


WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
1.0 INTRODUCTION			
1.1 The Purpose of this Development Control Plan	<p><i>This Development Control Plan (DCP) has been prepared in accordance with Part 3, Division 6 of the Environmental Planning and Assessment Act 1979 (the Act), and Part 3 of the Environmental Planning and Assessment Regulation 2000. The DCP provides more detailed provisions to expand upon the State Environmental Planning Policy (Major Projects) 2005 (Amendment No. 24) for development of the Warnervale Town Centre (WTC) Site.</i></p> <p><i>Under Section 79C of the Act, the consent authority is required to take into consideration the relevant provisions of this DCP in determining an application for development of the WTC.</i></p>	Please refer to section 1.5 of the EA for detailed discussion of the proposed development and an assessment against some of the provisions of the Warnervale Town Centre Development Control Plan (WTCDCP) which are requested to be varied. The proponent is aware of the purpose of this DCP.	√
1.2 Name of Plan and Commencement	<i>This plan is called the Warnervale Town Centre Development Control Plan (WTC DCP) 2008. This DCP was adopted by the Director-General of Planning on 11 November 2008.</i>	The proponent is aware of the name and commencement of this DCP.	√
1.3 Land and Development Covered by this Plan	<i>This DCP applies to all development on certain land at Warnervale as shown in Figure 1.1. This DCP applies to all development permissible on the land covered by this plan under State Environmental Planning Policy (Major Projects) 2005 (Amendment No. 24).</i>	The site of the proposed development falls within the area shown in Figure 1.1 as such this DCP applies.	√

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REQUIREMENT	TPG COMMENT	COMPLIES
 <p>FIGURE 1.1 LAND AND DEVELOPMENT COVERED BY THIS PLAN</p>		
<p>1.4 Relationship with other planning documents</p> <p><i>This DCP should be read in conjunction with State Environmental Planning Policy (Major Projects) 2005 (Amendment No. 24) and other relevant state planning policies. This DCP should also be read in conjunction with relevant policies and chapters of Wyong Shire DCP 2005 (see Section 10.5). In the event of any inconsistency between this DCP and any other DCP or policy of council, this DCP will prevail.</i></p> <p><i>State Environmental Planning Policies (SEPPs) apply to the WTC, where relevant.</i></p>	<p>The proponent is aware of the relationship of this DCP with other planning documents.</p>	<p>√</p>

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	<i>The NSW Government's State Plan and Metropolitan Strategy and the Central Coast Regional Strategy 2006-31 provide the strategic planning framework and context to this DCP.</i>		
1.5 The consent authority	<p><i>Wyong Shire Council is the consent authority for all development on the WTC, except for Major Infrastructure and Other Projects as provided under Part 3A of the EP&A Act 1979 and Schedule 3 of the Major Projects SEPP.</i></p> <p><i>Part 3A developments comprise retail premises within the WTC with a capital investment value of more than \$20 million and a floor space area of more than 5,000 square metres. For those developments, the Minister for Planning will be the consent authority.</i></p> <p><i>Compliance with the provisions of this DCP does not necessarily guarantee that consent will be granted to a Development Application (DA). Every DA will be assessed with regard to the aims and objectives of the Act, other matters listed in section 79C of the Act, this DCP, and any other relevant and applicable policies adopted by the consent authority.</i></p> <p><i>The consent authority will give high priority to consistent application of the provisions of this DCP.</i></p>	The proponent is aware of the various consent authorities.	√
1.6 Explanatory notes	<p><i>Terms used in this DCP are defined in the State Environmental Planning Policy (Major Projects) 2005 (Amendment No. 24) and in the Glossary in Section 10 of this DCP. Section 10 also provides guidance to applicants on the lodgement of DAs.</i></p> <p><i>Further advice on lodgement procedures can be obtained from Council, additional explanatory notes and policies issued by Council, and from the Department of Planning.</i></p>	The proponent is aware of the explanatory notes throughout this DCP.	√
1.7 Monitoring and	<i>The Department of Planning is required to keep the SEPP and</i>	The proponent is aware of the role of the	√

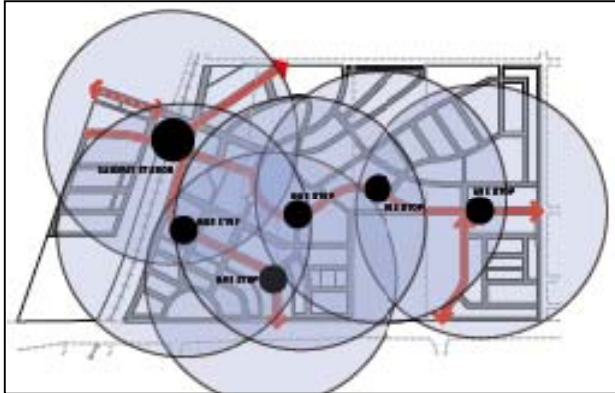
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REQUIREMENT		TPG COMMENT	COMPLIES
review	<p><i>DCP under regular and periodic review under Section 73 of the Act. The Department of Planning is committed to this process to ensure that the Plans continue to be useful and relevant.</i></p> <p><i>The Department of Planning will review the SEPP and DCP every five years to ensure the objects of the Act are achieved to the maximum extent possible, having regard to relevant changing circumstances.</i></p>	Department of Planning in monitoring and reviewing the SEPP and this DCP.	
2. THE WARNERVLE PRECINCT			
2.2 Vision and development objectives	<p><i>The WTC will be a compact, high quality urban area accessible to pedestrians and public transport, retaining its vegetated and natural characteristics and offering high quality living environment. The WTC will encompass a complete community, incorporating residential, employment, entertainment and community functions.</i></p> <p><i>A broad range of dwelling types will be provided across the WTC, with higher housing densities than those traditionally delivered in Wyong Shire. The focus will be on attractive residential streetscapes, structured around well connected, walkable neighbourhoods.</i></p> <p><i>The Town Centre Civic Precinct will become the focal point for community interaction, supported by civic and community facilities and retailing. Local work and lifestyle options will be provided through a range of retail, commercial, civic, community and home based activities. The Town Centre Civic Precinct and Hill Top Park will be distinctive urban areas capitalising on the aesthetic, landscape, biodiversity and conservation values of the WTC.</i></p> <p><i>The key objectives for the WTC are:</i></p> <ul style="list-style-type: none"> <i>- Integration of regional community facilities with the Town Centre.</i> 	The proponent is aware of the vision and development objectives for the WTC. The proposed development is considered to be consistent with the key objectives for the WTC.	√


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REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> - <i>To create a vibrant centre for housing, jobs, services, community activities and entertainment.</i> - <i>To provide a Main Street with activated street frontage on both sides.</i> - <i>To create a town centre form that capitalises on the WTC's unique, hill top location and superior environmental and visual features.</i> - <i>To promote a town centre as a multi-destination hub which encourages alternative transport modes (eg. buses, walking and cycling).</i> - <i>To provide a variety of housing types to cater for different household types and demographics and to improve affordability.</i> - <i>To increase local employment opportunities.</i> - <i>To create a vibrant, pleasant and safe Town Centre for residents and visitors.</i> - <i>To provide good accessibility to public transport.</i> - <i>To promote recreation and cultural opportunities in the form of parks and community facilities.</i> - <i>To provide an appropriate urban form in a treed setting preserving views to and from the Town Centre Civic Precinct.</i> - <i>To facilitate urban development that achieves highest environmental sustainability objectives.</i> - <i>To achieve a high standard public domain and architectural design quality.</i> 		

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	REQUIREMENT	TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> - To promote housing that provides for a high standard of residential amenity. - To maximise opportunities for future local residents to have good, safe access to local parks and nature reserves. - To protect and enhance riparian corridors, ridgeline vegetation, significant trees and local vegetation. Provide comfortable access grade throughout the Town Centre to ensure equity in accessibility. 		
2.3 Town centre design principles	<p>The following principles have informed the preparation of this DCP and the rationale behind the objectives and controls.</p> <p>Well connected The WTC will be serviced by a new railway station and bus routes to surrounding districts (see Figure 2.3).</p>  <p>FIGURE 2.3: WELL CONNECTED</p> <p>Protection of the environment Protected riparian corridors, nature conservation areas and habitat trees will contribute to the</p>	<p>The proponent is aware of the rationale behind the town centre design principles, the proposed development is considered to be consistent with these principles.</p>	<p>√</p>

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REQUIREMENT	TPG COMMENT	COMPLIES
<p>landscape character of the WTC (see Figure 2.4).</p>  <p>FIGURE 2.4: PROTECTION OF THE ENVIRONMENT</p> <p><i>Hill top location</i></p> <p><i>The Town Centre Civic Precinct will be established on the elevated plateau focusing on the hill top park (see Figure 2.5).</i></p>		

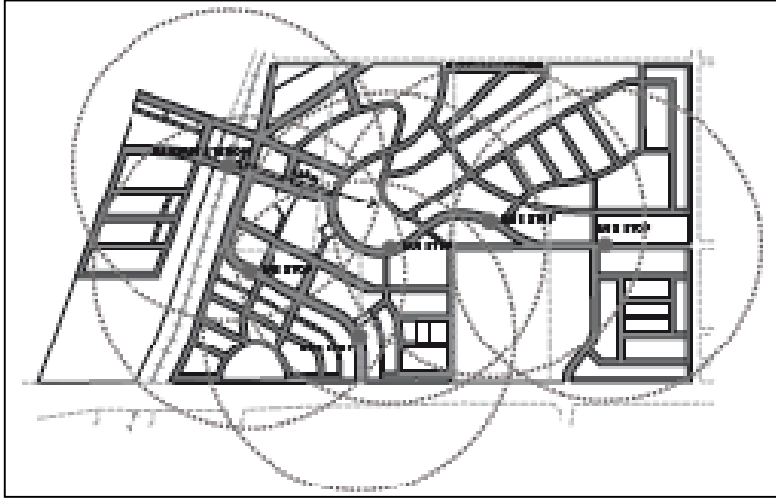
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<div data-bbox="539 408 1314 825"> </div> <div data-bbox="539 842 956 871"> <p>FIGURE 2.5: HILL TOP LOCATION</p> </div> <div data-bbox="528 888 1335 979"> <p><i>Complementary mix of uses The Town Centre will have a good provision of community, retail and entertainment facilities (see Figure 2.6).</i></p> </div>		


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REQUIREMENT	TPG COMMENT	COMPLIES
<div data-bbox="539 411 1312 826"> <p>The diagram illustrates a town center layout with a central 'RECREATION' area (purple circle) and an 'EMPLOYMENT CENTRE' (blue rectangle). Surrounding these are several 'PARK' areas (green) and a 'SCHOOL' (yellow rectangle). The streets are depicted as a network of lines, some straight and some curved, connecting the different land uses.</p> </div> <p>FIGURE 2.6: MIX OF USES</p> <p><i>Walkable communities</i></p> <p><i>The permeable street layout will promote walking to local services and attractions. (see Figure 2.7).</i></p>		

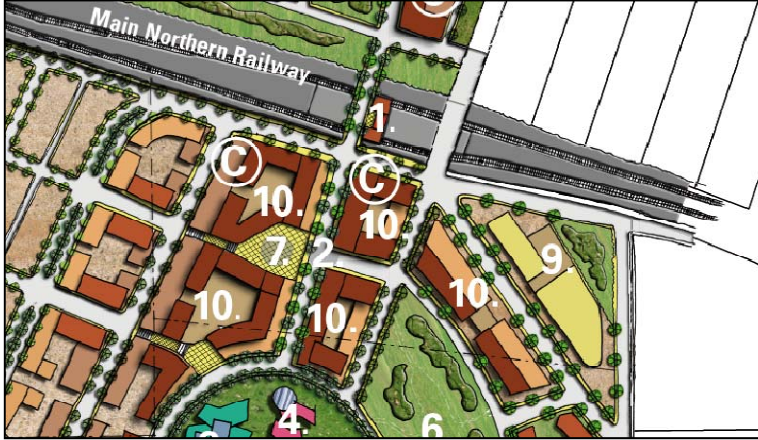
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REQUIREMENT	TPG COMMENT	COMPLIES
<div data-bbox="539 411 1312 911">  </div> <div data-bbox="539 922 1041 959"> <p>FIGURE 2.7: WALKABLE COMMUNITIES</p> </div> <div data-bbox="528 973 1335 1112"> <p><i>High quality public domain and architecture</i></p> <p><i>Attractive public streets, squares and parks and well designed buildings will create a distinct town centre character (see Figure 2.8).</i></p> </div>		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	 <p>FIGURE 2.8: HIGH QUALITY PUBLIC DOMAIN & ARCHITECTURE</p>		

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REQUIREMENT	TPG COMMENT	COMPLIES												
 <p>FIGURE 2.10 TOWN CENTRE PLAN</p> <table border="0"> <tr> <td>1. Railway station</td><td>5. Riparian corridor</td><td>9. Bulky goods area</td></tr> <tr> <td>2. High Street</td><td>6. Ridge Parks</td><td>10. Mixed use centre - with residential over</td></tr> <tr> <td>3. Aquatic centre</td><td>7. Civic Square</td><td>(C) Commuter carperk (indicative location)</td></tr> <tr> <td>4. Community centre</td><td>8. Heath Wrinklewort Reserve</td><td></td></tr> </table> <p>Figure 2.10 Extract.</p>	1. Railway station	5. Riparian corridor	9. Bulky goods area	2. High Street	6. Ridge Parks	10. Mixed use centre - with residential over	3. Aquatic centre	7. Civic Square	(C) Commuter carperk (indicative location)	4. Community centre	8. Heath Wrinklewort Reserve			
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4. Community centre	8. Heath Wrinklewort Reserve													
<p>2.5 Town Centre Character Precincts</p> <p>The WTC has the following distinct character precincts as shown in Figure 2.11:</p> <ul style="list-style-type: none"> a) Town Centre Civic Precinct b) Town Centre Northern Precinct c) Town Centre Western Precinct d) Residential Northern Precinct e) Residential Western, Eastern and Southern Precincts 	<p>As illustrated in Figure 2.11 the site of the proposed development falls within the Town Centre Precinct, Town Centre Northern Precinct and the Open Space/conservation areas; the proposed development is considered to be consistent with the character objectives for each area.</p>													

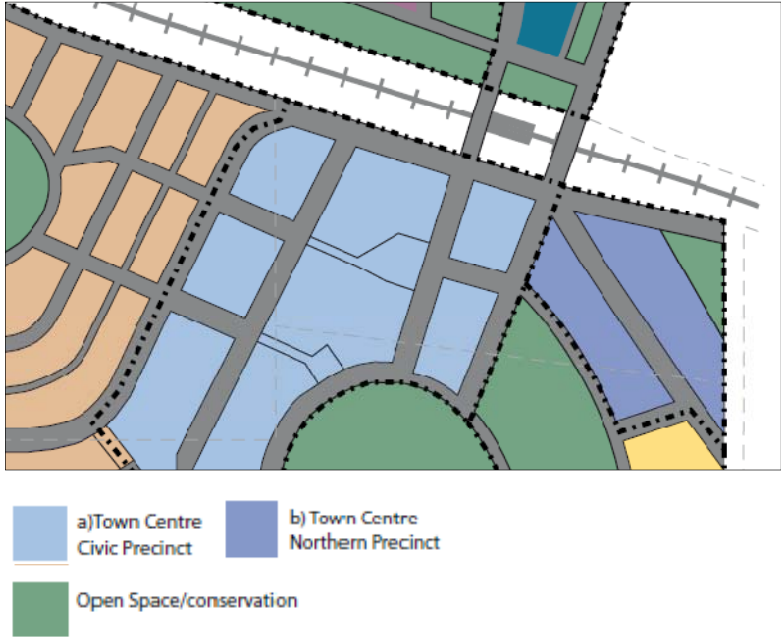
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REQUIREMENT	TPG COMMENT	COMPLIES
<p>f) <i>Local Parks, Conservation Areas</i></p> <p>g) <i>Education/School</i></p> <p>h) <i>and Community Facilities</i></p> <p><i>The precinct character objectives are described below, and the controls in this DCP provide specific measures to reinforce the character of each precinct.</i></p> <p>Town Centre Civic Precinct</p> <p><i>The Town Centre Civic Precinct will be the heart of the Warnervale Town Centre. The focus will be on a well designed main street linking the railway station to the aquatic centre in the hill top park, with wide footpaths promoting outdoor dining.</i></p> <p><i>The heart of the precinct will be the north facing civic square fronted by a public library, community centre, cinemas and shops. The precinct will have high quality, mixed uses and medium density residential buildings addressing local streets and the hill top park.</i></p> <p><i>The civic area will be characterised by street- enclosing buildings forming continuous facades of active building frontages, with awnings for weather protection. The main street will connect to the west with the transport interchange; and with the community facilities and public open space to the east.</i></p> <p>Town Centre Northern Precinct</p> <p><i>The precinct will be located at the northern end of the Town Centre on the eastern side of the rail line. The precinct will cater for bulky goods and mixed use functions.</i></p> <p><i>Commercial, retail and bulky goods buildings will address streets and have active frontages.</i></p>		

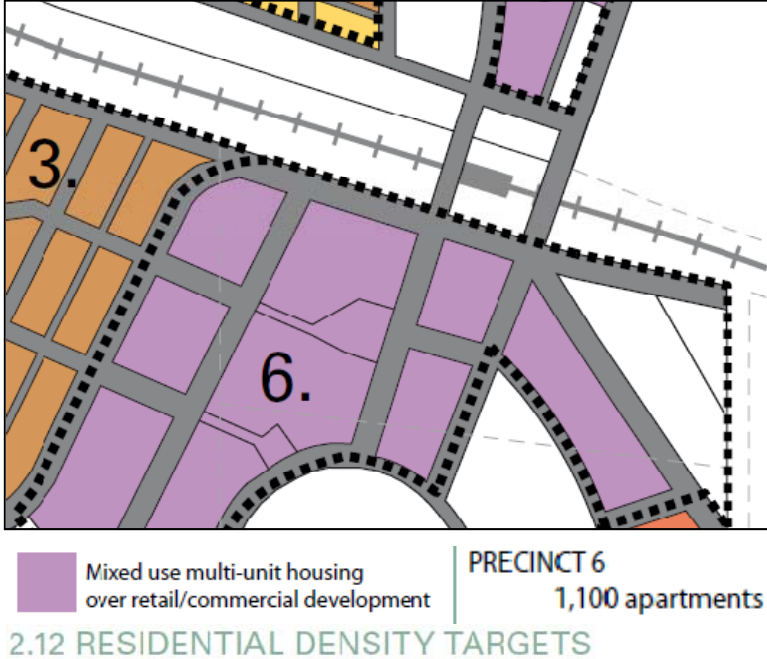
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REQUIREMENT		TPG COMMENT	COMPLIES
	<p>Local open space, conservation areas and community facilities</p> <p><i>These areas encompass the Riparian Corridor, Western Ridge Park, Eastern Ridge Park, Heath Wrinklewort Environmental Conservation Reserve, Central Hill Top Park and other, smaller, local parks.</i></p> <p><i>These areas will offer recreation opportunities for local residents and the wider community. The WTC's vegetated character including the ridgeline on the north-eastern side of the school and the Heath Wrinklewort Reserve will be protected. Significant habitat trees will be retained where possible and substantial tree planting will reinforce the area's vegetated character.</i></p> <p><i>Community facilities will be fully integrated with other town centre functions to optimise safety and access. The aquatic centre will be located on the hill top park with on-grade car parking and other complementary community functions.</i></p>		

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REQUIREMENT	TPG COMMENT	COMPLIES
 <p> a) Town Centre Civic Precinct b) Town Centre Northern Precinct Open Space/conservation </p> <p>FIGURE 2.11 TOWN CENTRE PRECINCTS</p>		
<p>2.6 Development Targets – Residential Density</p> <p>Objectives</p> <ul style="list-style-type: none"> To provide appropriate densities in proximity to the Town Centre Civic Precinct and train station in order to promote walking and cycling. To ensure the residential density targets identified in the NSW Government's Metropolitan Development Program and confirmed in the Central Coast Regional Strategy 2006-31 are achieved. 	<p>This stage of the proposed development does not include a residential component however the design does not preclude from future residential development from occurring. As such the proposed development is consistent with these objectives.</p>	<p>√</p>

