

19 November 2020

NSW Department of Planning Industry and Environment

4 Paramatta Square, 12 Darcy Street
Paramatta NSW 2150

BASIX Energy Target and Current Status

Prepared for: NSW Department of Planning Industry and Environment (DPIE)

Project: Pitt Street South Over Station Development (OSD)

RE: Pitt Street OSD South – Status of BASIX Commitments for State Significant Development Application (SSDA) Lodgement – Response to Submission (RTS)

Dear DPIE Team,

This letter has been prepared to notify the DPIE on the Pitt Street South OSD environmental performance/ Ecologically Sustainable Development (ESD) commitments regarding BASIX targets being pursued on the project and current status.

Background

Pitt Street South OSD is required to achieve the following BASIX Energy Targets as defined within the Stage 1 conditions of the SSDA, to exceed minimum compliance requirements for energy and water,

- BASIX Energy score: Minimum 30% reduction in Greenhouse Gas (GHG) emissions
- BASIX Water score: Greater than 40% saving in potable water consumption

Current Status

Noting that the project's design has incorporated advanced design measures resulting in energy savings greater than allowances in the BASIX framework (not included in the current BASIX tool), an alternative assessment strategy has been discussed and agreed with the DPIE BASIX Technical Specialists (a formal application for approval will be lodged in the near future). Notwithstanding this, the current BASIX performance scores are as noted below,

- BASIX Energy score: 30% reduction in Greenhouse Gas (GHG) emissions (An Alternative Assessment application will be lodged for review and approval)
- BASIX Water score is currently exceeding 40% saving in potable water consumption
- BASIX Thermal Comfort: Achieves 7-Star average NatHERS star rating across the project

BASIX Energy Compliance and Alternative Assessment

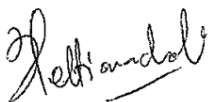
We have ongoing discussions with the DPIE BASIX Technical Specialists regarding the proposed BASIX Energy Alternative Assessment components and methodology since March 2020. Initial feedback was received from the DPIE on the 21st of August 2020 on the implications to energy score by targeting the following Alternative Assessment components, which when combined, can secure the required 30% energy score target.

Alternative Assessment Scope	
Current Baseline BASIX Energy Score	
1. Permanent Magnetic Synchronous Motor (PMSM) Lifts with Regenerative Drives (assuming 30% saving over VVVF type with no regen)	+3.20%
2. Reducing the operation time of corridor ventilation (a/c) to 12.6 hours per day	+3.215%
3. Assuming Annualised Central cooling system COP 5.5 (this is likely to improve - TBC)	+0.42%
4. Motion sensors for lighting control in swimming pool & spa area	+0.239%
BASIX Energy Improved Score (with above Alternative Assessment Components)	30%

Please refer to the enclosed documents which includes the current BASIX report, NatHERS certificates and stamped architectural drawings for your perusal.

Should you need any further information or clarifications, please feel free to contact me.

Yours sincerely
For and on behalf of
Cundall Johnston and Partners Pty Ltd



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BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1081183M_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1081183M lodged with the consent authority or certifier on 19 May 2020 with application SSD-10376.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary

Date of issue: Thursday, 19 November 2020

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary

Project name	Pitt Street Over Station Development_02
Street address	125 Bathurst Street Sydney 2000
Local Government Area	Sydney City Council
Plan type and plan number	deposited 1255507
Lot no.	10
Section no.	-
No. of residential flat buildings	1
No. of units in residential flat buildings	234
No. of multi-dwelling houses	0
No. of single dwelling houses	0

Project score

Water	✓ 48	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 30	Target 25

Certificate Prepared by

Name / Company Name: Cundall

ABN (if applicable): 16104924370

Description of project

Project address

Project name	Pitt Street Over Station Development_02
Street address	125 Bathurst Street Sydney 2000
Local Government Area	Sydney City Council
Plan type and plan number	deposited 1255507
Lot no.	10
Section no.	-

Project type

No. of residential flat buildings	1
No. of units in residential flat buildings	234
No. of multi-dwelling houses	0
No. of single dwelling houses	0

Site details

Site area (m ²)	1710
Roof area (m ²)	869
Non-residential floor area (m ²)	0.0
Residential car spaces	0
Non-residential car spaces	0

Common area landscape

Common area lawn (m ²)	0.0
Common area garden (m ²)	200.0
Area of indigenous or low water use species (m ²)	0.0

Assessor details

Assessor number	HERA10015
Certificate number	RZXV4FY3ME
Climate zone	17

Project score

Water	✓ 48	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 30	Target 25

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Pitt Street Over Station Development South, 234 dwellings, 33 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
7.01	1	62.0	0.0	0.0	0.0
7.05	3	110.0	0.0	0.0	0.0
8.02	1	55.0	0.0	0.0	0.0
8.06	3	115.0	0.0	0.0	0.0
9.03	1	55.0	0.0	0.0	0.0
9.07	1	60.0	0.0	0.0	0.0
10.02	1	55.0	0.0	0.0	0.0
10.06	1	57.0	0.0	0.0	0.0
11.01	1	62.0	0.0	0.0	0.0
11.05	1	58.0	0.0	0.0	0.0
11.09	2	75.0	0.0	0.0	0.0
12.04	2	74.0	0.0	0.0	0.0
12.08	1	52.0	0.0	0.0	0.0
13.03	1	55.0	0.0	0.0	0.0
13.07	1	60.0	0.0	0.0	0.0
14.02	1	50.0	0.0	0.0	0.0
14.06	2	81.0	0.0	0.0	0.0
15.02	1	50.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
7.02	1	55.0	0.0	0.0	0.0
7.06	3	115.0	0.0	0.0	0.0
8.03	1	55.0	0.0	0.0	0.0
8.07	3	103.0	0.0	0.0	0.0
9.04	2	74.0	0.0	0.0	0.0
9.08	1	52.0	0.0	0.0	0.0
10.03	1	55.0	0.0	0.0	0.0
10.07	1	60.0	0.0	0.0	0.0
11.02	1	55.0	0.0	0.0	0.0
11.06	1	57.0	0.0	0.0	0.0
12.01	1	62.0	0.0	0.0	0.0
12.05	1	58.0	0.0	0.0	0.0
12.09	2	75.0	0.0	0.0	0.0
13.04	2	74.0	0.0	0.0	0.0
13.08	1	52.0	0.0	0.0	0.0
14.03	1	55.0	0.0	0.0	0.0
14.07	2	76.0	0.0	0.0	0.0
15.03	1	55.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
7.03	1	55.0	0.0	0.0	0.0
7.07	3	101.0	0.0	0.0	0.0
8.04	2	72.0	0.0	0.0	0.0
9.01	1	62.0	0.0	0.0	0.0
9.05	1	58.0	0.0	0.0	0.0
9.09	2	75.0	0.0	0.0	0.0
10.04	2	74.0	0.0	0.0	0.0
10.08	1	52.0	0.0	0.0	0.0
11.03	1	55.0	0.0	0.0	0.0
11.07	1	60.0	0.0	0.0	0.0
12.02	1	55.0	0.0	0.0	0.0
12.06	1	56.0	0.0	0.0	0.0
13.01	1	62.0	0.0	0.0	0.0
13.05	1	58.0	0.0	0.0	0.0
13.09	2	75.0	0.0	0.0	0.0
14.04	2	72.0	0.0	0.0	0.0
14.08	2	75.0	0.0	0.0	0.0
15.04	2	72.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
7.04	2	74.0	0.0	0.0	0.0
8.01	1	62.0	0.0	0.0	0.0
8.05	3	103.0	0.0	0.0	0.0
9.02	1	55.0	0.0	0.0	0.0
9.06	1	57.0	0.0	0.0	0.0
10.01	1	62.0	0.0	0.0	0.0
10.05	1	58.0	0.0	0.0	0.0
10.09	2	75.0	0.0	0.0	0.0
11.04	2	74.0	0.0	0.0	0.0
11.08	1	52.0	0.0	0.0	0.0
12.03	1	55.0	0.0	0.0	0.0
12.07	1	60.0	0.0	0.0	0.0
13.02	1	55.0	0.0	0.0	0.0
13.06	1	57.0	0.0	0.0	0.0
14.01	1	61.0	0.0	0.0	0.0
14.05	2	82.0	0.0	0.0	0.0
15.01	1	61.0	0.0	0.0	0.0
15.05	2	81.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
15.06	2	86.0	0.0	0.0	0.0
16.02	1	50.0	0.0	0.0	0.0
16.06	2	81.0	0.0	0.0	0.0
17.02	1	50.0	0.0	0.0	0.0
17.06	2	81.0	0.0	0.0	0.0
18.02	1	50.0	0.0	0.0	0.0
18.06	2	81.0	0.0	0.0	0.0
19.02	1	50.0	0.0	0.0	0.0
19.06	2	81.0	0.0	0.0	0.0
20.02	1	50.0	0.0	0.0	0.0
20.06	2	81.0	0.0	0.0	0.0
21.02	1	50.0	0.0	0.0	0.0
21.06	2	81.0	0.0	0.0	0.0
22.02	1	50.0	0.0	0.0	0.0
22.06	2	81.0	0.0	0.0	0.0
23.02	1	50.0	0.0	0.0	0.0
23.06	2	81.0	0.0	0.0	0.0
24.02	1	50.0	0.0	0.0	0.0
24.06	2	81.0	0.0	0.0	0.0
25.02	1	50.0	0.0	0.0	0.0
25.06	2	81.0	0.0	0.0	0.0
26.02	1	50.0	0.0	0.0	0.0
26.06	2	81.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
15.07	2	76.0	0.0	0.0	0.0
16.03	1	55.0	0.0	0.0	0.0
16.07	2	76.0	0.0	0.0	0.0
17.03	1	55.0	0.0	0.0	0.0
17.07	2	76.0	0.0	0.0	0.0
18.03	1	55.0	0.0	0.0	0.0
18.07	2	76.0	0.0	0.0	0.0
19.03	1	55.0	0.0	0.0	0.0
19.07	2	76.0	0.0	0.0	0.0
20.03	1	55.0	0.0	0.0	0.0
20.07	2	76.0	0.0	0.0	0.0
21.03	1	55.0	0.0	0.0	0.0
21.07	2	76.0	0.0	0.0	0.0
22.03	1	55.0	0.0	0.0	0.0
22.07	2	76.0	0.0	0.0	0.0
23.03	1	55.0	0.0	0.0	0.0
23.07	2	76.0	0.0	0.0	0.0
24.03	1	55.0	0.0	0.0	0.0
24.07	2	76.0	0.0	0.0	0.0
25.03	1	55.0	0.0	0.0	0.0
25.07	2	76.0	0.0	0.0	0.0
26.03	1	55.0	0.0	0.0	0.0
26.07	2	76.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
15.08	2	75.0	0.0	0.0	0.0
16.04	2	72.0	0.0	0.0	0.0
16.08	2	75.0	0.0	0.0	0.0
17.04	2	72.0	0.0	0.0	0.0
17.08	2	75.0	0.0	0.0	0.0
18.04	2	72.0	0.0	0.0	0.0
18.08	2	75.0	0.0	0.0	0.0
19.04	2	72.0	0.0	0.0	0.0
19.08	2	75.0	0.0	0.0	0.0
20.04	2	72.0	0.0	0.0	0.0
20.08	2	75.0	0.0	0.0	0.0
21.04	2	72.0	0.0	0.0	0.0
21.08	2	75.0	0.0	0.0	0.0
22.04	2	72.0	0.0	0.0	0.0
22.08	2	75.0	0.0	0.0	0.0
23.04	2	72.0	0.0	0.0	0.0
23.08	2	75.0	0.0	0.0	0.0
24.04	2	72.0	0.0	0.0	0.0
24.08	2	75.0	0.0	0.0	0.0
25.04	2	72.0	0.0	0.0	0.0
25.08	2	75.0	0.0	0.0	0.0
26.04	2	72.0	0.0	0.0	0.0
26.08	2	75.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
16.01	1	61.0	0.0	0.0	0.0
16.05	2	82.0	0.0	0.0	0.0
17.01	1	61.0	0.0	0.0	0.0
17.05	2	82.0	0.0	0.0	0.0
18.01	1	61.0	0.0	0.0	0.0
18.05	2	82.0	0.0	0.0	0.0
19.01	1	61.0	0.0	0.0	0.0
19.05	2	82.0	0.0	0.0	0.0
20.01	1	61.0	0.0	0.0	0.0
20.05	2	82.0	0.0	0.0	0.0
21.01	1	61.0	0.0	0.0	0.0
21.05	2	82.0	0.0	0.0	0.0
22.01	1	61.0	0.0	0.0	0.0
22.05	2	82.0	0.0	0.0	0.0
23.01	1	61.0	0.0	0.0	0.0
23.05	2	82.0	0.0	0.0	0.0
24.01	1	61.0	0.0	0.0	0.0
24.05	2	82.0	0.0	0.0	0.0
25.01	1	61.0	0.0	0.0	0.0
25.05	2	82.0	0.0	0.0	0.0
26.01	1	61.0	0.0	0.0	0.0
26.05	2	82.0	0.0	0.0	0.0
27.01	1	61.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
27.02	1	50.0	0.0	0.0	0.0
27.06	2	81.0	0.0	0.0	0.0
28.02	1	50.0	0.0	0.0	0.0
28.06	2	81.0	0.0	0.0	0.0
29.02	1	50.0	0.0	0.0	0.0
29.06	2	81.0	0.0	0.0	0.0
30.02	1	50.0	0.0	0.0	0.0
30.06	2	81.0	0.0	0.0	0.0
31.02	1	50.0	0.0	0.0	0.0
31.06	2	81.0	0.0	0.0	0.0
32.02	1	50.0	0.0	0.0	0.0
32.06	2	81.0	0.0	0.0	0.0
33.02	1	55.0	0.0	0.0	0.0
33.06	2	81.0	0.0	0.0	0.0
34.02	1	55.0	0.0	0.0	0.0
34.06	2	81.0	0.0	0.0	0.0
35.02	1	55.0	0.0	0.0	0.0
36.03	1	55.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
27.03	1	55.0	0.0	0.0	0.0
27.07	2	76.0	0.0	0.0	0.0
28.03	1	55.0	0.0	0.0	0.0
28.07	2	76.0	0.0	0.0	0.0
29.03	1	55.0	0.0	0.0	0.0
29.07	2	76.0	0.0	0.0	0.0
30.03	1	55.0	0.0	0.0	0.0
30.07	2	76.0	0.0	0.0	0.0
31.03	1	55.0	0.0	0.0	0.0
31.07	2	76.0	0.0	0.0	0.0
32.03	1	55.0	0.0	0.0	0.0
32.07	2	76.0	0.0	0.0	0.0
33.03	1	55.0	0.0	0.0	0.0
33.07	2	76.0	0.0	0.0	0.0
34.03	1	55.0	0.0	0.0	0.0
34.07	2	76.0	0.0	0.0	0.0
35.03	1	55.0	0.0	0.0	0.0
36.04	2	76.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
27.04	2	72.0	0.0	0.0	0.0
27.08	2	75.0	0.0	0.0	0.0
28.04	2	72.0	0.0	0.0	0.0
28.08	2	75.0	0.0	0.0	0.0
29.04	2	72.0	0.0	0.0	0.0
29.08	2	75.0	0.0	0.0	0.0
30.04	2	72.0	0.0	0.0	0.0
30.08	2	75.0	0.0	0.0	0.0
31.04	2	72.0	0.0	0.0	0.0
31.08	2	75.0	0.0	0.0	0.0
32.04	2	72.0	0.0	0.0	0.0
32.08	2	75.0	0.0	0.0	0.0
33.04	2	72.0	0.0	0.0	0.0
33.08	2	75.0	0.0	0.0	0.0
34.04	2	72.0	0.0	0.0	0.0
34.08	2	75.0	0.0	0.0	0.0
36.01	1	62.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
27.05	2	82.0	0.0	0.0	0.0
28.01	1	61.0	0.0	0.0	0.0
28.05	2	82.0	0.0	0.0	0.0
29.01	1	61.0	0.0	0.0	0.0
29.05	2	82.0	0.0	0.0	0.0
30.01	1	61.0	0.0	0.0	0.0
30.05	2	82.0	0.0	0.0	0.0
31.01	1	61.0	0.0	0.0	0.0
31.05	2	82.0	0.0	0.0	0.0
32.01	1	61.0	0.0	0.0	0.0
32.05	2	82.0	0.0	0.0	0.0
33.01	1	62.0	0.0	0.0	0.0
33.05	2	82.0	0.0	0.0	0.0
34.01	1	62.0	0.0	0.0	0.0
34.05	2	82.0	0.0	0.0	0.0
35.01	1	62.0	0.0	0.0	0.0
36.02	1	55.0	0.0	0.0	0.0

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Pitt Street Over Station Development South

