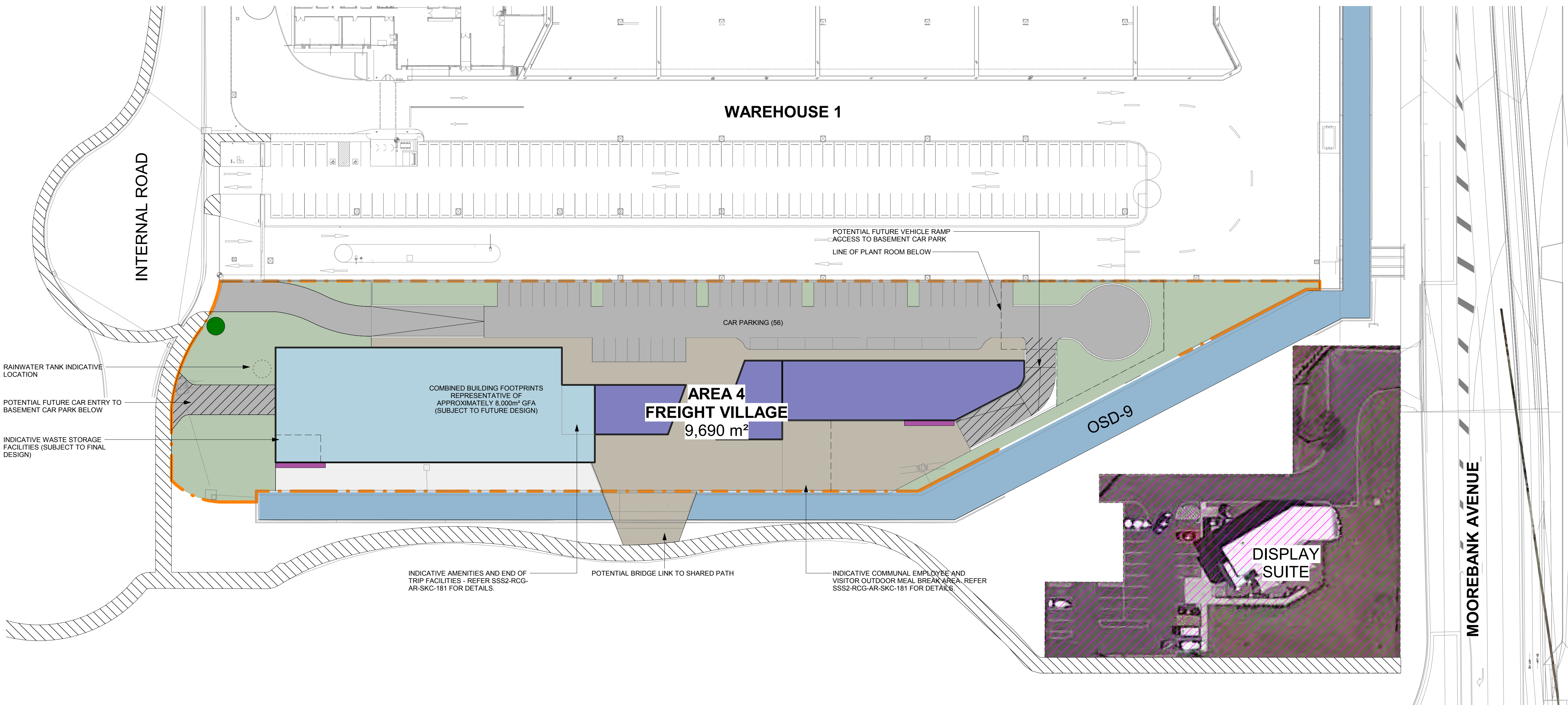




SIGNAGE:	
	TYPE 1 STREET SIGNAGE
	TYPE 2 TENANT IDENTIFICATION SIGNAGE
	TYPE 3 DIRECTION SIGNAGE
	TYPE 4 CORPORATE SIGNAGE