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REQUIREMENT	TPG COMMENT	COMPLIES
<ul style="list-style-type: none"> To provide a range of residential development densities and types including, housing for seniors or people with a disability, to cater for changing demographics. <p>Controls</p> <p>a) The population target for the WTC is 6,000 people and 2,200 dwellings. In order to ensure the target is achieved, applicants are required to demonstrate to the consent authority (as part of a subdivision application), that the density targets shown in Figure 2.12 will be achieved.</p> 	<p>This stage of the proposed development does not include a residential component however the design does not preclude from future residential development from occurring.</p>	<p>✓</p>

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	<i>b) Where variation to the density target is proposed, an applicant is to demonstrate to the consent authority that those targets can be achieved on a per hectare basis, as a minimum.</i>	This stage of the proposed development does not include a residential component however the design does not preclude from future residential development from occurring.	√																	
	<i>c) A mix of housing types and forms are to be provided across the WTC. The net residential densities for mixed use, medium and low density housing, and the indicative % target for each housing form are shown at Table 1 and for each precinct at Table 2. The densities and % targets apply across the WTC.</i> Table 1: Net Residential Density Targets <table><tr><th>Housing type</th><th>Dwgs/ha (no. of dwellings)</th><th>Indicative % for WTC</th></tr><tr><td>Dwellings in mixed use developments*</td><td>40 (1,155)</td><td>53.4</td></tr><tr><td>Medium density: 4-6 storey*</td><td>40 (300)</td><td>13.6</td></tr><tr><td>Town houses</td><td>(220)</td><td>10</td></tr><tr><td>Low density: Single dwellings</td><td>20 (525)</td><td>24</td></tr><tr><td>Total</td><td>2,200 dwgs</td><td>100%</td></tr></table> <i>*Breakdown of dwelling types in multi-unit and mixed use development:</i> 5% studios 10% 1 bedroom 60% 2 bedroom 25% 3 bedroom	Housing type	Dwgs/ha (no. of dwellings)	Indicative % for WTC	Dwellings in mixed use developments*	40 (1,155)	53.4	Medium density: 4-6 storey*	40 (300)	13.6	Town houses	(220)	10	Low density: Single dwellings	20 (525)	24	Total	2,200 dwgs	100%	This stage of the proposed development does not include a residential component however the design does not preclude from future residential development from occurring.
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	<p>Table 2: Net Residential Dwellings in Each Precinct</p> <table><tr><th>Precinct</th><th>No. of dwellings</th><th>Indicative % of dwellings for WTC</th></tr><tr><td><i>Western Residential (Precinct 4)</i></td><td><i>40d/ha</i></td><td></td></tr><tr><td>Single dwellings</td><td>(89)</td><td></td></tr><tr><td>Town houses</td><td>(30)</td><td>5.5</td></tr><tr><td><i>Northern Residential (Precinct 7)</i></td><td><i>40d/ha</i></td><td></td></tr><tr><td>Apartments</td><td>(300)</td><td></td></tr><tr><td>Single dwellings</td><td>(30)</td><td>15</td></tr><tr><td><i>Eastern Residential</i></td><td><i>20d/ha</i></td><td></td></tr><tr><td><i>Precinct 1</i></td><td></td><td></td></tr><tr><td>Single dwellings</td><td>(76)</td><td></td></tr><tr><td>Town houses</td><td>(80)</td><td>7.2</td></tr><tr><td><i>Precinct 2</i></td><td></td><td></td></tr><tr><td>Single dwellings</td><td>(180)</td><td></td></tr><tr><td>Town houses</td><td>(110)</td><td>13</td></tr><tr><td><i>Southern Residential (Precinct 3)</i></td><td><i>40d/ha</i></td><td></td></tr><tr><td>Single dwellings, zero lot line dwellings, small lot dwellings and studios over garage</td><td>(150)</td><td>6.8</td></tr><tr><td><i>Civic Centre (Precinct 6)</i></td><td><i>(1,100)</i></td><td><i>50</i></td></tr><tr><td><i>Town Centre West (Precinct 5)</i></td><td></td><td></td></tr><tr><td><i>Apartments</i></td><td><i>(55)</i></td><td><i>2.5</i></td></tr><tr><td>Total</td><td>2,200 dwgs</td><td>100%</td></tr></table>	Precinct	No. of dwellings	Indicative % of dwellings for WTC	<i>Western Residential (Precinct 4)</i>	<i>40d/ha</i>		Single dwellings	(89)		Town houses	(30)	5.5	<i>Northern Residential (Precinct 7)</i>	<i>40d/ha</i>		Apartments	(300)		Single dwellings	(30)	15	<i>Eastern Residential</i>	<i>20d/ha</i>		<i>Precinct 1</i>			Single dwellings	(76)		Town houses	(80)	7.2	<i>Precinct 2</i>			Single dwellings	(180)		Town houses	(110)	13	<i>Southern Residential (Precinct 3)</i>	<i>40d/ha</i>		Single dwellings, zero lot line dwellings, small lot dwellings and studios over garage	(150)	6.8	<i>Civic Centre (Precinct 6)</i>	<i>(1,100)</i>	<i>50</i>	<i>Town Centre West (Precinct 5)</i>			<i>Apartments</i>	<i>(55)</i>	<i>2.5</i>	Total	2,200 dwgs	100%		
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<p>2.6 Development Targets - Retail, business and bulky goods uses</p>	<p>Objectives</p> <ul style="list-style-type: none">To provide a range of retail, business, bulky goods and support uses to service the needs of people living, working and visiting the Town Centre Civic Precinct, as well as the broader	<p>The proposed development is considered to be consistent development targets objectives.</p>	√																																																												

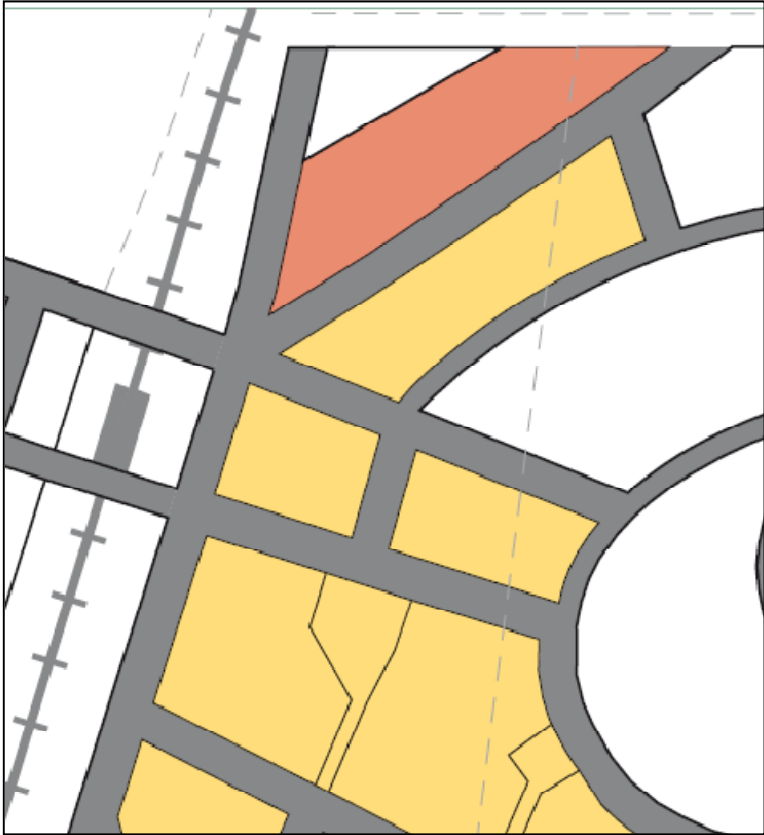
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	<p>Warnervale area.</p> <ul style="list-style-type: none"> To provide an impetus for the relocation of Warnervale railway station north of Sparks Road to provide an integrated public transport interchange for the North Wyong release areas. To maximise public transport access to the WTC. To provide an overlapping trade area with the Lake Haven District Centre but with equal competition for Wadalba and areas north of Lake Haven. To avoid a concentration of particular uses at the expense of other uses. 		
	<p>Controls</p> <p>(a) The maximum gross floor area of all buildings in the Town Centre Civic Precinct is not to exceed 25,000sqm for retail, 8,000sqm for bulky goods uses and 10,000-15,000sqm for commercial.</p>	Justification for the gross floor area of the proposed is detailed in the Economic Needs Statement included at Appendix F .	√
	<p>(b) In relation to subclause (a) consent must not be granted for</p> <ul style="list-style-type: none"> i) The erection of a new building, or ii) a change of use of an existing building iii) if it would result in the total gross floor area of retail and bulky goods premises on the WTC being less than 10% of the relevant maximum gross floor area for those uses identified in subclause (a); and less than 20% of non- retail uses in a mixed use building in Zone B2 Local Centre. 	Justification for the gross floor area of the proposed is detailed in the Economic Needs Statement included at Appendix F .	√
<p>2.6 Development Targets - Employment</p>	<p>Objectives</p> <ul style="list-style-type: none"> To provide new jobs in a concentration of retail, community, entertainment, health and professional services servicing the local and broader population. To provide a range of retail, commercial, and business uses in 	The proposed development will provide a range of employment opportunities to the local community, refer to the Social Impact Assessment included at Appendix K . As such the objectives are satisfied.	

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	<p><i>locations accessible to residential areas.</i></p> <ul style="list-style-type: none"> <i>To facilitate the achievement of the NSW Government's regional centres and employment hierarchy.</i> 		
	<p>Controls:</p> <p>a) <i>Provide services including supermarkets, discount department store, shops, child care centres, schools, community facilities, banks, library, professional services, and medical centres</i></p>	The proposed development will provide a range of retail, commercial and entertainment services to the WTC, refer to EA.	√
	<p>b) <i>Provide details with DAs (over \$20 million and 5,000 sqm) on the number and type of employment (operational and construction) to be generated.</i></p>	The proposed development will provide a range of retail, commercial and entertainment services to the WTC, refer to EA.	√

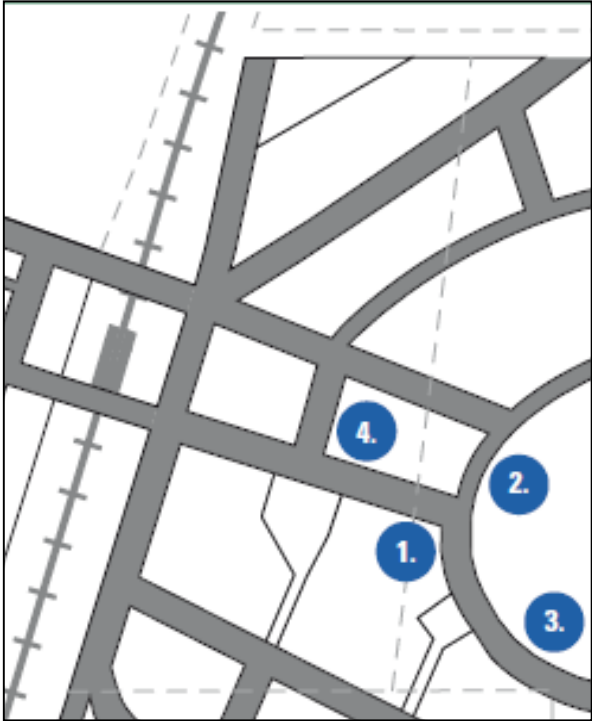
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p> ● Retail/business/entertainment/ community/residential ● Bulky goods ● Retail/business/residential </p> <p>FIGURE 2.13 LAND USES IN CIVIC PRECINCT</p>		


WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
2.6 Development Targets - Community facilities	Objectives <ul style="list-style-type: none"> To provide a range of community facilities in locations accessible to residential areas and public transport. To provide a range of community facilities appropriate to the needs and demographics of the local population. To ensure the provision and location of community services is identified and coordinated in an efficient manner. 		√
	Controls <p>a) Provide the following community facilities in locations identified in Figure 2.14:</p> <ul style="list-style-type: none"> Library/knowledge centre (minimum area 2,400m²+2,100m²) Youth Spaces (1,000m² minimum total area) Art and Cultural Facility (minimum 1,000m²) Aquatic and recreation centre including integrated child and family centre and youth training centre (accommodated within the hilltop park) 	Refer to the discussion in the EA	√

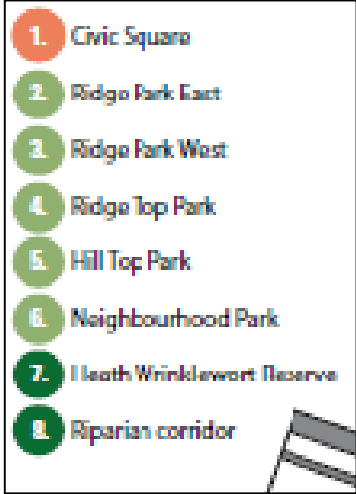
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

	REQUIREMENT	TPG COMMENT	COMPLIES
	 <p>1. Library/Knowledge Centre/Arts & Cultural Facility 2. Integrated Child/Family Centre 3. Aquatic Recreation Centre 4. Youth Space</p> <p>FIGURE 2.14 COMMUNITY FACILITIES</p> <p>b) Provide the above community facilities in consultation with the consent authority.</p>	<p>The proponent is aware to consult the consent authority in regards to providing community facilities.</p>	<p>√</p>

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
2.6 Development Targets - Open space	Objectives <ul style="list-style-type: none"> To provide a variety of open spaces to cater for a range of recreational, social and cultural activities. To develop designs for open spaces in recognition of their different functions, characteristics and environmental and natural qualities of the WTC. 	The proposed development consistent with the objectives for the open space targets.	√
	Controls a) Provide open spaces as identified in Figure 2.15 	The proposed development has accommodated the open space areas identified in Figure 2.15, refer to Architectural Drawings included at Appendix B.	√

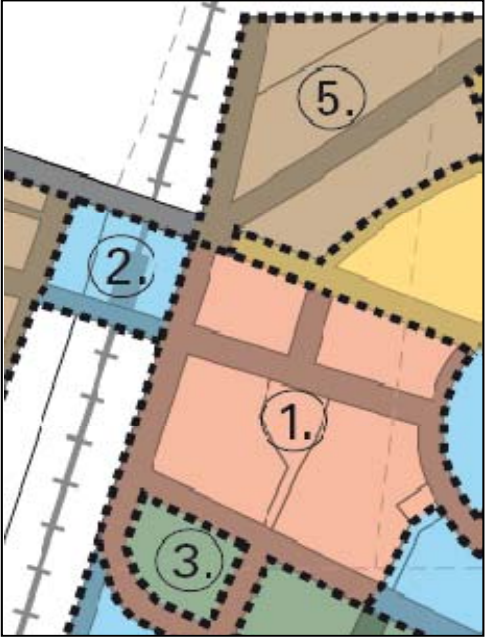
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	 <p>FIGURE 2.15 OPEN SPACE PROVISION</p>		
	<p>b) Provide open space as follows:</p> <ul style="list-style-type: none"> Local parks (including Hill Top): 13ha Heath Wrinklewort Daisy Reserve: 8.4ha Riparian corridor: 5.7ha Civic Square: 2,700m² 	The Civic Square has been identified on the site in Figure 2.15, the proposed development has accommodated this into the design, refer to the Architectural Drawings included at Appendix B .	N/A
	c) Retain habitat trees.	According to the State Significant Study Ecology Investigation included at Appendix R there are no habitat trees located on the site therefore this control is not applicable to the proposed development.	N/A
	d) Prepare a Public Domain Plan with detailed design for parks,	A Public Domain Plan is not required for the	N/A

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>riparian corridors and environmental conservation areas.</i>	proposed development as there are no parks, riparian corridors and environmental conservation areas located on the site.	
2.7 Infrastructure Delivery and Staging	Objectives <ul style="list-style-type: none"> <i>To ensure the timely provision of infrastructure including, roads, footpaths, cycle ways and community facilities in the WTC.</i> <i>To ensure the timely delivery of sewer, water and drainage.</i> <i>To ensure a critical mass of residential population to support and trigger the delivery of infrastructure.</i> <i>To secure capital investment for, and promote the viability of the WTC.</i> 	The proposed development will not impact the delivery and staging of infrastructure within the WTC.	√
	Controls <p><i>a) Development is to proceed in accordance with the indicative staging plan at Figure 2.16.</i></p>	The proposed development is not proposed to be staffed.	√







WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

	REQUIREMENT	TPG COMMENT	COMPLIES
	 <p data-bbox="546 1075 1052 1102">FIGURE 2.16 INDICATIVE STAGING PLAN</p>		
	<p data-bbox="539 1123 1330 1182"><i>b) A detailed staging plan is to be prepared and submitted to the consent authority as part of the first subdivision application.</i></p>	<p data-bbox="1357 1123 1962 1182">The site of the proposed development will not be subdivided therefore this control is not applicable.</p>	<p data-bbox="1995 1123 2040 1150">N/A</p>
	<p data-bbox="539 1248 1330 1369"><i>c) The staging plan is to broadly identify the indicative development targets and/or dwelling targets, the likely staging and delivery of future development areas and the intended provision of social and physical infrastructure.</i></p>	<p data-bbox="1357 1248 1917 1276">The proposed development is not being staged.</p>	<p data-bbox="2007 1248 2029 1276">√</p>

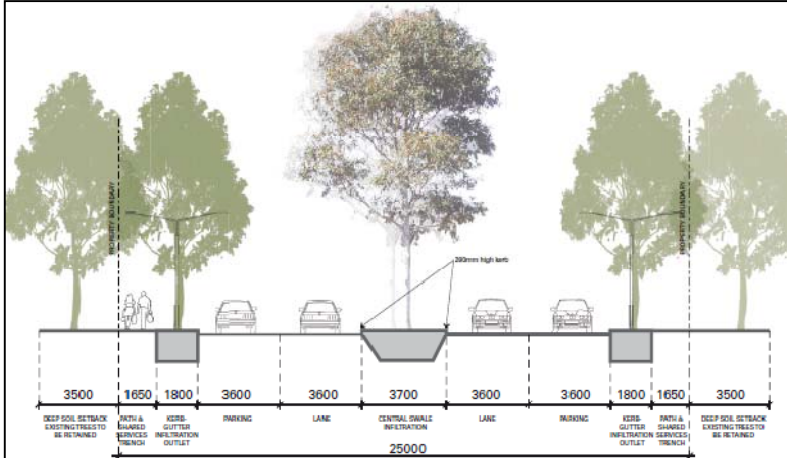
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	d) Council may require an applicant to update the staging plan as development progresses.	The proponent is aware that council may require the staging plans to be updated as development progresses.	
3. ACCESS AND MOVEMENT			
3.1 Street Hierarchy and Design	Objectives <ul style="list-style-type: none"> To provide a hierarchy of interconnected streets for safe, convenient, functional and legible access within and beyond the WTC. To ensure a hierarchy of streets clearly discernible through variations in carriageway width, on-street parking, incorporation of water sensitive urban design, street tree planting, pedestrian and cycling amenities. To provide comfortable gradients to ensure equitable access to residents and visitors. To retain views and vistas to landscape features and visual connections to nodal points and centres. To ensure street design and character responds to existing environmental conditions including, significant vegetation, topography and views. To minimise the need for cut and fill to assist in reducing subsoil and natural subsoil drainage disturbance. To optimise solar access opportunities for dwellings. 	The proposed development is consistent with the street hierarchy and design objectives.	√
	Controls <p>a) The street network is to be provided in accordance with the street hierarchy map at Figure 3.1.</p>	The proposed development has varied the street hierarchy applicable to the site, refer to the Economic Needs Statement included at Appendix F .	-