Common area	Floor area (m²)	Common area	Floor area (m²)	Common area	Floor area (m²)
L6 Indoor pool & spa area	427.6	L6 Gym, cardio gym & group fitness	264.5	GF Loading dock	250.0
Lift car (No.1)	-	Lift car (No.2)	-	Lift car (No.3)	-
Lift car (No.4)	-	L1 Bin waste / recycling room	76.6	B01 Fire / Hyd plant	88.4
L3 OSD Plant room	66.4	L4 OSD Plant room	160.0	L2 OSD Room	23.3
L5 OSD Plantroom	48.1	L1 Main Switch room	51.3	L37 Plant	235.3
L38 Plant	123.3	GF Plant	19.6	L1 Plant room / Services	156.0
L6 Plant room	73.66	OSD Egress Stair	815.0	L6 Wellness lobby & reception	98.5
L3 Bicycle storage	649.1	Shared Egress Stair	13.1	GF BOH Lobby	16.5
GF Parcel room	17.6	GF Loading dock office	5.6	L1 Bulk waste and store	21.8
L2 Resident coworking & meeting	228.0	L2 Store & cleaner	18.5	L2 Shared amenities	20.1
L6 Wellness WCs	16.6	L6 BOH	3.3	L35 Store	14.5
L35 Rooftop lounge	77.1	WC	5.9	L3 Corridor / Lobby	53.3
L4 Cleaners Store & Maintenance Room	18.2	GF OSD lobby	91.3	L7-36 Hallways	2025.5
L2 Resident circulation	60.12	OSD service corridor (LV. B1, 1, 4, 5)	198.2		

Schedule of BASIX commitments

1. Commitments for Residential flat buildings - Pitt Street Over Station Development South

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

2. Commitments for multi-dwelling houses

3. Commitments for single dwelling houses

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Pitt Street Over Station Development South

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	6 star	6 star	no	4.5 star	6 star	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	central hot water system 1	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
7.05, 7.06, 7.07, 8.05, 8.06, 8.07	central cooling system 1 (zoned)	central cooling system 1 (zoned)	central heating system 1 (zoned)	central heating system 1 (zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
7.01, 7.02, 7.03, 8.01, 8.02, 8.03, 9.01, 9.02, 9.03, 9.05, 9.06, 9.07, 9.08, 10.01, 10.02, 10.03, 10.05, 10.06, 10.07, 10.08, 11.01, 11.02, 11.03, 11.05, 11.06, 11.07, 11.08, 12.01, 12.02, 12.03, 12.05, 12.06, 12.07, 12.08, 13.01, 13.02, 13.03, 13.05, 13.06,	central cooling system 1 (zoned)	central cooling system 1 (zoned)	central heating system 1 (zoned)	central heating system 1 (zoned)	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
13.07, 13.08, 14.01, 14.02, 14.03, 15.01, 15.02, 15.03, 16.01, 16.02, 16.03, 17.01, 17.02, 17.03, 18.01, 18.02, 18.03, 19.01, 19.02, 19.03, 20.01, 20.02, 20.03, 21.01, 21.02, 21.03, 22.01, 22.02, 22.03, 23.01, 23.02, 23.03, 24.01, 24.02, 24.03, 25.01, 25.02, 25.03, 26.01,												

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
26.02, 26.03, 27.01, 27.02, 27.03, 28.01, 28.02, 28.03, 29.01, 29.02, 29.03, 30.01, 30.02, 30.03, 31.01, 31.02, 31.03, 32.01, 32.02, 32.03, 33.01, 33.02, 33.03, 34.01, 34.02, 34.03, 35.01, 35.02, 35.03, 36.01, 36.02, 36.03												
All other dwellings	central cooling system 1 (zoned)	central cooling system 1 (zoned)	central heating system 1 (zoned)	central heating system 1 (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	induction cooktop & electric oven	4 star	yes	4 star	5 star	8 star	no	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
7.01	27.7	10.5
7.02	13.1	13.2
7.03	15.9	19.6
7.04	11.3	22.4
7.05	5.4	11.9
7.06	9.4	7.8
7.07	16.3	11.0
8.01	27.9	10.4
8.02	13.2	13.1
8.04	11.0	22.0
8.05	17.7	8.8
8.06	19.6	7.4
8.07	16.4	11.2
9.01	28.0	10.0
9.04	11.3	22.3
9.05	12.5	14.7
9.06	17.4	6.2
9.08	13.2	15.1
9.09	25.2	17.2
10.01	28.1	10.0
10.03	16.2	20.2
10.04	11.3	22.1
10.05	14.7	14.1
10.06	18.2	6.2
10.07	17.7	7.9
10.08	14.3	14.7
10.09	25.2	17.1

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
11.02	13.4	13.2
11.03	16.2	20.0
11.04	11.4	21.9
11.05	12.6	14.4
11.06	17.5	6.2
11.08	13.2	15.4
11.09	25.3	17.7
12.01	27.3	10.4
12.02	13.5	13.1
12.03	16.4	19.6
12.04	11.4	21.6
12.05	12.7	14.4
12.06	17.5	6.3
12.07	16.7	8.1
12.08	13.1	15.6
12.09	25.3	18.0
13.01	27.4	10.3
13.02	13.6	13.0
13.03	16.4	19.8
13.04	11.5	21.5
13.05	12.7	14.3
13.06	17.6	6.3
13.07	16.6	8.8
13.08	13.0	15.3
13.09	25.4	18.5
14.01	27.5	10.0
14.02	13.6	12.9

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
14.03	16.6	20.1
14.04	11.2	20.8
14.05	14.7	11.5
14.06	19.3	7.4
14.07	9.3	11.7
14.08	25.0	18.3
15.01	27.1	10.2
15.02	14.3	12.2
15.03	15.8	18.8
15.04	10.4	17.5
15.05	11.8	12.4
15.06	14.2	9.7
15.08	25.3	18.7
16.01	27.6	10.1
16.02	13.9	12.4
16.03	16.8	19.1
16.04	10.4	17.3
16.05	9.6	16.6
16.06	9.2	14.1
16.07	7.6	12.5
16.08	25.2	18.9
17.01	27.7	10.2
17.02	15.2	12.6
17.03	16.8	19.2
17.04	10.5	17.3
17.05	7.4	17.3
17.06	6.0	15.6

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
17.08	25.0	19.2
18.02	14.0	12.6
18.03	16.9	19.0
18.04	10.6	17.1
18.05	7.4	17.5
18.06	6.0	15.9
18.07	7.7	12.3
18.08	24.6	19.3
19.01	27.9	10.1
19.04	10.6	17.0
19.05	7.4	17.7
19.06	6.0	16.3
19.08	24.1	19.2
20.01	27.9	10.3
20.02	14.2	12.3
20.04	10.6	17.2
20.05	7.4	17.9
20.06	6.1	16.5
20.08	23.6	19.3
21.02	14.8	12.4
21.03	17.3	18.7
21.04	10.7	17.2
21.06	6.0	16.5
21.07	7.9	12.4
21.08	23.5	19.5
22.04	10.6	17.3
22.06	5.8	16.4

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
22.07	7.9	12.2
22.08	23.3	19.4
23.02	14.2	12.6
23.03	17.2	18.7
23.04	10.7	17.4
23.06	5.9	17.0
24.01	28.1	9.9
24.02	14.3	12.7
24.03	17.3	18.9
24.06	5.9	16.4
25.01	28.1	9.5
25.02	14.2	12.4
25.03	17.3	18.6
25.06	5.8	16.7
25.07	8.0	12.0
25.08	23.1	19.6
26.01	28.1	9.6
26.02	14.3	12.6
26.03	17.2	19.0
26.04	10.8	17.2
26.05	7.5	18.1
26.06	6.0	16.9
26.07	8.1	12.1
26.08	23.2	19.7
27.01	28.1	9.7
27.02	14.3	12.5
27.04	10.9	16.9

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
27.05	7.5	18.0
27.06	5.9	16.6
28.03	17.0	18.5
28.04	10.9	17.0
28.05	7.5	17.9
28.06	5.9	16.7
29.02	14.6	12.3
29.04	10.9	17.1
29.06	6.0	16.4
29.07	8.2	11.9
29.08	23.3	19.5
30.02	14.6	12.7
30.03	17.2	19.2
30.06	6.1	16.2
30.08	23.4	19.6
31.02	14.5	12.3
31.06	6.2	16.5
32.01	28.1	10.4
32.06	6.2	16.3
33.01	28.0	10.3
33.04	11.1	16.7
33.05	7.7	17.5
33.06	6.2	16.1
34.02	14.8	12.7
34.03	17.0	18.9
34.05	7.8	17.4
34.06	23.1	18.8

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
34.07	25.6	14.5
34.08	27.2	22.0
35.01	27.9	11.4
35.02	14.6	12.4
35.03	15.3	19.1
36.01	27.5	14.1
36.03	24.2	20.4
36.04	22.3	18.0
8.03, 9.03	16.1	19.7
9.02, 10.02	13.3	13.3
9.07, 11.07	16.7	8.0
11.01, 23.01	28.1	10.2
15.07, 17.07	7.7	12.4
18.01, 34.01	27.8	10.3
19.02, 22.02	14.1	12.5
19.03, 31.03	17.1	19.0
19.07, 20.07	7.8	12.4
20.03, 22.03	17.2	18.8
23.05, 25.05	7.4	18.0
23.07, 24.07	8.0	12.1
24.04, 25.04	10.8	17.3
24.08, 33.08	23.2	19.6
27.07, 28.07	8.2	12.0
28.02, 36.02	14.5	12.5
29.05, 30.05	7.6	17.5
30.04, 31.04	11.0	16.9
30.07, 31.07	8.3	11.9

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
31.05, 32.05	7.7	17.3
32.02, 33.02	14.6	12.6
32.04, 34.04	11.1	16.5
32.07, 33.07	8.4	11.8
21.01, 22.01, 31.01	28.0	10.2
21.05, 22.05, 24.05	7.4	17.8
28.01, 29.01, 30.01	28.1	9.8
27.03, 29.03, 32.03, 33.03	17.2	18.9
All other dwellings	23.3	19.6

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	3 star (> 7.5 but ≤ 9 L/min)	5 star	5 star	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	20000.0	To collect run-off from at least: - 400.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of garden/lawn area in the development - 0.0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 200.0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site
Pool (No. 1)	Volume: 131.15 kLs	Location: L6 Indoor pool & spa area	-

Central systems	Size	Configuration	Connection (to allow for...)
Spa (No. 1)	Volume: 4.1 kLs	Location: L6 Indoor pool & spa area Spa cover: yes	-
Fire sprinkler system (No. 1)	-	So that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.	-
Central cooling system (No. 1)	-	Private water meter on make-up line connected to building management system. Conductivity controller installed in the cooling tower.	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
L6 Indoor pool & spa area	air conditioning system	time clock or BMS controlled	light-emitting diode	daylight sensors	Yes
L6 Gym, cardio gym & group fitness	air conditioning system	time clock or BMS controlled	light-emitting diode	zoned switching	Yes
GF Loading dock	ventilation exhaust only	carbon monoxide monitor + VSD fan	light-emitting diode	motion sensors	Yes
Lift car (No.1)	-	-	light-emitting diode	connected to lift call button	Yes
Lift car (No.2)	-	-	light-emitting diode	connected to lift call button	Yes
Lift car (No.3)	-	-	light-emitting diode	connected to lift call button	Yes
Lift car (No.4)	-	-	light-emitting diode	connected to lift call button	Yes

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
L1 Bin waste / recycling room	ventilation (supply + exhaust)	-	light-emitting diode	motion sensors	Yes
B01 Fire / Hyd plant	ventilation (supply + exhaust)	thermostatically controlled	light-emitting diode	manual on / manual off	No
L3 OSD Plant room	ventilation exhaust only	thermostatically controlled	light-emitting diode	manual on / manual off	No
L4 OSD Plant room	ventilation exhaust only	thermostatically controlled	light-emitting diode	manual on / manual off	No
L2 OSD Room	ventilation exhaust only	thermostatically controlled	light-emitting diode	manual on / manual off	No
L5 OSD Plantroom	ventilation exhaust only	thermostatically controlled	light-emitting diode	manual on / manual off	No
L1 Main Switch room	air conditioning system	thermostatically controlled	light-emitting diode	manual on / manual off	No
L37 Plant	ventilation exhaust only	thermostatically controlled	light-emitting diode	manual on / manual off	No
L38 Plant	ventilation exhaust only	thermostatically controlled	light-emitting diode	manual on / manual off	No
GF Plant	ventilation exhaust only	thermostatically controlled	light-emitting diode	manual on / manual off	No
L1 Plant room / Services	ventilation exhaust only	thermostatically controlled	light-emitting diode	manual on / manual off	No
L6 Plant room	ventilation exhaust only	thermostatically controlled	light-emitting diode	motion sensors	Yes
OSD Egress Stair	no mechanical ventilation	-	light-emitting diode	zoned switching with motion sensor	Yes
L6 Wellness lobby & reception	air conditioning system	time clock or BMS controlled	light-emitting diode	time clock and motion sensors	Yes
L3 Bicycle storage	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	zoned switching with motion sensor	Yes
Shared Egress Stair	no mechanical ventilation	-	light-emitting diode	zoned switching with motion sensor	Yes
GF BOH Lobby	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
GF Parcel room	air conditioning system	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
GF Loading dock office	air conditioning system	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
L1 Bulk waste and store	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
L2 Resident coworking & meeting	air conditioning system	time clock or BMS controlled	light-emitting diode	daylight sensor and motion sensor	Yes

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
L2 Store & cleaner	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
L2 Shared amenities	ventilation exhaust only	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
L6 Wellness WCs	ventilation exhaust only	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
L6 BOH	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
L35 Store	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
L35 Rooftop lounge	air conditioning system	time clock or BMS controlled	light-emitting diode	daylight sensor and motion sensor	Yes
WC	ventilation exhaust only	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
L3 Corridor / Lobby	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	daylight sensor and motion sensor	Yes
L4 Cleaners Store & Maintenance Room	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	Yes
GF OSD lobby	air conditioning system	time clock or BMS controlled	light-emitting diode	daylight sensors	Yes
L7-36 Hallways	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	daylight sensor and motion sensor	Yes
L2 Resident circulation	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	time clock and motion sensors	Yes
OSD service corridor (LV. B1, 1, 4, 5)	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	Yes

Central energy systems	Type	Specification
Central hot water system (No. 1)	electric heat pump - gas boosted	Piping insulation (ringmain & supply risers): (a) Piping external to building: R1.0 (~38 mm); (b) Piping internal to building: R1.0 (~38 mm)
Central cooling system (No. 1)	chilled water fan coil units	Energy source: electric driven compressor Heat rejection method: cooling tower Unit efficiency (min): high - COP > 4.5
Central heating system (No. 1)	fan coil + heated water	Energy source: gas boiler

Central energy systems	Type	Specification
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 39
Lift (No. 2)	gearless traction with V V V F motor	Number of levels (including basement): 36
Lift (No. 3)	gearless traction with V V V F motor	Number of levels (including basement): 36
Lift (No. 4)	gearless traction with V V V F motor	Number of levels (including basement): 3
Pool (No. 1)	Heating source: gas	Pump controlled by timer: yes
Spa (No. 1)	Heating system: gas	Pump controlled by timer: yes
Sauna (No. 1)	Heating source: electric infrared	Efficiency measure: manual on / timer off

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	3 star (> 7.5 but ≤ 9 L/min)	5 star	5 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 40.0 peak kW
Other	Building management system installed?: yes Active power factor correction installed?: yes	-

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

Nationwide House Energy Rating Scheme — Class 2 summary

Generated on 19 Nov 2020 using FirstRate5 v5.3.0a

Property

Address 125 Bathurst Street, Sydney, NSW, 2000

Lot/DP

NatHERS climate zone

Accredited assessor



Mathuran Marianayagam

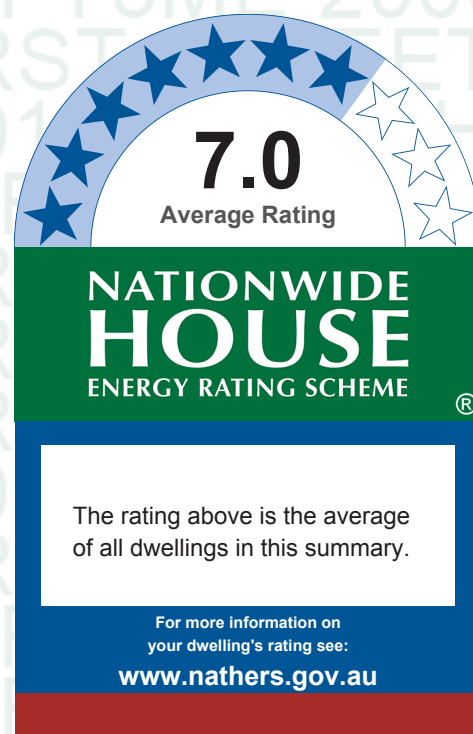
Cundall Johnston & Partners

m.marianayagam@cundall.com

0894213700

Accreditation No. HERA10015

Assessor Accrediting Organisation HERA



Verification

To verify this certificate, scan the QR code or visit

<https://www.fr5.com.au/QRCodeLanding?PublicId=RZXV4FY3ME&GrpCert=1> When using either link, ensure you are visiting www.fr5.com.au.