LEGEND:	
	UDLP AREA 4 (FREIGHT VILLAGE)
	MIXED USE
	COMMERCIAL
	SHARED PATHWAY
	LANDSCAPE
	OSD
	DISPLAY SUITE

- NOTES:**
- FREIGHT VILLAGE DESIGN IS BASED ON NETTLETON TRIBE: 11283_SK(5)503; DATED 22/05/2020 AND SUBJECT TO DETAILED DESIGN.
 - UNLESS REFERENCED TO A SITE PLAN, AREAS ARE INDICATIVE ONLY AND SUBJECT TO CHANGE AND DETAIL DESIGN. REFER TO AREA SPECIFIC SITE PLANS FOR DETAILS WHERE AVAILABLE.
 - LANDSCAPE CALCULATIONS ARE SUBJECT TO LANDSCAPE ARCHITECTS INPUT.
 - LANDSCAPE CALCULATIONS SUBJECT TO WORKS AND MEASUREMENTS ON SITE.

NOTES:

1. ALL LEVELS ARE INDICATIVE & SHOULD BE READ IN CONJUNCTION WITH CIVIL ENG. DWGS FOR FINAL LEVELS OF ALL EARTH WORKS.

2. ALL SERVICES RELOCATION TO BE CONFIRMED BY ENG.

3. ALL DESIGNS ARE INDICATIVE AND SUBJECT TO DETAILED DESIGN.

4. LANDSCAPE IS SHOWN INDICATIVELY AND IS SUBJECT TO LANDSCAPE ARCHITECTS INPUT.

Notes

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-Contractor to verify all dimensions on site before commencing work.

-Report all discrepancies to project manager prior to construction.

-Figured dimensions to be taken in preference to scaled drawings.

-All work is to conform to relevant Australian Standards and other Codes as applicable, together with other Authorities' requirements and regulations.

NSW Registered Architect Mark David Roach, 10332

NSW Registered Architect James Webb, 10187

Issue	Description	Date	DR	CH
A	Area 4 updated, for review	01.06.2020	AM	MF
B	For Submission	09.06.2020	AM	MF

REID CAMPBELL

Architecture, Interiors, Project Management

ACN 002 033 891 ABN 26 517 955 875

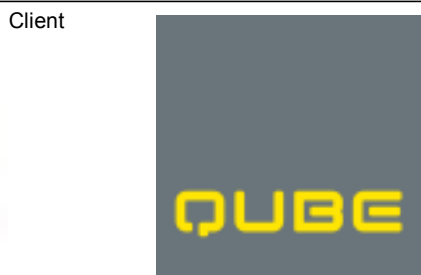
Level 15, 124 Walker Street

North Sydney NSW 2060 Australia

Tel: 61 02 9954 5011 Email: sydney@reidcampbell.com

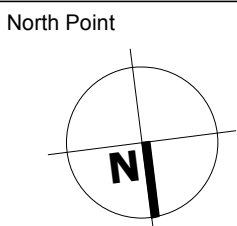
Fax: 61 02 9954 4946 Web: www.reidcampbell.com

