

MODIFICATION REQUEST:
Griffith Community Private Hospital and
Murrumbidgee Clinical Teaching and
Learning Centre
41 – 45 Animoo Avenue, Griffith
Project Approval (MP11_0053 MOD 1)

- Modifications to the floor layout.



Secretary's Environmental Assessment Report
Section 75W of the *Environmental Planning and*
Assessment Act 1979

August 2014

© Crown copyright 2014
Published August 2014
NSW Department of Planning & Environment
www.planning.nsw.gov.au

Disclaimer:

While every reasonable effort has been made to ensure that this document is correct at the time of publication, the State of New South Wales, its agents and employees, disclaim any and all liability to any person in respect of anything or the consequences of anything done or omitted to be done in reliance upon the whole or any part of this document.

1. PROPOSED DEVELOPMENT AND SITE DESCRIPTION

1.1 Proposal

This report is an assessment of a modification application (MP11_0053 MOD 1) lodged on behalf of St Vincents & Mater Health Sydney Ltd (the proponent), seeking approval for amendments to the approved Griffith Community Private Hospital and Murrumbidgee Clinical Teaching and Learning Centre. The modification application involves amendments to the internal layout, consisting of an additional 381 sqm of floor area, new equipment sterilisation unit and provision of an ambulance bay.

1.2 Site Description and Surrounding Development

The subject site is located at 41 – 45 Animoo Avenue, on the corner of Animoo Avenue and Warrambool Street, Griffith (see **Figure 1**), approximately one kilometre north of the Griffith central business district. The site is currently vacant and lies adjacent to the existing Griffith Base Hospital. The site has an area of 5,590 sqm and a 115 metre primary frontage to Animoo Avenue.

In addition to the existing Griffith Base Hospital, the site is surrounded by a mixture of land uses, including associated medical centres and dental clinics, educational establishments, a place of public worship and residential dwellings.

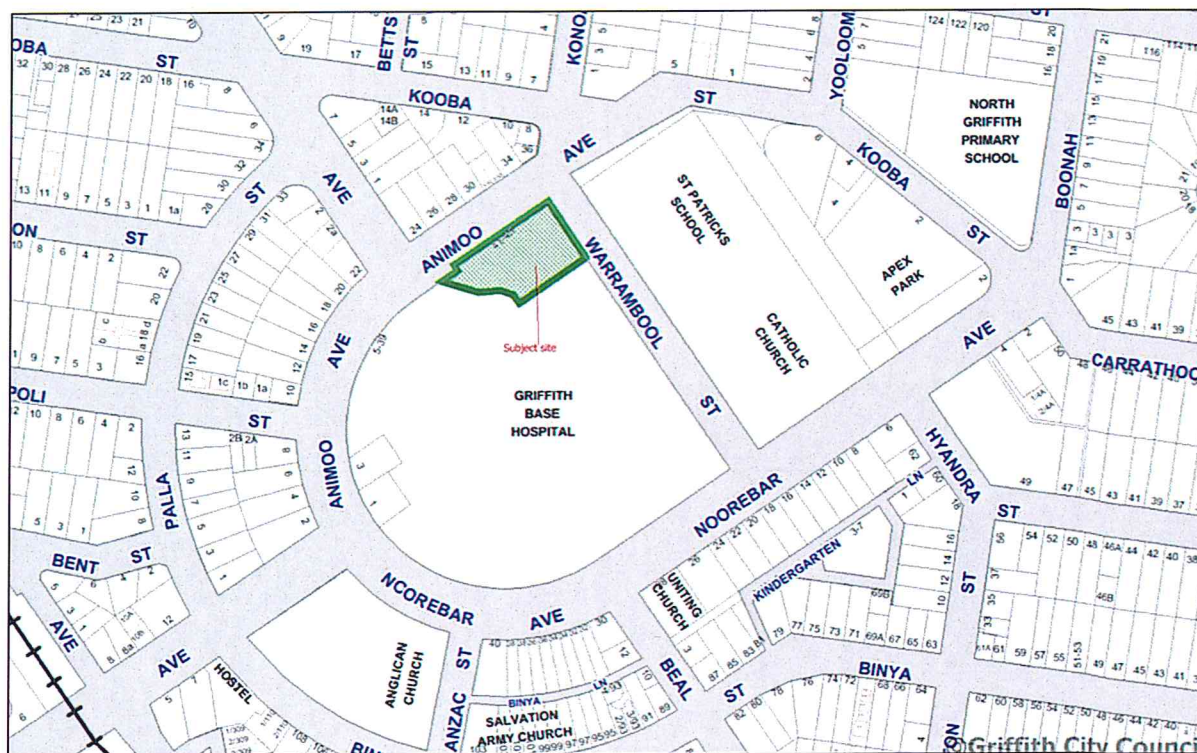


Figure 1: Site Location

1.3 Background

On 24 March 2011, the then Director General delegated his exhibition and assessment functions to Griffith City Council for project application MP11_0053, which sought approval for the construction of a three storey private hospital and teaching and learning centre, known as the Griffith Community Private Hospital and Murrumbidgee Clinical Teaching and Learning Centre, comprising:

- Stage 1: Murrumbidgee Clinical Teaching and Learning Centre, comprising shared clinical facilities for 59 medical, 17 nursing, 30 allied health professionals and eight vocational trainees per year from multiple universities.
- Stage 2: Griffith Community Private Hospital, comprising 20 overnight beds and 20 day beds and providing the following services:
 - orthopaedics;
 - gastroenterology;
 - ophthalmology;
 - ear nose and throat;
 - urology;
 - general surgery; and
 - general medicine.

The application was approved by the then Deputy Director-General, Development Assessment and Systems Approvals on 20 July 2012. **Figure 2** details the approved project layout.

