



29th March 2019

Director, Key Sites Assessments
NSW Department of Planning and Environment
GPO Box 39
Sydney NSW 2000

**80-88 REGENT STREET SYDNEY, NSW 2015
RESPONSE TO COUNCIL COMMENTS**

SYD18/00594/03 / SSD 9275 / R/2018/27/A

To whom it may concern,

In response to Council's Comments, a detailed letter and revised documents have been prepared to address council items;

- The level 1 courtyard design has been modified to reflect recommendations as outlined by Windtech's report, these included
 - Change of tree species from *Ulmus parvifolia* 'Todd' to *Cupaniopsis anacardioides* (Tuckeroo) to provide a dense evergreen, interlocking canopy to mitigate against wind.
 - It should also be noted the Level 1 podium landscape design also incorporates a planter along the North Western Face of the courtyard of *Bambusa Textillis Gracillis* which grows to 6m in height which will provide supplementary wind mitigation to the satisfaction of Windtech's report.
- An additional section has been prepared to illustrate the fold in the level 1 courtyard slab to support growing media for the proposed *Chamerops humilis*.
- All podium gardens have been increased to achieve a minimum planter depth of 900mm with localised mounding around trees up to 1200mm deep.

Full Name of Designer: Daniel Baffsky
Qualifications: Registered Landscape Architect
Business Telephone No: 02 9332 3601
Company: 360 Degrees Landscape Architects Pty Ltd

Executed by,

Daniel Baffsky RLA
Principal
360°

80 - 88 REGENT STREET REDFERN

IGLU II

LANDSCAPE DOCUMENTATION

DEVELOPMENT APPLICATION

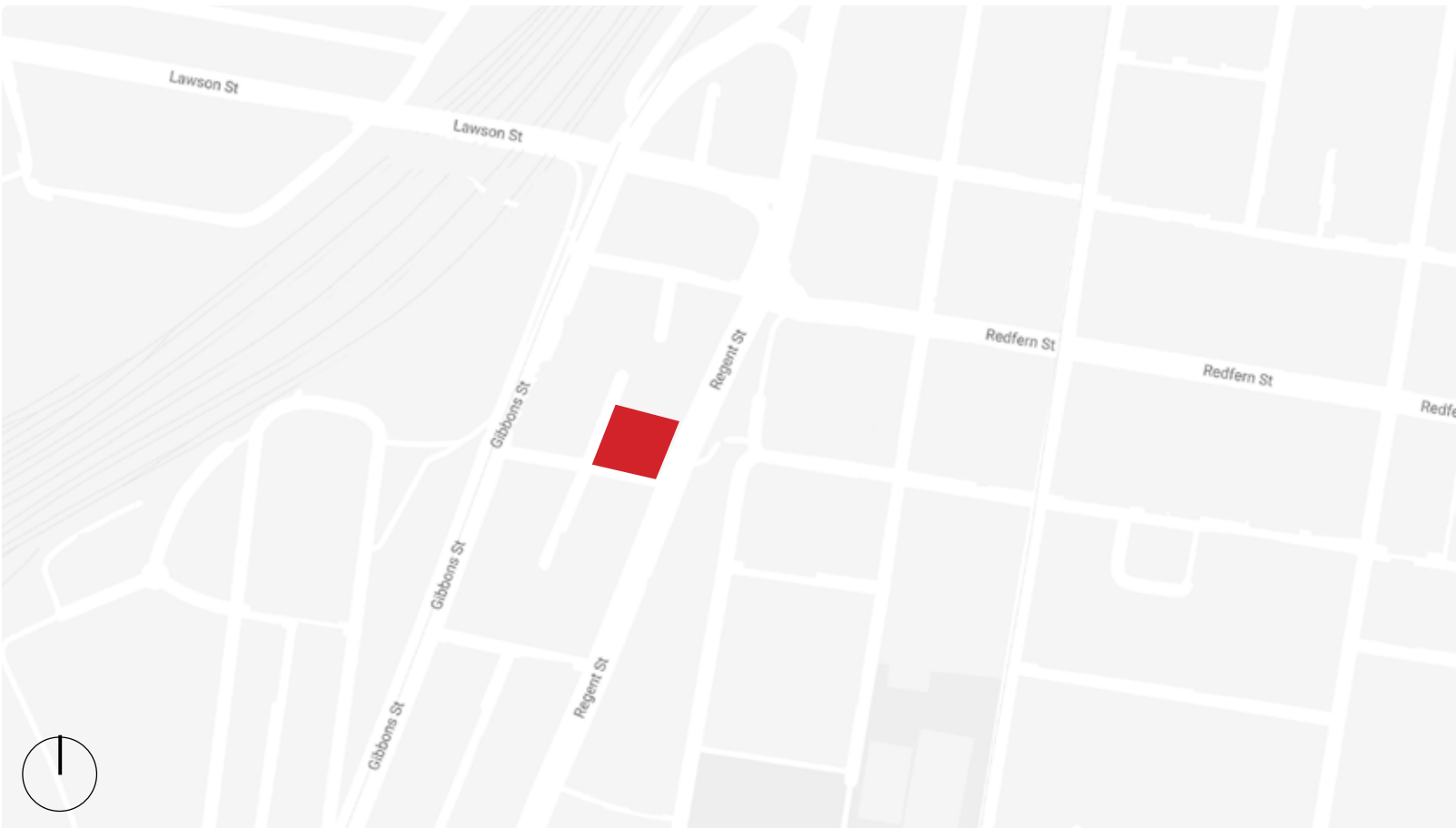
DRAWING REGISTER

Dwg No.	Drawing Title	Size	Scale
General			
L-DA-01	Cover Page	A1	N/A
L-DA-02	Introduction	A1	N/A
L-DA-03	Design Statement	A1	N/A
Plans			
L-DA-04	Landscape Plan - Ground Floor	A1	1:100
L-DA-05	Landscape Plan - Level 01	A1	1:100
L-DA-06	Landscape Plan - Level 02	A1	1:100
L-DA-07	Landscape Plan - Roof Terrace	A1	1:100
Sections + Perspectives			
L-DA-08	Landscape Section 1	A1	1:50
L-DA-09	Landscape Section 2	A1	1:50
L-DA-10	Landscape Perspectives	A1	N/A
Palettes			
L-DA-11	Planting Palette (sheet 1)	A1	N/A
L-DA-12	Planting Palette (sheet 2)	A1	N/A

GENERAL NOTES

- * FOR DEVELOPMENT APPLICATION ONLY
- * Do not scale from drawings
- * Larger scale drawings and written dimensions take preference
- * All dimensions in mm unless otherwise stated.
- * All tree dimensions and RLs in metres.
- * Use figured dimensions only.
- * Verify all dimensions on site before the commencement of any works.
- * Contractors shall locate and protect all services prior to construction.
- * All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.
- * Structural Details shall be subject to Engineer's Specifications.
- * Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- * All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
- *Protect all adjoining property building, walls and paving. Damaged elements are to be replaced.
- * No responsibility will be taken by 360 degrees. for any variations in design, construction method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.
- *Service location on plans are indicative only . 360 accepts no responsibility for the accuracy of service location. it is the responsibility of the contractor to determine service locations prior to the commencement of work. Any damages remains the responsibility of the contractor.
- * This Drawing is copyright to 360 degrees.

LOCATION PLAN



INTRODUCTION

360 Degrees Landscape Architects have been engaged by IGLU Pty Ltd to prepare a Landscape Design Intent document to support a development application for a Student Housing at 80-88 Regent St, Redfern, NSW 2016. As part of a collaborative design team, 360 Degrees Landscape Architects propose to create an engaging and memorable landscape design that provides flexibility of use for the building's occupants. Careful consideration of the adjoining buildings, architecture, site character and conceptual collaboration with the client, architects and consultant team has contributed to the landscape design solutions.

In general the Landscape Architectural design sets out to provide a stimulating environment responsive to the scale, function and location of the development. The plant selection has been made from plant species suited to the various microclimatic conditions and site requirements with local native and indigenous species used where applicable, including a review of Council's weed management policy and the local Indigenous Plant List.

The overall design aims for an environmental and socially sustainable landscape and an integrated landscape experience with the building architecture and function, activating the site and creating a vibrant precinct and place to live, study and socialise.