**MOOREBANK
PRECINCT
EAST - STAGE 2**



Project
MOOREBANK PRECINCT EAST
MOOREBANK AVENUE,
MOOREBANK, NSW

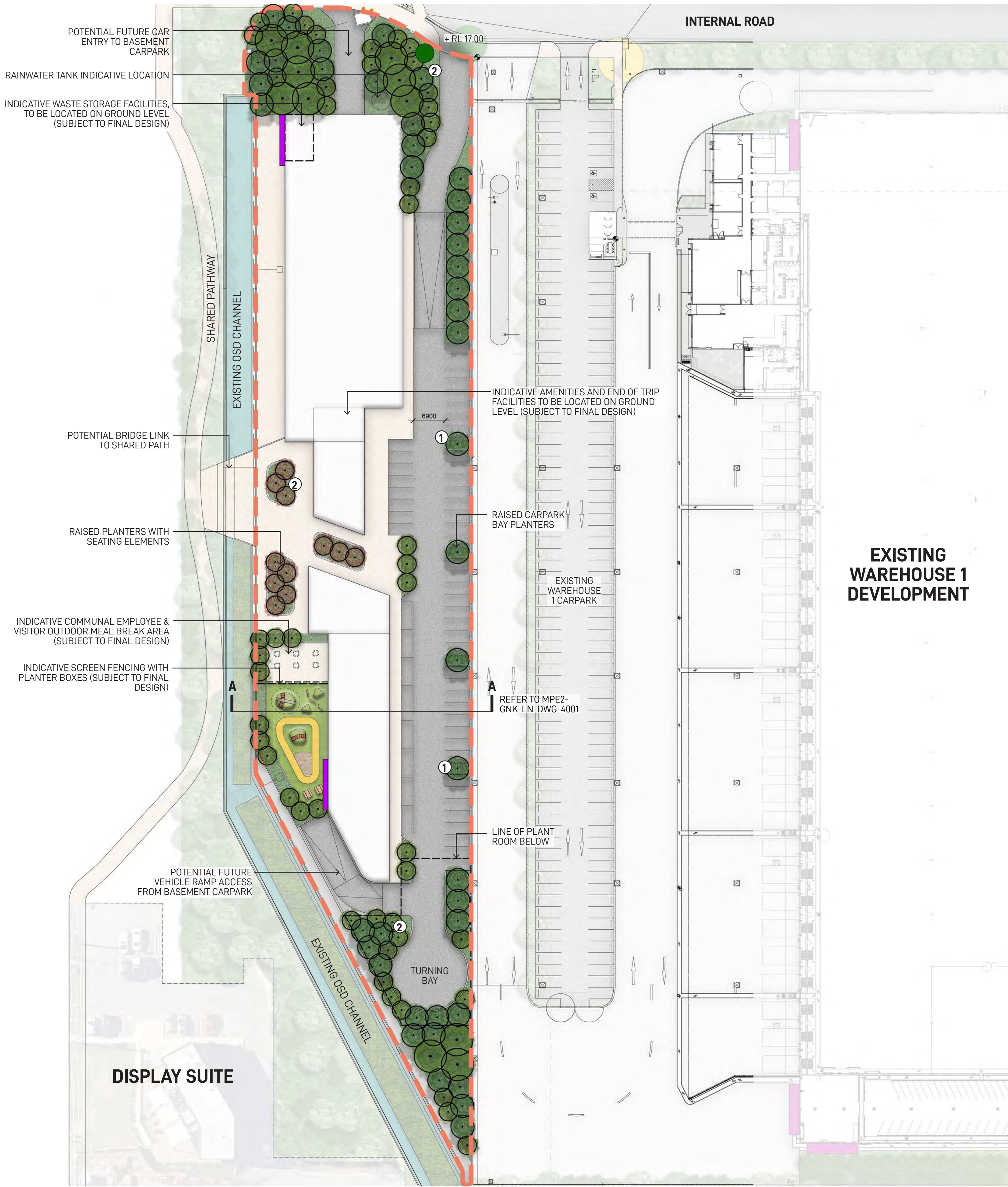
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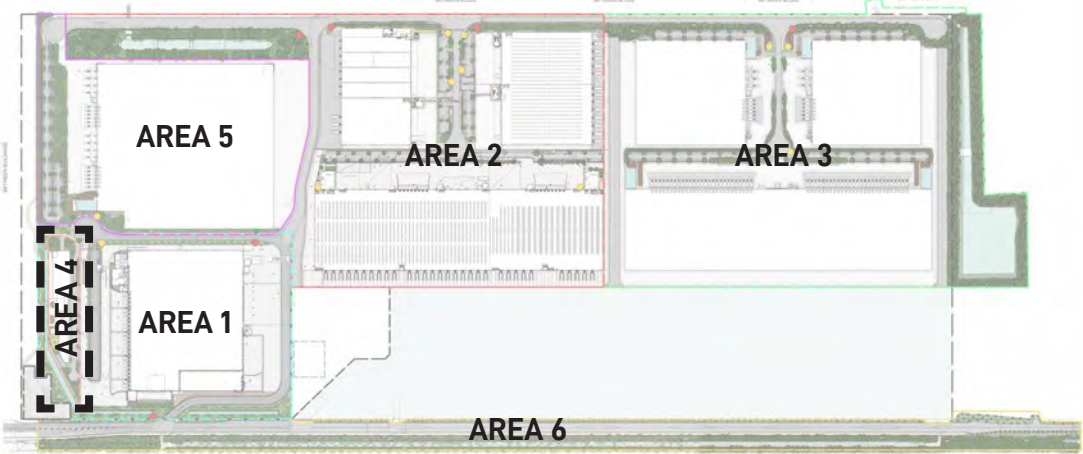
Drawing Title
MPE UDLP - AREA 4