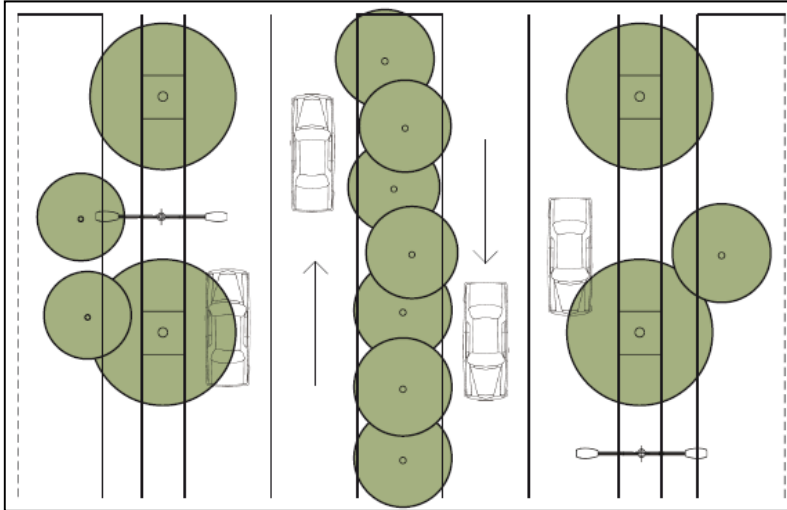
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p>  Type 1 - Main access street (25 metres)  Type 2 - Transport interchange (25 metres) </p> <p>  Type 3 - Mixed use/commercial street (22.4 metres) </p> <p>  Type 4 - Main street town centre (24.4 metres) </p> <p>  Type 9 - Local Street with park edge (12.75 metres) </p> <p>FIGURE 3.1 STREET HIERARCHY</p>		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p><i>b) Street design is to be provided in accordance with the cross-sections shown in Figures 3.2–3.13</i></p>	<p>Figures 3.2, 3.3, 3.4, 3.5, 3.10 are applicable to the proposed development, the proposed development is consistent with the street design illustrated in these figures.</p>	
		


WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p data-bbox="546 943 1196 978">FIGURE 3.2 TYPE 1: MAIN ACCESS STREET</p>		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p style="text-align: center; color: green; font-weight: bold;">FIGURE 3.3 TYPE 2: TRANSPORT INTERCHANGE</p>		

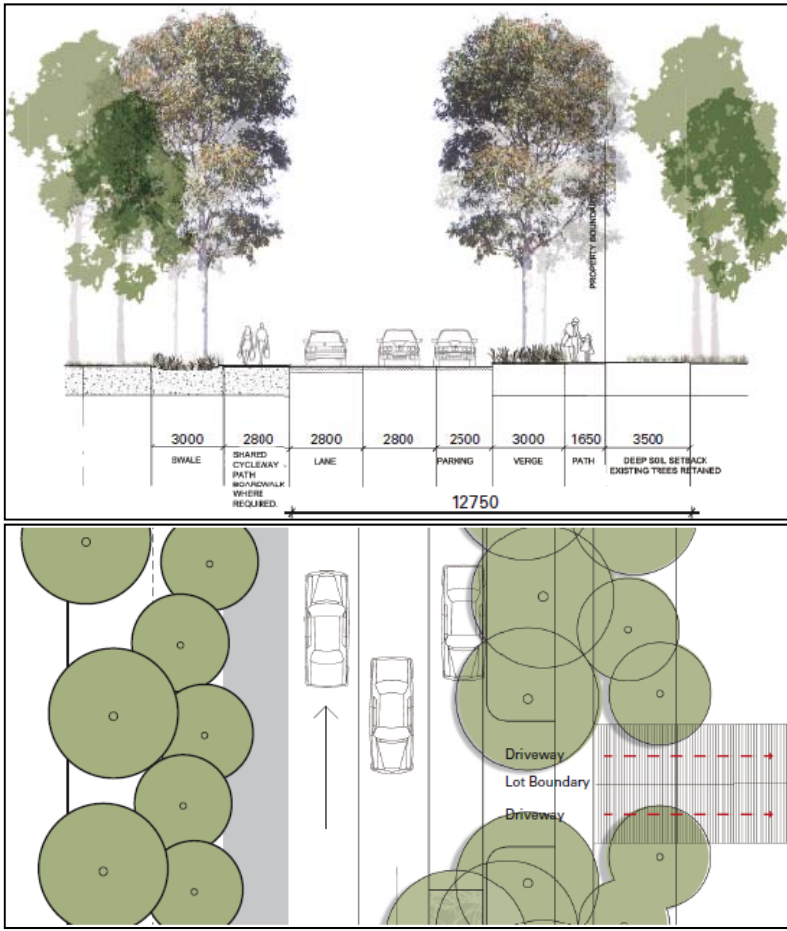
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
<div></div> <p>FIGURE 3.4 TYPE 3: MIXED USE/COMMERCIAL STREET</p>			

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p data-bbox="539 1337 1301 1375">FIGURE 3.5 TYPE 4: MAIN STREET TOWN CENTRE</p>		

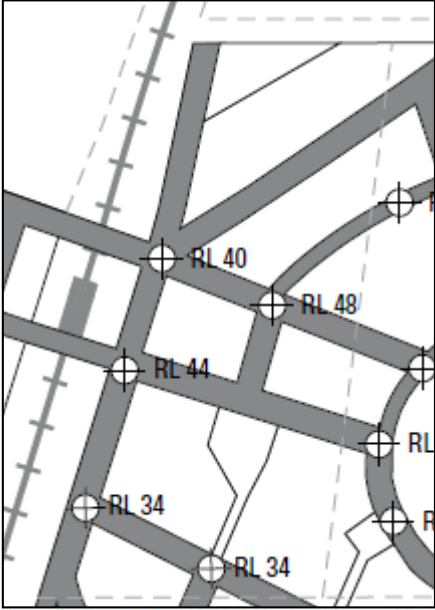
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p data-bbox="546 1358 1272 1391">FIGURE 3.10 TYPE 9: LOCAL STREET WITH PARK</p>		

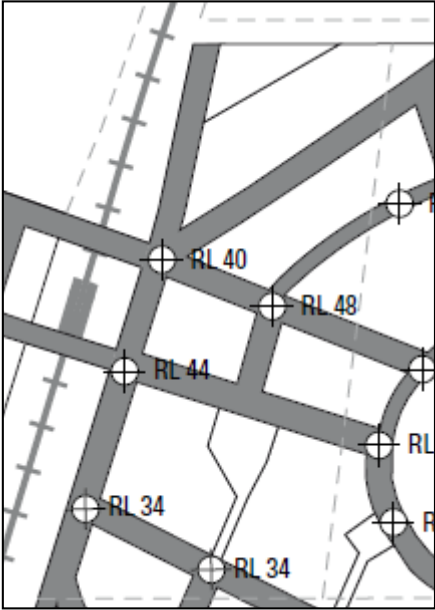
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>c) Except where otherwise provided for in this DCP, all streets are to be designed and constructed in accordance with the street cross sections in this DCP.</i>	The proposed development is consistent with the street design illustrated in these figures.	
	<i>d) Design all residential streets (minor collector roads, access road/paths, minor access road/paths and share ways) for 50km/h maximum. Applicants should consider traffic management in a subdivision application and either, road layout or appropriate speed reducing devices to reduce traffic speed.</i>	The proposed development does not include any residential streets therefore this control is not applicable.	N/A
	<i>e) All street design must accommodate and retain existing native trees, where possible.</i>	The street design of the proposed development has accommodated and retained existing native trees possible, refer to the Architectural Drawings included at Appendix B .	√
	<i>f) Any proposal for street tree planting within a road carriageway is to be in accordance with section 4.2 of this DCP, and include:</i> <ul style="list-style-type: none"> <i>• detailed design addressing access and manoeuvrability of garbage trucks, street sweepers and cars,</i> <i>• consideration of safety for motorists, cyclists and pedestrians,</i> <i>• the impact of the root system on the carriageway,</i> <i>• ongoing maintenance of trees and carriageway, and</i> <i>• the relationship with future driveway access points.</i> <i>• address any adverse impacts on available on-street parking, especially in higher density areas</i> <i>• Street levels to be provided in accordance with Figure 3.15.</i> 	The proposed development has provided street tree planting within a road carriageway in accordance with this control, refer to the Architectural Drawings included at Appendix B .	√

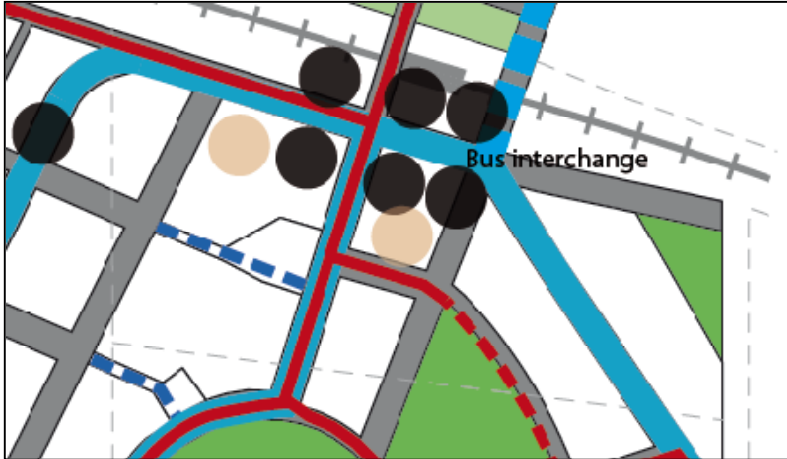
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	 <p>FIGURE 3.15 INDICATIVE LEVELS FOR LOCAL STREETS</p>		
	<p>g) Street levels to be provided in accordance with Figure 3.15</p>	<p>The proposed development has provided street levels which request a variation as per the discussion in the body of the EA.</p>	

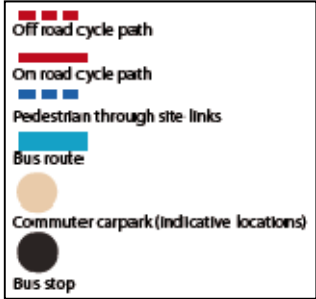
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

	REQUIREMENT	TPG COMMENT	COMPLIES
	 <p>FIGURE 3.15 INDICATIVE LEVELS FOR LOCAL STREETS</p>		
3.2 Pedestrian and Cycle network	<p>Objectives</p> <ul style="list-style-type: none"> To provide clear and safe pedestrian and cycleway access for the use of the community, within and beyond the WTC. To give priority to pedestrians. To promote walking and cycling in preference to motor vehicles, to access schools, shops, public transport, and community and recreation facilities. To provide formal and informal walking trails in open space areas linking with residential and Town Centre Civic Precinct 	<p>The proposed development's pedestrian and cycle network is consistent with these objectives, refer to Traffic Impact Assessment included at Appendix S.</p>	<p>✓</p>

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p><i>destinations.</i></p> <p>Controls</p> <p>a) Key pedestrian and cycle routes are to be provided generally in accordance with Figure 3.14.</p> <p>b) The design of cycle ways located within the street reserve is to be in accordance with Figures 3.2-3.14</p> 	<p>The proposed development has provided pedestrian and cycle routes in accordance to Figure 3.14, , refer to Traffic Impact Assessment included at Appendix S.</p> <p>The design of the cycle ways located within the street reserve in the proposed development has been provided in accordance to Figures 3.2 – 3.14, refer to Traffic Impact Assessment included at Appendix S.</p>	<p>√</p> <p>√</p>

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
 <p>FIGURE 3.14 BUS, CYCLE AND PEDESTRIAN ROUTES</p>	c) Provide footpath widths in accordance with street sections drawings in Figures 3.2-3.13 .	The proposed development has provided footpath widths in accordance with the street sections in Figures 3.2 – 3.13, refer to Traffic Impact Assessment included at Appendix S .	√
	d) Provide minimum 1.4m width for two way cycle ways.	The proposed development has provided two way cycle ways with a minimum width of 1.4m, refer to Traffic Impact Assessment included at Appendix S .	√
	e) All pedestrian and cycleway routes and facilities are to be consistent with the NSW Bicycle Guidelines (RTA July 2005) and Council's Pedestrian Access and Mobility Plan 2003.	The proposed pedestrian and cycleway routes will be designed to comply with the NSW Bicycle Guidelines.	√
	f) Pedestrian and cycle ways are to be constructed as part of the infrastructure works for each stage of development. Applicants need to clarify this with Council. The infrastructure staging needs to cover the primary routes as part of the essential street	The proposed development, pedestrian and cycle ways will be constructed simultaneously.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>framework</i>		
3.3 Public Transport Network	Objectives <ul style="list-style-type: none"> <i>To encourage the use of public transport within and beyond the WTC.</i> <i>To provide opportunities for transport choice and encourage easy transition between transport modes.</i> <i>To ensure clear, safe pedestrian and cycle links to public transport nodes.</i> <i>To ensure the train station and associated development minimises impacts on the Heath Wrinklewort daisy.</i> 	The proposed development will not impede on the public transport network objectives for the WTC.	√
	Controls a) <i>Provide a minimum carriageway width of 3.6m along all bus routes.</i>	The proposed development a carriage way of a minimum of 3.6m along all bus routes, refer to the Traffic Impact Assessment included at Appendix S .	√
	b) <i>Bus routes are to be provided generally in accordance with Figure 3.14.</i>	The proponent is aware that the bus routes are to be provided in accordance with Figure 3.14.	√
	c) <i>Provide bus stops at locations indicated on Figure 3.14.</i>	The relevant bus company is in charge of providing bus stops as such this control is not applicable to the proposed development.	N/A
	d) <i>Provide bus shelters at bus stop locations indicated on Figure 3.14 large enough to accommodate 10 people. Other bus shelters are required in consultation with the consent authority and the relevant bus company.</i>	The relevant bus company is in charge of providing bus shelters and the proposed development does not include other bus shelters therefore this control is not applicable.	N/A
	e) <i>Subdivision design is required to facilitate pedestrian movements to bus stop locations. Copies of correspondence between an applicant and the relevant bus company regarding other bus shelters shall be submitted to the consent authority with a subdivision application.</i>	Subdivision is not included in the proposed development therefore this control is not applicable.	N/A

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>f) Provide a transport interchange integrated with pedestrian and cycle connections, in accordance with the NSW Ministry of Transport's Design Guidelines for Interchanges and Car Parks Sept 2006.</i>	The proposed development will not impede of the public transport network, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>g) Accommodate commuter car parking in locations as shown on Figure 3.14.</i>	The proposed development has provided car parking facilities which commuters can use, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>h) Provide cycle parking and storage at the transport interchange</i>	According to the Part 2.7 of this DCP the proposed development is included within stage one of the WTC development whilst the transport interchange is included in the second stage of the WTC, therefore this control is not applicable.	√
	<i>i) Provide bus shelters and taxi ranks with lighting, shelters and seating for the safety and amenity of public transport users.</i>	The relevant bus company is in charge of providing bus shelters, council can condition upon the issue of development consent in regards to the proposed development providing taxi ranks.	√
	<i>j) Provide at least 90% of all residential lots within 400m safe walking distance of a railway station and/or bus stop.</i>	This stage of the proposed development does not include residential lots therefore this control is not applicable.	N/A
	<i>k) The proposed North Warnervale Train Station, associated signalling and infrastructure, and construction/maintenance access and any required fencing or acoustic control measures are to seek to minimise impacts on the Heath Wrinklewort and are to be approved by the Department of Environment and Climate Change (DECC).</i>	The relevant transit authority is responsible for the North Warnervale Train Station therefore this control is not applicable to the proposed development.	√
4. PUBLIC DOMAIN			

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
4.1 Public Domain	Objectives <ul style="list-style-type: none"> <i>To create a vibrant and safe public domain.</i> <i>To identify public domain precincts and provide appropriate controls.</i> <i>To provide public domain elements in a coordinated manner with a unifying theme.</i> <i>To ensure consistent high quality design and embellishment of all public open space.</i> <i>To emphasise the commercial importance of the Town Centre Civic Precinct.</i> <i>To provide a range of public open spaces to reflect different characteristics, environmental values and functions.</i> <i>To ensure the conservation values of the WTC are protected, where possible, in any use of public open spaces.</i> <i>To retain elevated, visually sensitive land that contributes to the landscape character of the WTC.</i> <i>To provide a focus for social and recreational activity and public life.</i> <i>To meet the public open space and recreational needs of residents in an equitable manner</i> <i>To protect ridgeline vegetation across the area</i> <i>To provide public domain elements including public art in a coordinated mannner with a unifying theme.</i> 	The proposed development is considered to be consistent with the objectives for the public domain.	√
	Controls <p>a) <i>The consent authority is required to prepare a public domain plan that complies with the controls in this section, prior to any development of the WTC</i></p>	The proponent is aware that the consent authority is required to prepare a public domain plan that complies with the controls in this section, prior to any development of the WTC.	√
	<p>b) <i>Public domain and open spaces are to be provided in</i></p>	The proposed development is considered to be	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT			TPG COMMENT	COMPLIES					
	accordance with the provisions at Table 3.		consistent with the objectives and controls detailed in Table 3 for “Other public and private parks” and the “Public Square”, refer to the EA.						
	c) Plans of Management adopted for the public domain and open spaces listed in Table 3 are required to address alternative water source options to reduce potable water consumption		According to the Table 3 extract Wyong Council is to provide a Plan of Management for the Ridge Top Parks therefore this control is not applicable to the proposed development.	N/A					
	d) Provide easily accessible levels and good integration between public squares and parks		The proposed development has provided easily accessible levels and good integration between public squares and parks, refer to the Architectural Drawings included at Appendix B .	√					
	e) Address ‘Safer-by-Design’ principles (including the NSW Police ‘Safer by Design’ crime prevention through environmental design (CPTED) principles) in public domain design		The proposed development has been assessed against the ‘Safer-by-Design’ principles in the public domain, refer to the CPTED Report included at Appendix I .	√					
	f) Provide direct pedestrian and cycle links between the Town Centre Civic Precinct and residential areas through Hill Top Park in accordance with Figure 3.14 .		The proposed development will not impede on the pedestrian and cycle links as illustrated in Figure 3.14, refer to the Architectural Drawings included at Appendix B .	√					
Table 3: Public domain and open space - Extract									
	<table><tr><th>Name</th><th>Objective</th><th>Controls</th></tr><tr><td>Other public and private parks</td><td><ul style="list-style-type: none">To reinforce the vegetated character of the WTC.To provide visual and functional links with other adjacent open space areas where</td><td><ul style="list-style-type: none">Wyong Council is to prepare a Plan of Management for the Ridge Top Parks (East and West).Retain existing tree canopy in any</td></tr></table>	Name	Objective	Controls	Other public and private parks	<ul style="list-style-type: none">To reinforce the vegetated character of the WTC.To provide visual and functional links with other adjacent open space areas where	<ul style="list-style-type: none">Wyong Council is to prepare a Plan of Management for the Ridge Top Parks (East and West).Retain existing tree canopy in any		
Name	Objective	Controls							
Other public and private parks	<ul style="list-style-type: none">To reinforce the vegetated character of the WTC.To provide visual and functional links with other adjacent open space areas where	<ul style="list-style-type: none">Wyong Council is to prepare a Plan of Management for the Ridge Top Parks (East and West).Retain existing tree canopy in any							

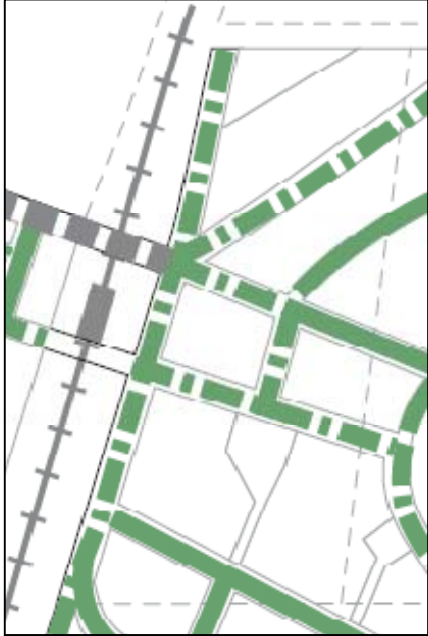
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT				TPG COMMENT	COMPLIES
		<p><i>possible.</i></p> <ul style="list-style-type: none"> <i>• To provide amenity to surrounding residential areas.</i> <i>• To assist in providing connectivity for ecological values.</i> 	<p><i>development of parks.</i></p> <ul style="list-style-type: none"> <i>• Supplement existing vegetation where necessary with native plantings (in accordance with Section 4.2).</i> <i>• Provide pedestrian and cycle connections (refer to Figure 3.14).</i> <i>• Provide seating and other facilities in accordance with the specifications for a landscape plan set out below.</i> <i>• Provide stormwater quality and quantity treatment in accordance with IWCM and best practice WSUD.</i> 		
	Public Square	<ul style="list-style-type: none"> <i>• To provide a generous, centrally located public square to cater for a variety of civic activities</i> 	<ul style="list-style-type: none"> <i>• Provide a north facing public square at the middle of High Street in the location shown on Figure 2.15.</i> <i>• Activate the square with retail functions, cinema foyers and various community uses including</i> 		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT				TPG COMMENT	COMPLIES
			<p><i>the library.</i></p> <ul style="list-style-type: none"> <i>• Allow for outdoor dining on the square.</i> <i>• Provide on grade pedestrian links through the retail centre and from adjoining sites to arrive at the square.</i> <i>• Landscape the square to provide shade in summer and sun in winter.</i> <i>• Provide good lighting of the square to encourage night time use.</i> <i>• Integrate high quality public art into the square.</i> 		
4.2 Landscape Strategy & Design	Objectives <ul style="list-style-type: none"> <i>• To retain existing, native vegetation in the public domain, where possible.</i> <i>• To minimise the use of potable water consumption.</i> <i>• To integrate with the biodiversity values of the WTC.</i> <i>• To complement the existing natural and visual values of the WTC.</i> <i>• To contribute to high quality streetscapes and public domain.</i> <i>• To consider public safety in the provision of landscaping.</i> <i>• To ensure landscaping is considered at the development planning stage.</i> <i>• To allow for drainage, capture, recycling and reuse.</i> 			The proposed development is considered to be consistent with the objective of the landscape strategy and design.	

