 m²
D3:23	Hall Store	1	15.94 m²
D3:28	Life Skills Kitchen	1	64.55 m²
D3:29	Life Skills Store	1	8.96 m²
D3:21	Multipurpose Hall	1	202.47 m²
D3:27	Music Room	1	50.84 m²
D3:25	Sports Equipment Store	1	42.82 m²
			413.25 m²
IT / Comms / Stores			
E:24	Hot Water Room	1	18.62 m²
E:23	Substation	1	68.97 m²
E:22	Waste Store	1	35.22 m²
			122.80 m²
Support: School			
D3:13	Laundry	1	10.75 m²
			10.75 m²
Grand Total			546.80 m²

RENWICK CENTRE RESOURCE LIBRARY & SCHOOL LIBRARY			
Brief Reference	Space / Room Name	Qty	Area
Learning Exchange: Renwick Centre Resource Library			
C3:7	Archive Store	1	38.33 m²
C3:8	Bulk Store	1	41.04 m²
C3:5	File / Book Storage	1	108.12 m²
C3:1-4	Reception / Control Suite	1	16.35 m²
C3:6	Toy / Resources Store	1	32.81 m²
			236.65 m²
Learning Exchange: Schools Library			
D3:30	Schools Library	1	163.99 m²
			163.99 m²
Grand Total			400.63 m²

ADMIN & SUPPORT			
Brief Reference	Space / Room Name	Qty	Area
Entrance: School			
D3:1	Entry Foyer	1	93.76 m²
			93.76 m²
IT / Comms / Stores			
E:21	Pump Room	1	34.03 m²
			34.03 m²
Meeting / Interview			
D3:7	1:1 Interview Room	1	14.96 m²
D3:8	4 Person Meeting Room	2	20.56 m²
D3:9	8 Person Meeting Room	1	16.19 m²
D3:10	Family Meeting / Training	1	52.51 m²
			104.22 m²
Reception / Administration / Waiting			
D3:4	Principals Office	1	14.47 m²
D3:2	Reception / Admin Office - Primary	2	143.73 m²
D3:6	Waiting	2	55.61 m²
			213.81 m²
Specialist / Therapist			
D3:11	Specialist	3	41.30 m²
			41.30 m²
Support: School			
D3:15	Garden Store	1	16.07 m²
D1:14	Pram Store	1	6.82 m²
D3:14	Sick Bay	2	10.47 m²
			33.36 m²
Toilets			
D3:19	Accessible WC	1	7.63 m²
D2:15	Accessible WC (Staff)	2	12.18 m²
D3:35	Hygiene / DDA	1	7.73 m²
D3:34	Parents Room / Nappy Change	1	20.42 m²
D3:18	WC	2	35.40 m²
			83.36 m²
Grand Total			603.83 m²

NOTE:

-These schedules represent functional areas only.

-For Gross Floor Area Diagrams and schedules refer to sheet A980.

Issue	Description	Date
A	SSDA SUBMISSION	11.11.20
B	SSDA RE-SUBMISSION	18.02.21
C	SSDA RE-SUBMISSION	16.04.21

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION



Client
ROYAL INSTITUTE FOR DEAF AND BLIND CHILDREN

Project
CENTRE OF EXCELLENCE

CULLODEN ROAD
MACQUARIE UNIVERSITY
NSW 2109

Title
ROOM SCHEDULES

Drawing No. A990	Issue C
Scale N/A	Drawing Size A1
Project No. 19181	Drawn By SC & MM

CAD Reference
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