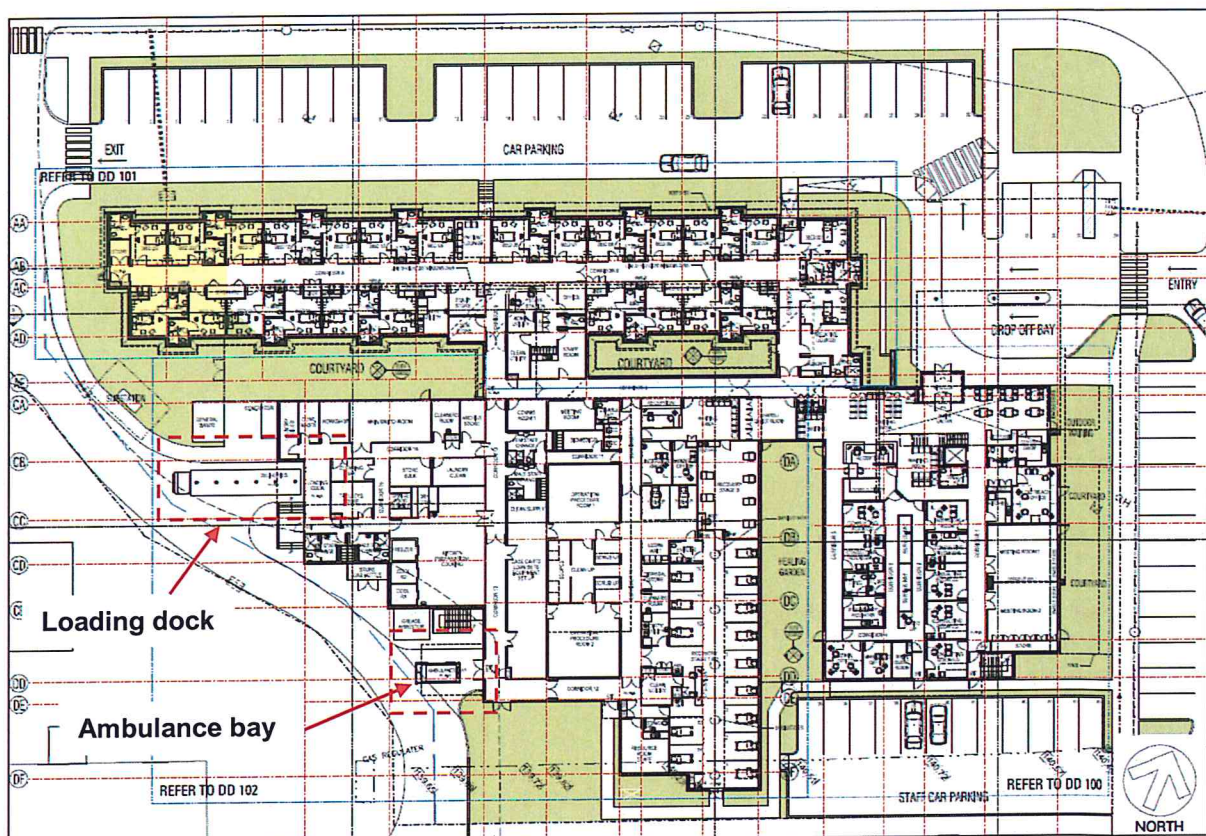


Figure 2: Approved Project Layout

2. PROPOSED MODIFICATION

2.1 Modification Description

The proposed modification seeks to amend the existing project approval to amend the layout and improve the operational functionality of the hospital and learning centre as follows:

- extension of the front lobby area (approximately 50 sqm);
- infill of the "Healing Garden" to allow for a Chapel and Pastor Care Office (approximately 54 sqm);

- infill of "Courtyard" space to permit an extension to a meeting room and lounge and the reconfiguration of a hallway (approximately 90 sqm);
- relocation of the loading dock (reduction of approximately 50 sqm);
- reconfiguration and minor extension of the kitchen and laundry area (approximately 35 sqm);
- reconfiguration of the "In-patient Cluster";
- reconfiguration of the "Procedure Cluster" including an extension (approximately 120 sqm) to allow for an equipment sterilisation unit to be located within the hospital; and
- provision of an ambulance bay in the north-eastern carpark / drop off area and one additional car parking space in northern car park.

The proposed amendments are sought to provide a more functional service layout and provide operational upgrades, including the installation of a new equipment sterilisation unit to address the inadequacy of existing services available at Griffith Base Hospital, deletion of the internal courtyard to improve circulation and internal layout; and to provide for the inclusion of a new space for occupation by a Pastor.

Figure 3 details the proposed amendments sought to the layout of the project.