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p>Controls</p> <p>a) Provide street tree plantings in locations identified in Figure 4.1 and in accordance with the specification in Figure 4.2.</p>  <p>FIGURE 4.1: STREET TREE PLANTING STRATEGY</p> <p>b) Provide 50% minimum vegetation cover in landscaped public domain areas, comprising:</p>	<p>Can condition upon the issue of development consent.</p> <p>Can condition upon the issue of development consent.</p>	<p>√</p> <p>√</p>

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> • <i>local indigenous species;</i> • <i>drought tolerant species; or</i> • <i>a mixture of indigenous and drought tolerant species</i> 		
	<i>c) Provide water retaining media mixed into the soil for any exotic plantings.</i>	Can condition upon the issue of development consent.	√
	<i>d) Provide water conserving mulch comprising sustainable organic materials such as municipal green waste collection processed to the Australian Standard for Composting (AS44540)</i>	Can condition upon the issue of development consent.	√
	<i>e) Controls b) - d) above do not apply to water efficient lawn areas or water retention/treatment areas.</i>	Can condition upon the issue of development consent.	√
	<i>f) Provide tree species requiring deep soil planting in public open space areas, and in retail, commercial and public facilities, (where possible).</i>	Can condition upon the issue of development consent.	√
	<i>g) Provide landscape design that:</i> <ul style="list-style-type: none"> • <i>is consistent in distinguishing between public and private spaces and between different streets within the street hierarchy;</i> • <i>minimises risk to utilities and services;</i> • <i>is durable and suited to the street environment;</i> • <i>maintains adequate sight lines for vehicles and pedestrians, especially at driveways and intersections;</i> • <i>does not obscure street lighting, or traffic signals, or overhang the road carriage-way so as to interfere with vehicles;</i> • <i>provides appropriate shade; and</i> 	Can condition upon the issue of development consent.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> <i>provides an attractive and interesting landscape character.</i> 		
	<p><i>h) Submit a landscape plan with a subdivision application for public domain and open space that addresses the following:</i></p> <ul style="list-style-type: none"> <i>general layout</i> <i>earthworks</i> <i>plant species and sizes (at time of planting and maturity)</i> <i>safety features & lighting vehicular, cyclist and</i> <i>pedestrian safety</i> <i>utilities and services</i> <i>public art</i> <i>hard and soft landscaping treatments</i> <i>street furniture</i> <i>shade structures</i> <i>drinking fountains</i> <i>play equipment</i> <i>signage</i> <i>planter boxes</i> <i>feature fencing</i> <i>connections to cycleways and pedestrian paths</i> 	Can condition upon the issue of development consent.	√
	<i>i) Identify and retain existing native vegetation and fauna habitat (for example tree hollows).</i>	Refer to Appendix	√
	<i>j) Protect native vegetation prior to, during and post development.</i>	Can condition upon the issue of development consent.	√
	<i>k) Any public water features should use re- circulated, treated rainwater. Any moving displays should be designed for minimal</i>	Can condition upon the issue of development consent.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>evaporative and splash water loss without compromising the use of water.</i>		
	<i>l) Integrate landscape design with WSUD systems, as indicated on Figure 8.1.</i>	Can condition upon the issue of development consent.	√
4.3 Advertisements and Signage	Objectives <ul style="list-style-type: none"> <i>To ensure that all advertisements and signage achieve very high design quality levels in terms of graphic design, relationship to the architectural design of buildings and streetscape character.</i> <i>To limit the overall amount of advertising by providing fewer, more effective signs, to avoid the visual clutter on buildings and streetscapes.</i> <i>To promote signs that add character to the streetscape, promote pedestrian useability of the Town Centre, and assist with 'way finding'.</i> <i>To promote street and directional signs of a consistent design, themes, and colour scheme.</i> <i>To consider the amenity of residential development and the visual quality of the public domain.</i> <i>To encourage corporate logos and colours in signs that are compatible with a host building's architecture.</i> <i>To ensure that signage location and design are consistent with road and pedestrian safety principles.</i> 	The proposed development has satisfied the advertisement and signage objectives for the WTC.	
	Controls General location and design of signs	The proposed development is considered to be consistent with this control as all signage has been appropriately located, refer to the Architectural	√

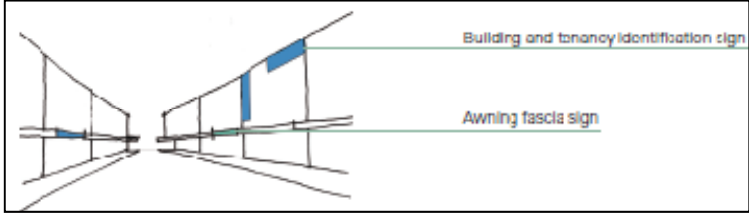
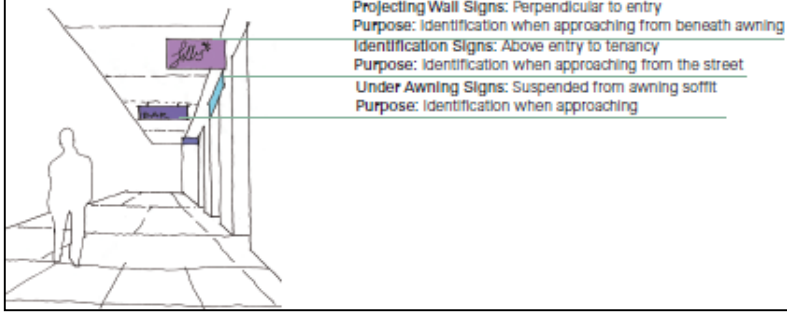
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p>a) Signs are to be designed and located to:</p> <ul style="list-style-type: none"> relate to the use of the building, be visually interesting and exhibit a high level of design quality, be integrated and achieve a high degree of compatibility with the architectural design of the host building with regard to the building's composition, fenestration, materials, finishes, and colours, and ensure the building's architectural features are not obscured, have regard to views of the sign and any supporting structure, cabling and conduits, from all angles, including visibility from street level and nearby higher buildings and against the skyline and treed ridgeline, have only a minimal projection from the host building, and have regard to road and pedestrian safety. 	Drawings included at Appendix B.	
	b) Sandwich board, rooftop signs or sky signs are prohibited.	The proposed development is considered to be consistent with this control as there are no sandwich boards rooftop signs or sky signs included in the design.	√
	c) Street and directional signage are to have a consistent design, theme and colour scheme.	The street and directional signage will use a consistent theme and colour scheme therefore the proposed development is considered to be consistent with this control.	√
	<p>Under-awning signage</p> <p>d) Signs that contain third party advertising signage (promoting products or services not related to or sold at the approved use of the premises or site) are not permitted.</p>	The proposed development is considered to be consistent with this control as signs that contain third party advertising signage are not being used.	√
	e) In considering applications for new signs, the consent authority,	The proponent is aware that the consent authority	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>in addition to the provisions of this section, must have regard to the number of existing signs on a site and in the vicinity, and whether the cumulative impacts of the signs may result in visual clutter.</i>	must have regards to the number of existing signs on the site and in the vicinity when considering applications for new signs.	
	<i>f) A minimum vertical clearance of 2.7m from the footpath to the underside of signage must be maintained.</i>	The under-awning signage within the proposed development is considered to be consistent with this control as a minimum vertical clearance of 2.7m has been provided and will be maintained from the footpath to the underside of the signage, refer to the Architectural Drawings included at Appendix B .	√
	Illuminated signs <i>g) Illuminated signs are not to detract from the architecture of the host building during day-light.</i>	The proposed development is considered to be consistent with this control as the illuminated signs within the proposed development will not detract from the architectural features of the building during the daytime, refer to the Architectural Drawings included at Appendix B .	√
	<i>h) Illumination (including cabling) of signs is to be:</i> <ul style="list-style-type: none"> • <i>concealed, or</i> • <i>integral with the sign, or</i> • <i>provided by means of carefully designed and located remote or spot lighting.</i> • <i>designed in a manner that minimises impacts on aeroplanes and cars.</i> 	The illuminated signs within the proposed development will be built to comply.	√
	<i>i) The ability to adjust the light intensity of illuminated signs is to be installed in parts of the building considered necessary by the consent authority.</i>	The intensity of the illuminated signs are not to be adjusted as they will only be used after daylight, council can condition upon the issue of development consent.	√
	<i>j) Restrict the length of operation of illuminated signs where continuous illumination may have adverse impacts on the amenity</i>	The illuminated signs will be used after daylight; the intensity of the signs will not impede on the	√


WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

	REQUIREMENT	TPG COMMENT	COMPLIES
	<i>of residential buildings, or other adverse environmental effects.</i>	amenity of the surrounding residential buildings or have other adverse environmental impacts.	
	<i>k) Up-lighting of signs is prohibited. External lighting of signs is to be downward, focused directly on the sign, and is to prevent or minimise the escape of light beyond the sign.</i>	The proposed development is considered to be consistent with this control as up lighting of signs is not proposed and any external lighting of signs is downward and is focused directly on the sign, refer to the Architectural Drawings included at Appendix B.	√
	 <p>FIGURE 4.3: SIGNAGE ZONES</p>		
	 <p>Projecting Wall Signs: Perpendicular to entry Purpose: Identification when approaching from beneath awning Identification Signs: Above entry to tenancy Purpose: Identification when approaching from the street Under Awning Signs: Suspended from awning soffit Purpose: Identification when approaching</p> <p>FIGURE 4.4: UNDER-AWNING SIGNAGE</p>		
4.4 Precinct Projects &	<i>Good building design should contribute positively to the</i>	The site of the proposed development is located	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
Design Excellence	<p><i>architectural quality of the WTC, and provide buildings appropriate to their context. Public buildings and spaces should also integrate with private development. This contribution may be as an iconic or landmark building, or a well mannered building that fits sensitively into the streetscape.</i></p> <p><i>This section applies to three precincts within the WTC:</i></p> <ul style="list-style-type: none"> <i>Hill Top Park;</i> <i>Town Centre Civic Precinct (Civic Square, Aquatic Centre, Library & Cinemas); and</i> <i>Train Station Precinct.</i> 	within the Town Centre Civic Precinct therefore this part of the DCP applies.	
	<p>Objectives</p> <ul style="list-style-type: none"> <i>To create a distinct image and character for the WTC.</i> <i>To ensure that the high quality design of the three projects, as identified in Figure 4.5, is produced by high calibre architects in order to achieve a high quality architectural and urban design outcome, in accordance with the provisions below.</i> <i>To ensure good integration of specific precincts with the rest of the town centre.</i> <i>To create high quality architecture and public domain.</i> 	The proposed development is considered to be consistent with the objectives of the precinct projects and design excellence objectives.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	 <p>1. Railway station 2. Aquatic centre 3. Library 4. Civic Square/cinema</p> <p>FIGURE 4.5: SPECIAL PROJECTS</p>		
	Controls	The proposed development is considered to be consistent with this control as the development is	√


WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>a) Achieve a high standard of architectural design, materials and detailing appropriate to building type and location.</i>	of high standard of architectural design. The materials and finishes finalised at the construction stage of the development will be of a high standard.	
	<i>b) Provide public and private spaces with high quality and amenity through the form and external appearance of buildings.</i>	The proposed development has provided public and private spaces with high quality and amenity through the form and external appearance of buildings, refer to the Architectural Drawings included at Appendix B .	√
	<i>c) Meet sustainable design principles in terms of sunlight, natural ventilation, wind, reflectivity, visual and acoustic privacy, safety and security and resource, energy and water efficiency.</i>	The proposed development has incorporated sustainable design principles into its design as such this control has been satisfied, refer to the ESD initiatives included at Appendix J .	√
	<i>d) Promote active and safe street frontages through design.</i>	The proposed development has promoted active and safe street frontage through its design, refer to the Architectural Drawings included at Appendix B .	√
	<i>e) Encourage pedestrian permeability</i>	The proposed development is considered to be consistent with this control as pedestrian permeability is encourage through the use of footpaths and the layout of the town centre, refer to the Architectural Drawings included at Appendix B .	√
	<i>f) Promote a welcoming aspect when approaching the three precincts, in landform, materials, accessibility and view lines</i>	The proposed development should create a welcoming aspect to the precinct area as layout has utilised the landform of the site, provided clear site lines across the development and will incorporate appropriate materials.	√
	<i>g) Consider day and night public safety through surveillance,</i>	The day and night safety of the proposed	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>lighting, planting and materials.</i>	development has been considered in the CPTED included at Appendix I.	
	<i>h) Achieve appropriate pedestrian linkages.</i>	The layout of the proposed development encourages pedestrian usage, refer to the Architectural Drawings included at Appendix B .	√
	<i>i) Provide buildings with a form appropriate to the Town Centre Civic Precinct and hilltop location and use a palette of materials complementary to the vegetated hilltop characteristics of the WTC</i>	The materials and finishes of the proposed development will be finalised at the construction stage of the development. The proponent will take into consideration a palette of materials that are complimentary to the vegetated hilltop characteristics of the WTC.	√
	<i>j) Achieve a theme which celebrates the vegetated natural features of the WTC.</i>	The materials and finishes of the proposed development will be finalised at the construction stage of the development. The proponent will take into consideration a theme which celebrates the vegetated natural features of the WTC.	√
5 BUILDING FORM			
5.1 Building to Street Alignment and Street Setbacks	Objectives <ul style="list-style-type: none"> <i>To provide front setbacks appropriate to building function and character.</i> <i>To establish a street's desired spatial proportions and define the street edge.</i> <i>To create a public and private space transition.</i> <i>To locate active uses, such as shopfronts, closer to pedestrian activities.</i> <i>To allow an outlook to, and surveillance of, the street.</i> <i>To maintain sun access to the public domain.</i> 	The proposed development satisfies the building to the street alignment and street setback objectives.	√
	Controls	The proposed development is considered to be	√

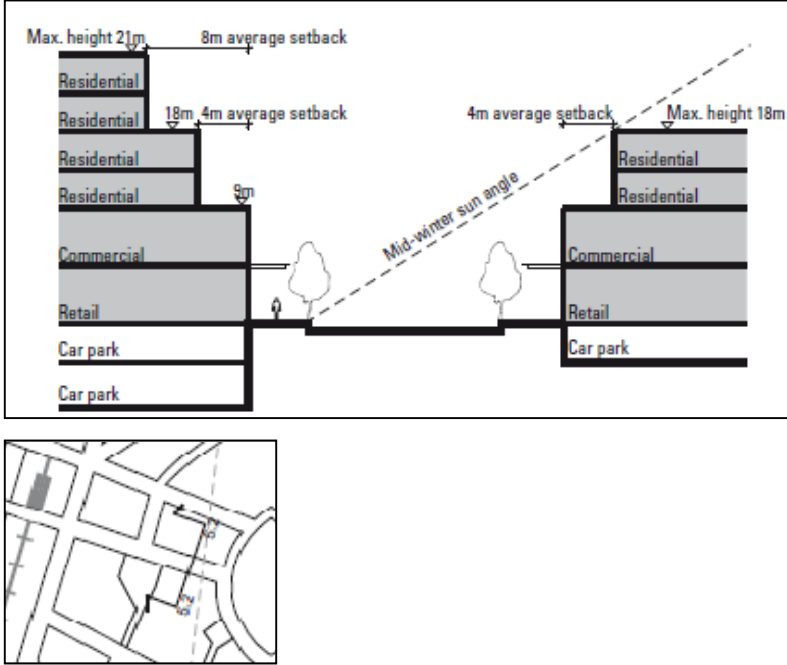
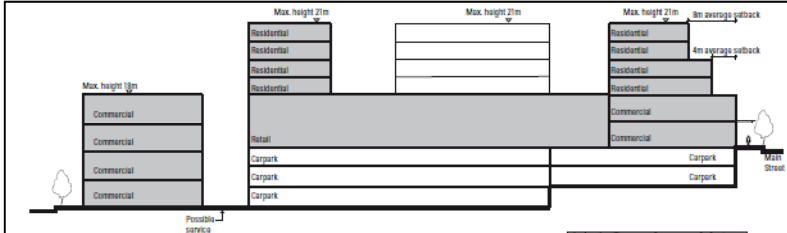
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p>a) <i>Comply with street building alignment and street setbacks, as shown at Figure 5.1.</i></p>  <p>FIGURE 5.1 BUILDING TO STREET ALIGNMENT AND SETBACKS</p> <p>b) <i>Properties adjoining Sparks, Hiawatha or Hakone Roads are to provide a landscaped buffer for the entire property boundary, as shown on Figure 5.1.</i></p> <p>c) <i>Properties along Hakone Road are to allow for the widening of this road in accordance with specification provided by Wyong</i></p>	<p>generally consistent with the building alignment and street setbacks illustrated in Figure 5.1, refer to the Architectural Drawings included at Appendix B.</p> <p>The proposed development does not adjoin Sparks, Hiawatha or Hakone Road, therefore this control is not applicable.</p> <p>The proposed development is not located along Hakone Road therefore this control is not</p>	<p></p> <p>N/A</p> <p>N/A</p>


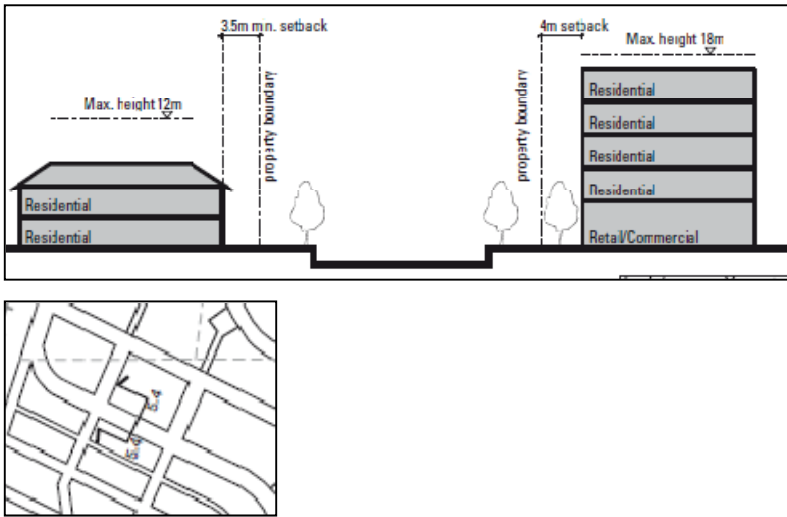
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>Council.</i>	applicable.	
	<i>d) Balconies may project up to 600 mm into front building setbacks, provided the cumulative width of all balconies at that particular level totals no more than 50% of the horizontal width of the building façade, measured at that level.</i>	The balconies within the proposed development have been designed to comply, refer to the Architectural Drawings included at Appendix B .	√
	<i>e) Minor projections into front building lines and setbacks for sun shading devices, entry awnings and cornices are permissible.</i>	The proposed development is considered to be consistent with this control as all the projections into the front building lines and setbacks are minor in nature, refer to the Architectural Drawings included at Appendix B .	√
5.2 Street Frontage Heights	Objectives <ul style="list-style-type: none"> To achieve comfortable, pedestrian, street environments in terms of daylight, scale, sense of enclosure and wind mitigation. To achieve a healthy environment for street trees. To reinforce the intrinsic character of the WTC whilst, enabling flexible building design. To protect solar access to key streets and public spaces. To encourage a strong architectural expression of buildings fronting Town Centre streets. 	The proposed development is considered to be consistent with the street frontage height objectives in the WTC.	√
	Controls <p>a) Comply with the minimum and maximum heights above ground level on the street front as shown in Figures 5.2-5.6.</p>	<p>The height of the proposed development is consistent with the maximum heights above ground on the street as shown in Figures 5.2, 5.3, 5.5 and 5.6, refer to Architectural Drawings included at Appendix B.</p> <p>The proposed development is not affected by Figure 5.4 and 5.5 as such these are not applicable.</p>	√