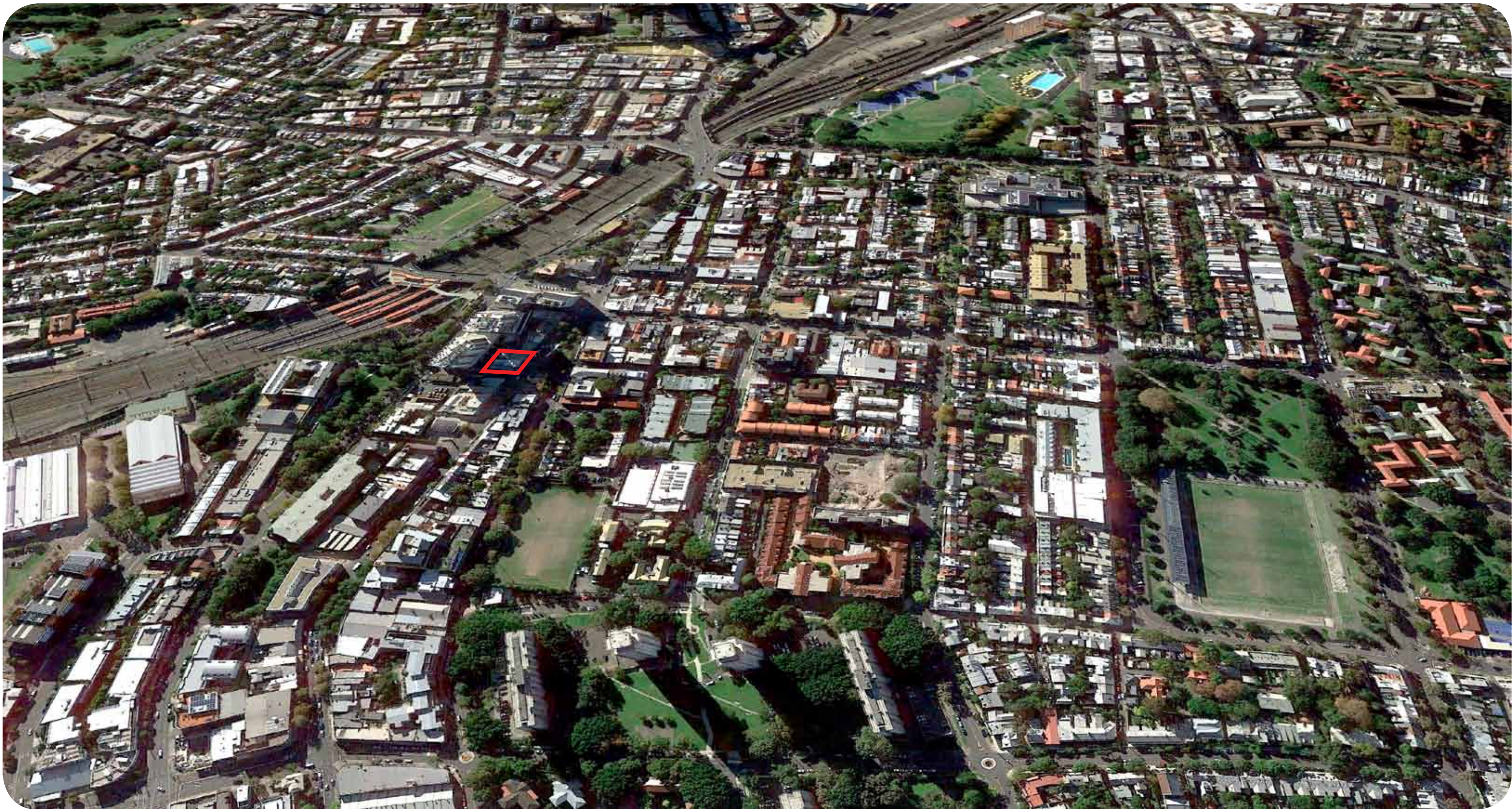
SITE DESCRIPTION

This State Significant Development Application (SSDA) seeks approval for the development of a new student accommodation facility. Specifically, the proposal involves:

- site preparation works;
- construction and use of an 18 storey building comprising:
 - 265 student accommodation beds within 185 units, arranged as follows:
 - 163 x studio units;
 - 6 x loft units; and
 - 16 x 6-bed cluster units
- communal student facilities including study areas, lounge rooms,laundry facilities and a rooftop terrace;
- three ground floor retail tenancies;
- a single commercial tenancy;
- landscaping works including terrace planting;
- extension and augmentation of services and infrastructure as required.

The proposal will operate as an integrated campus with the adjoining Iglu facility adjacent at 66 Regent St Redfern which commenced operation in early 2018.

The IGLU Student Housing design is responsive to the changing urban and social landscapes of Redfern. With direct access to Regent and Marian Street, the sites location at the heart of Redfern makes it a logical hub for activity. The site is accessible to local cafes, restaurants, shops and existing retail and entertainment precincts along the Regent St. Just 3km from the city, with excellent access to transport and campuses, the development delivers an eclectic mix of cultures and vibrant diversity, a blend of strong tradition and emerging trends.



AERIAL VIEW OF SITE
LOOKING NORTH

ISS.	AMENDMENT	DATE	BY	<div>IMPORTANT NOTES: Do not scale from drawings All dimensions to be taken to the attention of the Landscape Architect Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All site dimensions and E&S in metres. Use metric dimensions only. Verify all dimensions on site before the commencement of any works. Coordinate all work to be carried out prior to construction. Relevant Details shall be subject to Engineer's Specifications. Developer's Representative shall be subject to Engineer's Specifications. All work shall be carried out in accordance with DA, DCU and Local Government Regulations. All work shall be carried out in accordance with DA, DCU and Local Government Regulations. The responsibility for the design, construction, maintenance, operation and management of the development shall remain with the Project Engineer or Landscape Architect. This Drawing is copyright to 360 Degrees.</div>	CLIENT	ARCHITECT	CHECKED	DWG. TITLE Introduction PROJECT 80 - 88 REGENT ST, REDFERN _ IGLU II	<div>360 Studio 1, 1 Marys Place Surry Hills NSW 2010 p +612 9330 3601 w www.360da.com.au ABN:80 146 801 360</div>	L-DA-02
A	DRAFT DA	17.08.18	GF		Iglu Pty Ltd	BATESS/MAPT.	LB			
B	DA	24.08.18	GF							
C	RESPONSE TO COUNCIL RFI	28.03.19	EB							
					SCALE N/A	DRAWN GF	ISSUE DA			

LANDSCAPE DESIGN PHILODOPHY

The proposed landscape offers a complete design response and holistic design solution for the nature of the development. It presents a co-operative environment, triggered by the need to respond to an evolving student housing design approach and a broadening social ecology. Anticipating the developments nodal significance and broad student population, the design accommodates flexibility of use and clear legibility of space. The landscape encourages social interaction and private respite, and will become a functional part of Student life.

The union of existing student accommodation facilities and new build presents a versatile environment supportive of student needs, fostering positive interaction. The landscape design process and resulting design outcomes were guided by the following principles, ideals and philosophies:

- Connectivity – both visual and physical
- Access – equitable and unimpaired
- Variety and Flexibility
- Adaptability and Versatility
- Environmental Sensitivity
- Sustainability
- Social Responsibility

The design is not only localised to the site but is sensitive to its role within the broader student community. The objectives for the proposed landscape are to:

- Create a development with an inherently strong community identity.
- Manipulate scale and space to provide areas of high social legibility and community opportunity.
- Ensure the design including materiality and function complements the existing facilities of the adjoining Student Accommodation.
- Consider the future sustainability of the development in terms of ecological, economic, social and cultural needs.
- Support the building functions and promote student well being.

DESIGN STATEMENT

Three distinct landscapes have been organized to respond to the site situation and architecture to create landscapes which inhabit the building and provide activated spaces and social student retreats. These landscapes include;

- Level 01 internal Courtyard
- Rooftop Terrace
- Façade Planters

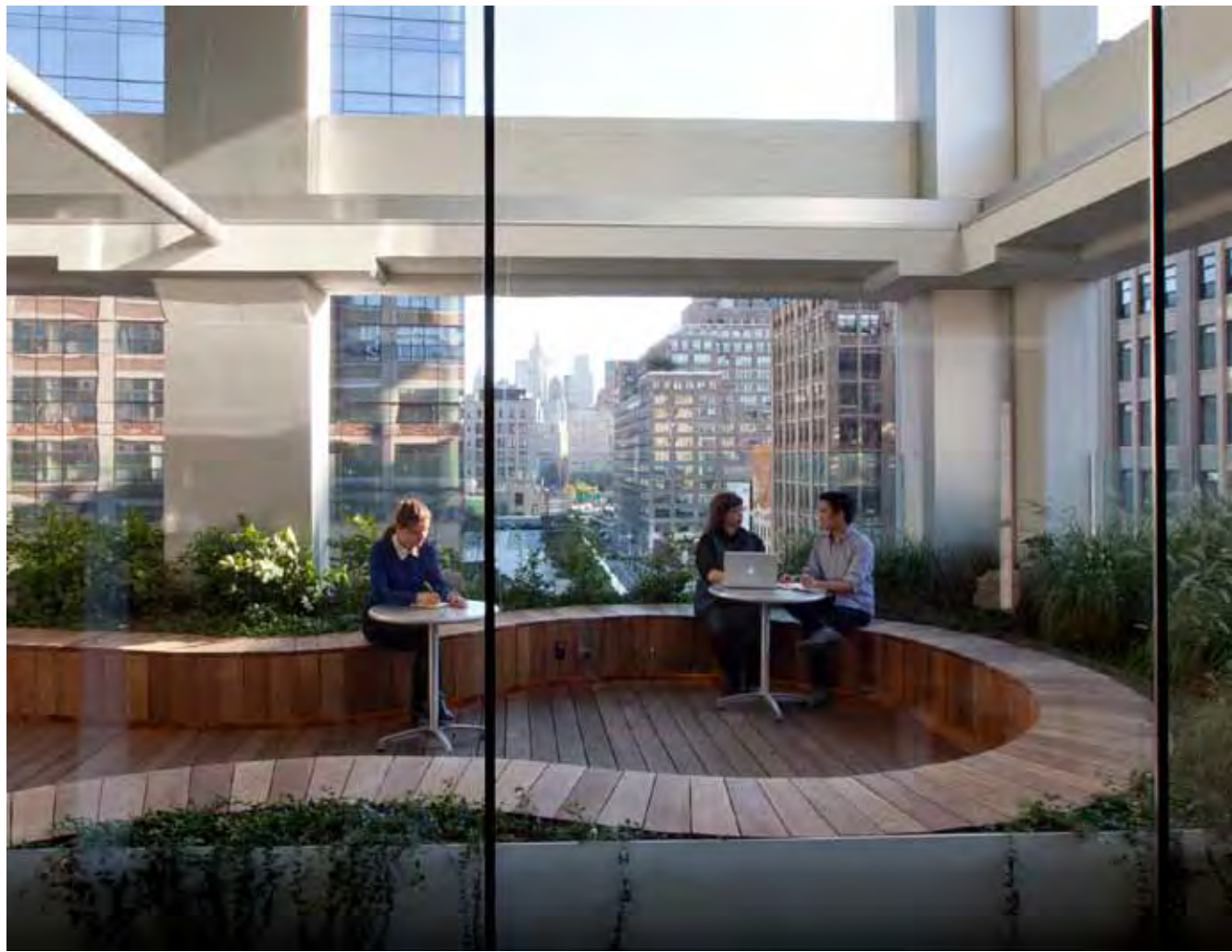
The landscape is conceived as a holistic urban garden. It is both elevated and vertical, and being integral to the architecture, demonstrates a progressive whole-of-building approach to the urban landscape creating a cohesive, environmental and socially sustainable landscape and living community. A sense of the greater gardens that lie within and atop the building are eluded to through a series of planters integrated within the façade design of level 01 + level 02. Visible from the street, these planters offer a public contribution of green in a hostile urban environment, providing visual interest and softening the hard built form which currently dominates Regent Street.