Summary of all dwellings

Certificate number and link	Unit number	Heating load (MJ/m ² /p.a.)	Cooling load (MJ/m ² /p.a.)	Total load (MJ/m ² /p.a.)	Star rating
0D9HPDW1ZO	10.01	28.1	10	38.1	6.1
6SM35YMXVC	10.02	13.3	13.3	26.6	7.4
RHFAKUMQ6K	10.03	16.2	20.2	36.4	6.3
4CTOYH1XW7	10.04	11.3	22.1	33.4	6.7
WQ0MVS56IH	10.05	14.7	14.1	28.8	7.1
OHYWX2Z0PT	10.06	18.2	6.2	24.4	7.7
XT48XHVNT0	10.07	17.7	7.9	25.6	7.6

Continued over

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.

State and territory variations and additions to the NCC may also apply.

Summary of and links to all dwellings (continued)

Certificate number and link	Unit number	Heating load (MJ/m ² /p.a.)	Cooling load (MJ/m ² /p.a.)	Total load (MJ/m ² /p.a.)	Star rating
L04BBVLSUP	10.08	14.3	14.7	29	7.1
IDGOBMNT4E	10.09	25.2	17.1	42.3	5.7
12I3QJZKZ0	11.01	28.1	9.9	38	6.1
E9QMA2HLDQ	11.02	13.4	13.2	26.6	7.4
0IG9PE9JRJ	11.03	16.2	20	36.2	6.4
9U2GS00NSN	11.04	11.4	21.9	33.3	6.7
9082XT8864	11.05	12.6	14.4	27	7.4
1F4OU497EY	11.06	17.5	6.2	23.7	7.8
6ZBXC7O9SU	11.07	16.7	8	24.7	7.7
498SLDE01F	11.08	13.2	15.4	28.6	7.2
J201G3ZOWX	11.09	25.3	17.7	43	5.6
PRZZ199WT6	12.01	27.3	10.4	37.7	6.2
X041MREJD9	12.02	13.5	13.1	26.6	7.4
NRLJUY600Y	12.03	16.4	19.6	36	6.4
HAN42B0ECB	12.04	11.4	21.6	33	6.7
O3BBAJMN0N	12.05	12.7	14.4	27.1	7.4
VNKF7TWJOM	12.06	17.5	6.3	23.8	7.8
JP3PSEWVT8	12.07	16.7	8.1	24.8	7.7
BDJBB7GE8F	12.08	13.1	15.6	28.7	7.2
1VSDY3ZH7J	12.09	25.3	18	43.3	5.6
AHS9EFRC4D	13.01	27.4	10.3	37.7	6.2
D7YWG7KM5R	13.02	13.6	13	26.6	7.4
POYKTUOTJC	13.03	16.4	19.8	36.2	6.3
7TVCRB101H	13.04	11.5	21.5	33	6.7
ZQD768GQFD	13.05	12.7	14.3	27	7.4
DJ54QJBT11	13.06	21.8	6.8	28.6	7.2
DU9BC35I2S	13.07	16.6	8.8	25.4	7.6
6F8T89K1OU	13.08	13.2	15.2	28.4	7.2
O8OG9YY1VI	13.09	25.4	18.5	43.9	5.5
KL7C9ZM4G6	14.01	27.5	10	37.5	6.2
5N3AA3ITJ2	14.02	13.6	12.9	26.5	7.4
X2NQ33HQNS	14.03	16.6	20.1	36.7	6.3
8JFXNFF3BO	14.04	11.2	20.8	32	6.8
FDXTSZW9P3	14.05	14.7	11.5	26.2	7.4
RI6KRRJ29B	14.06	19.3	7.4	26.7	7.4
NL5DJ0B4V8	14.07	9.3	11.7	21	8.1
9YAAQ79JEDR	14.08	25	18.3	43.3	5.6

Continued over

Summary of and links to all dwellings (continued)

Certificate number and link	Unit number	Heating load (MJ/m ² /p.a.)	Cooling load (MJ/m ² /p.a.)	Total load (MJ/m ² /p.a.)	Star rating
E7S7CRYAAO	15.01	27.5	10.2	37.7	6.2
8S1RZKKE6N	15.02	14.3	12.2	26.5	7.4
HFYR1CO2DU	15.03	15.8	18.8	34.6	6.5
NGYZDW4AQE	15.04	10.4	17.5	27.9	7.3
0Z4L4S7RJF	15.05	11.8	12.4	24.2	7.7
R6RXZZYMJ8	15.06	14.2	9.7	23.9	7.8
PQPZOQDYMVG	15.07	7.7	12.4	20.1	8.2
9H9I1RLNXI	15.08	25.3	18.7	44	5.5
UPE2AY30YH	16.01	27.6	10.1	37.7	6.2
N2Q9VLUG5Y	16.02	13.9	12.4	26.3	7.4
3OZPAH3PG7	16.03	16.8	19.1	35.9	6.4
ZR05NM957T	16.04	10.4	17.3	27.7	7.3
OJEDGK6J6H	16.05	9.6	16.6	26.2	7.4
OKYA3R7RX7	16.06	9.2	14.1	23.3	7.8
1DY8HRQSTQ	16.07	7.6	12.5	20.1	8.2
HGQJ452P11	16.08	25.2	18.9	44.1	5.4
ULNHLSX7DO	17.01	27.7	10.2	37.9	6.1
YZ3MDP0RYT	17.02	15.2	12.6	27.8	7.3
KVUC7FZY22	17.03	16.8	19.2	36	6.4
4OU0R6CUWJ	17.04	10.5	17.3	27.8	7.3
LYILAEVNLV	17.05	7.4	17.3	24.7	7.7
RM0XWD6X8H	17.06	6	15.6	21.6	8
WKDEYKFD4H	17.07	7.7	12.4	20.1	8.2
NF5OHWNIB3	17.08	25	19.2	44.2	5.4
BLRCYL2S1L	18.01	27.8	10.3	38.1	6.1
EYLQD0SE6J	18.02	14	12.6	26.6	7.4
2ATK9RCKJU	18.03	16.9	19	35.9	6.4
9OWOWBUEX0	18.04	10.6	17.1	27.7	7.3
8RTEHLQLPA	18.05	7.4	17.5	24.9	7.6
0YVEWL763G	18.06	6	15.9	21.9	8
WI9PH8SQ2F	18.07	7.7	12.3	20	8.2
BJVL5C2I9A	18.08	24.6	19.3	43.9	5.5
T7CE94MHVC	19.01	27.9	10.1	38	6.1
TT3TXX1QYV	19.02	14.1	12.5	26.6	7.4
WP2OE9KLWP	19.03	17.1	19	36.1	6.4
SY72EL0706	19.04	10.6	17	27.6	7.3

Continued over

Summary of and links to all dwellings (continued)

Certificate number and link	Unit number	Heating load (MJ/m ² /p.a.)	Cooling load (MJ/m ² /p.a.)	Total load (MJ/m ² /p.a.)	Star rating
FAYRBN8EHE	19.05	7.4	17.7	25.1	7.6
UXMZHB2HDD	19.06	6	16.3	22.3	7.9
JSJH2P0SM2	19.07	7.8	12.4	20.2	8.2
AVNAD2LCJW	19.08	24.1	19.2	43.3	5.6
IR9GN5MKQU	20.01	27.9	10.3	38.2	6.1
F1EINC707Q	20.02	14.2	12.3	26.5	7.4
5N7AHPVVF6	20.03	17.2	18.8	36	6.4
008QYLPEI7	20.04	10.6	17.2	27.8	7.3
DT6JJQ13MP	20.05	7.4	17.9	25.3	7.6
B4NXADFXAA	20.06	6.1	16.5	22.6	7.9
UAVGM3UN5M	20.07	7.8	12.4	20.2	8.2
HWI1SDTSFX	20.08	23.6	19.3	42.9	5.6
BT7QAVRW41	21.01	28	10.2	38.2	6.1
7UHZ11C4V7	21.02	14.8	12.4	27.2	7.3
TCP3GZFNKX	21.03	17.3	18.7	36	6.4
HZUDPV5DYF	21.04	10.7	17.2	27.9	7.3
UXSM1CBO2Q	21.05	7.4	17.8	25.2	7.6
QK6KGQRAOQ	21.06	6	16.5	22.5	7.9
F2UY14T888	21.07	7.9	12.4	20.3	8.2
J0FTASI1QK	21.08	23.5	19.5	43	5.6
YPFVMRJ09E	22.01	28	10.2	38.2	6.1
A5L2E0TL92	22.02	14.1	12.5	26.6	7.4
N6EHBZTP1I	22.03	17.2	18.8	36	6.4
QOGT18EDJK	22.04	10.6	17.3	27.9	7.3
QEMGUHADKF	22.05	7.4	17.8	25.2	7.6
68FPUW7I2R	22.06	5.8	16.4	22.2	7.9
GZVBH2TBMQ	22.07	7.9	12.2	20.1	8.2
R14NZIT7W3	22.08	23.3	19.4	42.7	5.6
MSAYBAJM9N	23.01	28.1	10.2	38.3	6.1
GTWJJ47TOC	23.02	14.2	12.6	26.8	7.4
YCR0V3B12C	23.03	17.2	18.7	35.9	6.4
DIBRNA2NGO	23.04	10.7	17.4	28.1	7.2
X913YFE1ZL	23.05	7.4	18	25.4	7.6
C9W821U9YZ	23.06	5.9	17	22.9	7.9
S3BIPVQBJ9	23.07	8	12.1	20.1	8.2
ZI84GZXL7H	23.08	23.3	19.6	42.9	5.6

Continued over

Summary of and links to all dwellings (continued)

Certificate number and link	Unit number	Heating load (MJ/m ² /p.a.)	Cooling load (MJ/m ² /p.a.)	Total load (MJ/m ² /p.a.)	Star rating
XS1MKJ27E7	24.01	28.1	9.9	38	6.1
JOMXAVKDWL	24.02	14.3	12.7	27	7.4
MEC62GWYUL	24.03	17.3	18.9	36.2	6.4
2E74SJAKCH	24.04	10.8	17.3	28.1	7.2
9RT6J7SE6I	24.05	7.4	17.8	25.2	7.6
BTM90UAV7P	24.06	5.9	16.4	22.3	7.9
HNGQK8LG9D	24.07	8	12.1	20.1	8.2
ASK9P4UFW4	24.08	23.2	19.6	42.8	5.6
AQ6VFIJD9W	25.01	28.1	9.5	37.6	6.2
NVO1LTLX4O	25.02	14.2	12.4	26.6	7.4
LW0P91B3EP	25.03	17.3	18.6	35.9	6.4
WLF3HTINU5	25.04	10.8	17.3	28.1	7.2
A48C1YV4GA	25.05	7.4	18	25.4	7.6
GOCB4VGW83	25.06	5.8	16.7	22.5	7.9
TRTLIMN8E0	25.07	8	12	20	8.2
APMI7OPJ6L	25.08	23.1	19.6	42.7	5.6
0Q60NNRH XO	26.01	28.1	9.6	37.7	6.2
NDL14XJQB6	26.02	14.3	12.6	26.9	7.4
TIXYOYJVH7	26.03	17.2	19	36.2	6.3
F60W2DU7FA	26.04	10.8	17.2	28	7.2
DJ9SNPAV7N	26.05	7.5	18.1	25.6	7.6
C1PS9NZRVO	26.06	6	16.9	22.9	7.9
GQ9TQQ518I	26.07	8.1	12.1	20.2	8.2
9NS3LCXICU	26.08	23.2	19.7	42.9	5.6
WTWTETLHAE	27.01	28.1	9.7	37.8	6.1
6M7R8DXO58	27.02	14.3	12.5	26.8	7.4
G1V4U26GKF	27.03	17.2	18.9	36.1	6.4
0ROBXZUJGC	27.04	10.9	16.9	27.8	7.3
9XET45C09X	27.05	7.5	18	25.5	7.6
2GGGBS3HLY	27.06	5.9	16.6	22.5	7.9
E5A0Y6YKEE	27.07	8.2	12	20.2	8.2
DAK965DD4S	27.08	23.3	19.6	42.9	5.6
XSRKRPTPJA	28.01	28.1	9.8	37.9	6.1
Z7MX8B7SSW	28.02	14.5	12.5	27	7.4
OZM2BUJQWE	28.03	17	18.5	35.5	6.4
URK9H0C2B2	28.04	10.9	17	27.9	7.3

Continued over

Summary of and links to all dwellings (continued)

Certificate number and link	Unit number	Heating load (MJ/m ² /p.a.)	Cooling load (MJ/m ² /p.a.)	Total load (MJ/m ² /p.a.)	Star rating
IZI6M5718L	28.05	7.5	17.9	25.4	7.6
XE740HAFPN	28.06	5.9	16.7	22.6	7.9
4G20NZQVX4	28.07	8.2	12	20.2	8.2
ZDFR7ZQQQG	28.08	23.3	19.6	42.9	5.6
MPIUPO9R94	29.01	28.1	9.8	37.9	6.1
2R7CJ1V4SO	29.02	14.6	12.3	26.9	7.4
7K3LQDSDM8	29.03	17.2	18.9	36.1	6.4
PLDEWT9Q7A	29.04	10.9	17.1	28	7.2
0TYJ0LYRJ7	29.05	7.6	17.5	25.1	7.6
GALWE11ST5	29.06	6	16.4	22.4	7.9
18841LONY7	29.07	8.2	11.9	20.1	8.2
QDSIKGJD7W	29.08	23.3	19.5	42.8	5.6
12JBPP2NSA	30.01	28.1	9.8	37.9	6.1
DE7DQN9OQ0	30.02	14.6	12.7	27.3	7.3
SXU6TMZNOM	30.03	17.2	19.2	36.4	6.3
M7O4F9FQ9S	30.04	11	16.9	27.9	7.3
VOUTZBV7DM	30.05	7.6	17.5	25.1	7.6
66FBLE6AS6	30.06	6.1	16.2	22.3	7.9
BHPGC969GQ	30.07	8.3	11.9	20.2	8.2
7CD3MDCBGR	30.08	23.4	19.6	43	5.6
PUY4SWEVJX	31.01	28	10.2	38.2	6.1
Z48YCNKOZ9	31.02	14.5	12.3	26.8	7.4
HM2FA03GGF	31.03	17.1	19	36.1	6.4
FV1XP43LYH	31.04	11	16.9	27.9	7.3
B54BFJ8O0W	31.05	7.7	17.3	25	7.6
HSRFN2E9M9	31.06	6.2	16.5	22.7	7.9
EYUQMFBBWWV	31.07	8.3	11.9	20.2	8.2
WQZK8IK58H	31.08	23.3	19.6	42.9	5.6
1Q7G7BAI3O	32.01	28.1	10.4	38.5	6.1
9X6YHOQH9H	32.02	14.6	12.6	27.2	7.3
RIBEUT907Z	32.03	17.2	18.9	36.1	6.4
APM852RAHV	32.04	11.1	16.5	27.6	7.3
76G89C2T31	32.05	7.7	17.3	25	7.6
28PEFQ24ET	32.06	6.2	16.3	22.5	7.9
OTQ99293JI	32.07	8.4	11.8	20.2	8.2
J38VHVCCER	32.08	23.3	19.6	42.9	5.6

Continued over

Summary of and links to all dwellings (continued)