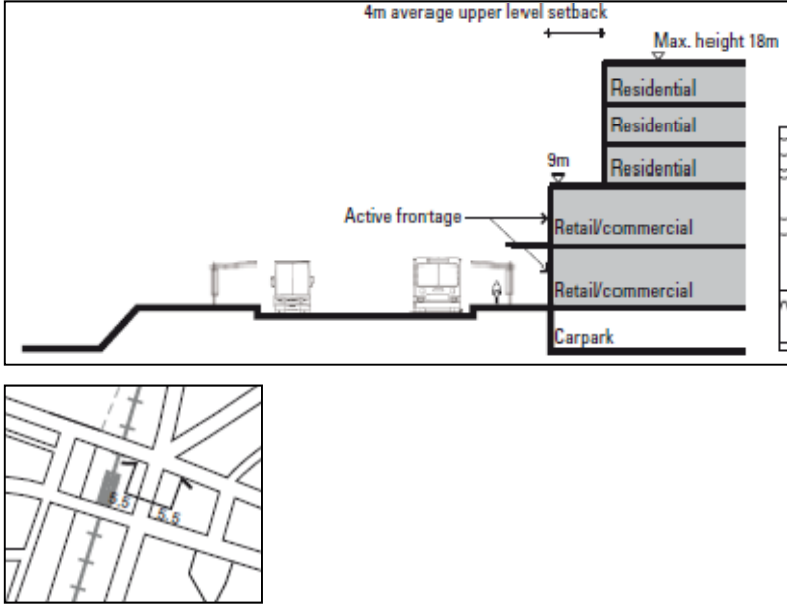
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p>FIGURE 5.2 MAIN STREET, SECTION THROUGH MIXED USE BUILDING</p>		✓
		✓

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p>FIGURE 5.3 SECTION THROUGH RETAIL CENTRE</p>		
 <p>FIGURE 5.4 SECTION THROUGH MAIN ACCESS STREET</p>		N/A

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p>FIGURE 5.5 SECTION THROUGH NIKKO ROAD BUS INTERCHANGE</p>		N/A
<p>b) Heights of buildings and all structures are not to exceed the maximum building height standards provided on the Obstacle Limitation Surface (OLS) map for Warnervale Aerodrome.</p>	<p>The height of the proposed development does not exceed the Obstacle Limitation Surface map for the Warnervale Aerodrome, refer to the Architectural Drawings included at Appendix B.</p>	√
<p>c) Any buildings within the Warnervale Town Centre site that exceed these height controls will require referral and consent from the Civil Aviation Safety Authority.</p>	<p>The height of the proposed development does not exceed the height controls detailed in this DCP; refer to the Architectural Drawings included at Appendix B.</p>	√
<p>5.3 Building Depth and Objectives</p>	<p>The proposed development is considered to be</p>	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
Bulk	<ul style="list-style-type: none"> To promote the design and development of sustainable buildings. To achieve the development of living and working environments with good, internal amenity. To minimise the need for artificial heating, cooling and lighting. To provide viable and useable commercial and retail floor space. To achieve useable and pleasant streets and public domain at ground level by controlling the size of upper level floor plates of buildings. To achieve a skyline sympathetic to the topography and context. To allow for view sharing and view corridors. To reduce the apparent bulk and scale of buildings by modulating building walls and articulating facades. 	consistent with the building depth and bulk objectives of the WTC.	
	Controls a) The maximum depth of residential buildings is to be as prescribed in SEPP 65.	There is no residential buildings proposed at this stage of the development therefore this control is not applicable.	N/A
	b) The maximum building depth for commercial office buildings should be 30m.	The building depth of the commercial offices within the proposed development have been designed to meet market needs and does not exceed 30m, refer to the Architectural Drawings included at Appendix B .	√
	c) At street frontage height levels, and where development is built from street edge to street edge, articulate buildings by using atria,	The internal building amenity has been considered by providing open exits to allow cross ventilation at	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>light wells and courtyards, to achieve satisfactory, internal building amenity and substantial day lighting and cross ventilation at every level.</i>	the ground/retail level of the proposed development, refer to the Architectural Drawings included at Appendix B .	
5.4 Mixed Use Buildings	Objectives <ul style="list-style-type: none"> <i>To encourage a variety of mixed-use developments in the Town Centre Civic Precinct.</i> <i>To create lively streets and public spaces in the town centre.</i> <i>To increase the diversity and range of shopping and recreational activities for workers, residents and visitors.</i> <i>To enhance public safety by increasing activity in the public domain.</i> <i>To minimise potential conflicts and achieve compatibility between different uses.</i> <i>To ensure that the design of mixed-use buildings addresses residential amenity, the public domain and the street</i> <i>To create separate, legible and safe access and circulation in mixed use buildings.</i> 	This stage of the proposed development does not include a mixed use development however the design does not preclude residential development from occurring in the Town Centre Civic Precinct.	√
	Controls <i>a) Provide flexible building layouts for variable tenancies or uses within buildings for mixed use blocks as indicated in Figure 5.6.</i>	This stage of the proposed development does not include a mixed use development however the design does not preclude residential development from occurring in the Town Centre Civic Precinct.	√
	<i>b) Provide minimum floor-to-ceiling heights of 3.6m for commercial office and other uses such as retail facing streets and pedestrian lanes, and 2.7m for residential.</i>	The floor-to-ceiling heights of the commercial offices and other uses within the proposed development can be designed to comply with this control.	√
	<i>c) Avoid the use of blank building walls at ground level.</i>	Blank walls are not present on the ground floor of	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
		the proposed development, refer to the Architectural Drawings included at Appendix B .	
	<i>d) Separate service requirements, such as loading docks, from residential access, servicing needs and the main street frontage.</i>	Service requirements for the proposed development are not located along the main street frontage and will not impede on the amenity of the surrounding residential areas, refer to the Architectural Drawings included at Appendix B .	√
	<i>e) Clearly separate and distinguish commercial and residential entries.</i>	This stage of the proposed development does not involve residential uses, however there will be clear signage to distinguish the varies entries to the development, refer to the Architectural Drawings included at Appendix B .	√
	<i>f) Locate clear, residential entries directly from the public street.</i>	This stage of the proposed development does not involve residential uses; therefore this control is not applicable.	N/A
	<i>g) Provide security access controls to all entrances into private areas, including car parks and internal courtyards</i>	This stage of the proposed development will provide clear signage to distinguish the restricted and non restricted areas of the development, refer to the Architectural Drawings included at Appendix B .	√
	<i>h) Provide safe pedestrian routes through the site, where required.</i>	The proposed development has provided safe pedestrian routes through the development, refer to the CPTED Report included at Appendix I .	√
5.5 Planting on Structures	Objectives <ul style="list-style-type: none"> <i>To contribute to the quality and amenity of open space on roof tops and internal court-yards.</i> <i>To encourage the establishment and healthy growth of trees and plantings</i> 	The proposed development is considered to be consisted with the planning on structures objectives.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> To minimise the use of potable water for irrigating planting on structures. 		
	Controls a) Areas with planting on structures are to be irrigated with an alternative water source.	Planting structures within the proposed development will be considered at the construction stage of the proposed development.	√
	b) Design for optimum conditions for plant growth by: <ul style="list-style-type: none"> providing soil depth, volume and area appropriate to proposed plant size, providing appropriate soil conditions and irrigation methods, and providing appropriate drainage. 	Planting structures within the proposed development will be considered at the construction stage of the proposed development.	√
	c) Design planters appropriate to soil depth and plant selection by: <ul style="list-style-type: none"> ensuring planter proportions accommodate the greatest possible soil volume and depths to ensure tree growth, and providing square or rectangular planting areas rather than narrow linear areas 	Planting structures within the proposed development will be considered at the construction stage of the proposed development.	√
	d) Increase minimum soil depths in accordance with: <ul style="list-style-type: none"> the mix of plants in a planter, for example, where trees are planted in association with shrubs and groundcovers, the level of landscape management particularly, the frequency of irrigation, anchorage requirements of large and medium trees, and soil type and quality 	Planting structures within the proposed development will be considered at the construction stage of the proposed development.	√
	e) Provide sufficient soil depth and area to allow for plant establishment and growth. The following minimum standards are	Planting structures within the proposed development will be considered at the construction	√

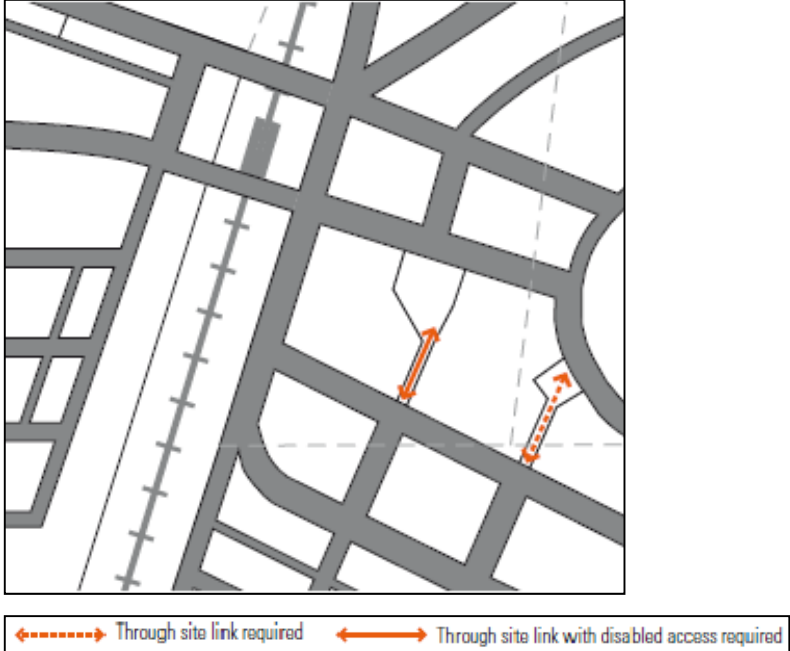
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT				TPG COMMENT	COMPLIES
	<i>recommended:</i>			stage of the proposed development.	
	<i>Plant type</i>	<i>Min soil depth</i>	<i>Min soil volume</i>		
	<i>Large trees (over 8m high)</i>	<i>1.3 m</i>	<i>150 cu m</i>		
	<i>Medium trees (2m to 8m hi h)</i>	<i>.0 m</i>	<i>35 cu m</i>		
	<i>Small trees (up to 2m high)</i>	<i>800 mm</i>	<i>9 cu m</i>		
	<i>Shrubs and ground cover</i>	<i>500 mm</i>	<i>n/a</i>		
	<i>f) Provide a minimum 200 sqm publicly accessible area as a rooftop garden for retail, commercial and public buildings, where practical, in the Local Centre zone. The rooftop garden should be designed and constructed according to best practice principles including access for maintenance. The building or strata manager, or the consent authority (if applicable), is to maintain the garden for the following purposes:</i> <ul style="list-style-type: none"><i>• green space for public enjoyment;</i><i>• demonstration of alternative, low water use agricultural practices; and</i><i>• thermal insulation for uses within the building.</i>			Planting structures within the proposed development will be considered at the construction stage of the proposed development. Proposed development can be designed to comply if required.	√
6 PEDESTRIAN AMENITY					
6.1 Permeability	Objectives <ul style="list-style-type: none"><i>To improve access in the Town Centre Civic Precinct by providing through-site links as development occurs.</i><i>To encourage active street fronts along the length of through-site links, where possible.</i><i>To provide for pedestrian amenity and safety.</i>			The proposed development is considered to be consistent with the permeability objectives for the WTC.	√
	Controls			The proposed development has provided a	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	a) Provide through-site links as shown in Figure 6.1 .	through site link as illustrated in Figure 6.1, refer to the architectural Drawings included at Appendix B .	
	b) Provide through-site links which: <ul style="list-style-type: none"> are open to the air and publicly accessible at all hours. have active frontages or a street address. have clear and direct through-ways 	The through site link within the proposed development will have active street frontage, clear and direct sight lines. Only the through site link that is exposed to the sky will be publically accessible at all hours, refer to the Architectural Drawings included at Appendix B .	√
	c) Provide public access at all business trading times or, as otherwise stipulated by development consent conditions.	The proposed development will provide public access at all business trading hours as detailed in the EA, Council can condition trading hours upon the issue of development consent.	√
	d) Provide a minimum 4m width of non-leasable space clear of all obstructions (including columns, stairs and escalators)	A minimum of 4m in width has been provided for non-leasable space clear of all obstructions; refer to the Architectural Drawings included at Appendix B .	√
	e) Provide access to natural light for at least 30% of their length, where practicable.	At least 30% of the through site link has access to natural light where practicable, refer to the Architectural Drawings included at Appendix B .	√
	f) Provide well lit and provide clear, visual links to exits into public spaces.	The proposed development has provide well lit and clear visual links to the exits into public spaces, refer to the Architectural Drawings included at Appendix B .	√
	g) Where enclosed, have clear glazed entry doors comprising at least 50% of the entrance.	The proposed development can be designed to comply.	
	h) Provide signage at street entries indicating public accessibility	The proposed development is considered to be	√

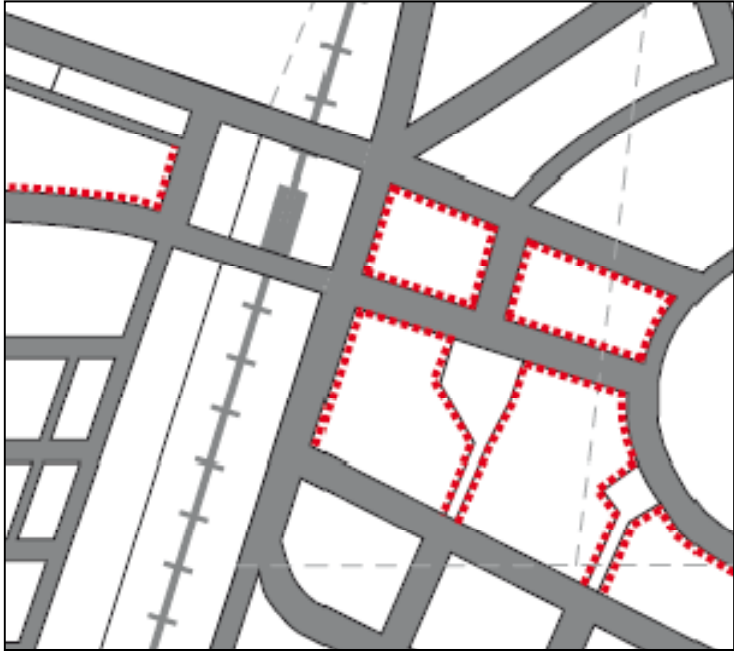
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT			TPG COMMENT	COMPLIES
		and the street to which the through-site link connects	consistent this control as signage is to be provided at street entries which indicate where public accessibility, refer to the Architectural Drawings included at Appendix B .	
		<p>i) Through site links with disabled access are to be provided in the locations shown in Figure 6.1.</p>  <p>FIGURE 6.1 THROUGH SITE LINKS REQUIRED FOR RETAIL BLOCK WITH CIVIC SQUARE</p>	The through site link within the proposed development as illustrated in Figure 6.1 will have disabled access.	√
6.2 Active Street Frontages	Objectives		The proposed development is considered to be consistent with these objectives as the	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> <i>To promote pedestrian activity and safety in the public domain.</i> <i>To maximise active street fronts in the Town Centre Civic Precinct.</i> 	development encourages pedestrian activity and active street fronts.	
	<p>Controls</p> <p>a) Active frontage uses are provided at street level and include the following:</p> <ul style="list-style-type: none"> <i>retail entries,</i> <i>shop fronts,</i> <i>glazed entries to commercial and residential lobbies, occupying less than 50% of the street frontage, to a maximum of 12 metres frontage,</i> <i>café or restaurant if accompanied by a street entry,</i> <i>active office uses, such as reception, if visible from the street, and</i> <i>public buildings with entries.</i> 	The proposed development is considered to be consistent with this control as active frontages have been provided at the street level of the development, refer to the Architectural Drawings included at Appendix B .	√
	<p>b) Provide active street fronts on the ground level of all areas identified in Figure 6.2.</p>	The proposed development is considered to be consistent with this control as active street frontages have been provided at the street level in accordance to Figure 6.2, refer to the Architectural Drawings included at Appendix B .	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p>..... Active street frontages</p> <p>FIGURE 6.2 ACTIVE STREET FRONTAGES</p> <p>c) <i>Encourage active street fronts in commercial and mixed use development, by providing non-residential uses on ground level.</i></p> <p>d) <i>Provide active ground floor uses at the same general level as</i></p>	<p>The proposed development is considered to be consistent with this control as non-residential uses are located at the street level of the development, refer to the Architectural Drawings included at Appendix B.</p> <p>The proposed development is considered to be</p>	<p>√</p> <p>√</p>

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>the footpath and directly accessible from the street.</i>	consistent with this control as the active uses located at the street level of the development are directly accessible from the street, refer to the Architectural Drawings included at Appendix B .	
	<i>e) Encourage the provision of openable shop fronts for ground floor restaurants, cafes and the like.</i>	The proposed development will allow direct visual access into the retail and commercial premises and vice versa located at the street level of the proposed development, refer to this Architectural Drawings included at Appendix B .	√
6.3 Front Fences	Objectives	No fencing proposed	
	<ul style="list-style-type: none"> To ensure front fences allow for passive surveillance of the street. To clearly define the public and private domain interface. To contribute to street amenity and the character of the WTC. 		
	Controls	No fencing proposed	
	<i>a) Comply with a maximum weighted average height of 1.0m above street level</i>		
	<i>b) Notwithstanding the above, the maximum height of any portion of a front fence must not exceed 1.2 m above street level.</i>	No fencing proposed	
	<i>c) Front fences over 1m in height above street level, must be at least 50% visually permeable.</i>	No fencing proposed	
	<i>d) Consistent in design and style with the building or dwelling it fences.</i>	No fencing proposed	
	<i>e) The use of decorative and varied materials is preferred.</i>	No fencing proposed	
	<i>f) The use of sheet metal is not permitted.</i>		
6.4 Safety and Security	Objectives	The proposed development is considered to be	√