The level 01 Courtyard provides a passive retreat for students, engaging quite social interaction, study, or personal reflection. Adjoining the existing Student Accommodation at 66 Regent St, the space is a shared garden, comprised of perimeter planters with *Bambusa lako* to breakdown the scale of the interior wall, and free standing tree planters with integrated tables housing *Largestromia indica* 'Natchez', a deciduous tree to provide shaded canopy in summer and solar access in winter.

The roof terrace is an active landscape offering students a series of seating areas and paths, nestled amongst dense gardens, set out to engage view lines. The tapestry of pocketed seating spaces are supported by BBQ facilities located adjacent the lift lobby under a weather protected awning, while a produce garden to the north provides edibles plants and citrus orchid for student harvest and use. The roof terrace ultimately provides a garden oasis with direct solar access, sweeping city and suburban views, which enables students to escape their daily pressures, and improve their mental health. The studied benefits of access to landscape and gardens on mental and physical health are widely published. Within an urban environment, IGLU Student Accommodation promotes access to the environment within its development and supports the development of its student population.



Social Pocket



Seating edge to gardens



Raised tree planters in deck



Banquet seating booths (intimate social space)



Banquets with arbour over



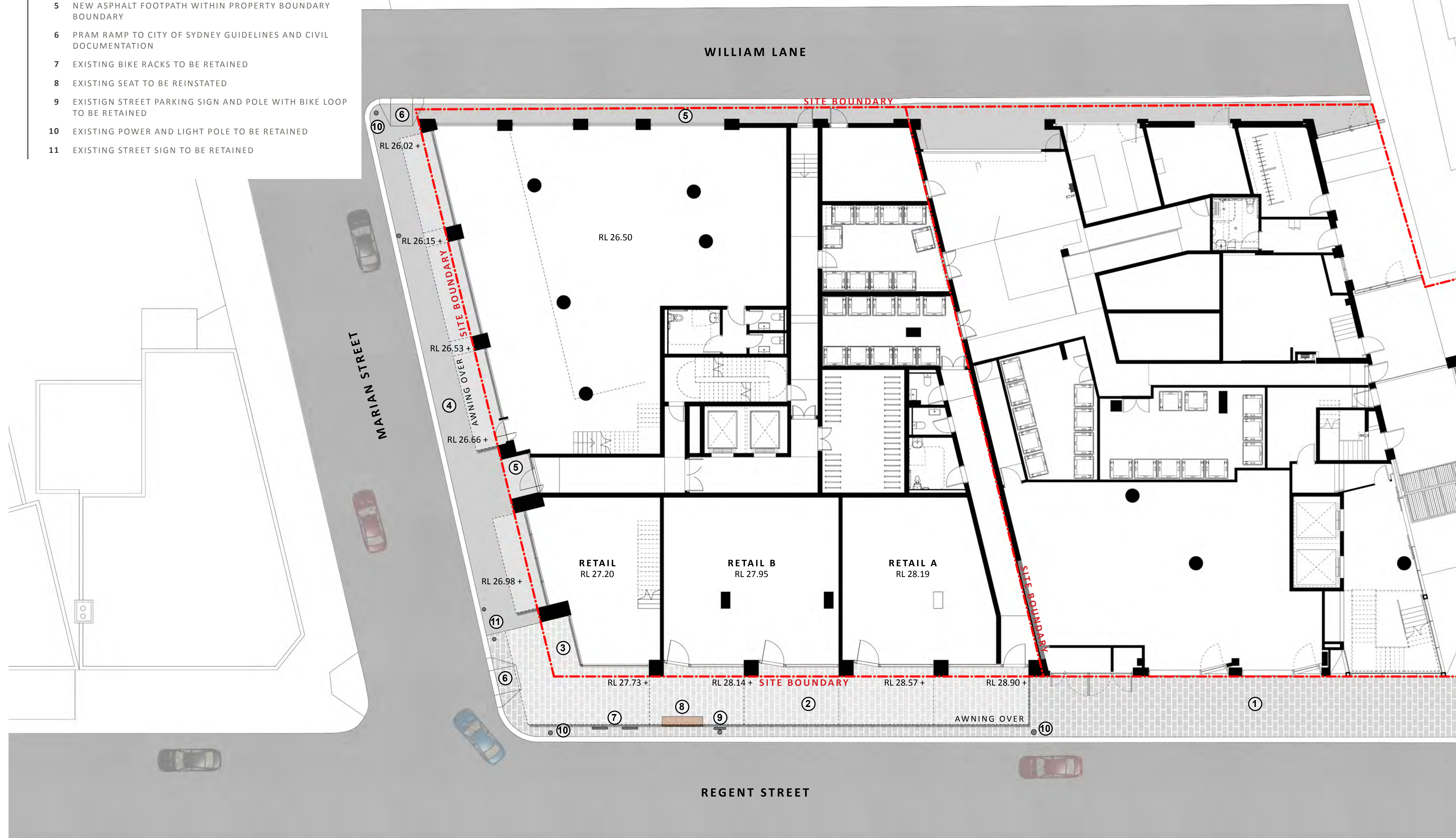
Garden seating edges with views



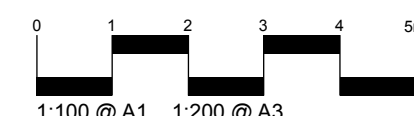
ISS.	AMENDMENT	DATE	BY	IMPORTANT NOTES	CLIENT	ARCHITECT	CHECKED	DWG. TITLE
A	DRAFT DA	17.08.18	GF	Do not scale from drawings All dimensions to be checked to the attention of the Landscape Architect Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated. All dimensions and fix to millimetres. The above dimensions are for information only. Verify all dimensions on site before the commencement of any works. Coordinate with other trades and professional services prior to construction. All work shall be carried out in accordance with S.A.S. Ltd. and Local Government Regulations. Discharge of Water (Surface Water) and the Control of Pollution Act 1990. All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Engineer's Specifications. The responsibility for the design and construction of the landscape shall remain with the Project Engineer or Landscape Architect. This Drawing is intended for use by the Project Engineer or Landscape Architect.	Iglu Pty Ltd	BATES+MARTIN	LB	Design Statement
B	DA	24.08.18	GF					PROJECT
C	RESPONSE TO COUNCIL RFI	28.03.19	EB					80 - 88 REGENT ST, REDFERN _ IGLU II
					SCALE	DRAWN	ISSUE	
					N/A	GF	DA	

LEGEND

- 1 EXISTING GRANITE PAVERS TO FOOTPATH
- 2 NEW GRANITE PAVERS TO CITY OF SYDNEY SPECIFICATION
- 3 NEW GRANITE PAVING WITHIN PROPERTY BOUNDARY TO
MATCH CITY OF SYDNEY PUBLIC DOMAIN PAVEMENT
- 4 EXISTING ASPHALT FOOTPATH TO BE RETAINED
- 5 NEW ASPHALT FOOTPATH WITHIN PROPERTY BOUNDARY
BOUNDARY
- 6 PRAM RAMP TO CITY OF SYDNEY GUIDELINES AND CIVIL
DOCUMENTATION
- 7 EXISTING BIKE RACKS TO BE RETAINED
- 8 EXISTING SEAT TO BE REINSTATED
- 9 EXISTING STREET PARKING SIGN AND POLE WITH BIKE LOOP
TO BE RETAINED
- 10 EXISTING POWER AND LIGHT POLE TO BE RETAINED
- 11 EXISTING STREET SIGN TO BE RETAINED



ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF
C	RESPONSE TO COUNCIL RF1	28.03.19	EB



IMPORTANT NOTES:

- Do not scale from drawings
- All discrepancies to be kept to the attention of the Landscape Architect
- Larger scale drawings and written dimensions take preference. All dimensions in run unless otherwise stated.
- Refer to the A2 and A3 in names.
- Use figured dimensions only.
- Verify all dimensions on site before commencement of any works.
- Contractors shall locate and protect all services prior to construction.
- All work shall be carried out in accordance with ASQA, DCA and Local Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- Structural Details, control and protection measures by Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
- No road works to be taken by 300 degrees. For any variations in design, construction method, materials specified, general specifications without permission from the Project Engineer or Landscape Architect.

CLIENT	Iglu Pty Ltd
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ARCHITECT
BATESMART.

CHECKED
LB

SCALE
1:100 @ A1

	DRAWN
	CE

ISSUE	DA
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DWG. TITLE
Landscape Plan - Ground Floor

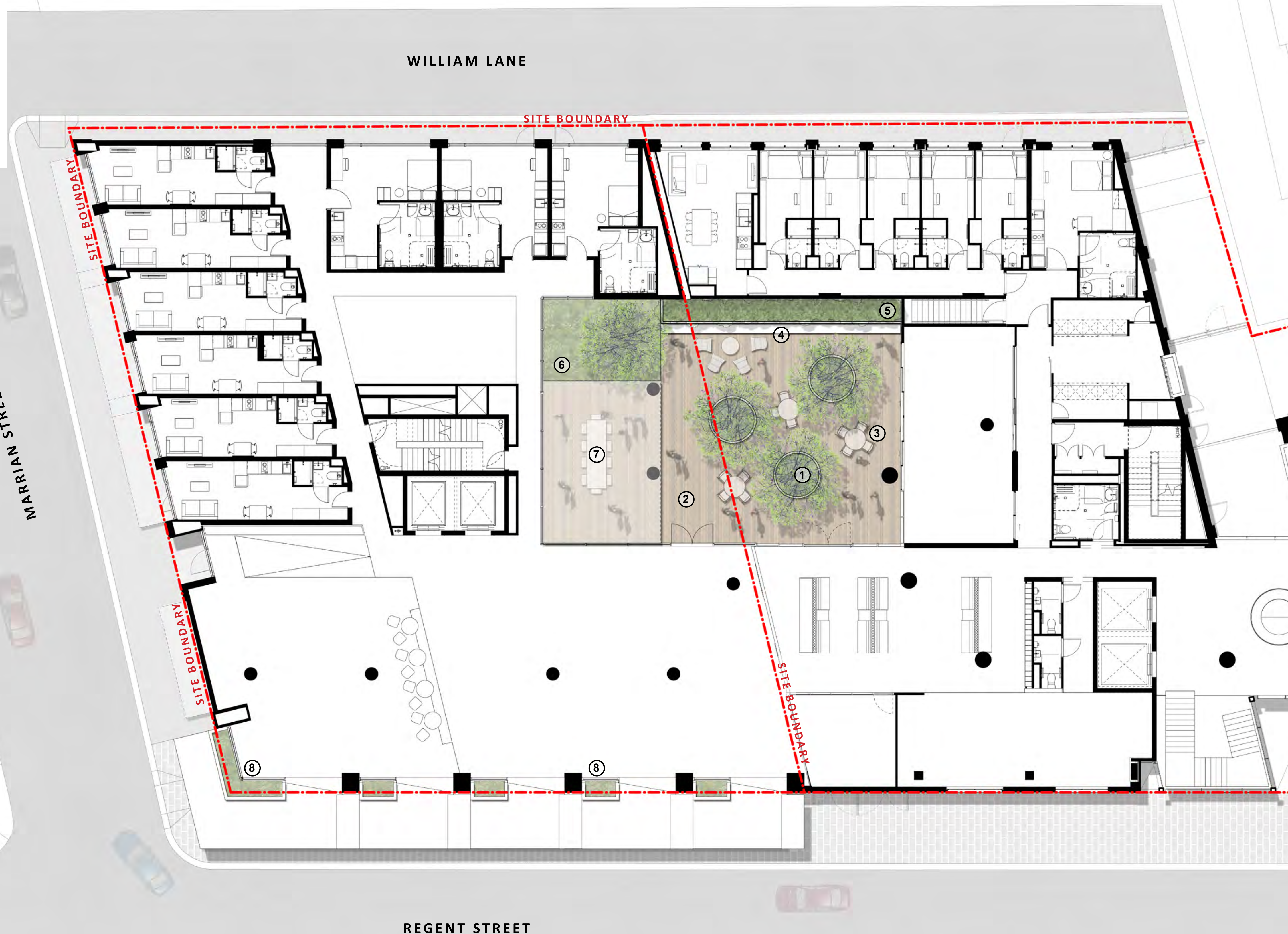
PROJECT
80 - 88 REGENT ST, REDFERN _ IGLU II