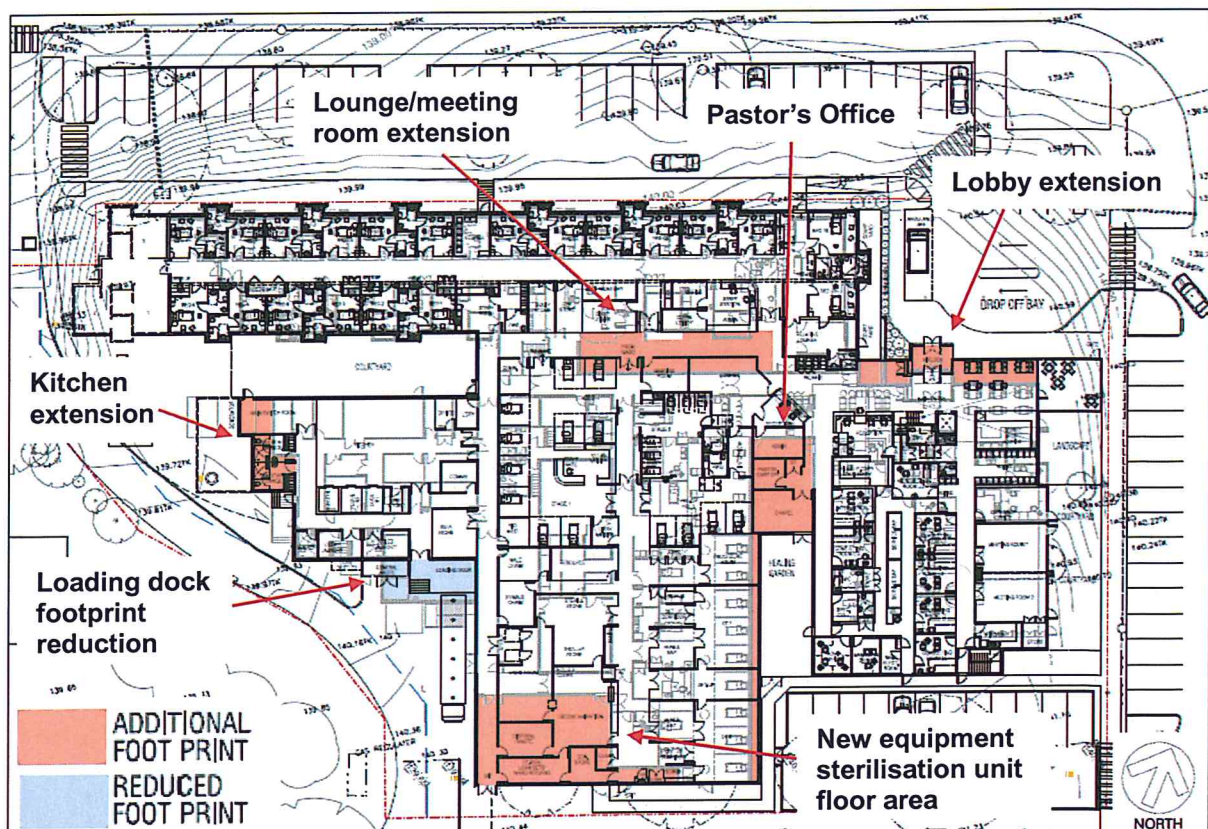


Figure 3: Proposed Layout Amendments

3. STATUTORY CONTEXT

3.1 Modification of the Minister's Approval

In accordance with clause 3 of Schedule 6A of the EP&A Act, section 75W of the Act as in force immediately before its repeal on 1 October 2011 and as modified by Schedule 6A, continues to apply to transitional Part 3A projects.

Section 75W(2) of the *Environmental Planning and Assessment Act 1979* (the EP&A Act) provides that a proponent may request the Minister to modify the Minister's approval of a project. The Minister's approval of a modification is not required if the approval of the project as modified would be consistent with the original approval. As the modification application seeks approval for amendments to the internal building layout, including a 381 sqm increase in floor area, the modification will require the Minister's approval.

3.2 Environmental Assessment Requirements

Section 75W(3) of the EP&A Act provides the Director-General with scope to issue Environmental Assessment Requirements (DGRs) that must be substantially complied with before the matter will be considered by the Minister. Environmental Assessment Requirements were not issued for this modification as the proponent has addressed the key issues in the modification request.

3.3 Delegated Authority

Under the Instrument of Delegation dated 14 September 2011, the Minister for Planning's powers and functions under section 75W of the EP&A Act have been delegated to Directors in the Development Assessment Systems and Approval Division, where:

- the relevant local council has not made an objection;
- a political disclosure statement has not been made; and
- there are less than 10 public submissions in the nature of objection.

Council has not objected, a political disclosure statement has not been made in relation of the proposed modification application and no public submissions have been received. Accordingly, the Director, Industry, Key Sites and Social Projects may determine the modification under delegated authority.

4. CONSULTATION AND SUBMISSIONS

4.1 Exhibition and Submissions

Under Section 75X(2)(f) of the EP&A Act and clause 8G of the EP&A Regulation 2000, the modification request was made available on the department's website. Due to the minor nature of the proposed modification, the application was not publically exhibited. The department referred the modification request to Griffith City Council (council) and Murrumbidgee Local Area Health District (MLHD).

Comments received from council raised no objection to the proposed amendments, advising it had no further recommended conditions.

Comments received from MLHD noted they could not clearly define the entry, exit and traffic management between the adjacent existing base hospital and proposed development, requesting that the modification application be supported by the provision of a traffic management plan.

No submissions were received from the public.

5. ASSESSMENT

The department considers the key assessment issues associated with the modification request relate to built form; landscaping; parking and access; and development contributions.

5.1 Built Form

The proponent advises that the proposed modifications to the internal layout are required to improve the service provisions and functionality of the new hospital, particularly the provision of the new equipment sterilisation unit. The proposed amendments would increase the floor area from 2,895 sqm to 3,276 sqm (+381 sqm).

The largest floor area increases are proposed to facilitate a new equipment sterilisation unit (approx. +120 sqm) and Pastor's office (approx. +54 sqm), which were not previously considered in the original design of the hospital, and an extension to the meeting room and lounge room by infilling the internal courtyard area (approx. +90 sqm) (see **Figure 3**). The remainder of the proposed internal ground floor amendments are minor and result in inconsequential changes to the approved project.

Modifications to the first floor of the teaching and learning centre are considered minor, with no additional teaching/learning capacity or students sought by this modification application (see **Figures 4 and 5**). Proposed amendments include minor increases in floor area to the staff lounge, kitchenette and student resources rooms.

Externally visible building amendments are located at the southern corner (new floor area to accommodate the new equipment sterilisation unit) and along the south-western elevation (amended layout to accommodate the rearrangement of the kitchen/laundry area and loading dock layout) (see **Figure 6 and 7**). The application also seeks to amend the location of the rooftop plant enclosure from the centre of the roof to the south-eastern edge of the building. The proposed relocation includes a minor increase to the size of the plant enclosure and relocation of the plant access staircase, modifying the appearance of the building, predominantly at its rear, south-eastern elevation (see **Figures 4 to 9**).

These proposed amendments do not have an immediate interface with the public domain and would not significantly modify the bulk and scale of the development's built form. The more noticeable amendments are located towards the rear of the approved development, adjacent to the existing Griffith Base Hospital, and would generally not be visible from the existing residential dwellings opposite the site on Animoo Avenue.