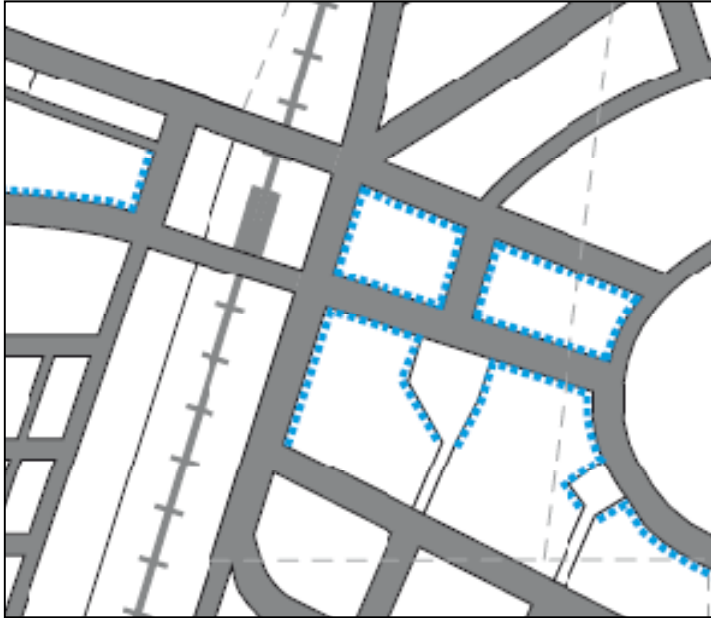
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> To ensure developments are safe and secure for pedestrians. To reduce opportunities for crime through environmental design. To contribute to public domain safety. To encourage a sense of ownership of public and communal open spaces. 	consistent with the safety and security objectives of the WTC.	
	Controls a) Address 'Safer-by-Design' principles (including the NSW Police 'Safer by Design' crime prevention through environmental design (CPTED) principles) in public and private domain design, and in all developments generally.	The 'Safer-by-Design' principles have been assessed the proposed development and is included in the CPTED Report at Appendix I.	√
	b) Provide for passive surveillance of public and communal spaces, access ways, entries and driveways in building design.	The proposed development provides passive surveillance of public and communal spaces, access ways and driveways, refer to the CPTED Report included at Appendix I .	√
	c) Avoid blind corners and alcoves that provide concealment opportunities in pathways, stairwells, hallways and car parks.	The proposed development avoids blind corners and alcoves that provide concealment opportunities in pathways, stairwells, hallways and car parks, refer to the CPTED Report included at Appendix I .	√
	d) Maximise the number of residential 'front door', ground level entries in mixed use buildings.	The proposed development does not involve residential uses therefore this control is not applicable.	N/A
	e) Provide entrances in visually prominent positions, which are easily identifiable, and with legible numbering.	The proposed development provides entrances in visually prominent positions which are easily identifiable; refer to the CPTED Report included at Appendix I .	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
		Council can condition the use of numbering at each premises upon the issue of development's consent.	
	<i>f) Clearly define the development boundary to strengthen the transition between public, semi-private and private space. This can be actual or symbolic, and can include landscaping, fences, and changes in paving material.</i>	The proposed development has a clearly define boundary edge to strengthen the transition between public, semi-private and private spaces, refer to the Architectural Drawings included at Appendix I .	√
	<i>g) Provide adequate lighting to all pedestrian access ways, parking areas and building entries.</i>	The proposed development provides adequate lighting to all pedestrian access ways, parking areas and building entries, refer to the CPTED Report included at Appendix I .	√
	<i>h) Provide clear lines of sight and well-lit routes throughout developments.</i> <i>Provide a 'safety by design' assessment (CPTED) from a qualified consultant for large scale retail and commercial development with a construction value of \$20 million or over and 5,000sqm or over 6.4</i>	The proposed development provides a clear lines of sight and well-lit routes throughout developments, refer to the CPTED Report included at Appendix I .	√
6.5 Awnings	Objectives <ul style="list-style-type: none"> <i>To provide shelter for public streets where most pedestrian activity occurs.</i> <i>To address the streetscape by providing a consistent street frontage in the Town Centre Civic Precinct.</i> 	The proposed development is considered to be consistent with the objectives for awning in the WTC.	√
	Controls <i>a) Continuous street frontage awnings are to be provided for all new developments as indicated in Figure 6.3.</i>	The proposed development has provided continuous street frontage awnings in accordance with Figure 6.3 .	√

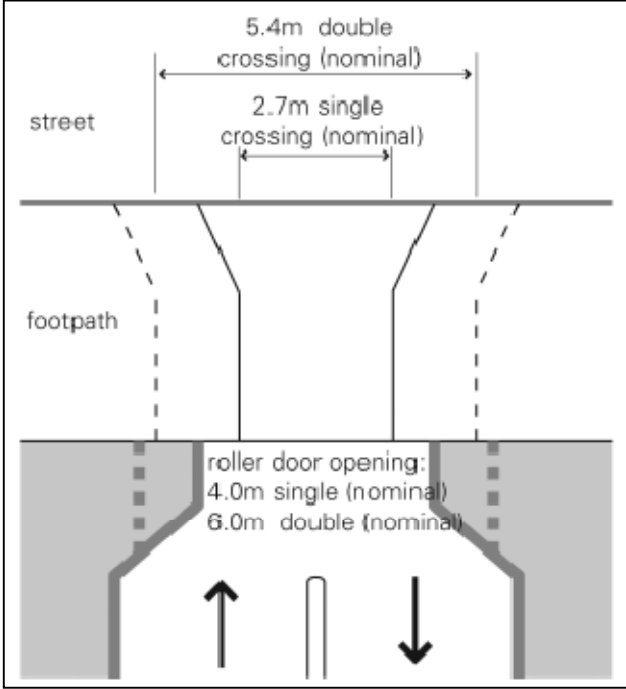
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p>..... Locations where continuous street awnings are required</p> <p>FIGURE 6.3 LOCATION OF STREET AWNINGS</p>		
<p>b) Awnings should be horizontal in form and generally comply with the following:</p> <ul style="list-style-type: none"> • minimum 2.4m deep (dependent upon footpath width), • soffit height of between 3.2m and 4m, • integrate with steps (should not exceed 700mm) for design articulation or to accommodate sloping streets with the building design, 	<p>Variation of this control discussed in EA, refer to the Architectural Drawings included at Appendix B.</p>	<p>✓</p>

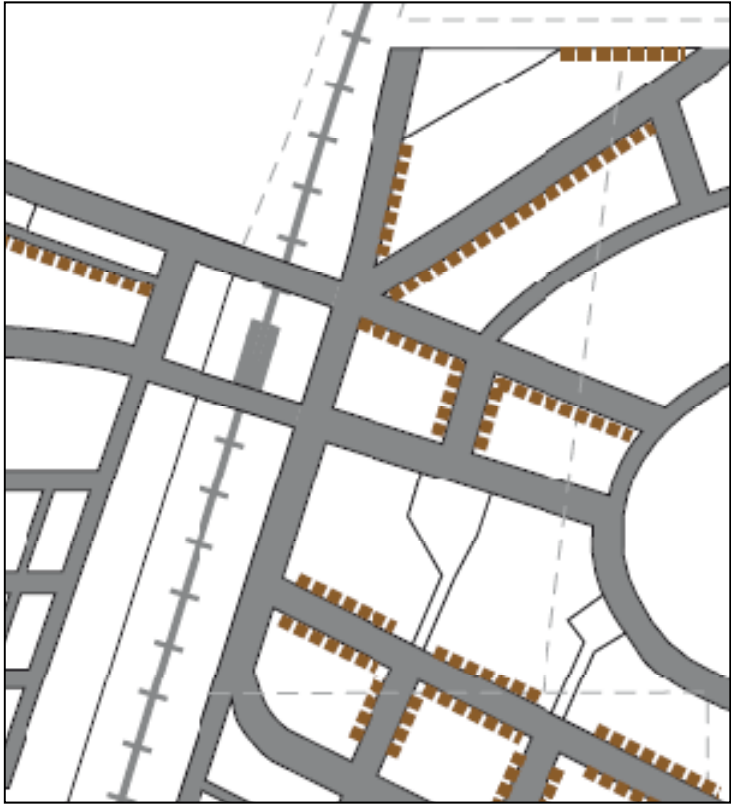
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> low profile, with slim, vertical fascias or eaves (generally not to exceed 300mm height), and set back from kerb to allow for clearance of elements including street furniture, and trees (typically 1.2m). 		
	c) Match awning design with building facades, be complementary to awnings on adjoining building and maintain continuity.	The proposed development is considered to be consistent with this control as the awning design will be complementary to the awnings of adjoining buildings.	√
	d) Wrap awnings around corners for a minimum 6m.	The proposed development includes awnings where appropriate for pedestrian usage, refer to the Architectural Drawings included at Appendix B .	√
	e) Vertical canvas drop blinds may be used along the outer edge of awnings along north-south streets. These blinds must not carry advertising or signage	The proponent is aware that vertical canvas drop blinds may be used along the outer edge of awnings along north-south streets. These blinds must not carry advertising or signage.	√
	f) Provide under-awning lighting to facilitate night use and to improve public safety. Recess lighting into the awning soffit or, wall mount it onto the building.	The proposed development will provide recessed under-awning lighting as such is considered to be consistent with this control, refer to the CPTED Report included at Appendix I .	√
6.6 Vehicle Footpath Crossings	Objectives <ul style="list-style-type: none"> Reduce vehicular access impacts on the public domain. To make vehicle access to buildings compatible with pedestrian movements. 	The proposed development is considered to be consistent with the vehicle footpath crossings objectives for the WTC.	√
	Controls <p>a) One vehicle access point only (including service vehicle access and non-residential parking within retail/residential developments)</p>	There are a total of six vehicle access points to/from the proposed development, three to the loading dock facilities and three to the car parking	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p><i>will be generally permitted.</i></p> <p><i>b) Vehicular entries in the Town Centre Civic Precinct are restricted to locations illustrated in Figure 6.5.</i></p>  <p>The diagram illustrates the nominal dimensions for vehicle footpath crossings. It shows a cross-section of a street and footpath. The street width is 5.4m for a double crossing and 2.7m for a single crossing. The footpath width is 4.0m for a single crossing and 6.0m for a double crossing. The roller door opening is 4.0m for a single crossing and 6.0m for a double crossing. Arrows indicate the direction of traffic flow.</p> <p>FIGURE 6.4 VEHICLE FOOTPATH CROSSINGS</p>	<p>facilities, refer to the Traffic Impact Assessment included at Appendix S.</p> <p>All but three entrances/exits to car parking or loading dock facilities for the proposed development are located in accordance with Figure 6.5, refer to the Traffic Impact Assessment included at Appendix S.</p>	<p>✓</p>

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<div data-bbox="539 410 1267 1217">  </div> <div data-bbox="539 1238 797 1275"> <p>Vehicle access</p> </div> <div data-bbox="539 1297 1223 1331"> <p>FIGURE 6.5 VEHICLE ACCESS PREFERRED LOCATIONS</p> </div> <div data-bbox="539 1345 1335 1372"> <p>c) Provide consolidated service vehicle access from Nikko Road at</p> </div>		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>the points indicated on Figure 6.5 rather than the primary street fronts of the Town Centre Civic Precinct.</i>		
	<i>d) Provide vehicle access points capable of shared access at a later date.</i>	Refer to the Traffic Impact Statement included at Appendix S .	√
	<i>e) Design of Vehicle Access: Wherever practicable, vehicle access is to be a single lane crossing, 2.7m maximum width over the footpath, and perpendicular to the kerb alignment. A double lane crossing, 5.4m maximum width, may be permitted for safety reasons in exceptional circumstances (refer to Fig 6.4)</i>	The vehicle access within the proposed development has been designed to comply with building standards, refer to the Civil Drawings and Report included at Appendix G .	√
	<i>f) Vehicle access ramps parallel to the street frontage will not be permitted.</i>	There are no vehicle access ramps parallel to the street frontage as such the proposed development is considered to be consistent with this control, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>g) Integrate vehicle entry points into the building design.</i>	The vehicle entry points within the proposed development have been integrated into the design of the building, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>h) Doors to vehicle access points are to be roller shutters or tilting doors fitted behind the building facade.</i>	The proposed development is considered to be consistent with this control as roller shutters or tilting doors for the vehicle access points are to be fitted behind the building facade, refer to the Architectural Drawings included at Appendix B .	√
	<i>i) Vehicle entries are to have high quality finishes to walls and ceilings, as well as high standard detailing. No service ducts or pipes are to be visible from the street.</i>	The materials and finishes of the vehicle entries are to be finalised at the construction stage of the proposed development. These will be designed to comply.	√
	<i>j) Porte Cocheres: Porte cocheres are not favoured and may only</i>	The proposed development does not include Porte	N/A

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>be permitted for hotels subject to urban design, streetscape, and pedestrian amenity considerations.</i>	Cocheres as such this control is not applicable.	
	<i>k) Where practicable, porte cocheres are to be internal to the building, with one combined vehicle entry and exit point, or one entry and one exit point on two different frontages of the development.</i>	The proposed development does not include Porte Cocheres as such this control is not applicable.	N/A
	<i>l) An indented porte cochere, with separate entry and exit points across the footpath, may be permitted in exceptional circumstances for buildings with one street frontage. This is provided that it is constructed entirely at footpath level and provides an active frontage at its perimeter.</i>	The proposed development does not include Porte Cocheres as such this control is not applicable.	N/A
6.7 Pedestrian Overpasses and Underpasses	Objectives <ul style="list-style-type: none"> To promote pedestrian activation of streets and public places. To promote 'safer by design' and crime prevention principles. To encourage street level pedestrian circulation. To protect views and vistas along streets. 	Pedestrian overpasses or underpasses are not included in the proposed development therefore this part of the DCP is not applicable.	√
6.8 Building Exteriors	Objectives <i>To ensure that new buildings on the WTC:</i> <ul style="list-style-type: none"> contribute positively to the streetscape and public domain by means of high quality architecture, materials and finishes, provide richness of detail and architectural interest, especially at visually prominent parts, such as lower levels and roof tops, present appropriate design responses to adjoining development which complement the streetscape, clearly define adjoining streets, street corners and public 	The proposed development is considered to be consistent with the building exterior objectives for the WTC.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p><i>spaces, and avoid ambiguous external spaces with poor pedestrian amenity and security,</i></p> <ul style="list-style-type: none"> <i>maintain a pedestrian scale in the articulation and detailing of lower levels, and</i> <i>contribute to a visually interesting ridgeline.</i> 		
	<p>Controls</p> <p><i>a) Consider adjoining buildings in the design of new buildings in terms of:</i></p> <ul style="list-style-type: none"> <i>appropriate alignment and street frontage heights,</i> <i>setbacks above street frontage heights,</i> <i>appropriate materials and finishes,</i> <i>facade proportions including, horizontal or vertical emphasis, and</i> <i>the provision of enclosed corners at street intersections</i> 	The proposed development has been designed in accordance with the surrounding buildings, refer to the Architectural Drawings included at Appendix B .	√
	<i>b) Provide balconies and terraces, particularly on low rise parts and where buildings overlook parks. Gardens on the top of roof areas of buildings are encouraged.</i>	Proposed development does not involve residential apartments.	
	<i>d) Articulate façades so that they address the street and add visual interest.</i>	The facades of the proposed development address the street to add visual interest to the development, refer to the Architectural Drawings included at Appendix B .	√
	<i>e) Construct external walls of high quality, durable materials and finishes with 'self-cleaning' attributes, such as face brick work, rendered brick work, stone, concrete and glass.</i>	The materials and finishes of the proposed development will be considered at the construction phase of the proposed development. The proponent will take this control into consideration.	√
	<i>f) Avoid finishes with high maintenance costs, those susceptible to degradation or corrosion, or finishes that result in unacceptable</i>	The finishes of the proposed development will be considered at the construction phase of the	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>amenity impacts, such as reflective glass.</i>	proposed development. The proponent will take this control into consideration.	
	<i>g) Avoid expanses of single materials to assist articulation and visual interest. However, maximise glazing for retail uses, but break glazing into sections.</i>	The proposed development has avoided expanses of single materials, refer to the Architectural Drawings included at Appendix B .	√
	<i>h) Limit sections of opaque or blank walls greater than 4m in length along the ground floor, to a maximum of 30% of a building's frontage.</i>	The proposed development does not incorporate opaque or blank walls in sections greater than 4m in length or occupy more than 30% of the buildings frontage, refer to the Architectural Drawings included at Appendix B .	√
	<i>i) Highly reflective finishes and curtain wall glazing are not permitted above ground floor level (see Section 8.11).</i>	The proposed development is considered to be consistent with this control as highly reflective finishes and curtain wall glazing is not proposed above the ground floor level, refer to the Architectural Drawings included at Appendix B .	√
	<i>j) Submit a materials sample board and schedule with applications with a value in excess of \$1 million or, for part of any development built to the street edge.</i>		
	<i>k) Minor projections up to 450mm from building walls above 3.6m (in accordance with those permitted by the BCA), may extend into the public space. This is provided that the projection is not defined as gross floor area, does not detract from significant views and vistas, and provides a public benefit, such as:</i> <ul style="list-style-type: none"> <i>expressed cornice lines that assist in enhancing the streetscape, and</i> <i>projections such as entry canopies that add visual interest and amenity.</i> 	The proposed development is considered to be consistent with this control, refer to the Architectural Drawings included at Appendix B .	√
	<i>l) The design of roof plant rooms, antennas, ducting, compressors,</i>	All plant rooms, antennas, ducting, compressor,	

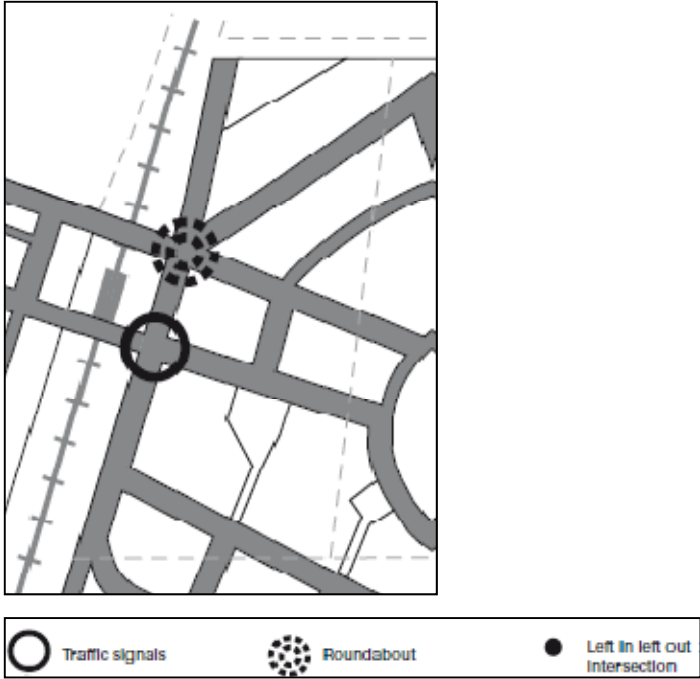
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>utilities and lift over-runs are to be integrated into a building's architecture.</i>	utilities and lift overruns are integrated within the proposed development, refer to the Architectural drawings included at Appendix B .	
7. ACCESS, PARKING AND SERVICING			
7.1 Pedestrian Access and Mobility	Objectives <ul style="list-style-type: none"> <i>To provide safe and easy access to buildings.</i> <i>To enable use and enjoyment of spaces regardless of one's age and physical condition.</i> <i>To contribute to the vitality and vibrancy of the public domain.</i> <i>To ensure buildings and places are accessible to people with a disability.</i> <i>To provide a safe and accessible public domain.</i> 	The proposed development is considered to be consistent with the pedestrian access and mobility objectives of the WTC.	√
	Controls <p><i>a) Make main building entry points clearly visible from primary street frontages.</i></p>	The entry point to the proposed development will be clearly visible from primary street frontages, refer to the Architectural Drawings included at Appendix B .	√
	<i>b) Enhance building entry points as appropriate, with awnings, building signage or high quality architectural features, to improve clarity of building address and contribute to user amenity.</i>	The entry points to the proposed development have been enhanced through high quality architectural features to contribute to the users amenity, refer to the Architectural Drawings included at Appendix B .	
	<i>c) The design of facilities (including car parking requirements) for disabled persons must comply with the relevant Australian Standard (AS 1428 Pt 1 and 2, AS 2890-1 Off Street Carparking or as amended) and the Disability Discrimination Act 1992 (as amended).</i>	The proposed development will be designed to comply with the BCA requirements for disabled persons.	√
	<i>d) Provide barrier-free access for a minimum of 20% of dwellings (and associated common areas) for every application for</i>	The proposed development does not incorporate residential dwellings therefore this control is not	N/A

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>development.</i>	applicable.	
	<i>e) Provide at least one main, pedestrian entry with barrier-free access to at least the ground floor in all developments.</i>	At least one main, pedestrian entry with barrier free access has been provided within the ground floor of the proposed development, refer to the Architectural drawings included at Appendix B .	√
	<i>f) Provide continuous paths of travel from all public roads and spaces, as well as, unimpeded internal access.</i>	Continuous paths of travel from all public roads and spaces as well as unimpeded internal access has been provided within the proposed development, refer to the Architectural Drawings included at Appendix B .	√
	<i>g) Provide durable materials commensurate with the standard of the adjoining public domain (street), with appropriate slip resistant materials, tactile surfaces and contrasting colours for all pedestrian access ways, entry paths and lobbies.</i>	The materials of the proposed development will be considered at the construction phase of the proposed development. The proponent will take this control into consideration.	√
7.2 Traffic Management	<p><i>Warnervale Town Centre will provide a major node for regional traffic travelling north-south - eg from Charmhaven through to the new Link Road at Albert Warner Drive, Warnervale. This will generally occur via Hakone Road, through the Town Centre, Main Town Centre Entry Road, Sparks Road and to the Link Road.</i></p> <p><i>Key links are also anticipated to the west (Warnervale Employment Zone) - for commercial purposes. These tend to be more off-peak.</i></p> <p><i>The main traffic generation occurs from the south and south-east regions - particularly private vehicles.</i></p> <p><i>Public carparking is to be located conveniently and readily accessed along major “through Town Centre” route.</i></p> <p><i>Figure 7.1 outlines the major routes for private, bus and delivery traffic.</i></p>	The proposed development is considered to be consistent with the traffic management requirements, refer to the Traffic Impact Assessment included at Appendix S .	√