360
Studio 1, 1 Marys Place
Surry Hills NSW 2010
p +612 9332 3601
w www.360.net.au
A5B-00 645 004 000

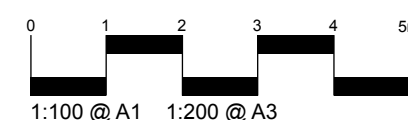
L-DA-04

LEGEND

- 1 1000MM HIGH RAISED PLANTERS IN DECK WITH CUPANIOPSIS ANACARDIODES TREE PLANTING
- 2 TIMBER DECKING
- 3 LOOSE FURNITURE (TABLES AND CHAIRS)
- 4 900MM HIGH GARDEN WALL WITH 450MM SEATING EDGE TO GARDEN
- 5 BAMBOO PLANTING TO SCREEN WALL (BAMBUSA TEXTILLIS GRACILLIS)
- 6 FLUSH PLANTER ON FOLD IN SLAB WITH FEATURE TREE (CHAMEROPS HUMILLIS) POSITIONED IN 600 X 300 MOUND TO CAPTURE VIEWS FROM INTERNAL COMMUNITY SPACE. REFER TO PLANTING LIST FOR FULL LIST OF SHRUBS AND GROUNDCOVERS
- 7 LARGE COMMUNAL TABLE UNDER COVER
- 8 PLANTERS INTEGRATED WITHIN FACADE. REPLANTING TO COPRISE *Asparagus densiflorus* 'Myersii', *Viola odorata*, *Solandra grandiflora* , REFER TO PLANTING SCHEDULE



ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF
C	RESPONSE TO COUNCIL RFI	28.03.19	EB



IMPORTANT NOTES:

Do not scale from drawings

All discrepancies to be brought to the attention of the Landscape Architect

Upper scale drawings and/or dimensions take preference. All dimensions in upper scale drawings are final unless otherwise stated

All tree dimensions and RULs in notes.

Use fixed dimensions only.

Verify all dimensions on site before the commencement of any works.

Contractors shall locate and protect all services prior to construction.

All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.

Structural Details shall be subject to Engineer's Specifications.

Drainage & Water Features Details shall be subject to Hydraulic Engineer's Specifications.

All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Specifications.

No responsibility will be taken by 360 degrees. For any variations in design, construction method, materials or general specifications without permission from the Project Engineer or Landscape Architect.

Retention is considered to be the responsibility of the client.

CLIENT	Iglu Pty Ltd
SCALE	1:100@A1

ARCHITECT	BATESSMART
DRAWN	GE

CHECKED LB	ISSUE DA
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DWG. TITLE
Landscape Plan - Level 01

PROJECT
80 - 88 REGENT ST, REDFERN _ IGLU II

360
Studio 3, 1 Marys Place
Surry Hills NSW 2010
p +612 9332 3600
w www.360.net.au
ARN: 90 146 901 328

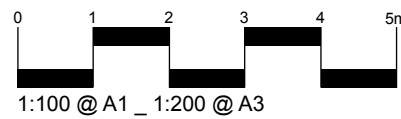
L-DA-05

LEGEND

- 1 PLANTERS INTEGRATED WITHIN FACADE. RPLANTING TO COPRISE *Asparagus densiflorus* 'Myersii', *Viola odorata*, *Solandra grandiflora* , EFER TO PLANTING SCHEDULE



ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF
C	RESPONSE TO COUNCIL RF1	28.03.19	EB



IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be checked by the architect or the landscape architect.
Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
All dimensions and sizes in millimeters.
Use metric dimensions.
Verify all dimensions on site before the commencement of any works.
Coordinate and check the proposed services prior to construction.
All work shall be carried out in accordance with AS/NZS 2201 and Local Government Regulations.
Relevant Details shall be subject to Engineer's Specifications.
Engineer's Specifications shall be subject to Engineer's Specifications.
All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Engineer's Specifications.
No responsibility shall be taken for any damage to existing or proposed structures, materials, services, and general specification without permission from the Project Engineer or Landscape Architect.
This Drawing is copyright to 360° Design.

CLIENT
Iglu Pty Ltd

SCALE
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ARCHITECT
BATESS/MAPT.

DRAWN
GF

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LB

ISSUE
DA

DWG. TITLE
Landscape Plan - Level 02

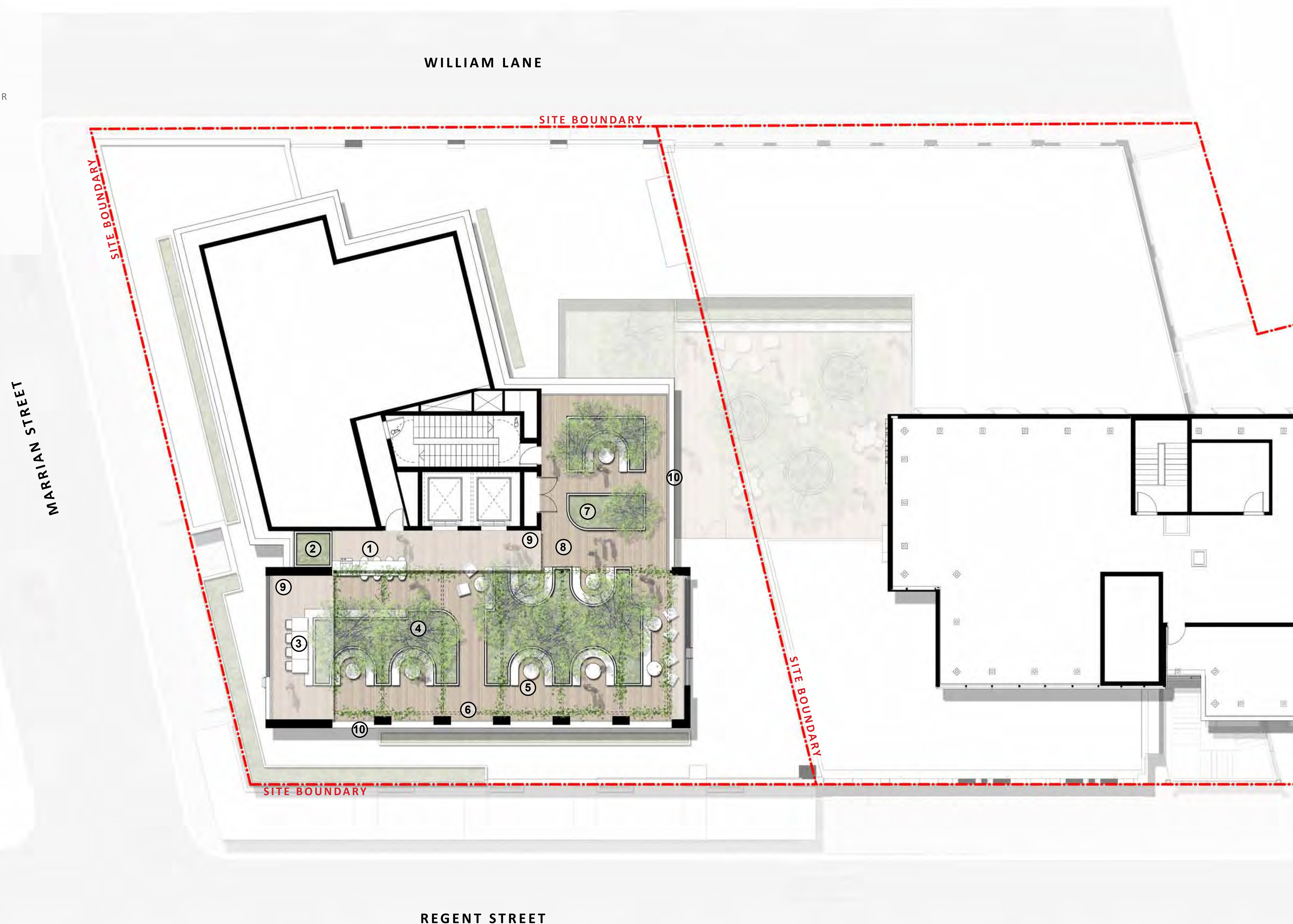
PROJECT
80 - 88 REGENT ST, REDFERN _ IGLU II

360°
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Surry Hills NSW 2010
p +61(0) 9000 3601
w www.360design.com.au
ABN 90 146 801 360