The department considers the proposed modifications to be minor in nature that will not give rise to any additional adverse amenity impacts. The proposed modifications will improve the provision of health services available to the local and surrounding community and similarly improve the functionality of the hospital's operation.

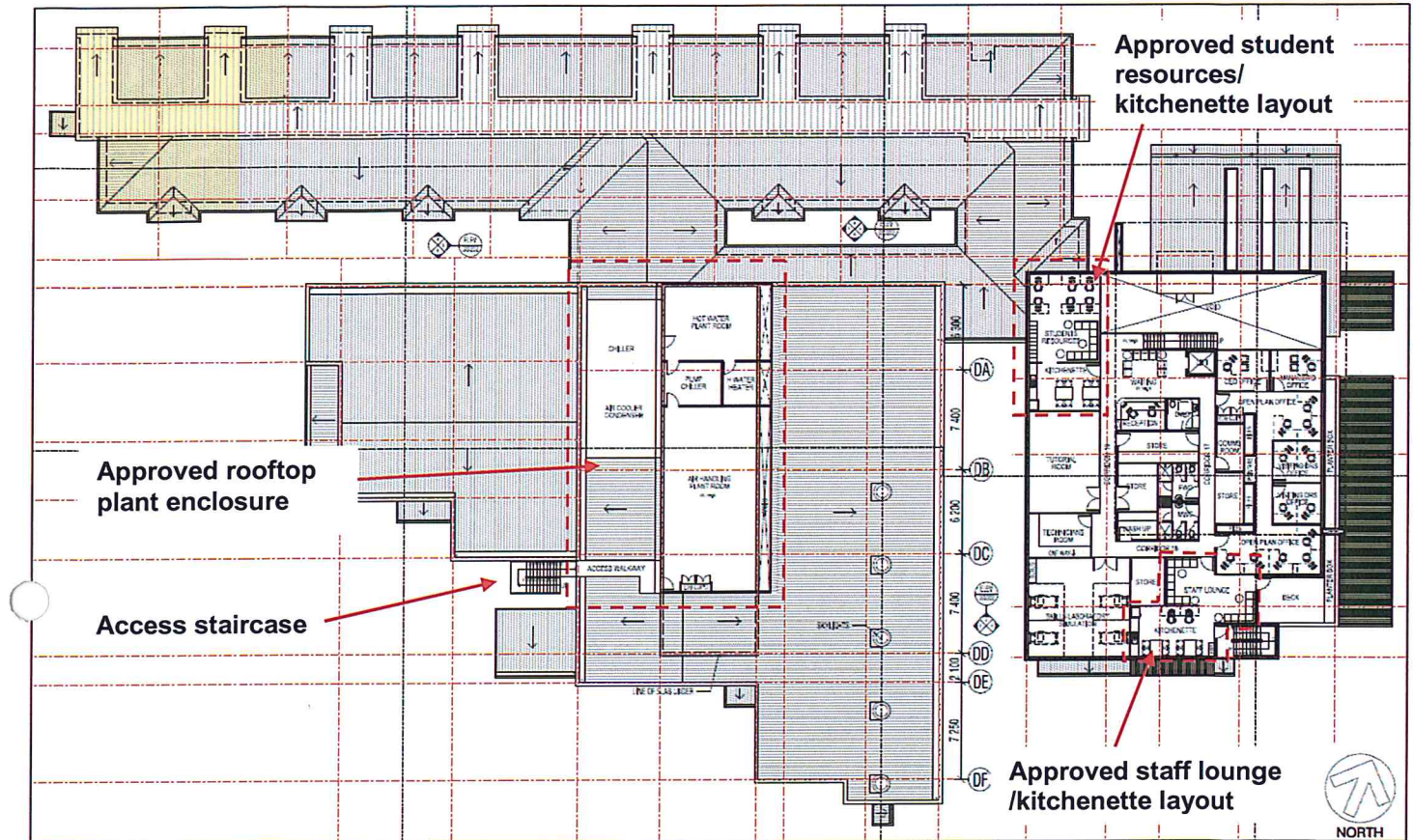


Figure 4: Approved First Floor

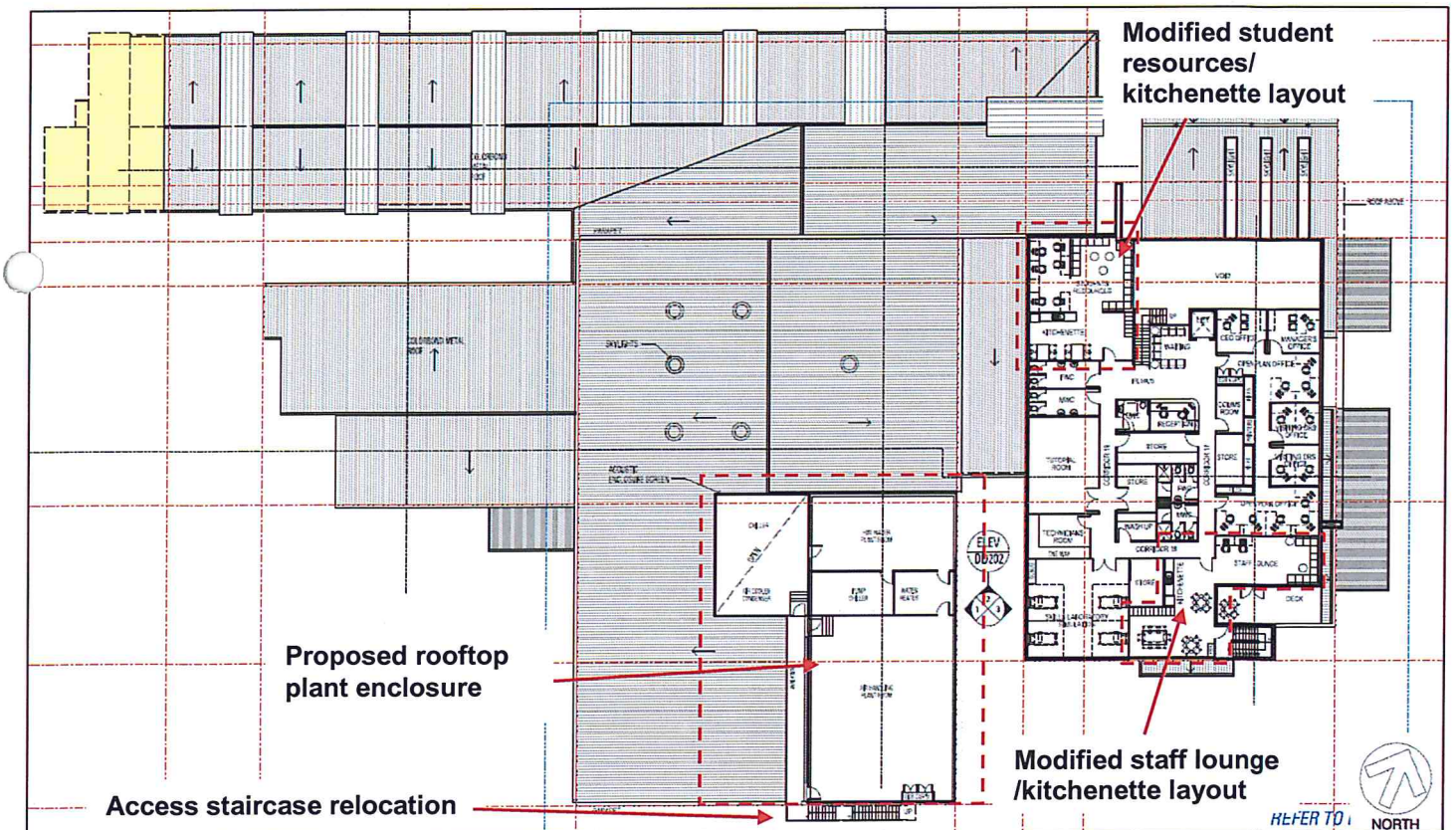


Figure 5: Proposed First Floor

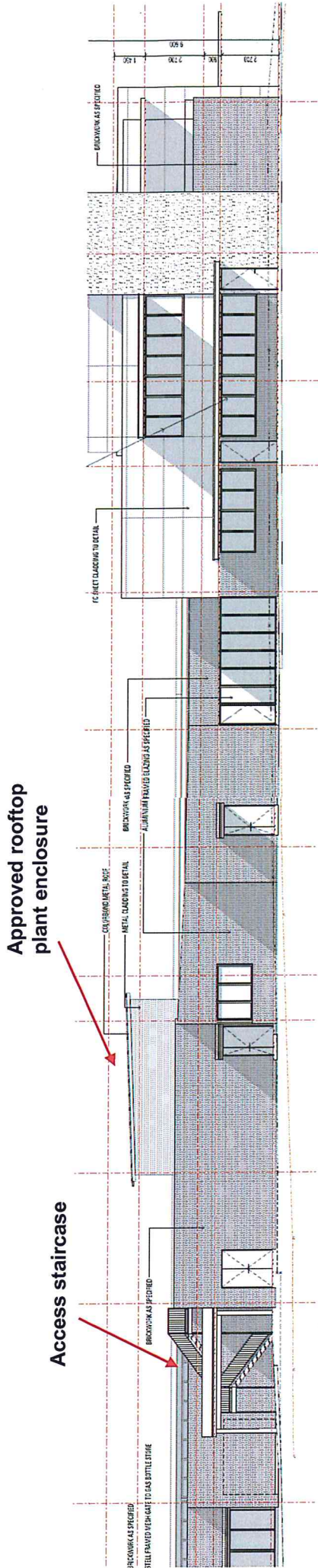