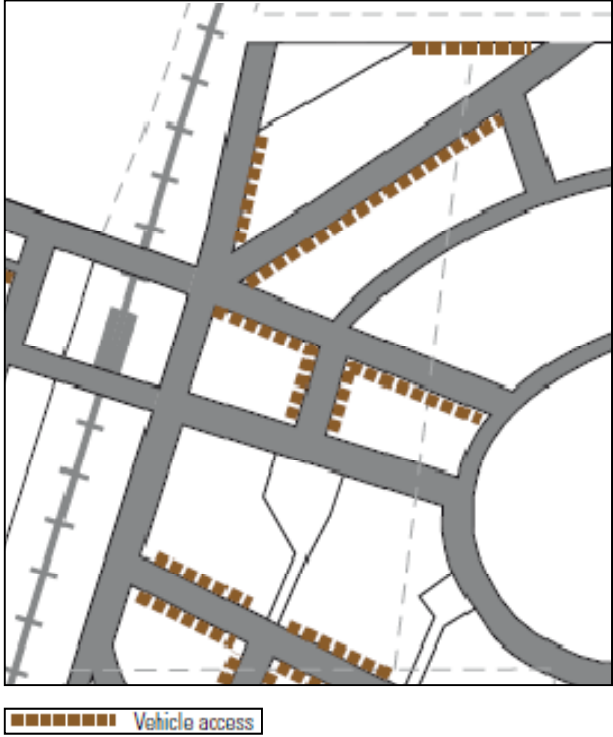
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

	REQUIREMENT	TPG COMMENT	COMPLIES
	<p><i>The Main Town Centre Entry Road should be classified as a major road/main street.</i></p>  <p>FIGURE 7.1: PROPOSED TRAFFIC MANAGEMENT STRATEGY</p>		
7.3 Vehicular Driveways and Manoeuvring Areas	<p>Objectives</p> <ul style="list-style-type: none"> <i>To ensure vehicle access to buildings is compatible with pedestrian movements and the public domain.</i> <i>To provide vehicle entry points integrated into building design</i> 	<p>The proposed development is considered to be consistent with the vehicle driveways and manoeuvring areas objectives within the WTC.</p>	<p>√</p>

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p><i>and architecture.</i></p> <ul style="list-style-type: none"> • <i>To design vehicle access to appropriate traffic and safety management standards.</i> • <i>To minimise the number and width of vehicle crossings to retain streetscape continuity and reinforce a high quality public domain.</i> • <i>To provide clear separation of usages for service vehicles and private cars, where practicable.</i> • <i>To consider pedestrian safety in siting car park entries and, where practicable, allow for trolley storage bays.</i> • <i>To minimise stormwater runoff from uncovered driveways and parking areas.</i> 		
	<p>Controls</p> <p><i>a) Driveways should be:</i></p> <p><i>Located a minimum of 6m from the perpendicular of any intersection of any two roads.</i></p> <p><i>Provided from lanes and secondary streets rather than the primary street, wherever practical.</i></p> <p><i>Located taking into account any services within the road reserve, such as power poles, drainage inlet pits and existing street trees.</i></p> <p><i>Set back a minimum of 1.5m from the relevant side property boundary where adjacent to residential development.</i></p> <p><i>Provide consolidated service vehicle access to loading bays in the Town Centre Civic Precinct off Nikko Road, generally in accordance with Figure 6.5.</i></p>	<p>The proposed development will be designed to comply, refer to the Traffic Impact Assessment included at Appendix S.</p>	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<div data-bbox="539 411 1149 1150">  <p>FIGURE 6.5 VEHICLE ACCESS PREFERRED LOCATIONS</p> </div> <p>b) <i>Integrate vehicle access with the building design so it is visually recessive.</i></p>	<p>The proposed development has integrated vehicle access with the building design so it is visually recessive, refer to the Architectural Drawings included at Appendix B and the Traffic Impact Assessment included at Appendix S.</p>	<p>√</p>

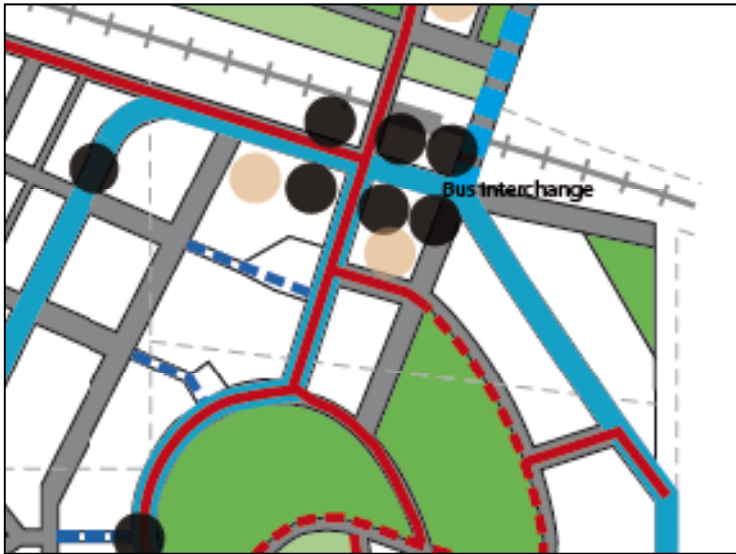
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>c) Use high quality materials and finishes.</i>	The materials of the proposed development will be considered at the construction phase of the proposed development. The proponent will take this control into consideration.	√
	<i>d) Clearly differentiate vehicular and pedestrian access.</i>	The proposed development will clearly distinguish the vehicular and pedestrian access, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>e) Provide for all vehicles to enter and leave in a forward direction.</i>	Vehicles within the proposed development will leave in a forward direction, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>f) Comply with relevant Australian Standards for driveway widths and grades, car space dimensions, vehicular ramp width/grades, and passing bays.</i>	The driveway widths and grades, car space dimensions, vehicular ramp width/grades and passing bay within the proposed development will be designed to comply.	√
	<i>g) Vehicular ramps less than 20m long within developments and parking stations must have a maximum grade of 1 in 5 (20%).</i>	The ramps within the proposed development less than 20m long will have a maximum grade of 1 in 5, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>h) Site access ways to underground parking to minimise noise impacts on adjacent habitable rooms, particularly bedrooms.</i>	The access to the underground parking within the proposed development is not located adjacent to habitable rooms or bedrooms, refer to the Architectural Drawings included at Appendix B and the Survey Plan included at Appendix C .	√
	<i>i) Naturally ventilate service areas where possible.</i>	The proposed development has naturally ventilated areas where possible, refer to the Architectural Drawings included at Appendix B .	√
7.4 On-site Parking	Objectives	The proposed development is considered to	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> To provide adequate on-site parking for all land uses. Minimise the visual impact of on-site parking. To provide adequate space for parking and manoeuvring of vehicles (including service vehicles and bicycles). To enable the interim use of certain sites. See Figure 3.14 for at-grade parking. To promote the use of public transport, bicycles and walking. 	consistent with the on-site parking objectives within the WTC.	
	Controls a) On-site parking must meet the relevant Australian Standard (AS 2890.1 2004).	The proposed development will be designed to comply with the appropriate Australian Standards, refer to the Traffic Impact Assessment included at Appendix S .	√
	b) On-site vehicle, motorcycle and bicycle parking is to be provided in accordance with Table 4 below.	The proposed development is considered to be consistent the parking requirements detailed in Table 4, refer to the Traffic Impact Assessment included at Appendix S .	√
	c) 500 cars spaces are to be provided for commuter parking in the locations indicated at Figure 3.14 .	The proposed development has accommodated for 500 car spaces as illustrated in Figure 3.14, refer to the Traffic Impact Assessment included at Appendix S .	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
 <p data-bbox="539 986 853 1283"> Legend: --- Off road cycle path --- On road cycle path --- Pedestrian through site links — Bus route ● Commuter carpark (indicative locations) ● Bus stop </p> <p data-bbox="539 1289 1205 1321">FIGURE 3.14 BUS, CYCLE AND PEDESTRIAN ROUTES</p> <p data-bbox="539 1342 1330 1369">d) Provide appropriately designated and signed disabled parking</p>	<p data-bbox="1352 1342 1962 1369">The proposed development has provided disabled</p>	<p data-bbox="2002 1342 2029 1369">√</p>

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>spaces for people with disabilities in accordance with Table 4 below.</i>	parking spaces in accordance with Table 4, these will be appropriately designated, refer to the Traffic Impact Assessment included at Appendix S .	
	<i>e) Provide bicycle parking/storage in developments, where indicated in Table 4.</i>	Bicycle parking/storage can be accommodated within the proposed development, this can be conditioned upon the issue of development consent. Refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>f) Accommodate on-site parking underground (subject to (i) below) or, otherwise integrated into the building design.</i>	The proposed development has been integrated into the design of the proposed development, refer to the Architectural Drawings included at Appendix B .	√
	<i>g) Above ground parking is only permitted at the rear of shops, restaurants and the like, and for detached and attached housing. It must be located behind the building line and screened from the public domain, where possible.</i>	The above ground car parking facilities provided by the proposed development is considered to be consistent with this control, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>h) Natural ventilation should be provided to underground parking areas where possible, with ventilation grilles and structures integrated into the building façade and not located on the primary street façade.</i>	Natural ventilation has been provided where possible within the underground car parking facilities of the proposed development.	√
	<i>i) Provide adequate change and shower facilities for cyclists for commercial and retail development providing employment for 20 persons or more. Locate those facilities close to bicycle storage areas.</i>	Adequate change and shower facilities can be accommodated within the proposed development this can be conditioned upon the issue of development consent.	√
Table 4: Required parking rates	Refer to Appendix S		√
	Land use	Parking requirement	
	Recreation		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT			TPG COMMENT	COMPLIES
	Entertainment facility	1 space/10 seats for 75% of total seats, and 1 space/4 seats for 25% of total seats.		
	Registered club & pub	Car parking: 1 space/4m2 of bar area, plus 1 space/6m2 of lounge, beer garden, gambling area, plus 1 space/10 seats or 20m2 area of auditorium, plus 1 space/resident manager, plus 1 space/ 2 employees NOTE: Restaurants and dining rooms require additional parking at the relevant rate specified in this Table below. Motorcycle parking: 1 space/ 25 car spaces, or part thereof		
	Place of public worship	1 space/ 10 seats, or 1 space/ 10sqm GFA, whichever is greater.		
	Retail & business premises			
	Bulky goods	1 space/ 50sqm GFA.		
	Business premises	1 space/ 30sqm GFA.		
	Restaurant	15 spaces/ 100sqm GFA, or 1 space/ 3 seats, whichever is lesser.		
	Retail premises	5.6 spaces/100sqm.		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p>Access for the disabled</p> <p>1 space/100 parking spaces; minimum 3.2m width.</p> <p>Comply with Australian Standard 2890.1.</p> <p>Where access for the disabled is required, parking shall be located adjacent to the building's nearest disabled access. The path of travel from the parking area shall have adequate width and gradient.</p> <p>Other uses</p> <p>For land uses not specified in this Table, the Roads and Traffic Authority guidelines will be applied to developments of a minor nature including, extensions. However, a traffic impact statement (with recommendation for on-site car, motorbike and bicycle parking) is required with all major applications..</p>		
7.5 Site Facilities and Services	<p>Objectives</p> <ul style="list-style-type: none"> To consider the design of urban infrastructure as an integral part of urban design. To achieve a planned system of services, integrated with streetscape design to reduce maintenance time, damage and repair costs and contribute to the public domain. To ensure that site facilities (such as clothes drying areas, mail boxes, recycling and garbage disposal units/areas, screens, lighting, storage areas, air conditioning units and communication structures) are effectively integrated into the development and are unobtrusive. To ensure that site services and facilities are adequate for the nature and quantum of development. To establish appropriate access and location requirements for servicing. 	The proposed development is considered to consistent with the site facilities and services objectives within the WTC.	

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> To ensure service requirements do not have adverse amenity impacts. 		
	Controls a) Provide underground services for all domestic serving utilities, including electrical services.	The proposed development provides underground services including electrical services, refer to the Civil Drawings and report included at Appendix G .	√
	Mail boxes b) Provide mail boxes for residential building and/or commercial tenancies in one accessible location adjacent to the main entrance to the development.	As the proposed development is predominately for retail purpose mail boxes would not be ideal for the development, as such this control is not applicable.	N/A
	c) They should be integrated into a wall where possible and be constructed of materials consistent with the appearance of the building.	As the proposed development is predominately for retail purpose mail boxes would not be ideal for the development, as such this control is not applicable.	N/A
	d) Mail boxes shall be secure and large enough to accommodate articles such as newspapers.	As the proposed development is predominately for retail purpose mail boxes would not be ideal for the development, as such this control is not applicable.	N/A
	Communication structures, air conditioners and service vents e) Locate satellite dish and tele-communication antennae, air conditioning units, ventilation stacks and any ancillary structures: <ul style="list-style-type: none"> away from the street frontage, integrated into the roof-scape design and in a position where such facilities will not become a skyline feature at the top of any building, and adequately setback from the perimeter wall or roof edge of buildings. 	Communication structures, air conditioners and service vents have been provided in appropriate locations within the proposed development, refer to the Civil Drawings and Report included at Appendix G .	√
	f) A master antenna must be provided for residential apartment buildings. The antenna should be sited to minimise its visibility from surrounding public areas.	The proposed development does not include residential uses as such this control is not applicable.	N/A

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	Waste (garbage) storage and collection <i>g) All development is to adequately accommodate waste handling and storage on-site. The size, location and handling procedures for all waste, including recyclables, is to be determined in accordance with the consent authority's waste policies and advice from relevant waste handling contractors.</i>	The proposed development has appropriately accommodate waste storage and collection within the development, refer to the Waste Minimisation and Management Plan included at Appendix L .	√
	<i>h) Access for waste collection and storage is preferred from rear lanes, side streets or rights of ways.</i>	The proposed development will allow access for waste collection and storage using the rear lanes, side street or rights of ways, refer to the Waste Minimisation and Management Plan included at Appendix L .	√
	<i>i) Waste storage areas are to be designed and located to:</i> <i>ensure adequate driveway access and manoeuvrability for any required service vehicles,</i> <i>not create any adverse noise impacts on existing developments or sensitive noise receptors such as habitable rooms of residential developments, and</i> <i>be screened from the public way and adjacent development that may overlook the area</i>	The proposed development has appropriately located and design waste storage accordingly, refer to the Waste Minimisation and Management Plan included at Appendix L .	√
	<i>j) The storage facility must be well lit, easily accessible, on-grade for movement of bins, free of obstructions that may restrict movement and servicing of bins or containers and designed to minimise noise impacts.</i>	The waste storage facility has taken into consideration accessibility, safety and noise factors, refer to the Waste Minimisation and Management Plan included at Appendix L .	√
	<i>k) Collection vehicles are to enter and depart in a forward manner. Reversing on site will only be permitted where there is no conflict with pedestrians or other vehicles.</i>	The collection of waste from the proposed development should not impede with pedestrian or other vehicular access, refer to the Traffic Impact Assessment included at Appendix S .	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES										
	<p>Location requirements for waste storage areas and access:</p> <p><i>l) Where waste volumes require a common collection, storage and handling area, this is to be located:</i></p> <ul style="list-style-type: none"><i>for residential buildings, at ground behind the main building setback and façade, or within a basement or enclosed car park, and</i><i>for commercial, retail and other development, on-site in basements or at ground level within discrete service areas not visible from main street frontages.</i>	Waste storage areas and access to these areas within the proposed development are not visible from any mains street frontages, refer to the Architectural Drawings included at Appendix B .	√										
	<p><i>m) Where above ground garbage collection is prohibitive or impractical due to limited street frontage, or would create an unsafe environment, an on-site basement storage area must be provided.</i></p>	The waste storage or collection areas will not impede on the street frontage or create an unsafe environment as such no basement storage areas have been provided, refer to the Architectural Drawings included at Appendix B .	√										
	<p><i>n) Where a mobile compaction vehicle is required to enter the site, the access and circulation area shall be designed to accommodate a vehicle with the following dimensions:</i></p> <table><tr><td><i>Position</i></td><td><i>Dimension</i></td></tr><tr><td><i>Vehicle length</i></td><td><i>12300mm</i></td></tr><tr><td><i>Vehicle width</i></td><td><i>3500mm</i></td></tr><tr><td><i>Vehicle height – travel (Safe height in confined areas – top door closed and forks down)</i></td><td><i>3800mm</i></td></tr><tr><td><i>Vehicle height – operation (Top door open with a bin at full tipping position)</i></td><td><i>6000mm</i></td></tr></table>	<i>Position</i>	<i>Dimension</i>	<i>Vehicle length</i>	<i>12300mm</i>	<i>Vehicle width</i>	<i>3500mm</i>	<i>Vehicle height – travel (Safe height in confined areas – top door closed and forks down)</i>	<i>3800mm</i>	<i>Vehicle height – operation (Top door open with a bin at full tipping position)</i>	<i>6000mm</i>	The proposed development has been design to accommodate this control, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>Position</i>	<i>Dimension</i>											
<i>Vehicle length</i>	<i>12300mm</i>												
<i>Vehicle width</i>	<i>3500mm</i>												
<i>Vehicle height – travel (Safe height in confined areas – top door closed and forks down)</i>	<i>3800mm</i>												
<i>Vehicle height – operation (Top door open with a bin at full tipping position)</i>	<i>6000mm</i>												
<p>Service docks and loading/unloading areas</p>	The proposed development has provided	√											