Certificate number and link	Unit number	Heating load (MJ/m ² /p.a.)	Cooling load (MJ/m ² /p.a.)	Total load (MJ/m ² /p.a.)	Star rating
1GFBPN9OL6	33.01	28	10.3	38.3	6.1
C1PDOUW2J9	33.02	14.6	12.6	27.2	7.4
0KWE6VO05A	33.03	17.2	18.9	36.1	6.4
D9JUS9A46T	33.04	11.1	16.7	27.8	7.3
O0ZW17WJC7	33.05	7.7	17.5	25.2	7.6
10A5JV6JO3	33.06	6.2	16.1	22.3	7.9
F4D7N2HMX7	33.07	8.4	11.8	20.2	8.2
BGLJ9I8J7J	33.08	23.2	19.6	42.8	5.6
5UKIG7I5KW	34.01	27.8	10.3	38.1	6.1
5G5PPQYPVU	34.02	14.8	12.7	27.5	7.3
PY6XCUJ1RP	34.03	17	18.9	35.9	6.4
5PGPUB510V	34.04	11.1	16.5	27.6	7.3
XXMEB9YCRA	34.05	22.1	19.6	41.7	5.7
22B14K0I4P	34.06	23.1	18.8	41.9	5.7
VG97TRUAF4	34.07	25.6	14.5	40.1	5.9
8ITKJOOLBP	34.08	27.2	22	49.2	5.1
XRN50Q9Q5O	35.01	27.9	11.4	39.3	5.9
IYZT81MD52	35.02	14.6	12.4	27	7.4
09ZRAHXXGW	35.03	15.3	19.1	34.4	6.6
NHUD71L42S	36.01	27.5	13.9	41.4	5.8
16IRH3KZFJ	36.02	24.1	13.3	37.4	6.2
V7YAL08NYK	36.03	24.2	20.4	44.6	5.4
HG6YY5ZZPN	36.04	22.3	18	40.3	5.9
NB2RMEEH4Q	7.01	27.7	10.5	38.2	6.1
H1RCIX44XV	7.02	13.1	13.2	26.3	7.4
W2Z84B6OY0	7.03	15.9	19.6	35.5	6.4
BWBWRN0SJX	7.04	11.3	22.4	33.7	6.6
SUR8K2EOUI	7.05	5.4	11.9	17.3	8.4
2N2G86172K	7.06	9.4	7.8	17.2	8.4
3RYDJTCSYV	7.07	16.3	11	27.3	7.3
CTA33CZN51	8.01	27.9	10.4	38.3	6.1
BKTCBS1X9J	8.02	13.2	13.1	26.3	7.4
Q0YTWBB8VR	8.03	16.1	19.7	35.8	6.4
0V0941UL44	8.04	11	22	33	6.7
1TCLDC9V4V	8.05	17.7	8.8	26.5	7.4
ZI4C9VL3WK	8.06	19.6	7.4	27	7.4

Continued over

Summary of and links to all dwellings (continued)

Certificate number and link	Unit number	Heating load (MJ/m ² /p.a.)	Cooling load (MJ/m ² /p.a.)	Total load (MJ/m ² /p.a.)	Star rating
I0SE0VASHQ	8.07	16.4	11.2	27.6	7.3
K14R5FEUEY	9.01	28	10	38	6.1
BB5G7D9PVQ	9.02	13.3	13.3	26.6	7.4
TCFR7Q4O0D	9.03	16.1	19.7	35.8	6.4
BQOOSFHBJ6	9.04	11.3	22.3	33.6	6.6
6784J7GPCI	9.05	12.5	14.7	27.2	7.4
4NS89L5QG2	9.06	17.4	6.2	23.6	7.8
B02N0U6FT6	9.07	16.7	8	24.7	7.7
K0NDNT23KY	9.08	13.2	15.1	28.3	7.2
4V6NXX8POH	9.09	25.2	17.2	42.4	5.7
Average		15.7	15.1	30.7	7.0

Explanatory notes

About this report

This summary rating is the average rating of all NCC Class 2 dwellings in a development. The individual dwellings' ratings are a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate the energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances, or energy production of solar panels. For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

Accredited Assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO). AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content, input and creation of the NatHERS Certificate is by the assessor. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

Sydney Metro
Pitt Street South Overstation Development

SSD DA, Sydney, NSW 2000

Drawing Number Drawing Name

SMCSWSPS-BAT-OSS-AT-DWG-	900000	COVER SHEET
SMCSWSPS-BAT-OSS-AT-DWG-	910041	SITE PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930041	L00 GROUND LEVEL - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930141	L01 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930241	L02 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930341	L03 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930441	L04 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930541	L05 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930641	L06 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930642	L06 MEZZANINE - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930741	L07 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	930841	L08 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	931041	L09-10 - TYPICAL LOWRISE GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	931141	L11-13 - TYPICAL LOWRISE GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	931441	L14-32 - HIGHRISE GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	933341	L33-34 - HIGHRISE GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	933541	L35 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	933641	L36 - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	933741	L37 PLANT - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	933841	L38 PLANT - GENERAL ARRANEGMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	933941	L39 ROOF - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	939542	B01 MEZZANINE - GENERAL ARRANGEMENT PLAN
SMCSWSPS-BAT-OSS-AT-DWG-	940041	EXISTING SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	940141	PROPOSED SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	940241	EXISTING SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	940341	PROPOSED SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	940441	EXISTING SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	940541	PROPOSED SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	940641	EXISTING SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	940741	PROPOSED SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	940841	EXISTING SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	940941	PROPOSED SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	941041	EXISTING SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	941141	PROPOSED SHADOW PLANS
SMCSWSPS-BAT-OSS-AT-DWG-	950141	SECTION A-A
SMCSWSPS-BAT-OSS-AT-DWG-	950241	SECTION B-B
SMCSWSPS-BAT-OSS-AT-DWG-	960001	NORTH ELEVATION - BATHURST STREET
SMCSWSPS-BAT-OSS-AT-DWG-	960002	WEST ELEVATION - PITT STREET
SMCSWSPS-BAT-OSS-AT-DWG-	960003	SOUTH ELEVATION
SMCSWSPS-BAT-OSS-AT-DWG-	960004	EAST ELEVATION
SMCSWSPS-BAT-OSS-AT-DWG-	960005	BATHURST STREET - STREETSCAPE ELEVATION
SMCSWSPS-BAT-OSS-AT-DWG-	960006	PITT STREET - STREETSCAPE ELEVATION
SMCSWSPS-BAT-OSS-AT-DWG-	970041	GFA AND LAND USE PLANS - PODIUM LEVELS
SMCSWSPS-BAT-OSS-AT-DWG-	970141	GFA AND LAND USE PLANS - TOWER LEVELS



Artist's impression



RZXV4FY3ME 19/11/2020

Assessor

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Address

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Sydney,
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Mathuran

Marianayagam

HERA10015



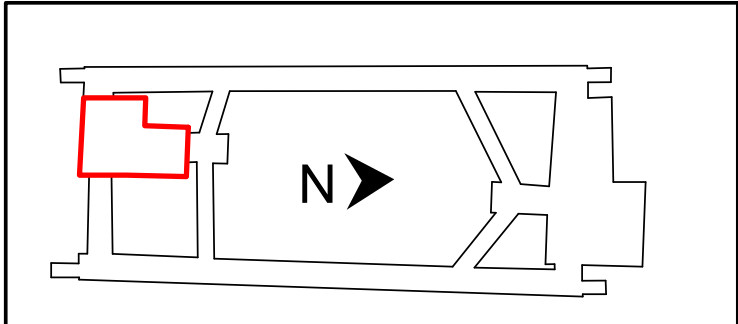
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BATESMART

SMCSWSPS-BAT-OSS-PL-REP-000001: Revision D

G	12.11.20	SSDA Issue	
F	18.09.20	SSDA Issue	
E	12.05.20	Stage 2 SSD DA - Final	
D	07.04.20	Stage 2 SSD DA - For Landowners Consent	
C	31.03.20	SSDA Issue	
B	10.02.20	SSDA Issue	
B2	20.01.20	Preliminary - SSDA Issue	
B1	20.12.19	Preliminary - SSDA Issue	
REV.	BY	DATE	DESCRIPTION
A1	Original	Co-ordinate System: MGA Zone 56	Height Datum: A.H.D.

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SERVICE PROVIDERS	
Foster + Partners	DRAWN _____ Author _____
C O X	DESIGNED _____ Designer _____
CJ ARMS	DRG CHECK _____ Checker _____
BATESMART.	DESIGN CHECK _____ Checker _____
aurecon	APPROVED _____ Approver _____
LCI	
TTW	

DRG No. SMCSWSPS-BAT-OSS-AT-DWG-900000			
PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD)			
SSDA Issue COVER SHEET			
STATUS: SSDA Issue		SHEET OF	©
METRO DRG No.			REV . G

NatHERS Thermal Comfort Inclusions	
Glazing Doors/Windows	<p>Aluminium non-thermally broken framed double glazing to all units:</p> <p>U-value: 3.52 (equal to or lower than) SHGC: 0.36 (±5%) – Curtain wall fixed glazing <800mm width U-value: 2.89 (equal to or lower than) SHGC: 0.36 (±5%) – Curtain wall fixed glazing 800-900mm width U-value: 2.70 (equal to or lower than) SHGC: 0.37 (±5%) – Curtain wall fixed glazing 900-1000mm width U-value: 2.33 (equal to or lower than) SHGC: 0.36 (±5%) – Curtain wall fixed glazing >1100mm width U-value: 5.33 (equal to or lower than) SHGC: 0.36 (±5%) – Curtain wall casement windows 600mm width U-value: 4.50 (equal to or lower than) SHGC: 0.35 (±5%) – Curtain wall casement windows 900mm width U-value: 3.20 (equal to or lower than) SHGC: 0.37 (±5%) – Solid casement windows (to bedroom) U-value: 3.91 (equal to or lower than) SHGC: 0.35 (±5%) – Sliding Door into curtain wall frame U-value: 3.68 (equal to or lower than) SHGC: 0.37 (±5%) – Sliding Door to balcony <2800mm width U-value: 3.08 (equal to or lower than) SHGC: 0.37 (±5%) – Sliding Door to balcony >2800mm width U-value: 2.33 (equal to or lower than) SHGC: 0.36 (±5%) – Window wall fixed glazing U-value: 3.50 (equal to or lower than) SHGC: 0.36 (±5%) – Window wall casement windows (to balcony) U-value: 3.76 (equal to or lower than) SHGC: 0.37 (±5%) – Hinge glazed door to balcony U-value: 7.41 (equal to or lower than) SHGC: 0.37 (±5%) – Curtain wall reversed casement</p> <p>Balcony Glazing of Apartment 36.01 Only U-value: 3.66 (equal to or lower than) SHGC: 0.50 (±5%) - Sliding Door to balcony U-value: 2.89 (equal to or lower than) SHGC: 0.52 (±5%) - Fixed glazing to balcony</p> <p>Given values are NFRC, total window system values (glass and frames)</p> <p>NOTE: openability modelled as per NatHERS Technical Note Version June 2019 – 8.9 with regard to restricted openings</p>
Ceiling	<p>225mm concrete slab, no insulation required to units with units above 225mm concrete slab, minimum R1.0 insulation (insulation only) required to units with balcony/unconditioned spaces above, units 36.02, 36.03 and 36.04 require minimum R3.0 insulation (insulation only) and unit 36.01 require minimum R7.5 ceiling insulation (insulation only). For units where ceiling thermal upgrade is required please refer to certified drawings</p> <p>NOTE: loss of ceiling insulation due to penetrations have been accounted for in accordance with BASIX Thermal Comfort Protocol Section 4.13.1 and NatHERS Technical Note Version June 2019</p>
External Wall	<p>Insulated solid curtain wall – minimum R2.5 (insulation only) for all units except where noted. Total R-Value 2.77 Insulated GRC columns – minimum R2.5 (insulation only) for all units except where noted. Total R-Value 3.12 Insulated wall between apartment and balcony – minimum R2.0 (insulation only) for all units except where noted. Total R-Value 2.40 Insulated Shear Wall – external shear wall with minimum insulation of R2.5 (insulation only) for all units except where noted. Total R-Value 3.04 Insulated Shear Wall to balcony - external shear wall with minimum insulation of R2.5 (insulation only) for all units except where noted. Total R-Value 2.70 Insulated Shear Wall with GRC – external shear wall with minimum insulation of R2.5 (insulation only) for all units except where noted. Total R-Value 3.22 For units where wall thermal upgrade is required please refer to certified drawings: - Unit 36.01: requires minimum insulation R2.5 (insulation only) to all walls between apartment and balcony (including shear wall), and minimum R3.5 insulation (insulation only) to all external walls.</p> <p>NOTE: default colour modelled as per NatHERS Technical Note Version June 2019 – Section 7.1</p>
Inter-tenancy Walls	Party wall – minimum R2.0 (insulation only) to all walls between neighbouring units and adjacent common areas except where noted. Total R-Value 2.53
Internal Walls within Dwellings	Plasterboard on studs – no insulation required Internal Shear walls – no insulation required
Floors	225mm concrete suspended floor, no insulation required to units with units below 225mm concrete suspended floor, minimum R1.0 insulation (insulation only) required to units with balcony/unconditioned spaces below.
	For units where floor thermal upgrade is required please refer to certified drawings:
Floor Coverings	Bedrooms and WIR: carpet Wet areas: tiles Kitchen, living/dining, hall, study, corridors: timber
Artificial Lighting within Units	All light fittings within each room are to be sealed LED fixtures NOTE: modelled as per NatHERS Assessor Handbook Version June 2019 – Section 8.8.1.3
Ventilation within Units	Bathroom – sealed individual ducted fans Laundry – sealed individual ducted fans Kitchen range hood: sealed individual ducted fans NOTE: modelled as per NatHERS Assessor Handbook Version June 2019 – Section 8.8.1.2




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Assessor
Mathuran Marianayagam

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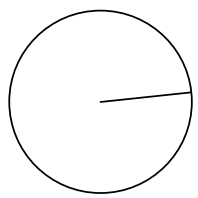
BATESMAN

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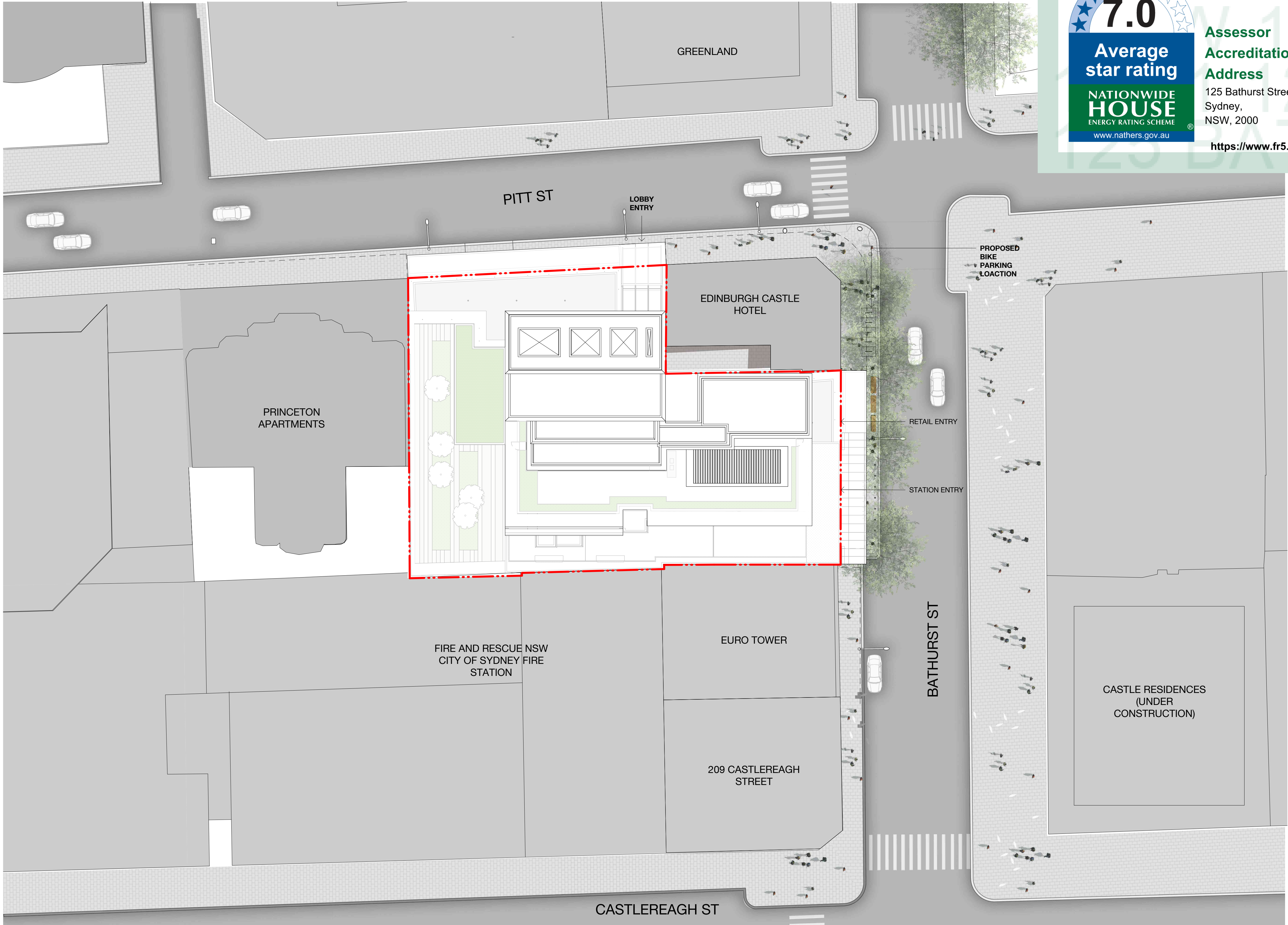
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SHEET OF

REV : G



100mm A1 FULL SIZE Plot Date & Time [DATE / TIME STAMP]