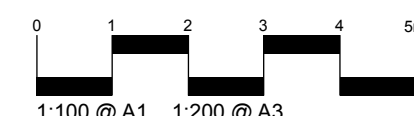
L-DA-06

LEGEND

- 1 COMMUNAL BBQ FACILITY WITH RAISED BAR AND SEATING
- 2 RAISED GARDEN BED
- 3 ADAPTABLE LOOSE FURNITURE TO FACILITATE SMALL OR LARGE GROUP GATHERINGS (UNDER AWNING)
- 4 900MM MINIMUM RAISED GARDENS WITH 450MM HIGH SEATING EDGE. GARDEN CONSISTS OF CUPANIOPSIS ANACARDIODES TREE PLANTING WITH MIX OF NATIVE AND EXOTIC UNDERSTORY PLANTING. REFER TO PLANTING SCHEDULE FOR COMPLETE LIST OF SPECIES.
- 5 INTIMATE / PRIVATE BANQUET SEATING BOOTHS NESTED WITHIN GARDEN TO PROVIDE DINING SPACES ORIENTED TOWARDS THE VIEWS
- 6 TIMBER ARBOUR WITH SOLANDRA MAXIMA CLIMBING OVER
- 7 KITCHEN GARDEN WITH EDIBLE PLANTINGS INCLUDING ROSEMARY, CITRUS AND THYME. REFER TO PLANTING SCHEDULE FOR COMPLETE LIST OF SPECIES
- 8 TIMBER DECKING
- 9 WEATHER PROTECTION SOLID AWNING OVER
- 10 GLASS BALUSTRADE AND PARAPET TO ARCHITECT DETAIL



ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF
C	RESPONSE TO COUNCIL RFI	28.03.19	EB



IMPORTANT NOTES:

- Do not scale from drawings
- All discrepancies to be brought to the attention of the Landscape Architect
- Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All dimensions to be rounded up to nearest mm.
- Use of Sika and Sikafix in rebar.
- Use figured dimensions only.
- Verify all dimensions on site before commencement of any works.
- Correctors shall locate and protect all services prior to construction.
- All work shall be carried out in accordance with AS, BCA and local Government Regulations.
- Structural Details cannot be subject to Engineer's Specifications.
- Drainage & Water Feature Details that are subject to Hydraulic Engineer's Specifications.
- Non structural details cannot be subject to Engineer's Specifications.
- Use of Landscape Drawings and Engineer's Specifications.
- Non structural details shall be within 300 degrees. For any variations in design, construction method, materials specified, general specifications without permission from the Project Engineer or Landscape Architect.

CLIENT	Iglu Pty Ltd
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ARCHITECT
RATESMART

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DWG. TITLE
Landscape Plan - Roof Terrace

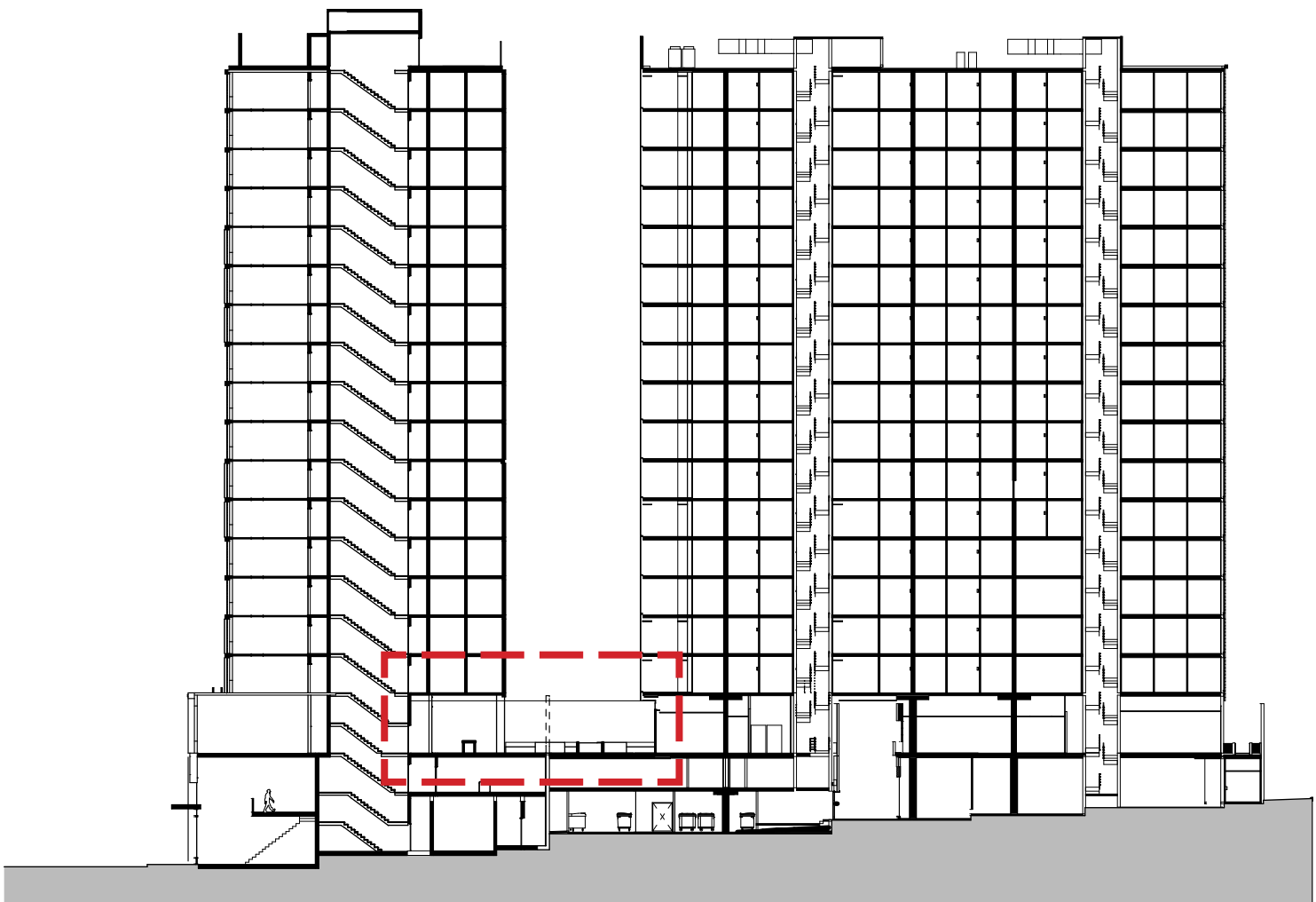
PROJECT
80 - 88 REGENT ST, REDFERN _ IGLU II

360 
Studio 1, 1 Marys Place
Surry Hills NSW 2010
p +612 9332 3601
w www.360.net.au
AFL 00 445 004 330

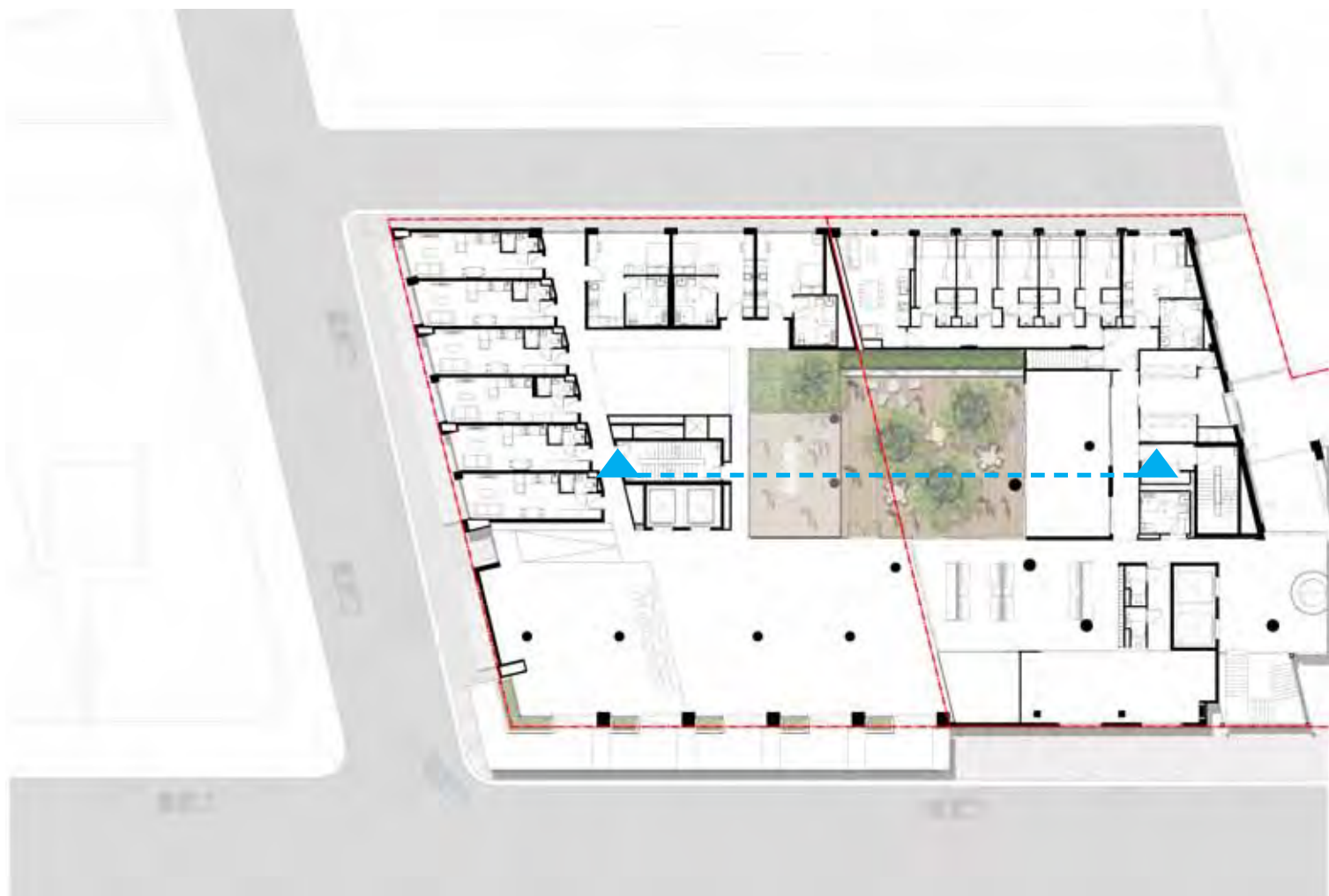
L-DA-07

LEGEND

- 1 1000MM HIGH RAISED PLANTERS IN DECK WITH ULMUS PARVIFOLIA 'TODD' TREE PLANTING
- 2 TIMBER DECKING
- 3 LOOSE FURNITURE (TABLES AND CHAIRS)
- 4 900MM HIGH GARDEN WALL WITH 450MM SEATING EDGE TO GARDEN
- 5 BAMBOO PLANTING TO SCREEN WALL (BAMBUSA TEXTILLIS GRACILLIS)
- 6 FLUSH PLANTER WITH FEATURE TREE (CHAMEROPS HUMILLIS) TO CAPTURE VIEWS FROM INTERNAL COMMUNITY SPACE. REFER TO PLANTING LIST FOR FULL LIST OF SHRUBS AND GROUNDCOVERS
- 7 LARGE COMMUNAL TABLE UNDER COVER