Drawing Number
SSS2-RCG-AR- SKC-176

Issue
B



KEY PLAN



LEGEND

- Area 4 Boundary
- Pedestrian Path
- Proposed Garden Bed
- Proposed Canopy Trees
- Type 3 Direction Signage
- Type 4 Corporate Signage
- 1 Proposed canopy tree planting in 2.5M carpark bays spaced at every 6-8 car spaces providing amenity and visual screening of proposed warehousing in accordance with condition b140(e)(iii) & b140(e)(vi)
- 2 Proposed mix of native canopy trees and shrubs providing visual amenity

NOTE

- Indicative building footprints are representative of approximately 8,000m² GFA (Subject to future building design)
- Elements shown in plans are indicative and are subject to final design

AREA 4
LANDSCAPE MASTERPLAN

FOR COORDINATION

Landscape Architect

GROUND INK

Suite 201, 75 Archer St, Chatswood NSW 2067 Ph. (02) 9411 3279
www.groundink.com.au ABN 55 163 025 456 ACN 163 025 456
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Client

QUBE

MOOREBANK LOGISTICS PARK

Architect

REID CAMPBELL

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Project Manager

ASPECT

Suite 117 / 25 Solent Circuit
Baulkham Hills NSW 2153
Ph. 0409 515 535
http://aspectenvironmental.com.au/

Note

Verify all dimensions on site before commencing work. Report all discrepancies to Landscape Architect prior to construction. Figured dimensions to be taken in preference to scaled drawings.

All work is to conform to relevant Australian standards and other codes as applicable.

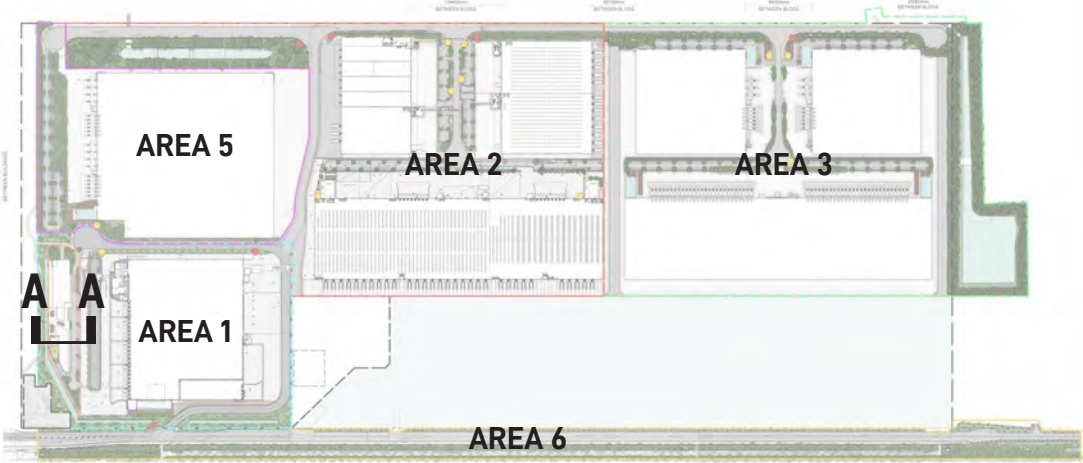
Location of underground services to be proven on site and protected if necessary prior to construction. Dial before you dig.