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Marianayagam

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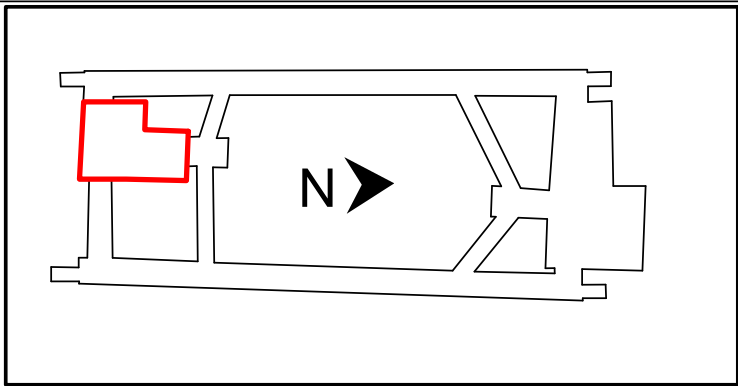
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- LEGEND**
- PROPERTY BOUNDARY
 - CONCEPT SSDA ENVELOPE
 - OSD CORE
 - OSD SERVICES
 - OSD GENERAL
 - OSD RESIDENT FACILITIES
 - OSD-ONLY EGRESS STAIRS
 - OSD RETAIL TENANCY
 - 1 BEDROOM APARTMENT
 - 2 BEDROOM APARTMENT
 - 3 BEDROOM APARTMENT
 - SHARED EGRESS STAIRS
 - STATION AREAS (SUBJECT TO CSSI APPROVAL)

G	12.11.20	SSDA Issue		
F	18.09.20	SSDA Issue		
E	12.05.20	Stage 2 SSD DA - Final		
D	07.04.20	Stage 2 SSD DA - For Landowners Consent		
C	31.03.20	SSDA Issue		
B	10.02.20	SSDA Issue		
B4	20.01.20	Preliminary - SSDA Issue		
B3	20.12.19	Preliminary - SSDA Issue		
REV.	BY	DATE	DESCRIPTION	APPD.
A1	Original		Co-ordinate System: MGA Zone 56	Height Datum: A.H.D.
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SCALE

1:250 @ A1 0 2.5 5 7.5 10 12.5 m



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Foster + Partners
C O X **C J ARMS**
BATESSMART. **LCI**
aurecon **TW**

DRAWN Author
DESIGNED Designer
DRG CHECK Checker
DESIGN CHECK Checker
APPROVED Approver

DRG No. SMCSWSPS-BAT-OSS-AT-DWG-910041

**PITT STREET SOUTH OVER
STATION DEVELOPMENT (PSS OSD)**
SSDA Issue
SITE PLAN

STATUS: SSDA Issue

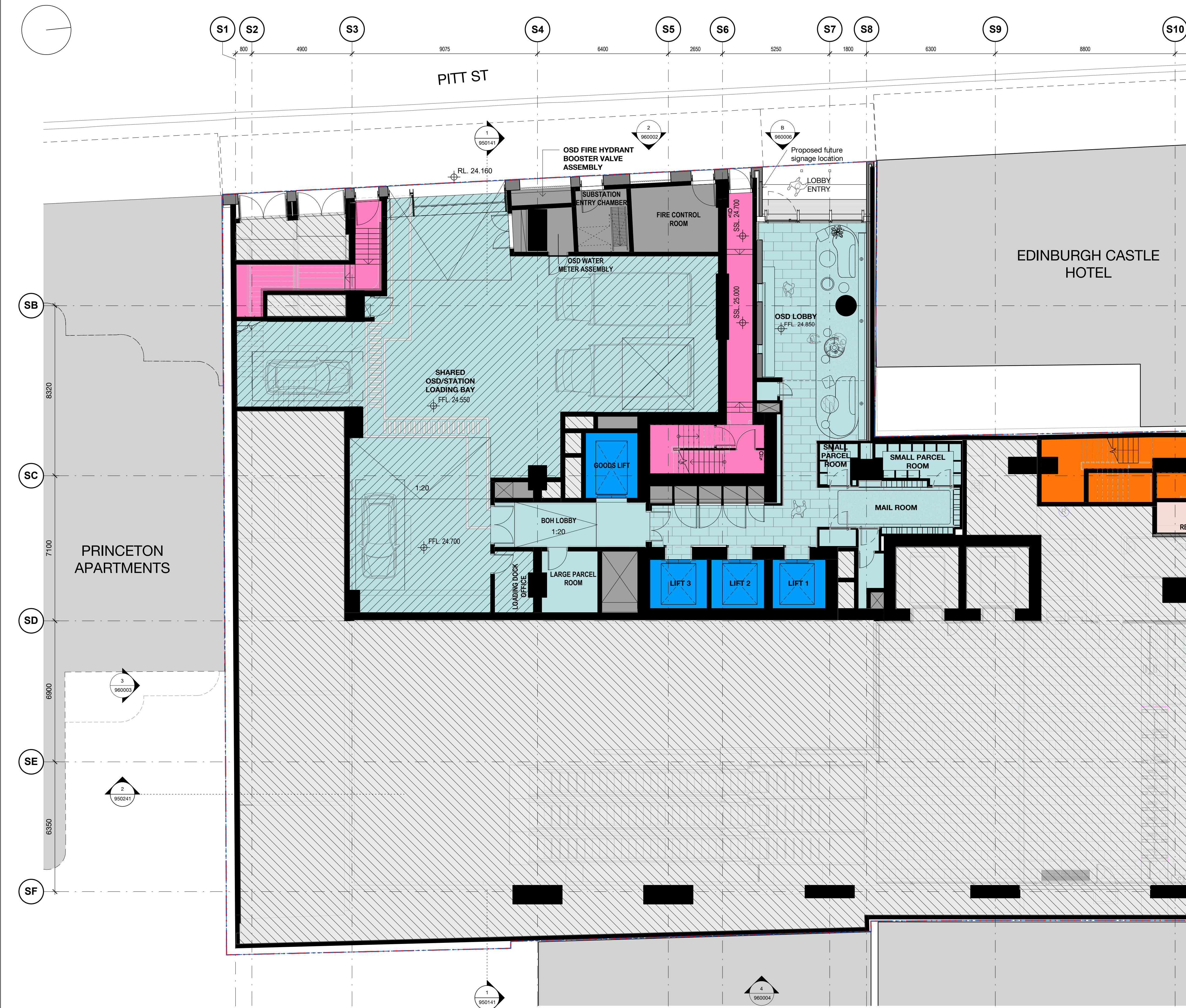
SHEET OF

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METRO DRG No.

REV . G

100mm AT FULL SIZE Plot Date & Time [DATE / TIME STAMP]



7.0

Average star rating

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

www.nathers.gov.au

RZXV4FY3ME 19/11/2020

Assessor

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Mathuran

Marianayagam

HERA10015

F	12.11.20	SSDA Issue		
E	18.09.20	SSDA Issue		
D	07.04.20	Stage 2 SSD DA - For Landowners Consent		
C	31.03.20	SSDA Issue		
B	10.02.20	SSDA Issue		
B4	20.01.20	Preliminary - SSDA Issue		
B3	20.12.19	Preliminary - SSDA Issue		
B2	06.12.19	Preliminary - For Review and Coordination		
REV.	BY	DATE	DESCRIPTION	APPD.
A1	Original		Co-ordinate System: MGA Zone 56	
			Height Datum: A.H.D.	
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SCALE

1:100 @ A1

0

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2

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4

5

m

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aurecon

C J ARMS

LCI

TW

DRAWN

DESIGNED

DRG CHECK

DESIGN CHECK

APPROVED

Author

Designer

Checker

Checker

Approver

DRG No. SMCSWSPS-BAT-OSS-AT-DWG-930041

PITT STREET SOUTH OVER

STATION DEVELOPMENT (PSS OSD)

SSDA Issue

L00 GROUND LEVEL - GENERAL ARRANGEMENT PLAN

STATUS: SSDA Issue

SHEET OF

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METRO DRG No.

REV . F

100mm AT FULL SIZE Plot Date & Time [DATE / TIME STAMP]

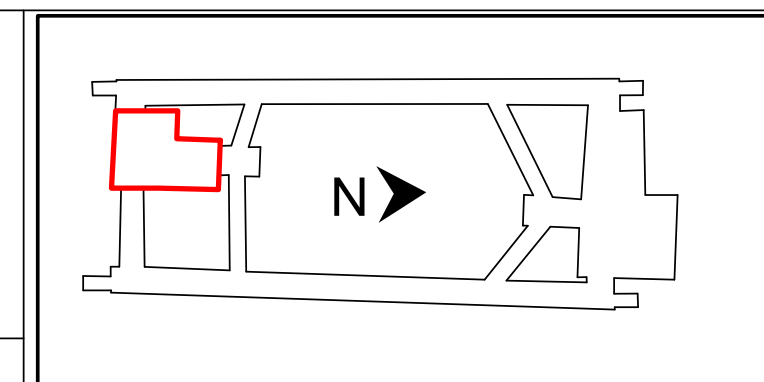


7.0
Average
star rating
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HOUSE
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<https://www.fr5.com.au/QRCodeLanding?PublicId=RZXV4FY3ME&GrpCert=1>



REV.	BY	DATE	DESCRIPTION	APPD.
C		12.11.20	SSDA Issue	
B		18.09.20	SSDA Issue	
A1 Original			Co-ordinate System: MGA Zone 56 Height Datum: A.H.D. This sheet may be prepared using colour and may be incomplete if copied	

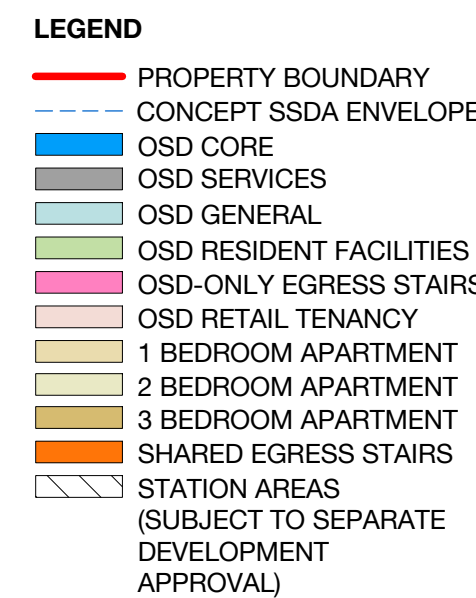
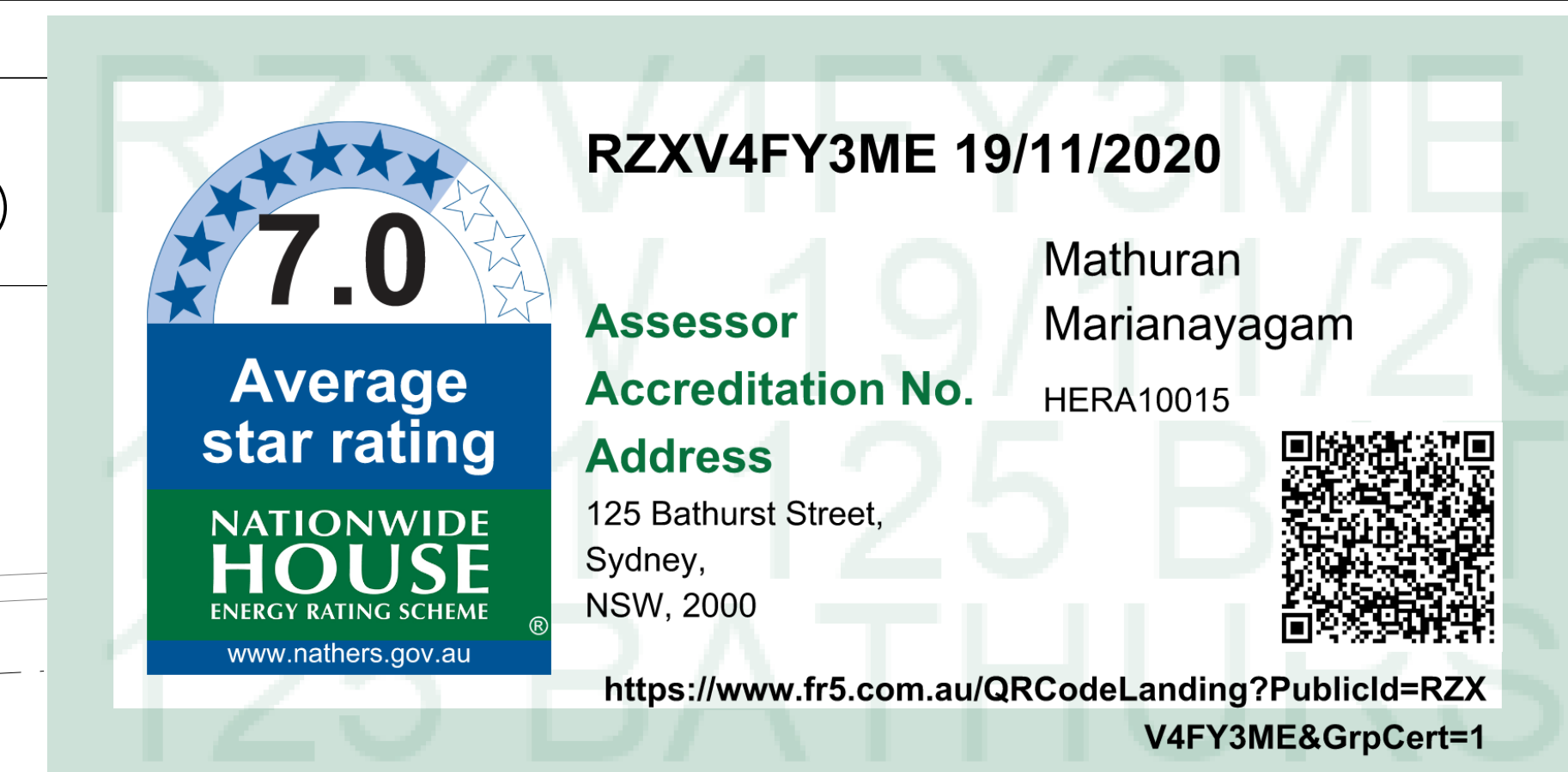


NOTE: Do not scale from this drawing.

CLIENT
NSW GOVERNMENT | sydney METRO
ISDP
oix|FLORID | CPB CONTRACTORS

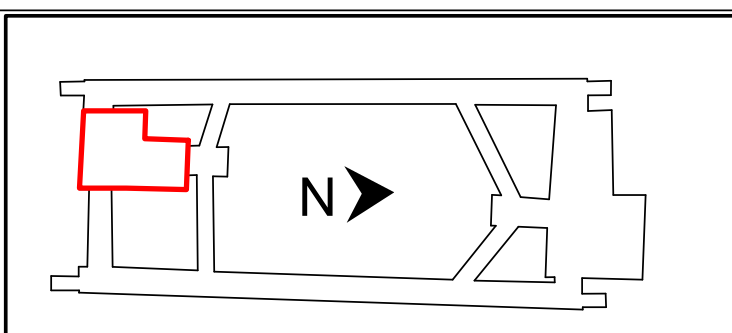
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SERVICE PROVIDERS
Foster + Partners
C O X | C J ARMS
BATESSMART. | LCI
aurecon | TW
DRAWN: Author
DESIGNED: Designer
DRG CHECK: Checker
DESIGN CHECK: Checker
APPROVED: Approver

DRG No. SMCSWSPS-BAT-OSS-AT-DWG-933341
PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD)
SSDA Issue
L33-34 - HIGHRISE GENERAL ARRANGEMENT PLAN
STATUS: SSDA Issue
SHEET OF
METRO DRG No.
REV: C



G	12.11.20	SSDA Issue	
F	18.09.20	SSDA Issue	
E	12.05.20	Stage 2 SSD DA - Final	
D	07.04.20	Stage 2 SSD DA - For Landowners Consent	
C	31.03.20	SSDA Issue	
B	10.02.20	SSDA Issue	
A4	20.01.20	Preliminary - SSDA Issue	
REV.	20.12.19	Preliminary - SSDA Issue	
BY	DATE	DESCRIPTION	APPD.

1:100 @ A1



NOTE: Do not scale from this drawing.