KEY PLAN - SECTION 1



KEY PLAN - LEVEL 01

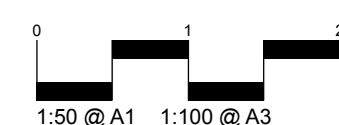


LEGEND

- 1 FLUSH PLANTER ON FOLD IN SLAB WITH FEATURE TREE (CHAMEROPS HUMILLIS) POSITIONED IN 600 X 300 MOUND TO CAPTURE VIEWS FROM INTERNAL COMMUNITY SPACE. REFER TO PLANTING LIST FOR FULL LIST OF SHRUBS AND GROUNDCOVERS
- 2 TIMBER DECKING
- 3 LOOSE FURNITURE (TABLES AND CHAIRS)
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- Do not scale from drawings
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- Large scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
- Dimensions shown on drawings and Bill of Materials shall be the same.
- Use figured dimensions only.
- Verify all dimensions against the dimensions of all works.
- Contractors shall locate and protect all services prior to construction.
- All work shall be carried out in accordance with ASQA, BSA and Local Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- Details shall be carried out in professional manner to Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
- Work shall be taken to 300mm. For any variations in design, construction method, materials specified, general specifications without permission from the Project Engineer or Landscape Architect.
- This Overview is confidential.

CLIENT	Iglu Pty Ltd
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ARCHITECT
BATESSMART.

	CHECKED
	LB

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	GF

	DRAWN
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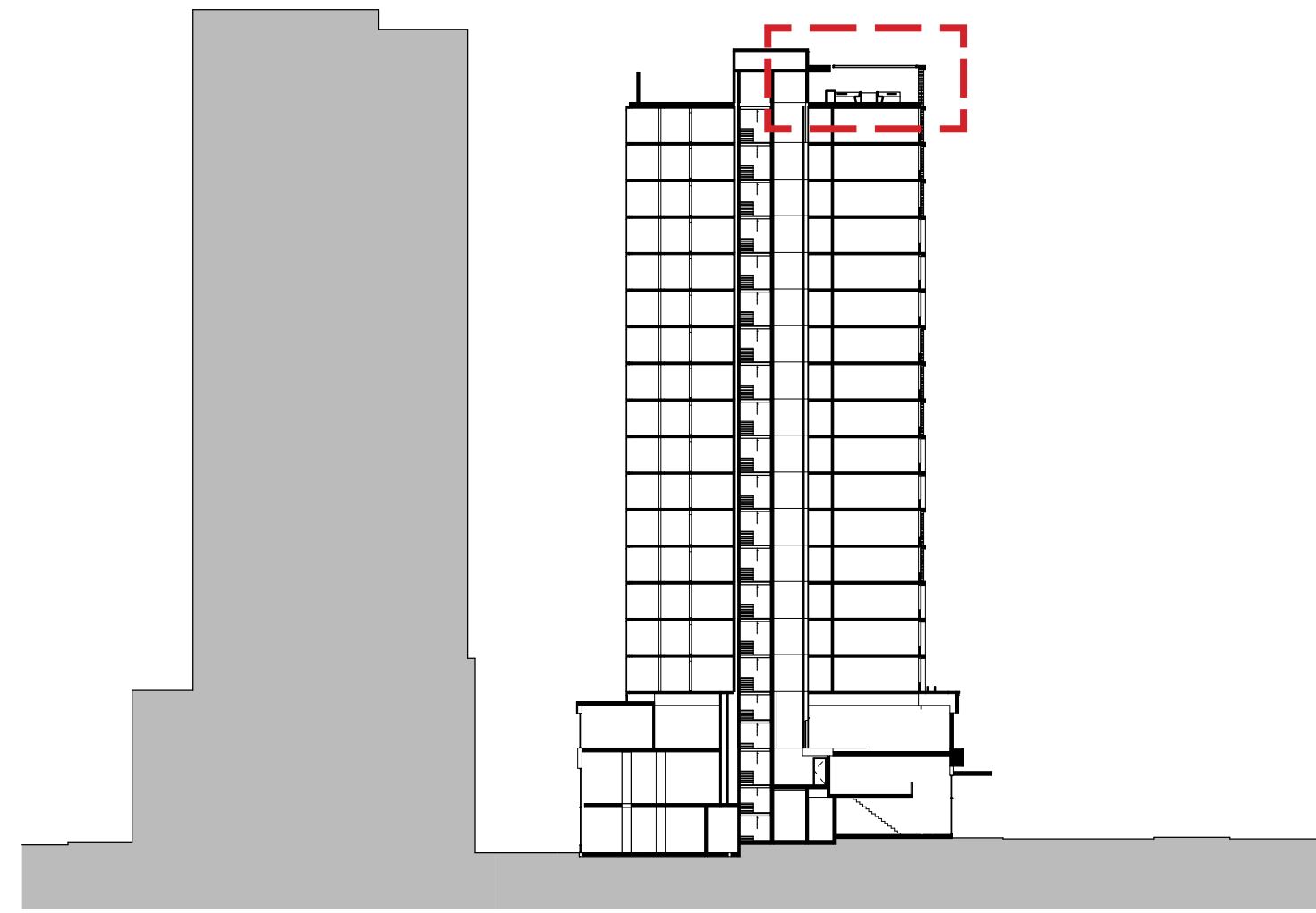
	ISSUE
	DA

DWG. TITLE
Landscape Section 2

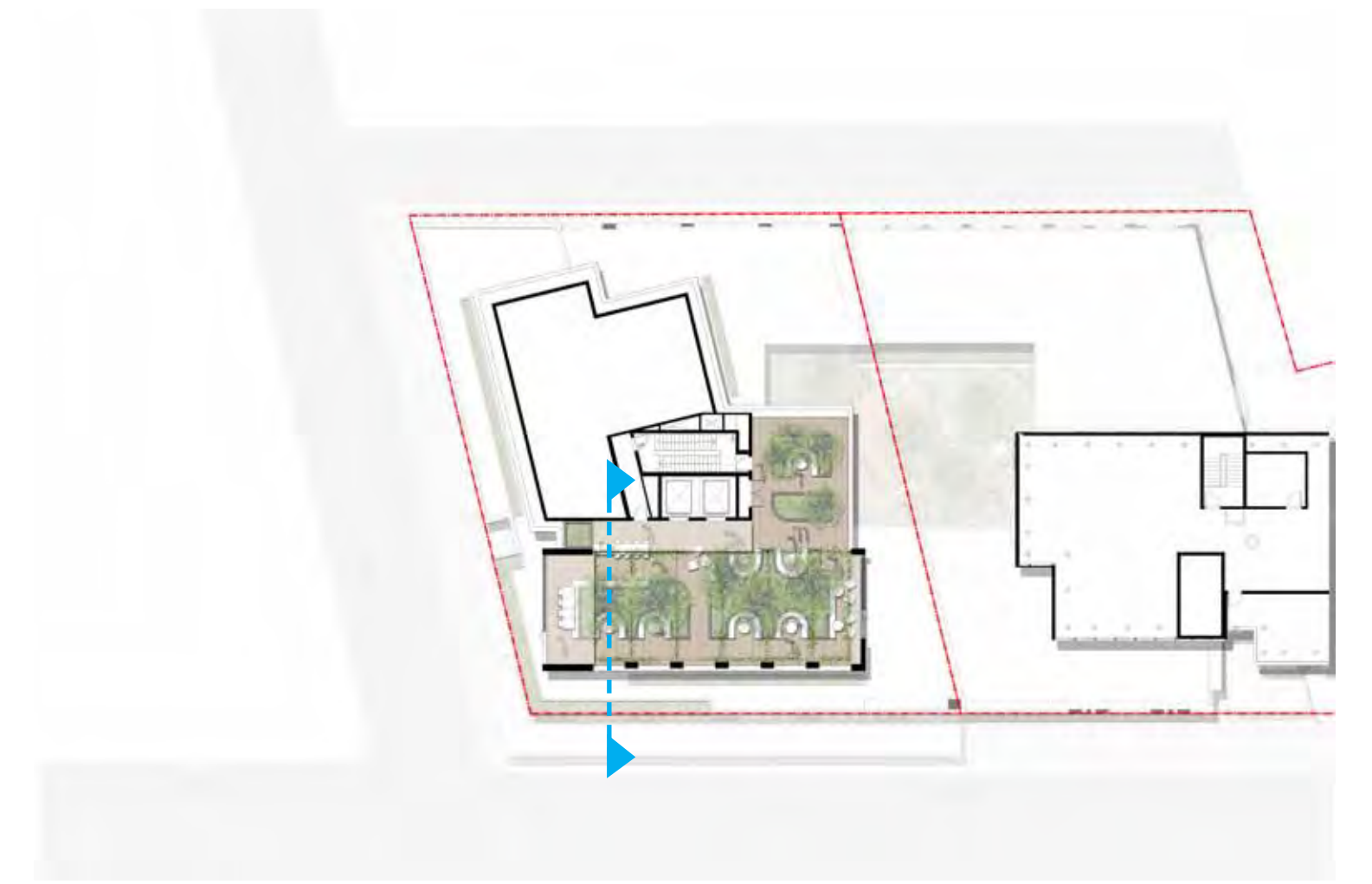
PROJECT
80 - 88 REGENT ST, REDFERN _ IGLU II