Plant species and quantities shown are indicative only and are subject to change based on future project requirements.

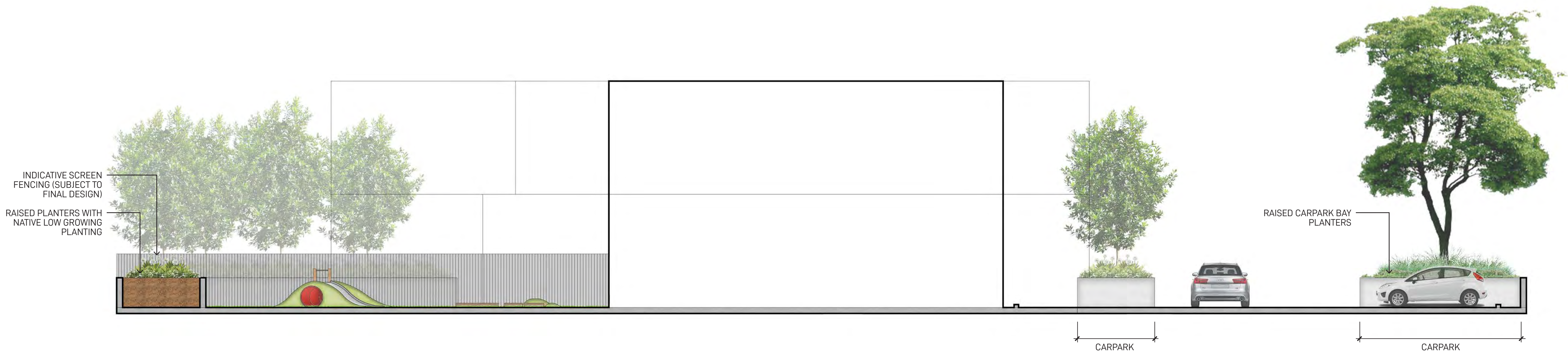
Issue	Date	Description	Drawn	Checked
A	04.04.20	Issue for Coordination	KF	RL
B	28.10.20	Issue for Coordination	KF	RL
C	16.12.20	Issue for Coordination	KF	RL

Date	Job Number	Drawn	Checked	Drawing Number		
16.12.20	20200421	KF	RL	MPE2-GNK-LN-DWG-4000		
Project				North		
Moorebank Precinct East						
Moorebank Logistics Park, Moorebank NSW						
Scale 1:500 @ A1				Rev		
0	2.5	5	7.5	10	12.5m	C

KEY PLAN



AREA 4 SECTION A-A



Landscape Architect

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Location of underground services to be proven on site and protected if necessary prior to construction. Dial before you dig.
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Issue	Date	Description	Drawn	Checked
A	04.06.20	Issue for Coordination	KF	RL
B	28.10.20	Issue for Coordination	KF	RL

Drawing Title

AREA 4
LANDSCAPE SECTION

FOR COORDINATION

Date	Job Number	Drawn	Checked	Drawing Number
04.06.20	20200421	KF	RL	MPE2-GNK-LN-DWG-4001