ISDP



aurecon **TTW** Taylor Thorne

DRAWN	Author
DESIGNED	Designer
DRG CHECK	Checker
DESIGN CHECK	Checker
APPROVED	Approver

PITT STREET SOUTH OVER
STATION DEVELOPMENT (PSS OSD)
SSDA Issue
L35 - GENERAL ARRANGEMENT PLAN

STATUS: SSDA Issue

SHEET	OF	©
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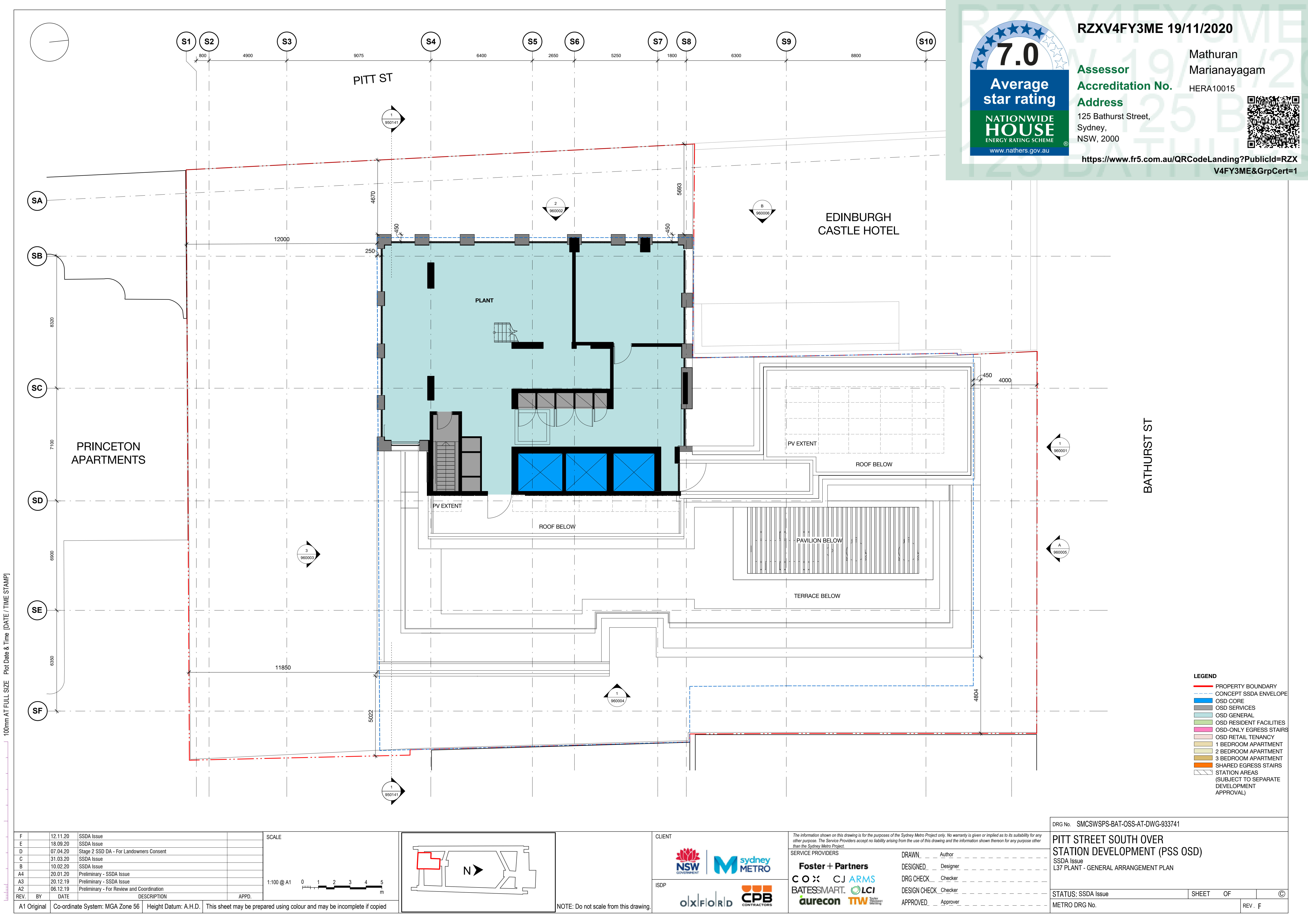
— METRO DRG No.

	©
--	---

REV G

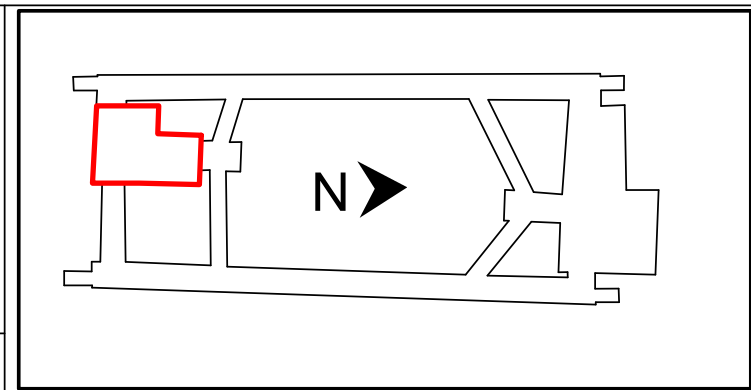
100mm AT FULL SIZE Plot Date & Time [DATE / TIME STAMP]

100mm AT FULL SIZE Plot Date & Time [DATE / TIME STAMP]



F	12.11.20	SSDA Issue		
E	18.09.20	SSDA Issue		
D	07.04.20	Stage 2 SSD DA - For Landowners Consent		
C	31.03.20	SSDA Issue		
B	10.02.20	SSDA Issue		
A4	20.01.20	Preliminary - SSDA Issue		
A3	20.12.19	Preliminary - SSDA Issue		
A2	06.12.19	Preliminary - For Review and Coordination		
REV.	BY	DATE	DESCRIPTION	APPD.
A1 Original			Co-ordinate System: MGA Zone 56	
			Height Datum: A.H.D.	
			This sheet may be prepared using colour and may be incomplete if copied	

SCALE
1:100 @ A1
0 1 2 3 4 5 m



NOTE: Do not scale from this drawing.

CLIENT	 
ISDP	 

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SERVICE PROVIDERS	
Foster + Partners	
C O X	
BATESSMART.	
aurecon	
CJ ARMS	
LCI	
TW	
DESIGNED	Author
DRG CHECK	Designer
DESIGN CHECK	Checker
APPROVED	Approver

DRG No. SMCSWSPS-BAT-OSS-AT-DWG-933741			
PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD) SSDA Issue L37 PLANT - GENERAL ARRANGEMENT PLAN			
STATUS: SSDA Issue		SHEET OF	©
METRO DRG No.			REV . F

REV E

CLIENT

NSW GOVERNMENT

sydney METRO

ISDP

o|x|f|o|r|d

CPB CONTRACTORS

PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD) SSDA Issue SECTION A-A			
STATUS: SSDA Issue	SHEET	OF	②
METRO DRG. No.		REV. G	



200 CASTLEREAGH ST
BEYOND

7.0

Average
star rating

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RZXV4FY3ME 19/11/2020

Assessor
Accreditation No.
Address

Mathuran
Marianayagam
HERA10015



<https://www.fr5.com.au/QRCodeLanding?PublicId=RZX>

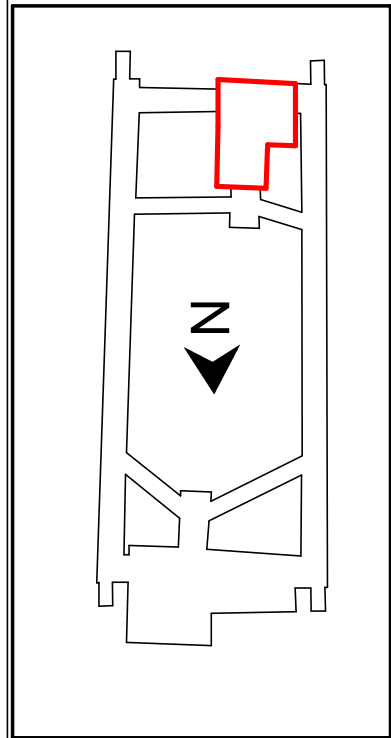
REV.	BY	DATE	DESCRIPTION	APPD.
A1	Original		Co-ordinate System: MGA Zone 56	
			Height Datum: A.H.D.	
			This sheet may be prepared using colour and may be incomplete if copied	

F	12.11.20	SSDA Issue
E	18.09.20	SSDA Issue
D	07.04.20	Stage 2 SSD DA - For Landowners Consent
C	31.03.20	SSDA Issue
B	10.02.20	SSDA Issue
B2	20.01.20	Preliminary - SSDA Issue
B1	20.12.19	Preliminary - SSDA Issue

SCALE

1:200 @ A1

0 2 4 6 8 10 m



NOTE: Do not scale from this drawing.

CLIENT	NSW GOVERNMENT	METRO
ISDP	OXFORD	CPB
SERVICE PROVIDERS	Foster + Partners	
DESIGNED	DRANK	AUTHOR
DESIGN CHECK	DRG CHECK	CHECKER
DESIGN CHECK	DESIGN CHECK	CHECKER
APPROVED	APPROVED	APPROVER

DRG No. SMCWSRPS-BAT-0SS-AT-DMG-490241

PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD)

SSDA Issue

SECTION B-B

STATUS: SSDA Issue

METRO DRG No.

SHEET	OF	REV.	F
			©

L39 S ROOF	FFL 165.15 m
L38 S	FFL 160.775 m
L37 S	FFL 156.45 m
L36 S	FFL 153.35 m
L35 S	FFL 150.25 m
L34 S	FFL 146.95 m
L33 S	FFL 143.85 m
L32 S	FFL 140.75 m
L31 S	FFL 137.65 m
L30 S	FFL 134.55 m
L29 S	FFL 131.45 m
L28 S	FFL 128.35 m
L27 S	FFL 125.25 m
L26 S	FFL 122.15 m
L25 S	FFL 119.05 m
L24 S	FFL 115.95 m
L23 S	FFL 112.85 m
L22 S	FFL 109.75 m
L21 S	FFL 106.65 m
L20 S	FFL 103.55 m
L19 S	FFL 100.45 m
L18 S	FFL 97.35 m
L17 S	FFL 94.25 m
L16 S	FFL 91.15 m
L15 S	FFL 88.05 m
L14 S	FFL 84.95 m
L13 S	FFL 81.85 m
L12 S	FFL 78.75 m
L11 S	FFL 75.65 m
L10 S	FFL 72.55 m
L09 S	FFL 69.45 m
L08 S	FFL 66.35 m
L07 S	FFL 63.25 m
L06 S MEZZ	FFL 61.05 m
L06 S R	FFL 58.25 m
L06 S SUB-FLOOR	FFL 56.75 m
L05 S	FFL 49.925 m
L04 S	FFL 43.1 m
L03 S	FFL 39.6 m
L02 S	FFL 35.1 m
L01 S	FFL 29.6 m
L00 S BATHURST ST	FFL 26.47 m
L00 S PITT ST	FFL 24.75 m
B01 MEZZ	FFL 22.2 m
B01	FFL 19.7 m

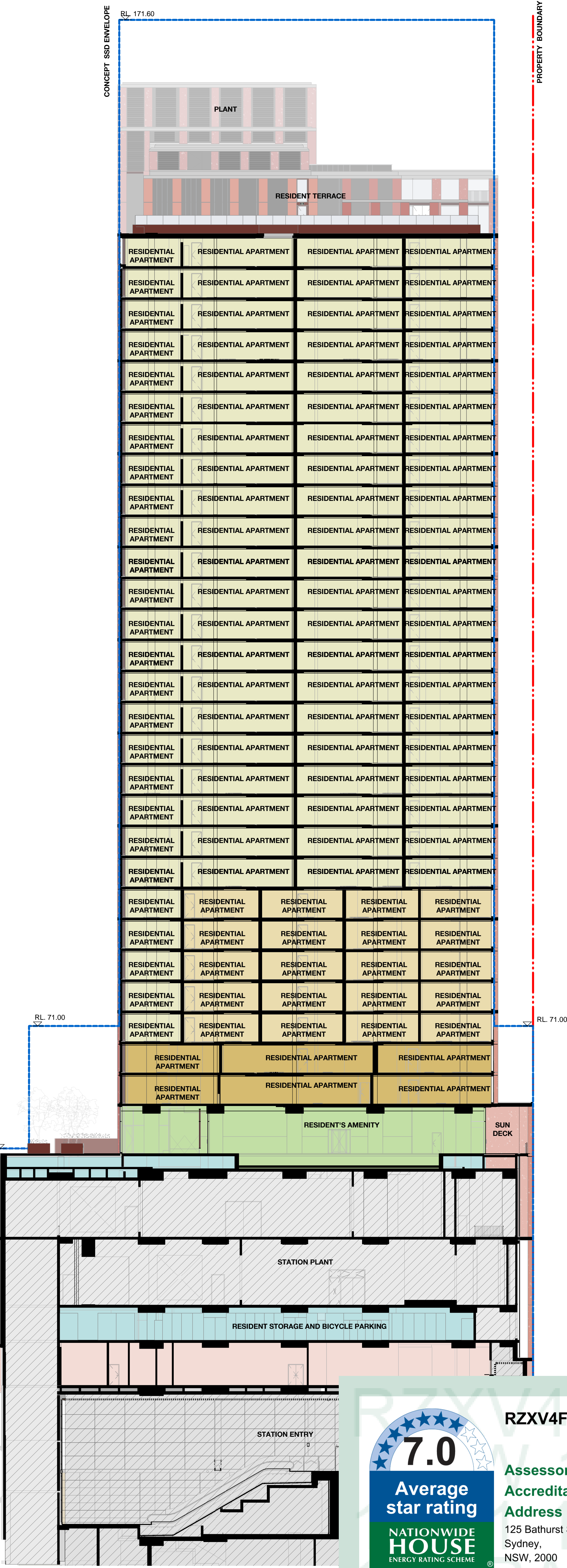
RL 133.12

PRINCETON APARTMENTS

RL 58.75

RL 71.00

RL 71.00



- LEGEND
- PROPERTY BOUNDARY
 - CONCEPT SSDA ENVELOPE
 - OSD CORE
 - OSD SERVICES
 - OSD GENERAL
 - OSD RESIDENT FACILITIES
 - OSD-ONLY EGRESS STAIRS
 - OSD RETAIL TENANCY
 - RESIDENTIAL APARTMENT
 - RESIDENTIAL APARTMENT
 - RESIDENTIAL APARTMENT
 - SHARED EGRESS STAIRS
 - STATION AREAS (SUBJECT TO SEPARATE DEVELOPMENT APPROVAL)



RZXV4FY3ME 19/11/2020

Assessor
Accreditation No.
Address

125 Bathurst Street,
Sydney,
NSW, 2000

Mathuran
Marianayagam
HERA10015



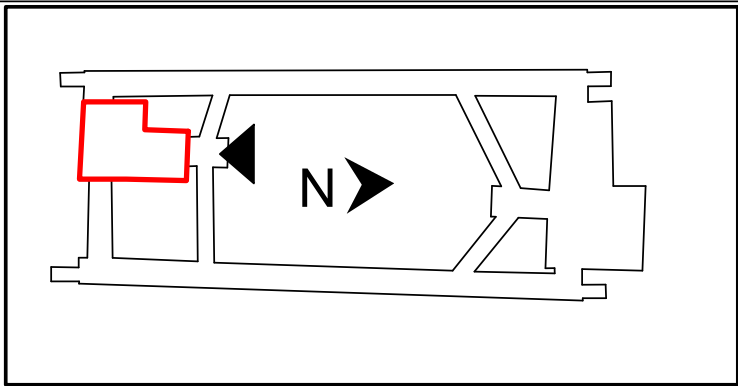
<https://www.fr5.com.au/QRCodeLanding?PublicId=RZXV4FY3ME&GrpCert=1>

100mm AT FULL SIZE Plot Date & Time [DATE / TIME STAMP]

100mm

H		12.11.20	SSDA Issue		
G		18.09.20	SSDA Issue		
F		12.05.20	Stage 2 SSD DA - Final		
E		07.04.20	Stage 2 SSD DA - For Landowners Consent		
D		31.03.20	SSDA Issue		
C		13.02.20	SSDA Issue		
B		10.02.20	SSDA Issue		
B4		20.01.20	Preliminary - SSDA Issue		
REV.	BY	DATE	DESCRIPTION	APPD.	
A1	Original		Co-ordinate System: MGA Zone 56	Height Datum: A.H.D.	This sheet may be prepared using colour and may be incomplete if copied

SCALE	
1:200 @ A1	0 2 4 6 8 10 m

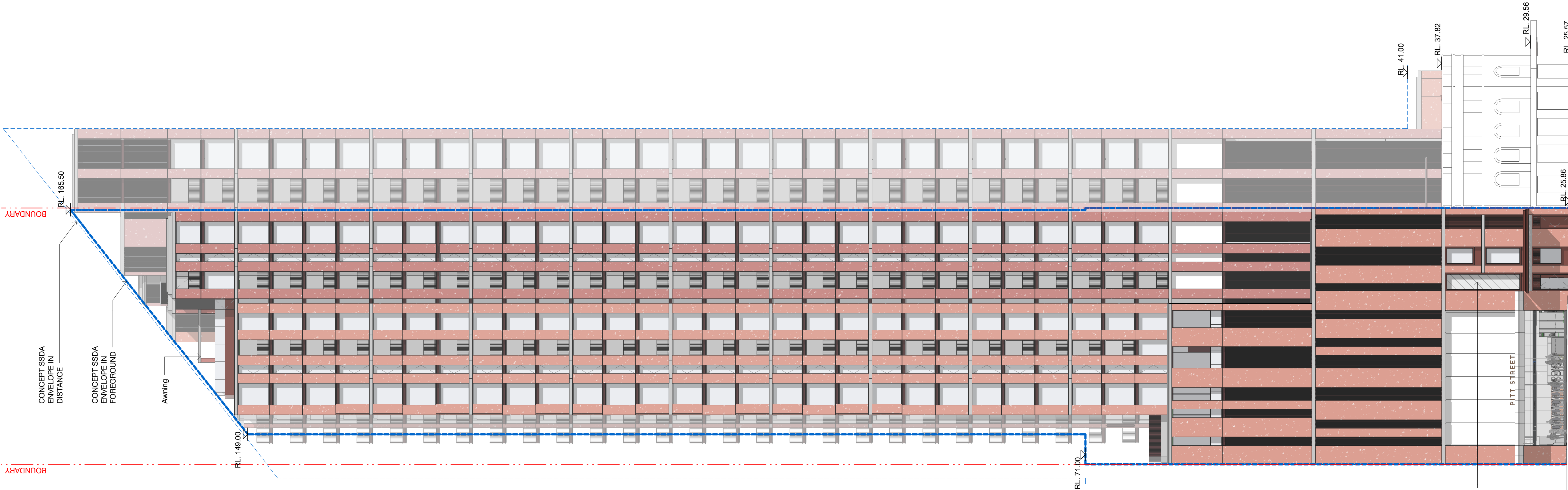


NOTE: Do not scale from this drawing.