Figure 6: Approved South-eastern Elevation

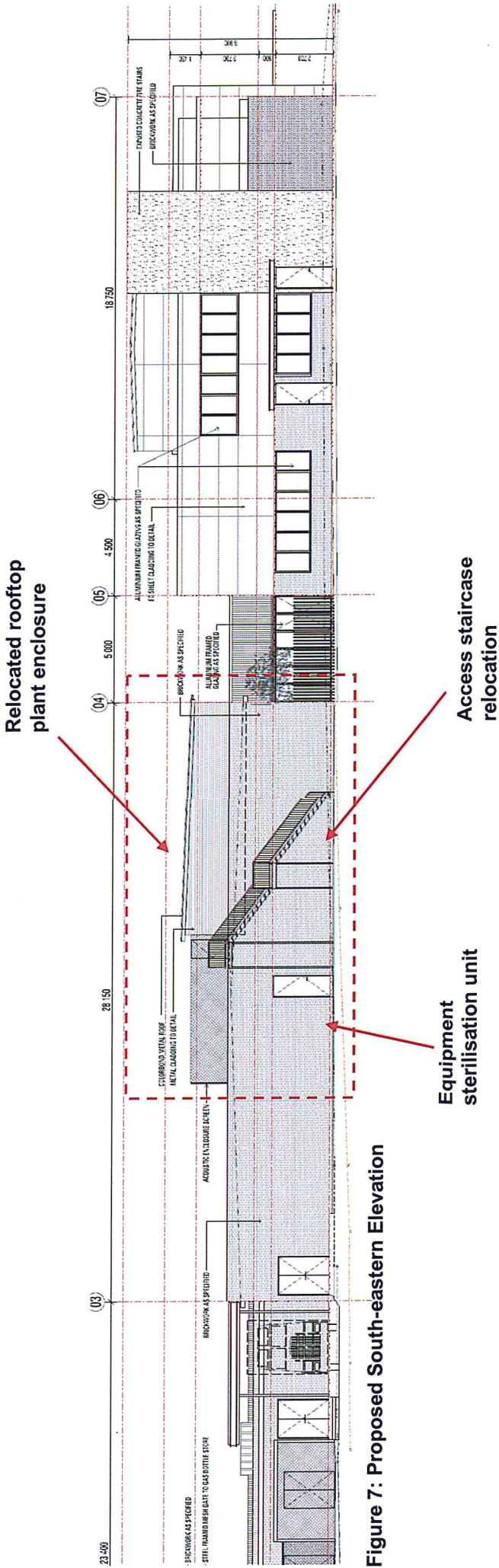


Figure 7: Proposed South-eastern Elevation

5.2 Landscaping

The proposed layout modifications result in a minor reduction (-234.2 sqm) to the approved landscape area (from 1,159 sqm to 924.8 sqm), mainly limited to the courtyard/healing gardens. However, the design and character of the proposed landscape design remain generally consistent with the approved landscaping scheme (see **Figures 10** and **11**).