LEGEND

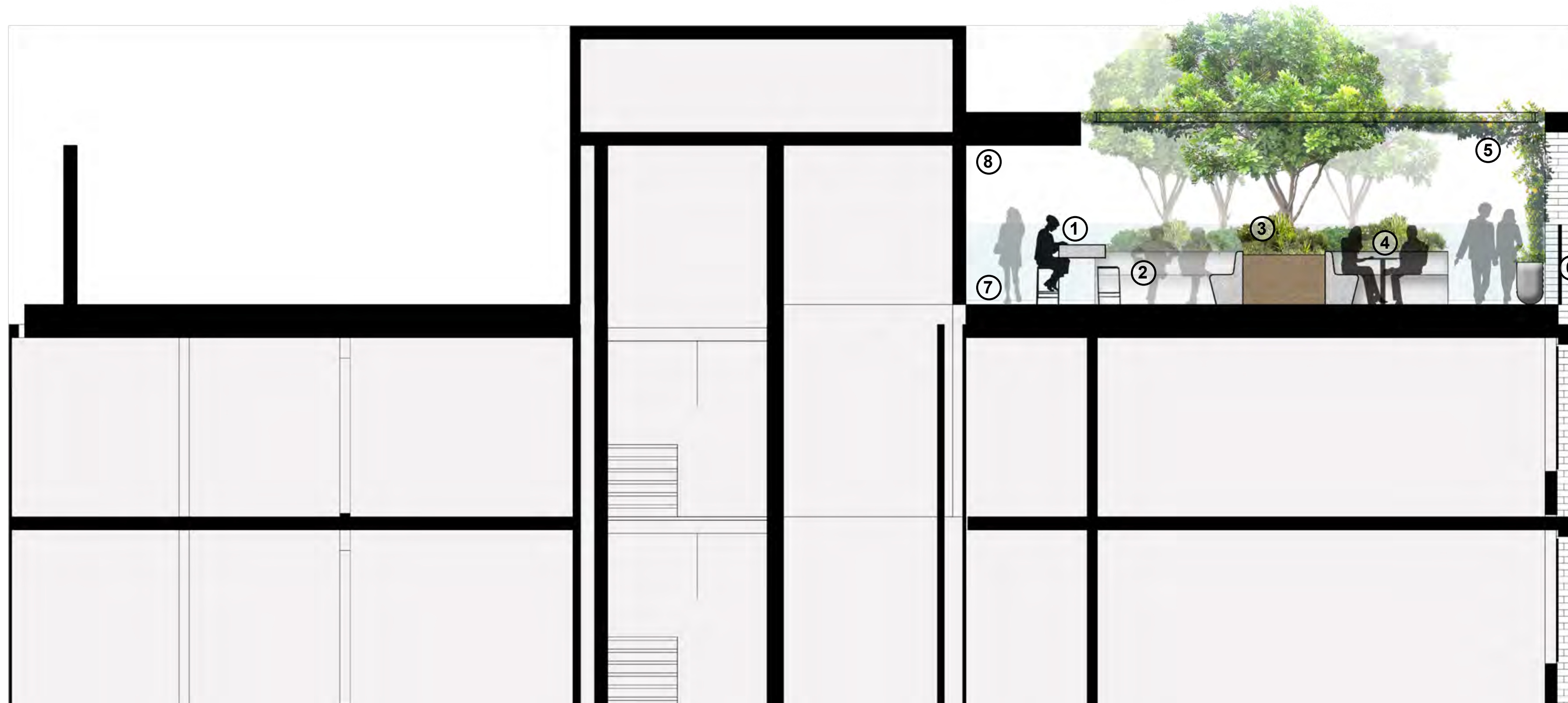
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- 4 INTIMATE / PRIVATE BANQUET SEATING BOOTHS NESTED WITHIN GARDEN TO PROVIDE DINING SPACES ORIENTED TOWARDS THE VIEWS
- 5 TIMBER ARBOUR WITH SOLANDRA MAXIMA CLIMBING OVER
- 6 GLASS BALUSTRADE AND PARAPET TO ARCHITECT DETAIL
- 7 TIMBER DECKING
- 8 WEATHER PROTECTION SOLID AWNING OVER



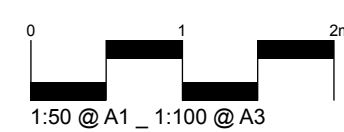
KEY PLAN - SECTION 2



KEY PLAN - ROOF TERRACE



ISS.	AMENDMENT	DATE	BY
A	DRAFT DA	17.08.18	GF
B	DA	24.08.18	GF
C	RESPONSE TO COUNCIL RFI	28.03.19	EB



IMPORTANT NOTES:

- Do not scale from drawings
- All discrepancies to be brought to the attention of the Landscape Architect
- Larger scale drawings and written dimensions take precedence. All dimensions in units otherwise stated.
- Use figure dimensions and RLs in notes.
- All true dimensions only
- Verify all dimensions on site before the commencement of any works.
- Contractors shall locate and protect all services prior to construction.
- All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- Drainage & Water Details shall be in a professional manner by Qualified Tradesman according to Landscape Draining Engineer's Specifications.

No responsibility will be taken by 360 degrees. For any variations in design, construction method, materials specified with specifications without approval from the Project Engineer, Landscape Architect.

This Drawing is copyright © 360 degrees.

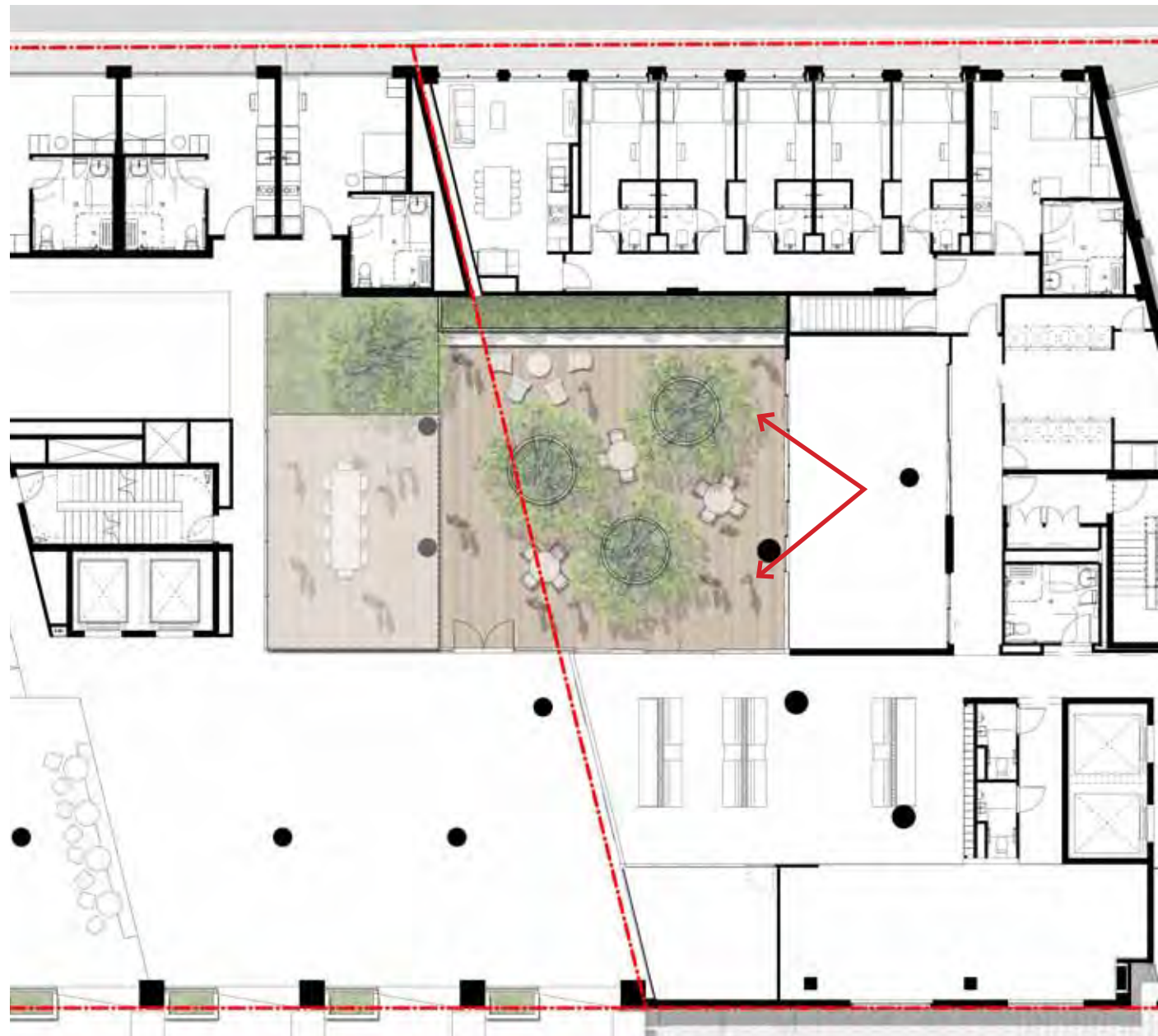
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SCALE	1:50 @ A1