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ISDP	

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SERVICE PROVIDERS	
Foster + Partners	DRAWN _____ Author
C O X	DESIGNED _____ Designer
CJ ARMS	DRG CHECK _____ Checker
BATESSMART.	DESIGN CHECK _____ Checker
aurecon	APPROVED _____ Approver
LCI	
TW	

DRG No. SMCSWSPS-BAT-OSS-AT-DWG-960001		
PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD)		
SSDA Issue NORTH ELEVATION - BATHURST STREET		
STATUS: SSDA Issue	SHEET OF	©
METRO DRG No.		REV : H



RZXV4FY3ME 19/11/2020

Mathuran Marianayagam
HERA10015

Assessor
Accreditation No.
Address
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Sydney,
NSW, 2000

<https://www.fr5.com.au/QRCodeLanding?PublicId=RZXV4FY3ME&GrpCert=1>

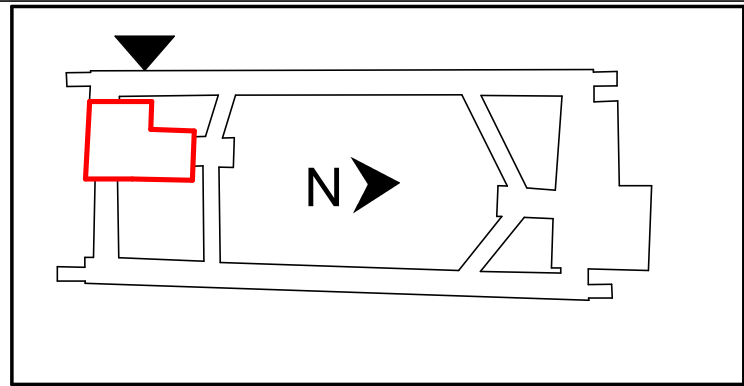
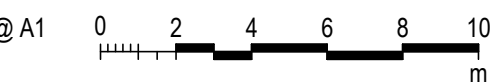


100mm A1 FULL SIZE Plot Date & Time [DATE / TIME STAMP]



G		12.11.20	SSDA Issue		
F		18.09.20	SSDA Issue		
E		07.04.20	Stage 2 SSD DA - For Landowners Consent		
D		31.03.20	SSDA Issue		
C		13.02.20	SSDA Issue		
B		10.02.20	SSDA Issue		
B4		20.01.20	Preliminary - SSDA Issue		
B3		20.12.19	Preliminary - SSDA Issue		
REV.	BY	DATE	DESCRIPTION	APPD.	
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SCALE
1:200 @ A1

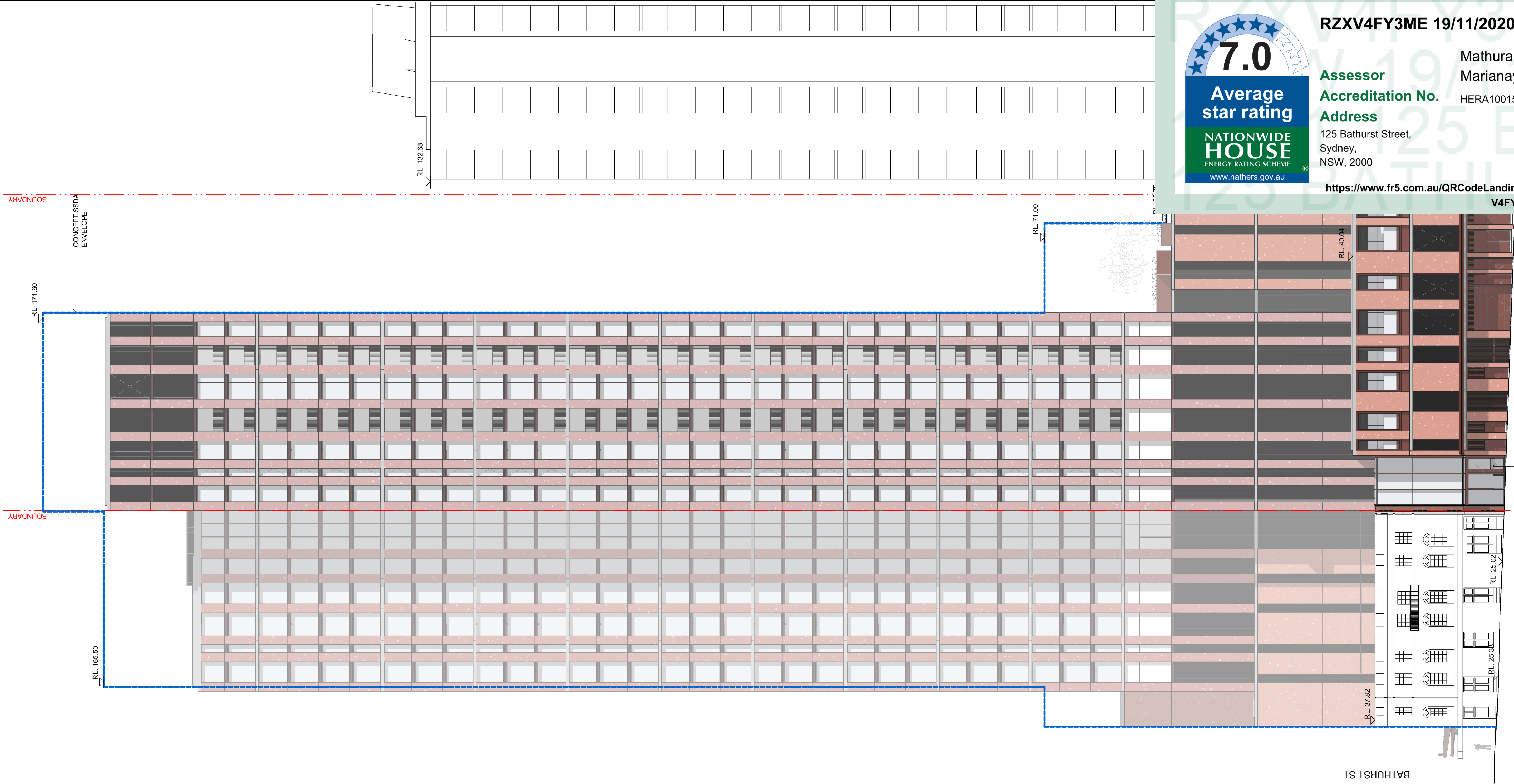


NOTE: Do not scale from this drawing.

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SERVICE PROVIDERS	
Foster + Partners	DRAWN _____ Author
C O X	DESIGNED _____ Designer
CJ ARMS	DRG CHECK _____ Checker
BATESSMART.	DESIGN CHECK _____ Checker
aurecon	APPROVED _____ Approver
LCI	
TW	

DRG No. SMCSWSPS-BAT-OSS-AT-DWG-960002		
PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD)		
SSDA Issue WEST ELEVATION - PITT STREET		
STATUS: SSDA Issue	SHEET OF	©
METRO DRG No.		REV : G



RZXV4FY3ME 19/11/2020

Assessor

Accreditation No.

Address

125 Bathurst Street,
Sydney,
NSW, 2000

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Mathuran
Marianayagam
HERA10015



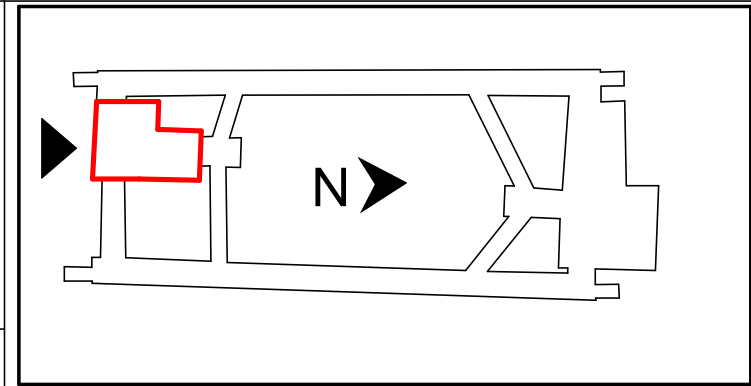
Proposed
future
signage
location

100mm AT FULL SIZE Plot Date & Time [DATE / TIME STAMP]

100mm AT FULL SIZE Plot Date & Time [DATE / TIME STAMP]

G	12.11.20	SSDA Issue		
F	18.09.20	SSDA Issue		
E	12.05.20	Stage 2 SSD DA - Final		
D	07.04.20	Stage 2 SSD DA - For Landowners Consent		
C	31.03.20	SSDA Issue		
B	10.02.20	SSDA Issue		
B4	20.01.20	Preliminary - SSDA Issue		
B3	20.12.19	Preliminary - SSDA Issue		
REV.	BY	DATE	DESCRIPTION	APPD.
A1	Original	Co-ordinate System: MGA Zone 56	Height Datum: A.H.D.	This sheet may be prepared using colour and may be incomplete if copied

SCALE
1:200 @ A1
0 2 4 6 8 10 m

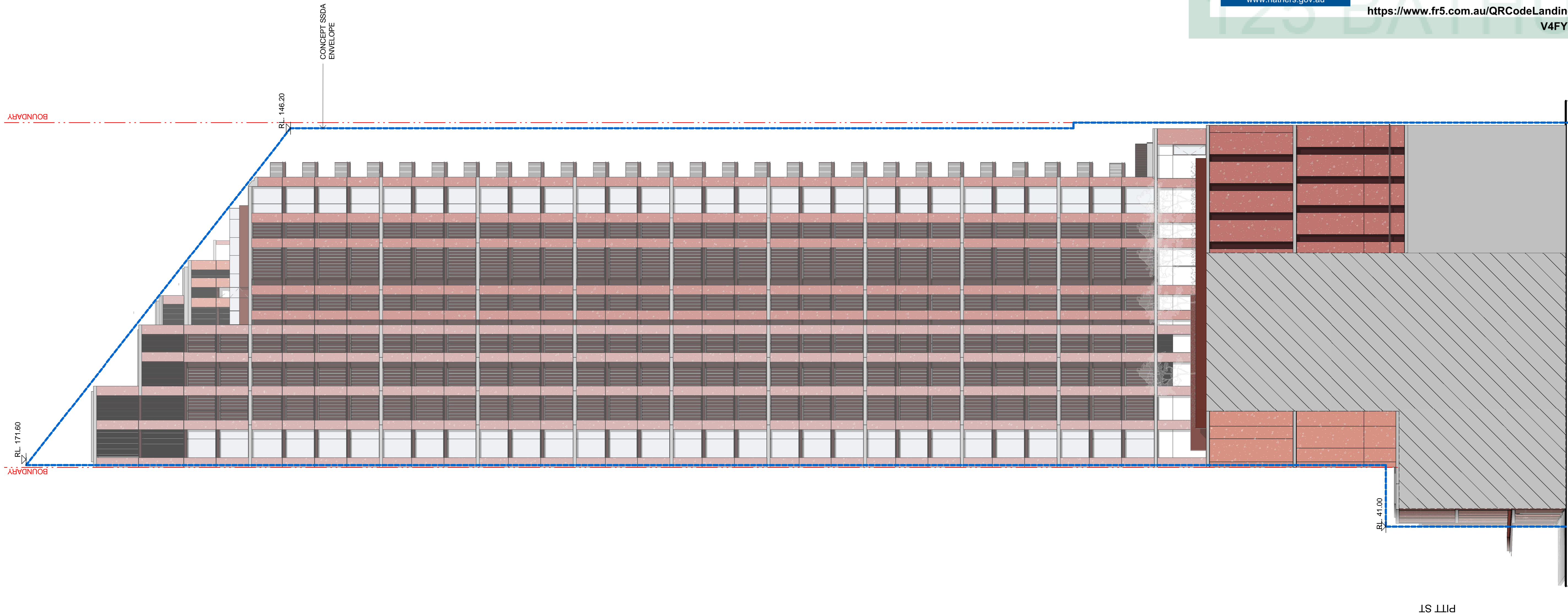


NOTE: Do not scale from this drawing.

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ISDP	 

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SERVICE PROVIDERS	
Foster + Partners	
C O X	C J ARMS
BATESSMART.	LCI
aurecon	TTW
DESIGNED	Author
DESIGNED	Designer
DRG CHECK	Checker
DESIGN CHECK	Checker
APPROVED	Approver

DRG No.	SMCSWSPS-BAT-OSS-AT-DWG-960003
PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD)	
SSDA Issue SOUTH ELEVATION	
STATUS: SSDA Issue	SHEET OF
METRO DRG No.	REV : G



RZXV4FY3ME 19/11/2020

Mathuran Marianayagam


HERA10015

Assessor Accreditation No.

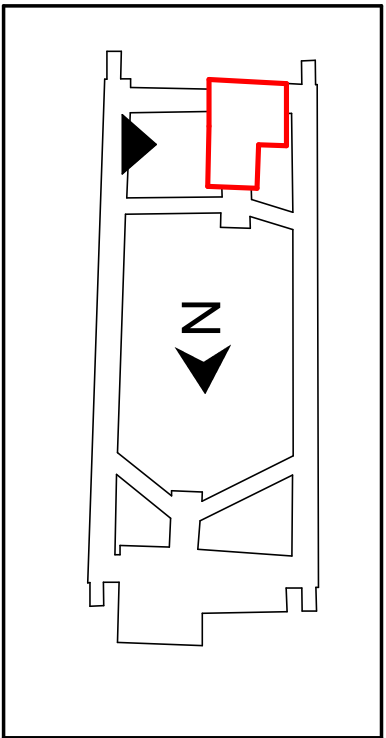
Address

125 Bathurst Street, Sydney, NSW, 2000

https://www.fr5.com.au/QRCodeLanding?PublicId=RZXV4FY3ME&GrpCert=1



REV.	BY	DATE	DESCRIPTION	APPD.
A1	Original		Co-ordinate System: MGA Zone 56	Height Datum: A.H.D.
This sheet may be prepared using colour and may be incomplete if copied				



NOTE: Do not scale from this drawing.

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Service Providers

Foster + Partners
C O X CJ ARMS
BATESMART LCI
aurecon TTM

Design & Approval

DESIGNED	Author
DWG CHECK	Designer
DESIGN CHECK	Checker
APPROVED	Approver

DWG No. **SMCSWSPS-BAT-0SS-AT-DWG-960004**

PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD)

SSDA Issue

EAST ELEVATION

STATUS: SSDA Issue

METRO DRG No.