Despite the proposed amendments to the internal landscaped courtyards (identified as areas **1** and **2** in **Figure 10**), each hospital bed retains a green outlook and satisfactory access to these respite spaces is maintained. Furthermore, the reduction in scale to the healing courtyard (area **2**) is compensated through the proposed inclusion of a dedicated 'Chapel', which itself can provide patients and family alternate forms of respite and healing.

The proposed deletion of the south-eastern pocket park (identified as area **3** in **Figure 10**) will enable the provision of additional floor area for the inclusion of a new equipment sterilisation unit, the main purpose for the modification application. While the deletion of the pocket park will remove an area designated for passive open space for staff, alternate open space is available along the western edge of the building or adjacent to the proposed café space at the entrance to the hospital. Furthermore, large areas of open space are located within close proximity to the hospital site that would satisfactorily cater for passive recreation.

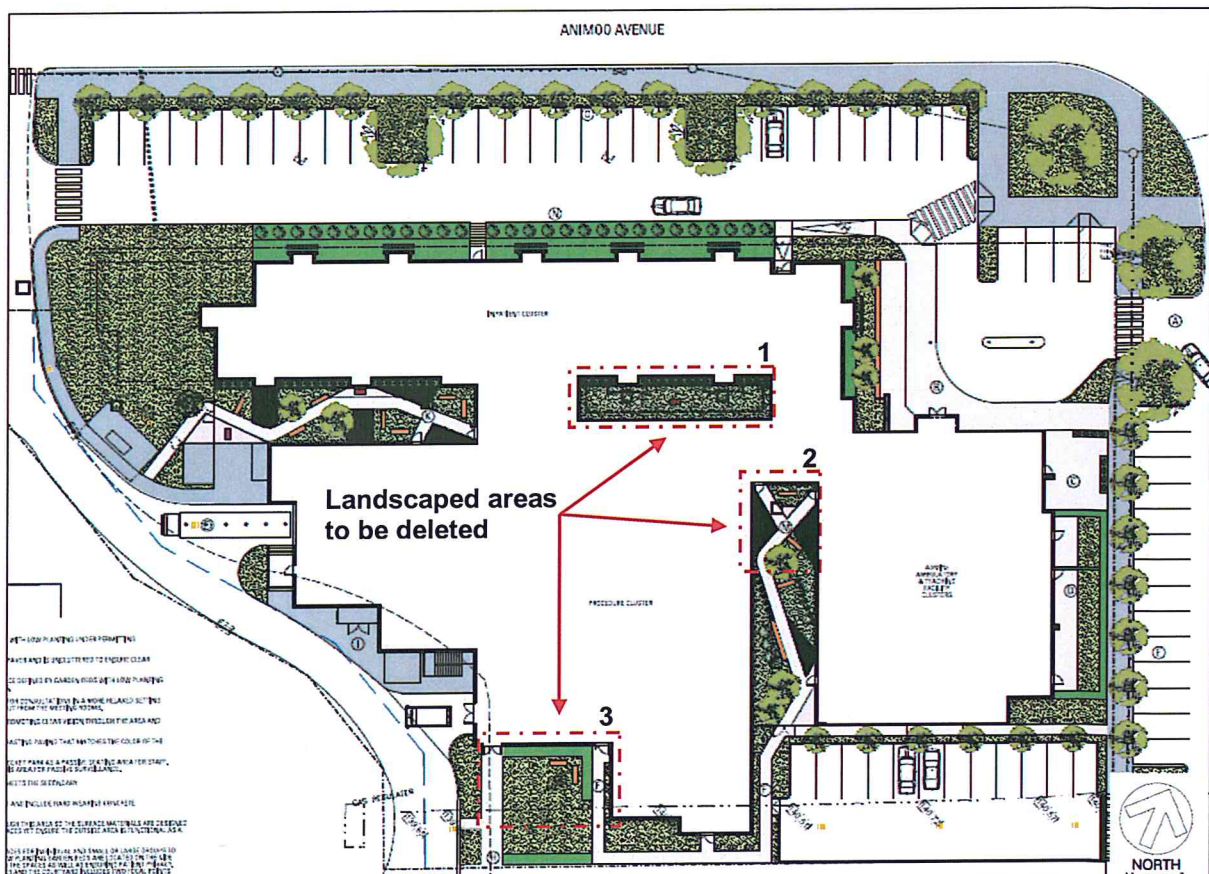


Figure 10: Approved Landscape Plan

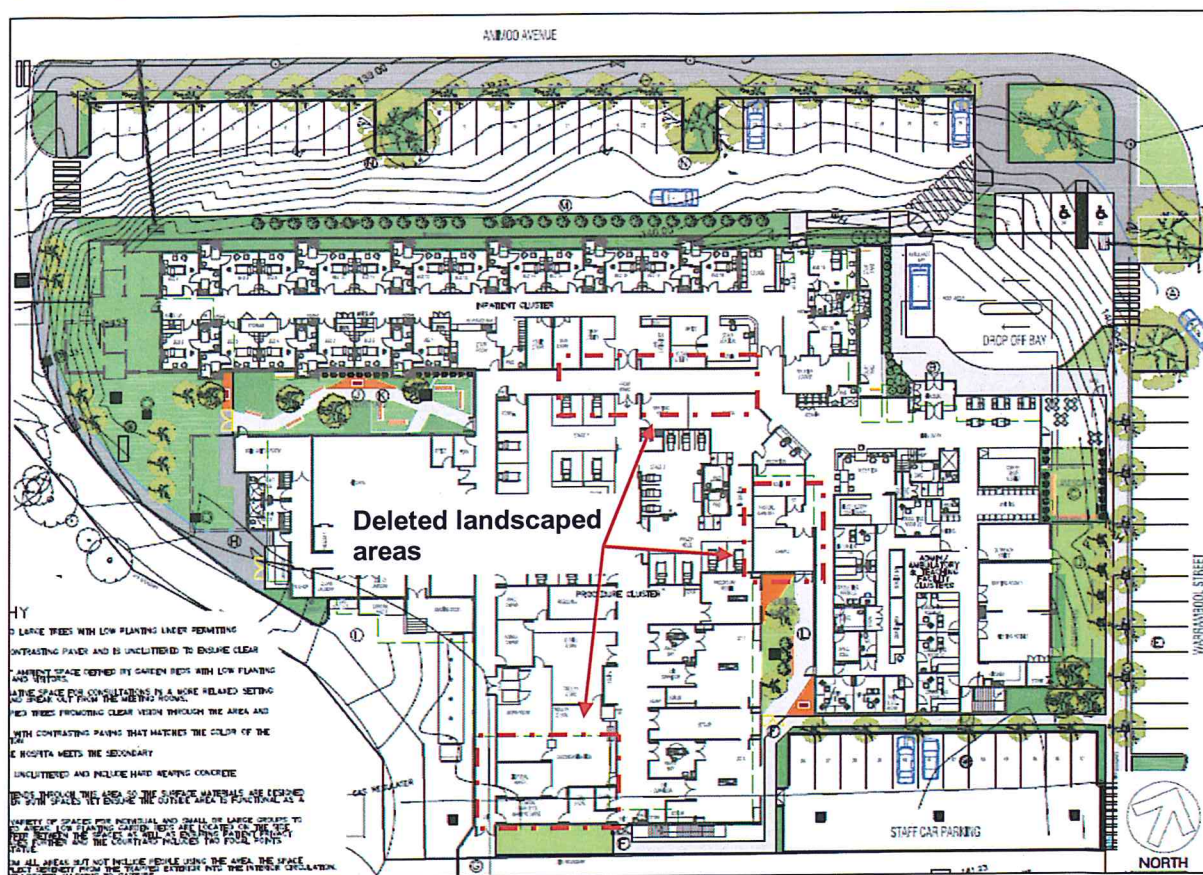


Figure 11: Proposed Landscape Plan

In view of the above, the department is satisfied that the proposed modifications to the approved landscaping scheme are minor and that the revised landscape design will adequately cater for the development, as amended.

5.3 Parking and Access

5.3.1 Parking

The proponent states that the proposed increase in floor area is not expected to increase the car parking demand generated, noting that the approved number hospital beds and teaching rooms, upon which the previous parking assessment was based, are not proposed to be modified. Further, no objections were raised by council or the MLHD in relation to the proponent's position.

Notwithstanding, the proponent has indicated that one additional parking space would be provided within the general parking area fronting Animoo Avenue, accommodating the additional space through a minor reduction to the car park landscaping. The proposed additional parking space would increase the total amount of car parking provided to 47 spaces.

The department considers the proponent's argument to be satisfactory. While the proposed amendments will result in additional floor area, the proposed new floor area is sought to improve the development's operational functionality, and does not give rise to additional hospital beds, operating rooms, consulting rooms, teaching room, or number of staff.

The department considers the proposed provision of 47 car parking spaces to be satisfactory and recommends that condition *F3. Traffic & Parking* be amended accordingly.

5.3.2 Access

The application proposes to amend the location and arrangement of the loading dock and reposition the ambulance bay from the western side of the private hospital to adjacent to its front entrance (see **Figures 2 and 12**). The MLHD requested that a traffic management plan be provided to enable the access arrangement implications of the proposed modifications to be fully assessed.