ARCHITECT	BATESSMART.
DRAWN	GF

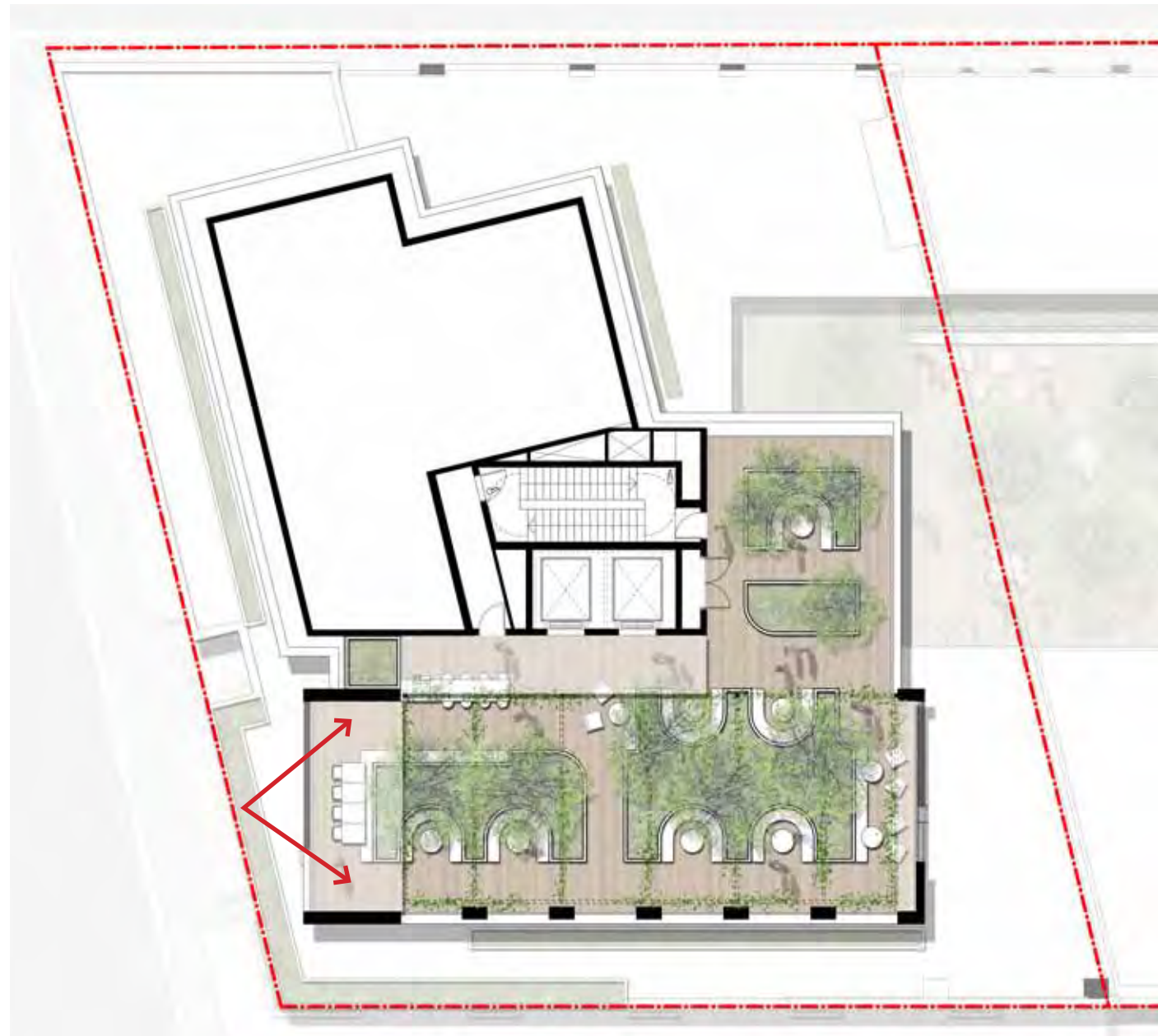
CHECKED LB
ISSUE DA

DWG. TITLE
Landscape Section 3

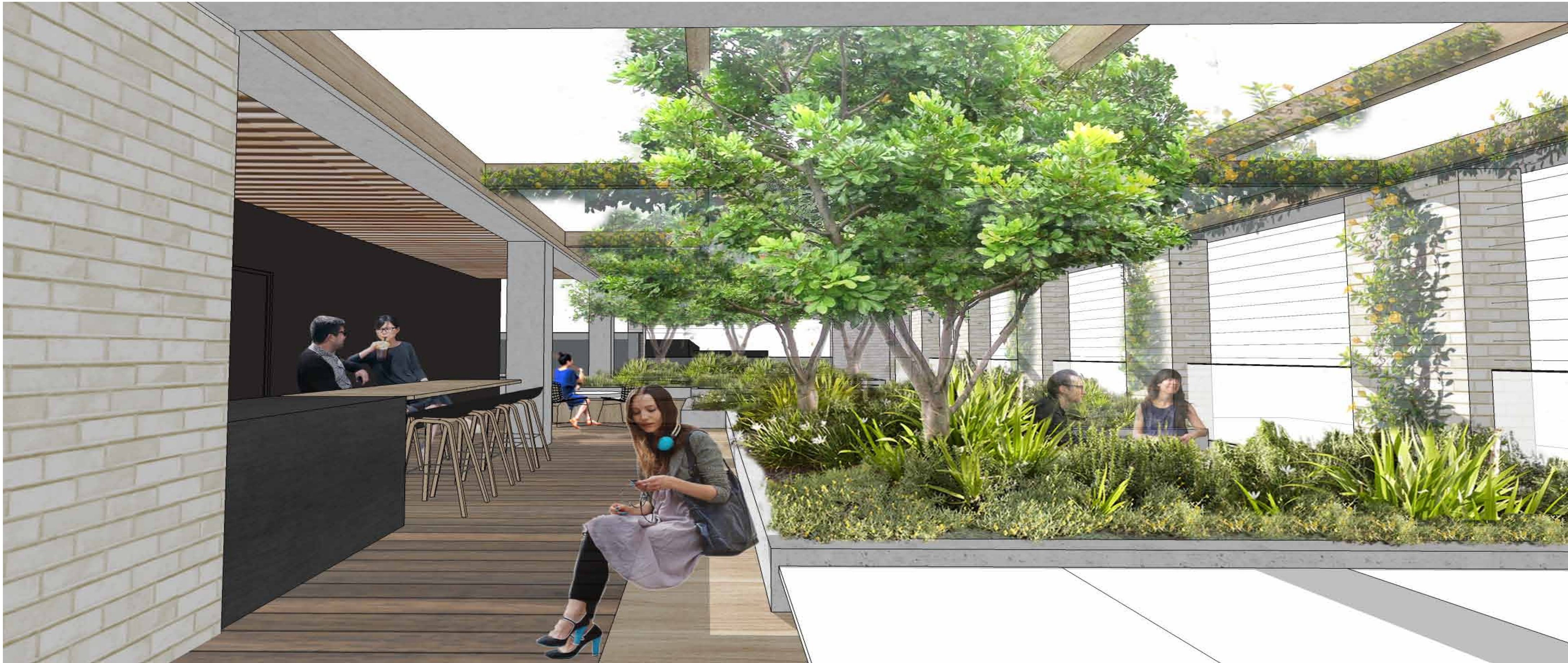
PROJECT
80 - 88 REGENT ST, REDFERN _ IGLU II



KEY PLAN - LEVEL 01 COURTYARD PERSPECTIVE



KEY PLAN - ROOFTOP TERRACE PERSPECTIVE



TREES & BAMBOO

Bambusa textilis gracillis
Slender Weavers Bamboo

Ulmus Parvifolia 'Todd'
Chinese Elm

The image block contains three photographs of plants. The first photograph on the left shows *Neomarica gracilis* (Walking Iris), which has long, narrow green leaves and small, white, bell-shaped flowers with purple centers. The middle photograph shows *Ligularia dentata* (Leopard Plant), featuring large, heart-shaped, green leaves with prominent veins. The third photograph on the right shows *Ophiopogon jaburan* (Giant Mondo Grass), which has long, narrow, arching green leaves.

PLANTING PALETTE BALCONY PLANTERS (LEVEL 01 & LEVEL 02)

	ISS.	AMENDMENT	DATE	BY	
	A	DRAFT DA	17.08.18	GF	
	B	DA	24.08.18	GF	
	C	RESPONSE TO COUNCIL RFI	28.03.19	EB	

Botanical Name	Common Name	Pot Size
LEVEL 01 COURTYARD		
TREES		
Cupaniopsis anacardioides	Tuckeroo	400L
BAMBOO		
Bambusa textilis gracilis	Slender Weavers Bamboo	300mm
SHRUBS & PERENNIALS		
Acanthus mollis	Oyster Plant	200mm
Plectranthus argentatus	Silver Spurflower	200mm
Plectranthus nico	Swedish Ivy	200mm
GRASSES & LILIES		
Neomarica gracillis	Walking Iris	150mm
Ligularia dentata	Leopard Plant	150mm
Ophiopogon jaburan	Giant Mondo Grass	150mm
GROUNDCOVERS		
Cissus antarctica	Kangaroo Vine	150mm
Viola hederacea	Native Violet	150mm
CLIMBERS		
Parthenocissus tricuspidata	Boston Ivy	200mm
BALCONY PLANTERS (LEVEL 01 & LEVEL 02)		
FERNS		
Asparagus densiflorus 'Myersii'	Foxtail Fern	150mm
GROUNDCOVERS		
Viola odorata	English Violet	150mm
CLIMBERS		
Solandra grandiflora	Cup of Gold	200mm
ROOF TERRACE		
TREES		
Citrus hystrix	Kaffir Lime	200L
Cupaniopsis anacardioides	Tuckeroo	400L
SHRUBS & PERENNIALS		
Adenanthos sericeus	Wooly Bush	200mm
Baeckea imbricata	Heath Myrtle	200mm
Euonymus japonicus (Green)	Japanese Spindle	200mm
Gardenia augusta 'Florida'	Fragrant Gardenia	200mm
Lavandula	Lavender	200mm
Phormium tenax	New Zeland Flax	200mm
Pittosporum 'Miss Muffet'	Miss Muffet	200mm
Plectranthus argentatus 'Mona Lavender'	Mona Lavender	200mm
GRASSES & LILIES		
Neomarica gracillis	Walking Iris	150mm
Ligularia dentata	Leopard Plant	150mm
Lomandra 'Lime Tuff'	Lime Tuff Mat Rush	150mm
GROUNDCOVERS		
Dichondra argentata 'Silver Falls'	Silver Falls	150mm
Myoporum parvifolium	Creeping Boobiala	150mm
Rosmarinus officinalis 'Irene'	Prostrate Rosemary	150mm
Viola hederacea	Native Violet	150mm
CLIMBERS		
Thunbergia grandiflora 'Alba'	White Sky Vine	200mm
EDIBLES		
Citrus hystrix	Kaffir Lime	150mm
Coriandrum sativum	Coriander	150mm
Mentha	Mint	150mm
Occinum basilicum	Basil	150mm
Origanum vulgare	Oregano	150mm
Petroselinum crispum	Parsley	150mm
Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	150mm
Salvia officinalis	Sage	150mm
Thymus vulgaris	Common Thyme	150mm