Project

Moorebank Precinct East
Moorebank Logistics Park, Moorebank NSW

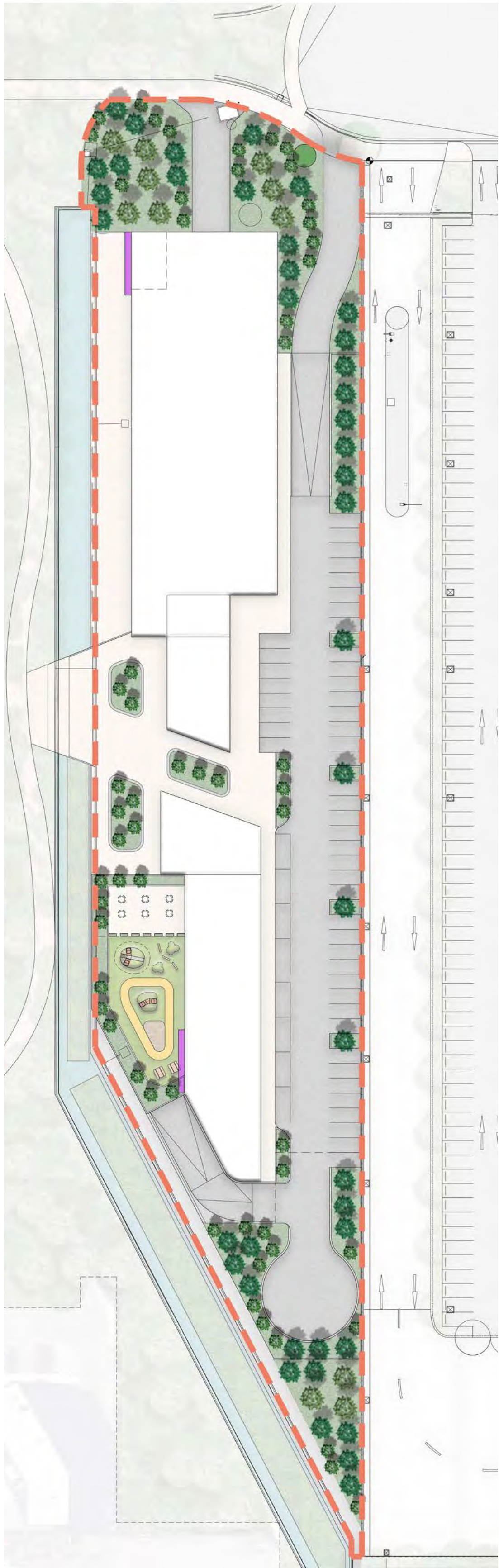
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1:75 @ A1
0 0.5 1 1.5 2m
| | | | |