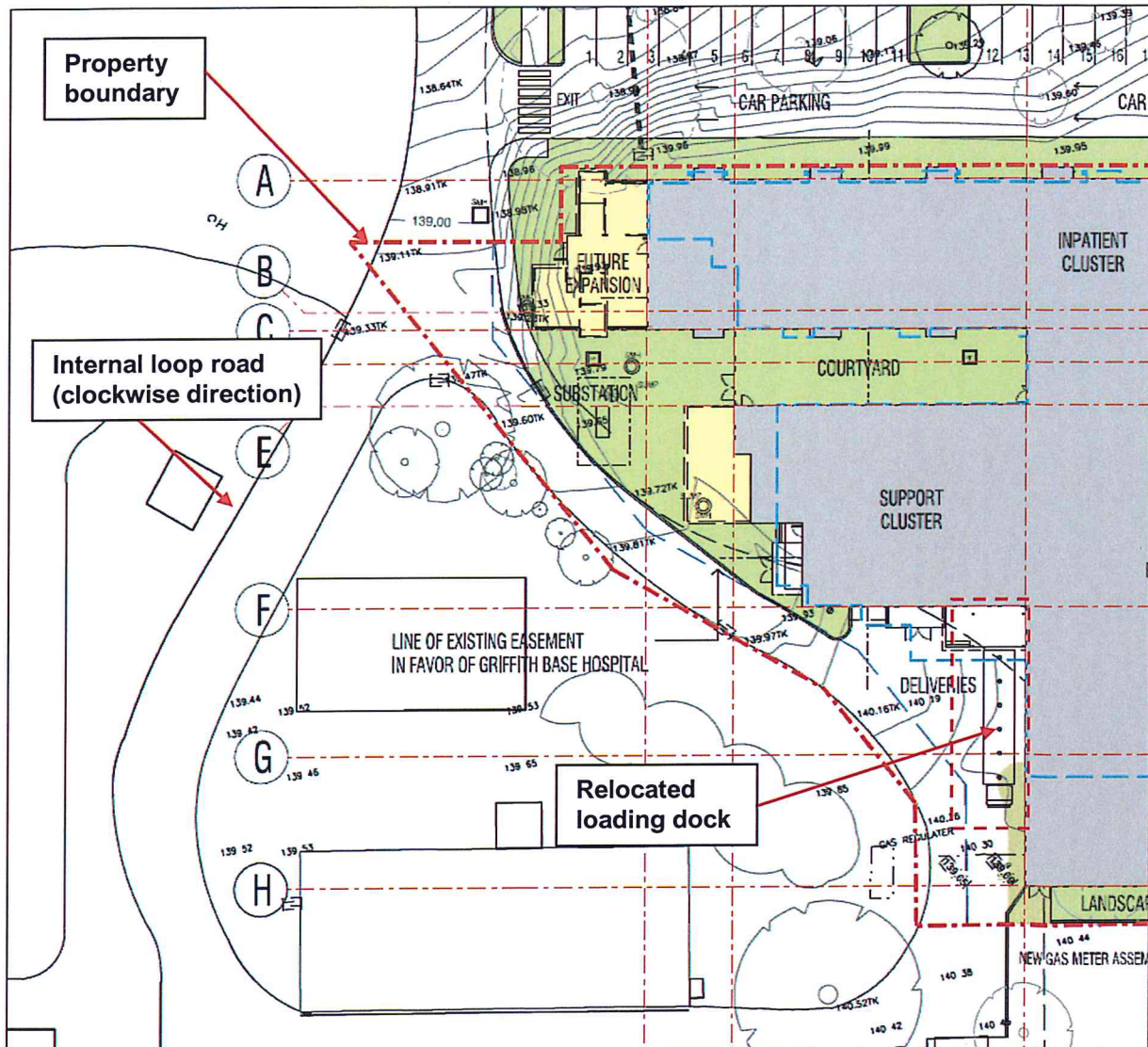


Figure 12: Proposed loading dock location and layout

Access arrangements approved under the original project approval are not proposed to be amended by this application. Further, the original assessment of access arrangements for loading services had regard to the existing internal one-way loop road (clockwise direction) off Animoo Avenue, with medium ridged vehicles up to 8.8 m in length, catered for in the approved design.

To ensure satisfactory access arrangements were established, a number of conditions were imposed on the original approval, including the requirement that

turning path diagram details be submitted to council confirming that the swept path of the largest vehicle is capable of being accommodated, and that prior to an occupation certificate being issued, a right of carriageway must be established for vehicle access from Animoo Avenue to the subject private hospital site and existing base hospital site.

Having regard to the original approved location of the loading dock, the department considers that the proposed relocated position of the loading dock improves the service vehicle access to and from the dock area. In addition to the existing conditions imposed as outlined above and further to the comments received from the MLHD, the department recommends a new condition be imposed requiring the preparation of a traffic management plan (in consultation with MLHD), prior to the issue of a construction certificate.

In view of the above, the department considers that the existing and proposed conditions of approval will ensure that satisfactory service vehicle access arrangements, for both the private hospital and existing base hospital, can be achieved and maintained.

5.4 Development Contributions

The proponent submitted a revised quantity surveyors report with the modification application, indicating that the capital investment value (CIV) of the approved development had increased from \$15,875,000 to \$18,647,000.

Council's Section 94A Development Contributions Plan 2010 requires a contribution of one per cent of the CIV and was imposed on the original project approval (condition C10), specifying staged payments for Phase One and Phase Two, being \$44,520 and \$114,230, respectively.

In view of the revised CIV for the development, the department considers it appropriate to amend condition C10. Accordingly, amended development contributions for the project are recommended as follows:

- Payment for Phase One shall be **\$52,212** (1% of the proposed cost of carrying out the development).
- Payment for Phase Two shall be **\$134,258** (1% of the proposed cost of carrying out the development).

The department does not consider that the proposed amendments will result in further demand or loading on infrastructure in terms of water consumption and sewage discharge. In this regard, it does not consider that additional section 64 contributions are necessary over and above that which is required by condition C11.

6. CONCLUSION

The modification request seeks approval for minor modifications to the layout of the private hospital and teaching and learning centre to improve its functionality and operation.

The department has reviewed the proponent's modification request and supporting documentation and considers the key issues associated with the request to be built

form, landscaping, parking and development contributions. The department is satisfied that the amendments are minor and well integrated into the design of the development. In assessing the key issues, the department has also taken into consideration favourable comments received from the council.

The project will continue to be in the public interest and its construction and operational impacts can be appropriately managed and mitigated in accordance with the statement of commitments and conditions of approval. Consequently, the department is satisfied that the modification should be approved.

7. RECOMMENDATION

It is recommended that the Director, Industry, Key Sites and Social Projects:

- a) **consider** the findings and recommendations of this report;
- b) **approve** the modifications, subject to conditions, under section 75W of the *Environmental Planning and Assessment Act, 1979*, and;
- c) **sign** the attached instrument of modification approval (Appendix D).

Prepared by:



Peter McManus
Team Leader
Industry, Social Projects & Key Sites

6/8/14

Endorsed by:



David Gibson
Team Leader
Industry, Social Projects & Key Sites



Daniel Keary
Director
Industry, Social Projects & Key Sites

APPENDIX A MODIFICATION REQUEST

See the department's website at:

http://majorprojects.planning.nsw.gov.au/index.pl?action=view_job&job_id=6595

APPENDIX B SUBMISSIONS

See the department's website at:

http://majorprojects.planning.nsw.gov.au/index.pl?action=view_job&job_id=6595

APPENDIX C RECOMMENDED MODIFYING INSTRUMENT