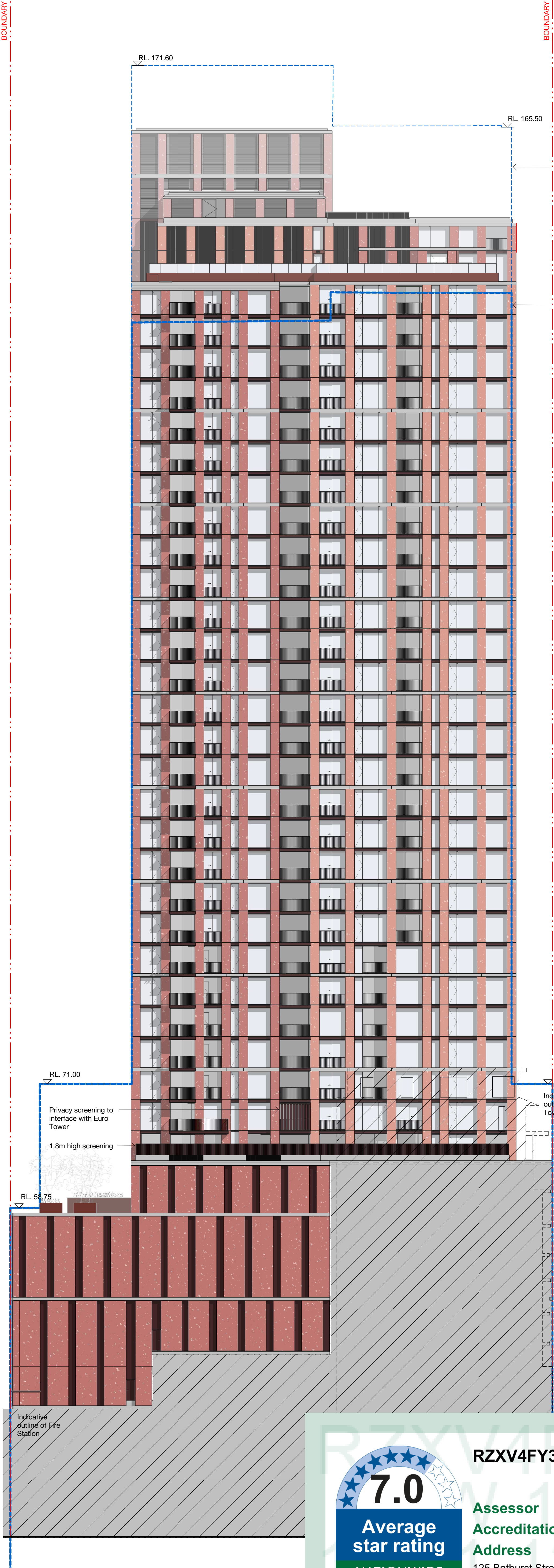
SHEET

OF

REV.

H

L39 S ROOF	▽ FFL 165.15 m	
L38 S	▽ FFL 160.775 m	
L37 S	▽ FFL 156.45 m	
L36 S	▽ FFL 153.35 m	
L35 S	▽ FFL 150.25 m	
L34 S	▽ FFL 146.95 m	
L33 S	▽ FFL 143.85 m	
L32 S	▽ FFL 140.75 m	
L31 S	▽ FFL 137.65 m	
L30 S	▽ FFL 134.55 m	
L29 S	▽ FFL 131.45 m	
L28 S	▽ FFL 128.35 m	
L27 S	▽ FFL 125.25 m	
L26 S	▽ FFL 122.15 m	
L25 S	▽ FFL 119.05 m	
L24 S	▽ FFL 115.95 m	
L23 S	▽ FFL 112.85 m	
L22 S	▽ FFL 109.75 m	
L21 S	▽ FFL 106.65 m	
L20 S	▽ FFL 103.55 m	
L19 S	▽ FFL 100.45 m	
L18 S	▽ FFL 97.35 m	
L17 S	▽ FFL 94.25 m	
L16 S	▽ FFL 91.15 m	
L15 S	▽ FFL 88.05 m	
L14 S	▽ FFL 84.95 m	
L13 S	▽ FFL 81.85 m	
L12 S	▽ FFL 78.75 m	
L11 S	▽ FFL 75.65 m	
L10 S	▽ FFL 72.55 m	
L09 S	▽ FFL 69.45 m	
L08 S	▽ FFL 66.35 m	
L07 S	▽ FFL 63.25 m	
L06 S MEZZ	▽ FFL 61.05 m	
L06 S R	▽ FFL 58.25 m	
L06 S SUB-FLOOR	▽ FFL 56.75 m	
L05 S	▽ FFL 49.925 m	
L04 S	▽ FFL 43.1 m	
L03 S	▽ FFL 39.6 m	
L02 S	▽ FFL 35.1 m	
L01 S	▽ FFL 29.6 m	
L00 S BATHURST ST	▽ FFL 26.47 m	
L00 S PITT ST	▽ FFL 24.75 m	



7.0
Average
star rating

NATIONWIDE HOUSE
ENERGY RATING SCHEME

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RZXV4FY3ME 19/11/2020

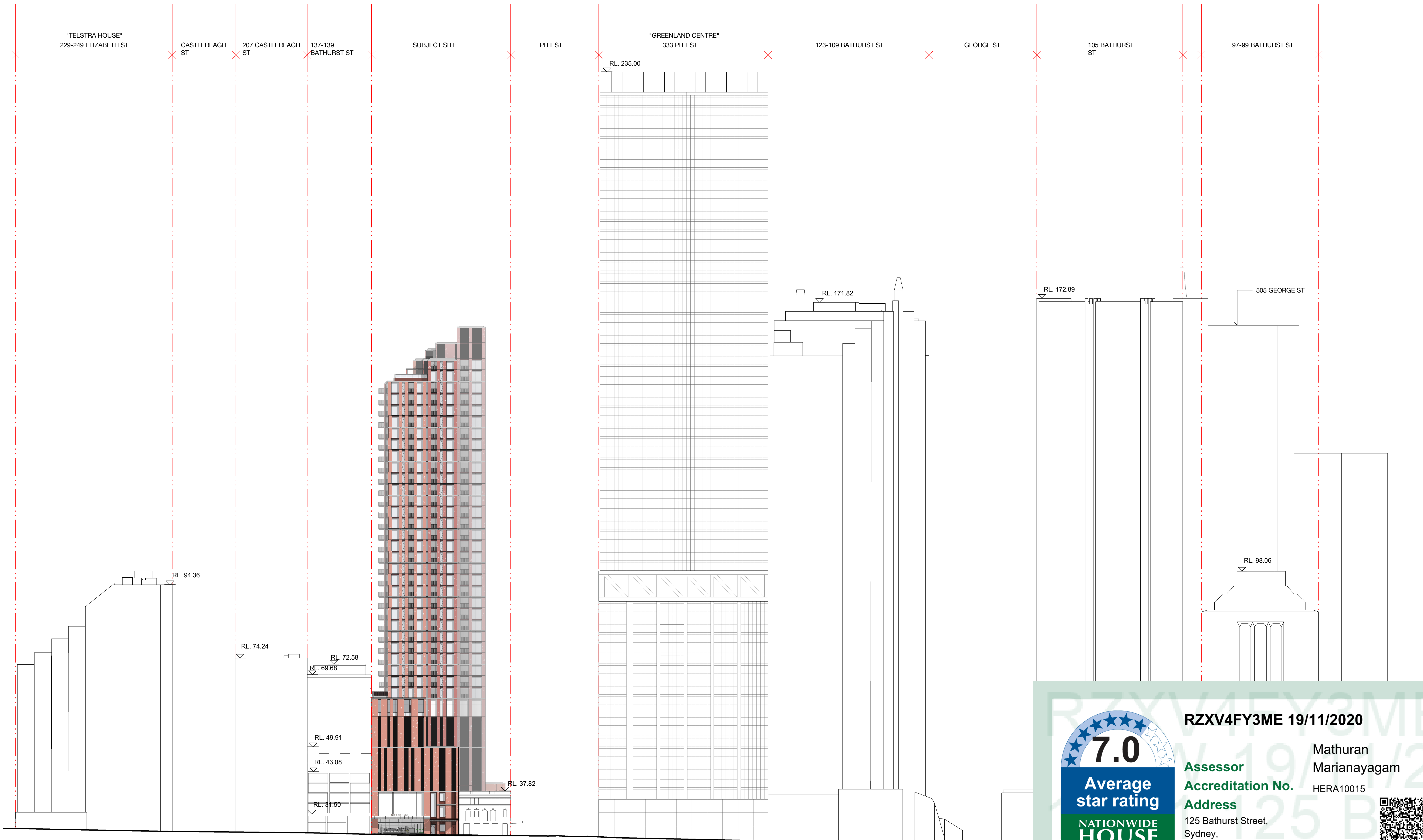
Assessor
Mathuran Marianayagam
HERA10015

Accreditation No.

Address
125 Bathurst Street,
Sydney,
NSW, 2000

<https://www.fr5.com.au/QRCodeLanding?PublicId=RZXV4FY3ME&GrpCert=1>

100mm A1 FULL SIZE Plot Date & Time [DATE / TIME STAMP]



RZXV4FY3ME 19/11/2020

Assessor
Accreditation No.
Address

125 Bathurst Street,
Sydney,
NSW, 2000

Mathuran
Marianayagam
HERA10015

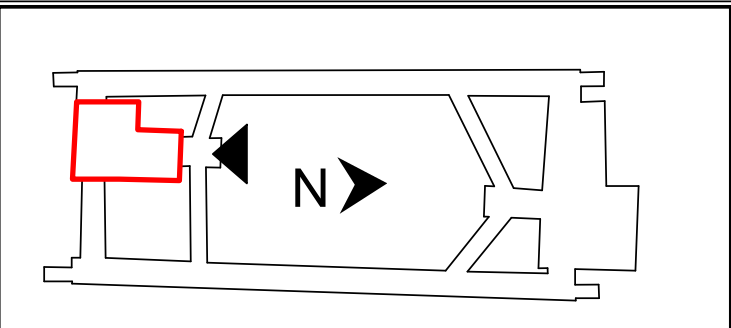
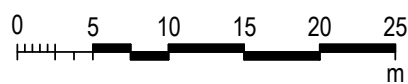


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G	12.11.20	SSDA Issue		
F	18.09.20	SSDA Issue		
E	12.05.20	Stage 2 SSD DA - Final		
D	07.04.20	Stage 2 SSD DA - For Landowners Consent		
C	31.03.20	SSDA Issue		
B	10.02.20	SSDA Issue		
B4	20.01.20	Preliminary - SSDA Issue		
B3	20.12.19	Preliminary - SSDA Issue		
REV.	BY	DATE	DESCRIPTION	APPD.
A1	Original		Co-ordinate System: MGA Zone 56	Height Datum: A.H.D.

SCALE

1:500 @ A1



NOTE: Do not scale from this drawing.

CLIENT



ISDP



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SERVICE PROVIDERS

Foster + Partners
C O X **C J ARMS**
BATESSMART. **LCI**
aurecon **TTW**

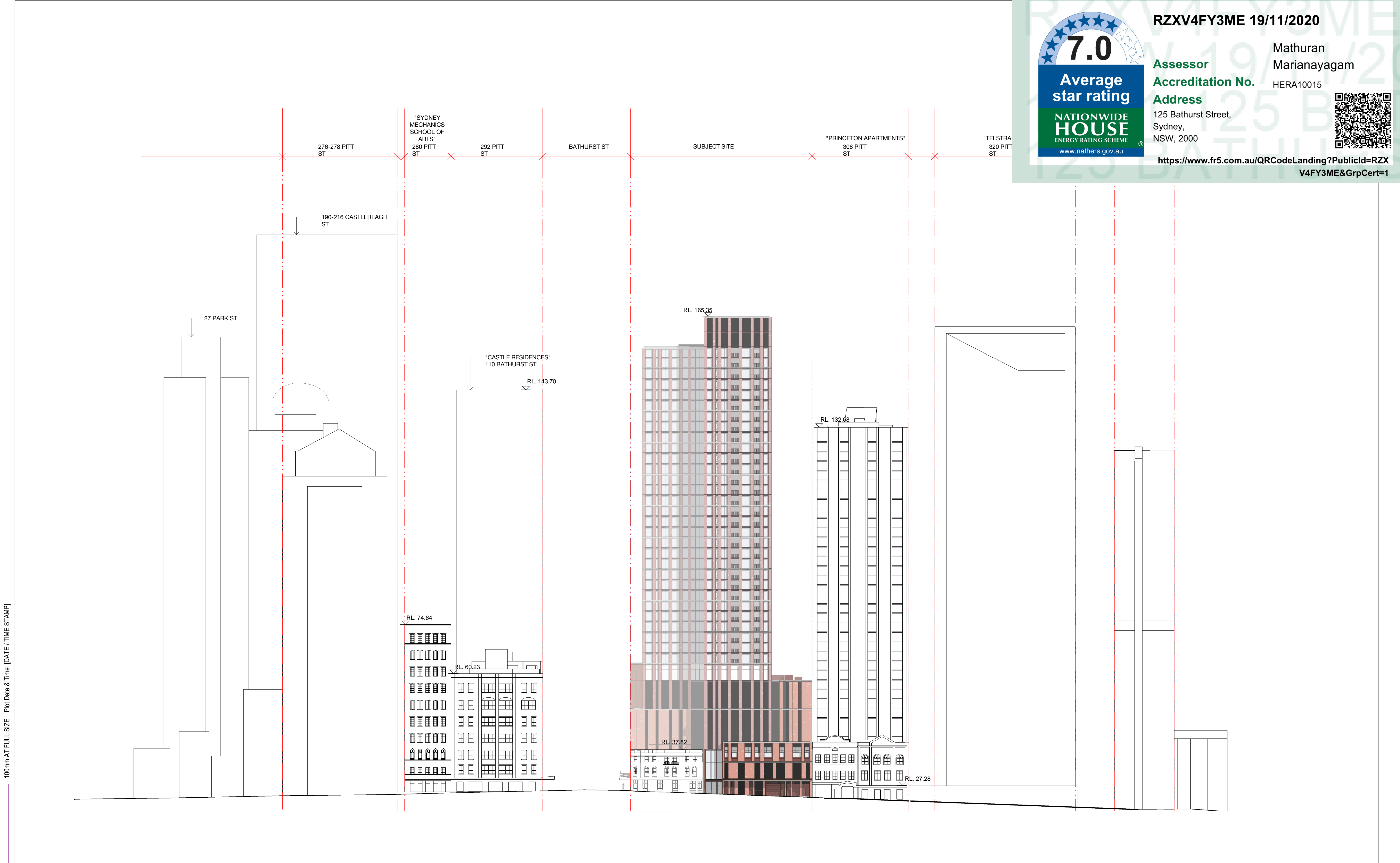
DRAWN _ _ _ Author _ _ _
DESIGNED _ _ _ Designer _ _ _
DRG CHECK _ _ _ Checker _ _ _
DESIGN CHECK _ _ _ Checker _ _ _
APPROVED _ _ _ Approver _ _ _

DRG No. SMCSWSPS-BAT-OSS-AT-DWG-960005

**PITT STREET SOUTH OVER
STATION DEVELOPMENT (PSS OSD)**
SSDA Issue
BATHURST STREET - STREETSCAPE ELEVATION

STATUS: SSDA Issue SHEET OF ©
METRO DRG No. REV . G

100mm A1 FULL SIZE Plot Date & Time [DATE / TIME STAMP]



RZXV4FY3ME 19/11/2020

Mathuran Marianayagam

HERA10015

Assessor Accreditation No.

Address 125 Bathurst Street, Sydney, NSW, 2000

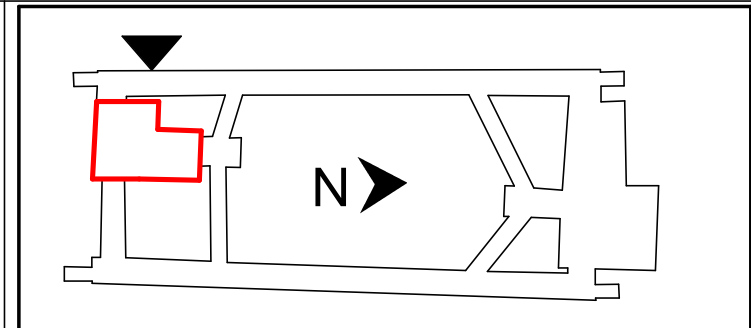
https://www.fr5.com.au/QRCodeLanding?PublicId=RZXV4FY3ME&GrpCert=1

F	12.11.20	SSDA Issue	
E	18.09.20	SSDA Issue	
D	07.04.20	Stage 2 SSD DA - For Landowners Consent	
C	31.03.20	SSDA Issue	
B	10.02.20	SSDA Issue	
B4	20.01.20	Preliminary - SSDA Issue	
B3	20.12.19	Preliminary - SSDA Issue	
B2	17.12.19	Preliminary - For Review and Coordination	
REV.	BY	DATE	DESCRIPTION
A1	Original	Co-ordinate System: MGA Zone 56	Height Datum: A.H.D.

SCALE

1:500 @ A1

NOTE: Do not scale from this drawing.



NOTE: Do not scale from this drawing.

CLIENT



ISDP



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DRG No. SMCSWSPS-BAT-OSS-AT-DWG-960006

PITT STREET SOUTH OVER STATION DEVELOPMENT (PSS OSD)

SSDA Issue

PITT STREET - STREETSCAPE ELEVATION

STATUS: SSDA Issue

SHEET OF

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METRO DRG No.

REV . F