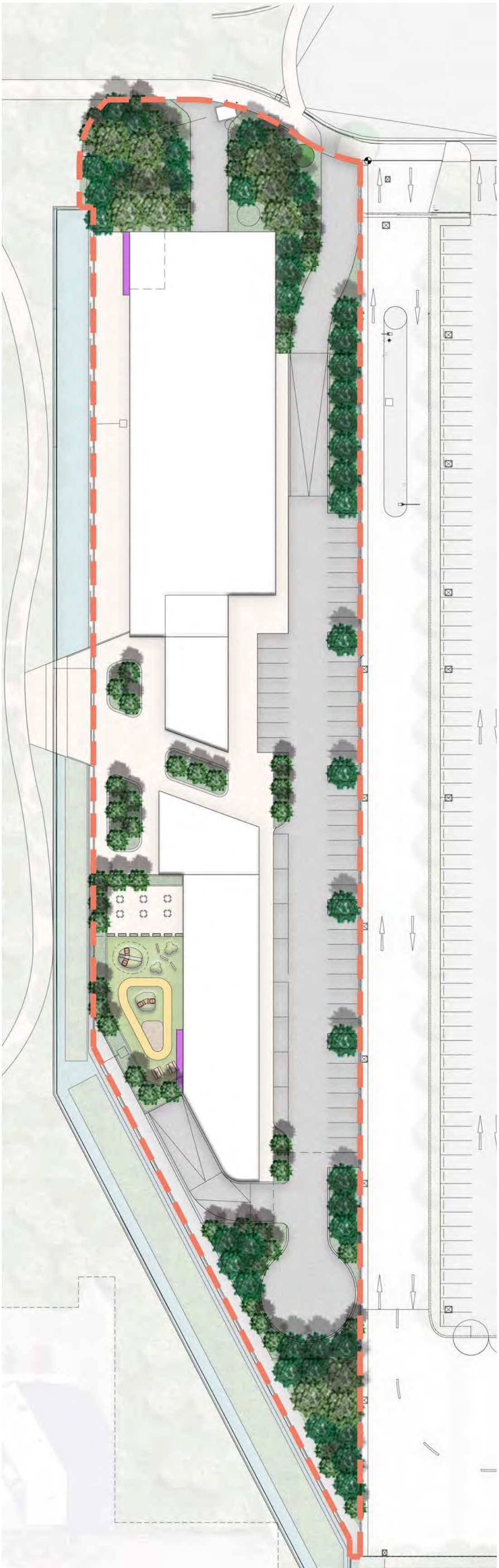
North

Rev
A

DECEMBER 22ND 3PM

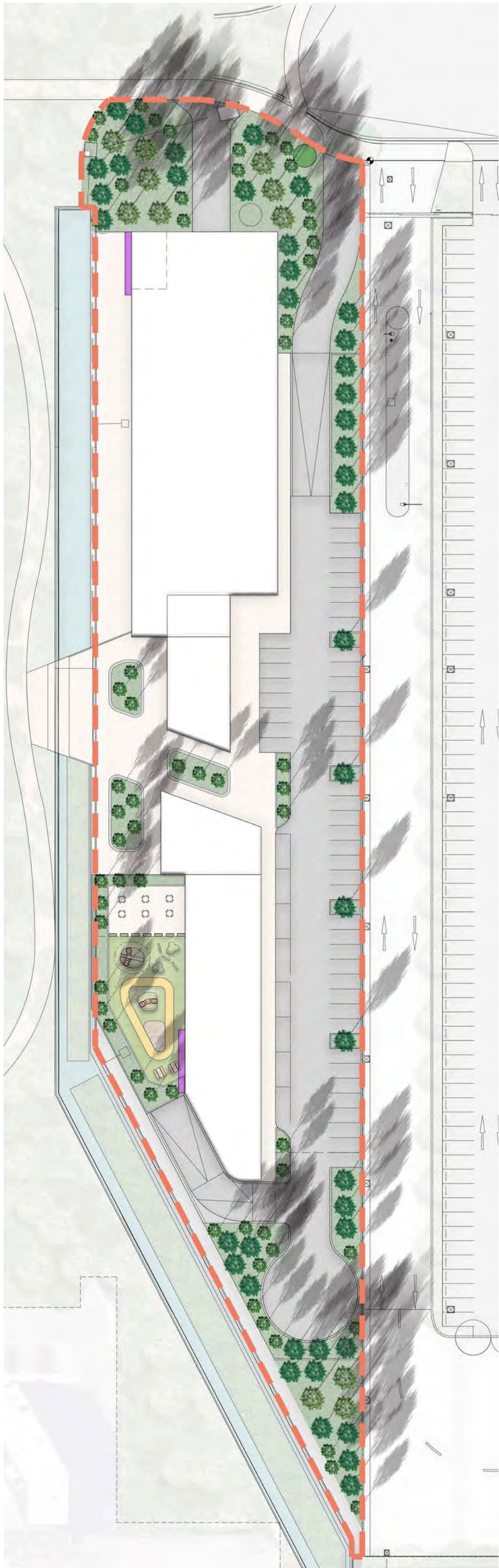


ANTICIPATED TREE GROWTH 5 YEARS AFTER INSTALLATION

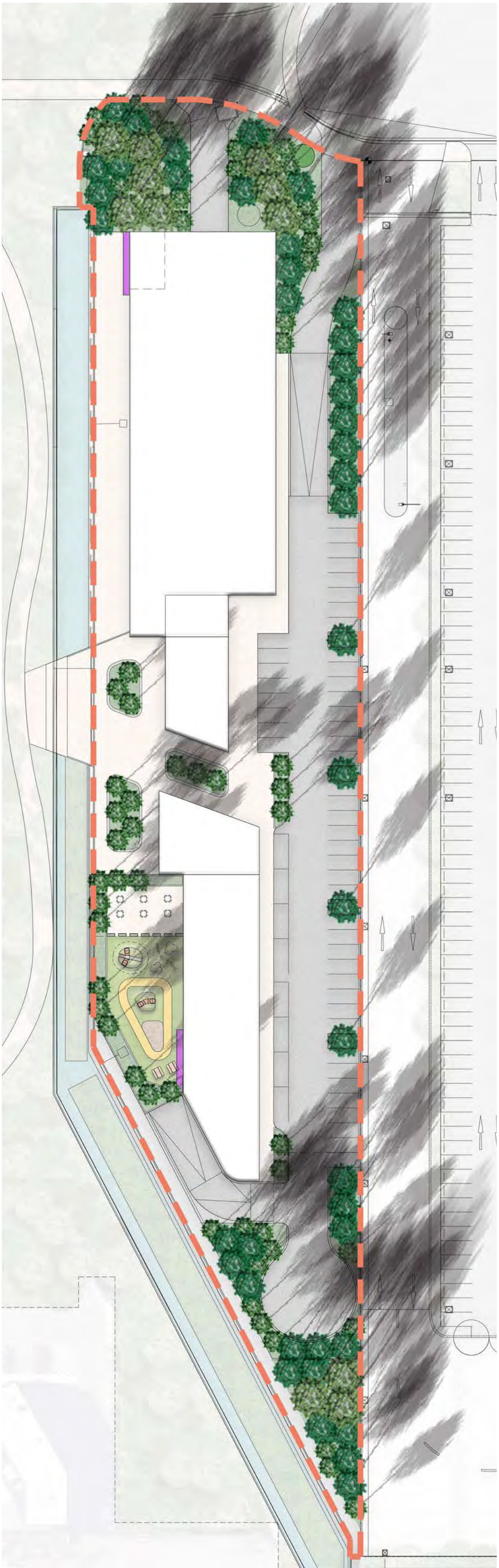


ANTICIPATED TREE GROWTH 15 YEARS AFTER INSTALLATION

JULY 22ND 3PM



ANTICIPATED TREE GROWTH 5 YEARS AFTER INSTALLATION



ANTICIPATED TREE GROWTH 15 YEARS AFTER INSTALLATION

NOTE
The final height of the proposed trees may differ from those indicated and will be dependent on environmental factors, installation size, and the implementation of an appropriate maintenance regime which is subject to future specifications.
Refer to Architect's details for building shade diagram

FOR COORDINATION

Landscape Architect

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Client



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Project Manager



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Note
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Location of underground services to be proven on site and protected if necessary prior to construction. Dial before you dig.
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Issue	Date	Description	Drawn	Checked
A	04.04.20	Issue for Coordination	KF	RL
B	28.10.20	Issue for Coordination	KF	RL
C	16.12.20	Issue for Coordination	KF	RL

Drawing Title

**AREA 4 LANDSCAPE
SHADOW DIAGRAMS**

Date	Job Number	Drawn	Checked	Drawing Number
16.12.20	20200421	KF	RL	MPE2-GNK-LN-DWG-4002
Project				
Moorebank Precinct East				
Moorebank Logistics Park, Moorebank NSW				
Scale	Rev			
NOT TO SCALE	C			