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>o) Provide adequate space within any new development for the manoeuvring, loading and unloading of service/delivery vehicles.</i>	adequate space for the manoeuvring, loading and unloading of service/delivery vehicles, refer to the Architectural Drawings included at Appendix B .	
	<i>p) Preferably locate service access off rear lanes, side streets or rights of way.</i>	Service docks and loading/unloading areas have been located within the development so that they will not impede on pedestrian or other vehicle movements, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>q) Screen all service doors and loading docks from street frontages and from active overlooking from existing developments.</i>	The service doors and loading docks within the proposed development will not diminish the amenity of street frontages and active overlooking from existing developments, refer to the Architectural Drawings included at Appendix B .	√
	<i>r) Design circulation and access in accordance with AS 2890.1.</i>	The circulation and access to the service docks and loading/unloading areas within the proposed development has been designed to comply, refer to the Traffic Impact Assessment included at Appendix S .	√
	<i>s) Service/delivery vehicles need to enter and leave service area in a forward manner and are to be separate from general parking and pedestrian areas.</i>	The service/delivery vehicles collection to/from the proposed development should not impede with pedestrian movements or general parking areas, refer to the Traffic Impact Assessment included at Appendix S .	√
	<p>Fire service and emergency vehicles</p> <p><i>t) For developments where a fire brigade vehicle is required to enter the site, vehicular access, egress and manoeuvring must be provided to, from and on the site in accordance with the NSW Fire Brigades (FB) Code of Practice – Building Construction – NSWFB Vehicle Requirements.</i></p>	The proposed development has been designed to comply and accommodate fire service and emergency vehicles where required, refer to the Traffic Impact Assessment included at Appendix S .	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
8. ENVIRONMENTAL MANAGEMENT			
8.1 Water Consumption	Objectives <ul style="list-style-type: none"> To reduce potable mains water demand from non-residential development by promoting water-efficient appliances, alternative water sources for appropriate purposes, and wastewater reuse. To reduce wastewater disposal and encourage its reuse in retail, commercial, community and public development. To lower greenhouse gas emissions. To encourage innovation in the collection and reuse of alternative water sources. 	The proposed development is considered to be consistent with the water consumption objectives within the WTC.	√
	Controls General <i>Proponents can submit alternative solutions to the controls in this section where it can be demonstrated that an equal or superior outcome will result.</i>	The proponent is aware of this control.	√
	Water consumption reduction <i>a) Use an alternative water source for the irrigation of public or private open space.</i>	The proposed development is considered to be consistent with the water consumption and reduction controls, refer to the Civil Drawings and Report included at Appendix G .	√
	<i>b) Provide all irrigation of public and private open spaces by sub-surface, drip irrigation systems controlled by timers and soil moisture or rainfall sensors.</i> <i>c) Provide for future supply of reticulated recycled water to non-residential development by installing:</i> <ul style="list-style-type: none"> a reticulated alternative (that is, a “third pipe”) network to all non-residential allotment boundaries; 		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<ul style="list-style-type: none"> pipe network sizing capable of supplying: <ul style="list-style-type: none"> all residential demand for toilet flush and laundry cold water; all non-residential toilets and urinals in the Local Centre zone; and other non-potable water demands including, non-commercial car-washing, hose-down, laundry, and cooling towers. <p>d) All water fixtures in non residential buildings including, public facilities should be rated to deliver maximum water flows of</p> <ul style="list-style-type: none"> 6 litres per minute for hand basins, and 9 litres per minute for showers <p>e) Provide other water efficiency measures in non-residential buildings and public facilities including:</p> <ul style="list-style-type: none"> all toilets to be provided with dual flush systems of no more than 6 litres per full flush and 3 litres per half flush. manual or sensor operated, low volume flush systems fitted to all urinals (excluding waterless, or ultra water-efficient urinals), trigger nozzles on all hoses and kitchen dishwashing facilities, and automatic shut off for all public hand basin taps <p>f) Locate all non-residential hot water systems as close as practical to the hot water end-use (for example, aquatic centre shower facilities).</p>		
<p>Alternative water supplies and treatment options</p> <p>a) Potable water must not be drawn on for the following uses in non-residential development, unless as a backup supply:</p> <ul style="list-style-type: none"> toilet and urinal flushing, 	<p>The proposed development is considered to be consistent with the alternative water supplies and treatment options controls, refer to the civil Drawings and report included at Appendix G.</p>	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> • fire service testing, • clothes laundering, • hosing-down, • car washing. 		
	<p>b) As long as “fit for purpose” treatment measures appropriate to the water source and the water end-use are applied, alternative water sources for non potable uses may include:</p> <ul style="list-style-type: none"> • rainwater harvested from roofs, or • treated waste water, • stormwater or • greywater (such as collected from showers, hose-down, car-wash or laundry facilities). 		
	<p>c) Gravity feed is a preferred characteristic of the treatment options. If it cannot be achieved, localised, modular treatment technologies should be used rather than centralised treatment, to avoid the use of unnecessary water pumping energy.</p> <ul style="list-style-type: none"> • Preferred localised, modular treatment options include: <ul style="list-style-type: none"> ○ subsurface flow wetlands; ○ suspended growth systems including, activated sludge systems; ○ fixed growth systems, including trickle filters, rotating biological contactors; ○ re-circulating media filters (fixed film bio-reactor); sand and depth filtration; ○ membrane filtration including micro, ultra, nano filtration and reverse osmosis; and ○ membrane bioreactor. 		
	Cooling towers	The proposed development is considered to be consistent with the cooling towers controls, refer to	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p>a) <i>Cooling towers, or other forms of evaporative coolers for the provision of cooled air to, or the rejection of heat from heating, ventilation, air conditioning, chilling or refrigeration systems, must (except in cases of emergency, such as failure of the particular water supply), draw 100% of their water use from an alternative water supply. Suitable, alternative water supplies include:</i></p> <ul style="list-style-type: none"> • <i>harvested rainwater or</i> • <i>appropriately treated:</i> <ul style="list-style-type: none"> ○ <i>waste water,</i> ○ <i>stormwater or</i> ○ <i>greywater (such as collected from showers, hose-down, car-wash or laundry facilities).</i> 	the civil Drawings and report included at Appendix G.	
	<p>Aquatic centre</p> <p>a) <i>Evaporative water loss from pools (and pools' heating energy consumption) must be minimised by providing pool covers to all pools</i></p> <p>b) <i>Filter backwashing shall be:</i></p> <ul style="list-style-type: none"> • <i>provided so that all backwash water is collected for treatment and reuse; and</i> • <i>automatically controlled to prevent excessive or lengthy backwash cycles;</i> <p>c) <i>Install drainage barriers around pools to collect any overflows or splashes for reuse (after treatment) as:</i></p> <ul style="list-style-type: none"> • <i>pool make up water; and/or</i> • <i>an alternative water supply for internal hose-down, toilet flushing or garden irrigation .</i> <p>d) <i>All captured pool water must be treated to a standard</i></p>	The proposed development does not include an Aquatic Centre therefore these controls are not applicable.	N/A

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p><i>appropriate to the intended end use .</i></p> <p>e) Provide for 100% of water drained from pools to be stored and treated for either:</p> <ul style="list-style-type: none"> pool refill and top up; other reuses anywhere on the WTC site including: <ul style="list-style-type: none"> garden irrigation; toilet flushing; water supply to cooling towers or other evaporative cooling systems; and other satisfactory uses which displace potable water use. 		
8.2 Integrated Water Cycle Management and Water Sensitive Urban Design	<p>Objectives</p> <ul style="list-style-type: none"> To protect the key hydrologic characteristics of Porter's Creek Wetland and Wallarah Creek. To recommend that hydrologic performance objectives for development within the Porter's Creek Wetland and Wallarah Creek catchments are listed and preliminary storage requirements are provided as indicated on Figure 8.1. To guide development consistent with the principles of Water Sensitive Urban Design (WSUD). To ensure that stormwater runoff achieves best practice standards. To limit changes in flow rate and flow duration within the receiving waterways as a result of development. To protect the receiving wetlands and waterway ecosystems through: <ul style="list-style-type: none"> Preservation of both the flooding and drying hydrology from the development area to the wetlands. Treating urban stormwater runoff as required by Council's Stormwater Management Plan (90% 	<p>The proposed development is considered to be consistent with the objectives of the integrated water cycle management and water sensitive urban design objectives within the WTC. Refer to the Civil Drawings and Report included at Appendix G.</p>	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p><i>reduction in TSS, 50% reduction in TN and TP).</i></p> <ul style="list-style-type: none"> <i>o Preservation of the pre-development flows within Wallarah Creek which influence stream disturbance (3mth and 1.5yr ARI).</i> <i>To minimise impacts of flood flows discharging from the WTC on downstream waterways.</i> <i>To mitigate the impacts of urban development on stormwater quality through incorporating best practice stormwater management principles and strategies in development.</i> <i>To safeguard the environment by improving the quality of water run-off.</i> 		
	<p>Controls</p> <p>Wetland and Stream Hydrology Controls</p> <p><i>a) All development within the Porter's Creek Wetland Catchment, must attain the following: Preserve the pre-development 30 day low flow duration frequency curve for the dry season (October to January).</i></p> <ul style="list-style-type: none"> <i>• Preserve the low flow spells frequency curve for the dry season.</i> <i>• Preserve the pre-development 30 day high flow duration frequency curve for the dry season (October to January).</i> <i>• Maximise collection and reuse of stormwater in line with the above points.</i> 	The proposed development is not sited within the Porters Creek Wetland Catchment therefore this control is not applicable.	N/A
	<p><i>b) All development within the Wallarah Creek Catchment must attain the following:</i></p> <ul style="list-style-type: none"> <i>• Preserve the pre-development 14 day low flow duration frequency curve for the dry season (October to January).</i> <i>• Preserve the low flow spells frequency curve for the dry season.</i> 	The proposed development is not sited within the Wallarah Creeek Catchment as such this control is not applicable.	N/A








WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<ul style="list-style-type: none"> • <i>Preserve the pre-development 14 day high flow duration frequency curve for the dry season (all months).</i> <ul style="list-style-type: none"> ○ <i>Maximise collection and reuse of stormwater in line with the above points.</i> ○ <i>Preserve the pre-development channel forming flows within Wallarah Creek, which are assumed to be approximately equivalent to the 1.5yr ARI event.</i> ○ <i>Preserve the pre-development peak flows within Wallarah Creek for the regular event (3mth ARI) which tend to cause erosion of localised sections of the bed and banks and dictate stream health.</i> ○ <i>Ensure appropriate delivery of flows entering the Wallarah Creek riparian corridor to preserve the pre-development behaviour (dispersed sheet flow) or provide appropriate protection.</i> 		
<p>Stormwater Quality Controls</p> <p>a) <i>All stormwater from the Warnervale Town Centre development discharging into the hydrologic management systems (ie. stormwater storage) is to be treated in accordance with best practice:</i></p> <ul style="list-style-type: none"> • <i>80% reduction in the mean annual load of Total Suspended Solids (TSS).</i> • <i>45% reduction in the mean annual load of Total Nitrogen (TN).</i> • <i>45% reduction in the mean annual load of Total Phosphorus (TP)</i> <p>b) <i>All other stormwater from the Warnervale Town Centre development discharging directly into 'receiving environments' (i.e. 7G wetlands, Porters Creek Wetland, Wallarah Creek) is to be treated in accordance with Wyong Shire Council's Stormwater Management Plan:</i></p>	<p>The proposed development is considered to be consistent with the stormwater quality controls applicable, refer to the civil Drawings and report included at Appendix G.</p>	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> • 90% reduction in the mean annual load of Total Suspended Solids (TSS). • 50% reduction in the mean annual load of Total Nitrogen (TN). • 50% reduction in the mean annual load of Total Phosphorus (TP). • Retention of litter greater than 5mm for flows up to 50% of the one-year ARI peak flow. • No visible oils for flows up to 50% of the one-year ARI peak flow. 		
	c) Compliance with these standards to be determined through stormwater quality (MUSIC) modelling in accordance with the IWCM Strategy.		
	d) The configuration and sizing of appropriate WSUD measures to meet the stormwater quality objectives should be identified in accordance with the IWCM Strategy and documented for development application.		
	<p>Development Approval Requirements</p> <p>All uses</p> <p>a) Applicants to comply with the following requirements for 'Private' IWCM Infrastructure and the 'Public' Infrastructure .</p> <p>b) Submit a WCM Plan to the consent authority as part of the DA process, to ensure the development is consistent with the WTC IWCM Strategy.</p> <p>c) the detailed designs and associated documentation (as above) developed for construction certificate must be certified by the WSUD specialist who documents an applicant's WCM Plan.</p> <p>TSS: Total suspended solids; TN: Total nitrogen; TP: Total</p>	The proposed development is considered to be consistent with the development approval requirements, refer to EA documentation.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p><i>phosphorous.ARI: Annual Recurrence Interval. Streets</i></p>  <p>WATER SENSITIVE URBAN DESIGN: STORMWATER INFILTRATION</p> <ul style="list-style-type: none">  Streets with infiltration tree pits  Streets with infiltration swale in the median  Streets with infiltration swale in park side permeable surfacing  Streets with infiltration swale in park side and permeable surfacing  Streets with kerb and gutter inlets  Detention areas 		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	FIGURE 8.1: WATER SENSITIVE URBAN DESIGN		
	Table 5: Summary of WTC IWCM Strategy		
	WATER CYCLE MANAGEMENT ELEMENT	Private (Private allotment owned and managed) Public (Council owned and managed)	
	'At Source' Stormwater Treatment: For large retail, commercial and apartment allotments, treatment systems integrated into landscapes and forecourts to collect runoff and facilitate treatment prior to discharge from the allotment.	✓	
	'Streetscape' Stormwater Treatment: Integrated into road reserves to collect road and allotment runoff and facilitate treatment prior to discharge to stormwater drainage system and subsequently the stormwater storage.	✓	
	'Precinct' Stormwater Treatment: Large treatment systems integrated into open space, parkland or landscape areas to accept piped discharge from larger precinct scale catchments and facilitate treatment prior to discharge to the 'stormwater storage'.	✓	
	Stream Protection Core Riparian Corridor widths and buffers specified for key riparian zones.	✓	
	Flow Diversion: Diversion of treated flows up to the 1yr ARI to occur where required to deliver flows from smaller catchments to large Stormwater Storages.	✓	
	Stormwater Storage: Stormwater Storage sized in combination with rapid drawdown pump rate to remove excess stormwater and deliver the wetland hydrologic objectives.	✓	
	Brickworks Regional Storage: 'Regional' storage to accept pumped harvested stormwater from Stormwater Storages and deliver these waters to Link Road Pipeline.	✓	
Link Road Pipeline to Wyong River Delivery of excess stormwater to Wyong River via Link Road Pipeline.	✓		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p>Stream Disturbance Management Storage of 1.5yr flows to preserve the current peak flows entering Wallarah Creek, ensure flow is delivered in a dispersed manner and protective of already scoured zones. ✓</p> <hr/> <p>Flood Storage: Located at the downstream end of the catchments to preserve the current peak flows exiting the site for the 5-100yr ARI event. Where possible, the storage is to be incorporated into the Stormwater Storage. ✓</p> <hr/> <p>The final mix of 'At Source', 'Streetscape' and 'Precinct' scale treatment systems to be defined by individual developers.</p>		
	<p>Development Application</p> <p><i>All uses</i></p> <p><i>a) Applicants must consult with the consent authority at an early, conceptual design stage to confirm the IWCM Strategy requirements in relation to their development site. Water conservation aspects of those requirements will not apply to private dwellings built to be compliant with BASIX. The IWCM Strategy discussions will provide the developer with the following:</i></p> <p><i>Confirmation of the land use type to apply on the development site.</i></p> <p><i>Detail the relevant IWCM objectives and identify any variations from the IWCM Strategy.</i></p> <ul style="list-style-type: none"> <i>Details of the IWCM Infrastructure relating to the development and any variations from the IWCM Strategy</i> <i>Method for stormwater treatment systems and stormwater storage design if the catchment/development areas vary from the IWCM Strategy.</i> <i>Indication of preferred delivery (construction, establishment and handover) model for the IWCM elements</i> <hr/> <p><i>b) Following conceptual design, applicants must submit a WCM</i></p>	<p>The proposed development is considered to be consistent with these controls, refer to EA documentation.</p>	✓

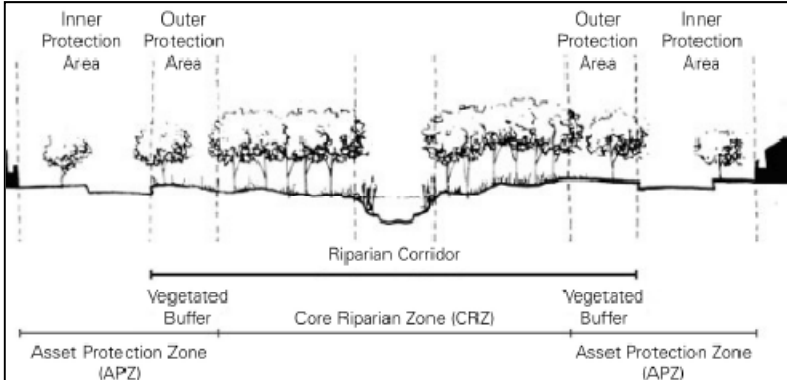
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p><i>Plan to the consent authority as part of the Development Approval. The WCM Plan must provide the following:</i></p> <ul style="list-style-type: none"> <i>Description of the existing WTC including topography, vegetation and soils.</i> <i>Location in relation to the IWCM Strategy catchments and the stormwater storage to which the development drains.</i> <i>Description of the proposed development including, roof areas, landscaped areas (for irrigation), ground level hardstand and uses through the development site.</i> <i>Description of stormwater treatment strategy including, 'at source', 'streetscape' or 'precinct' scale elements to deliver the stormwater quality objectives. Results of performance assessment using the MUSIC model in accordance with the MUSIC Modelling Guidelines must be provided with the conceptual design including, size, depth, and landscape integration of the IWCM elements.</i> <i>Drainage strategy for the site to ensure runoff is delivered to the relevant stormwater storage</i> 		
<p>Construction Certification</p> <p><i>a) Undertake the design development and detailed design of the IWCM elements in accordance with Australian Runoff Quality and WSUD Technical Guidelines (ARQ, 2003), and with the design approach described in WTC IWCM Strategy.</i></p> <hr/> <p><i>b) Submit the following documentation for the design development and detailed design for Construction Certification in addition to standard landscape and civil drawings:</i></p> <ul style="list-style-type: none"> <i>IWCM/WSUD Functional Design Report (describe key functional elements and provide relevant WSUD/IWCM Specifications);</i> 	<p>The proponent will consider this control at the construction development stage of the proposed development as such this is not applicable.</p>	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> Construction and Establishment Methodology; Monitoring and Maintenance Plan. 		
	<p>Construction and Establishment</p> <p>a) Applicants must submit a site specific construction and establishment methodology as part of design development and detailed design. The methodology must be submitted with the Construction Certification, and document the IWCM elements.</p>	The proponent will consider this control at construction and establishment stage of the proposed development.	√
	<p>Hard paved surfaces</p> <p>a) Incorporate WSUD principles in the design of the public domain and private hard paved surfaces.</p>	The proponent will take these controls at the construction stage of the proposed development.	
	<p>b) Use pipes and pits to direct drainage from streets and other impervious surfaces (including, car parks, paved outdoor areas, footpaths) into gross pollutant traps and oil and grit/sediment separators.</p>		
	<p>c) Pass collected stormwater through a filtration system for further treatment. Direct collected treated stormwater into bio-retention trenches or holding tanks before reuse or, discharge to council's trunk stormwater drains or to natural watercourses.</p>		
	<p>d) The types of pollutants, estimated pollutant loadings and level of pollutant retention of any stormwater discharged into natural watercourses should reflect current best practice, and be consistent with the objectives and recommendations of the Australian Runoff Quality and WSUD Technical Guidelines.</p>		
8.3 Riparian Corridors	<p>Objectives</p> <ul style="list-style-type: none"> To protect the ecological function of vegetated riparian corridors. To retain, and where appropriate, modify and/or rehabilitate 	The proposed development is not sited within a riparian corridor as such this part is not applicable.	N/A

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p>existing watercourses and riparian zones.</p> <ul style="list-style-type: none"> To reduce the risk of stream erosion within Wallarah Creek and Porter's Creek following development. To create a stable environment that enhances stream ecology. To provide habitat connectivity across the WTC. To allow for the use of the riparian corridor buffers for low impact recreational activities such as walking and cycling. <p>Controls</p> <p>a) The tributary to the west of the railway corridor is to be protected through a core riparian corridor width of 40m minimum, with 15m buffers either side, forming a total corridor of 70m</p> <p>b) The Wallarah Creek tributary is to be protected through a core riparian corridor width of 60m minimum, with 10m minimum buffers either side, forming a total corridor of 80m minimum.</p> <p>c) The vegetated buffers either side of the Core Riparian Zone (CRZ) can include the Outer Protection Area of the Asset Protection Zone (APZ). Refer to Figure 8.2.</p> 		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p>FIGURE 8.2 RIPARIAN CORRIDOR FEATURE ZONES</p> <p>d) Where there are important patches of vegetation, the setback width of CRZs should vary to incorporate existing endemic vegetation.</p> <p>e) Stormwater infrastructure, water quality treatment ponds, pedestrian and cycleways and asset protection zones are to be located outside of the CRZ. These uses are permitted within the non-core riparian buffer if the impact on riparian functions is minimal and its integrity maintained and where they have been specifically identified in the WSUD strategy for the site</p> <p>f) The understorey can be cleared in the riparian zone buffers but the tree canopy needs to be retained. This is subject to compliance with the Outer Protection Area of the APZ, and bushfire legislation.</p> <p>g) The location of access ways to and within a riparian buffer is not to compromise the ecological integrity of any existing riparian vegetation, the stream-bed or bank stability.</p> <p>h) The impact of pedestrian and cycleways and general access points to riparian corridors is to be minimised by using ecologically informed design principles (for example, elevated accessways that allow sunlight to penetrate and vegetation to grow beneath).</p>		
8.4 Tree Retention and biodiversity	<p>Objectives</p> <ul style="list-style-type: none"> To ensure the protection and enhancement of existing significant trees, where possible. To improve or maintain biodiversity values. To maintain or improve as much existing vegetation as practicable. 	The proposed development is considered to be consistent with the tree retention and biodiversity objectives within the WTC.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<ul style="list-style-type: none"> To reduce impacts of runoff from roads and impervious areas on adjacent lands. To manage weeds during and after construction, to prevent the spread of weeds. 		
	<p>Controls</p> <p>a) Retain, where possible, all habitat trees, particularly, large hollow bearing trees, nest trees, and trees important for multiple ecological objectives (daisy protection, protection of habitat areas for fauna, etc), and for visual/aesthetic values.</p> <p>b) Retain other existing significant trees within residential development, public open space, streetscapes and riparian corridors, where possible.</p> <p>c) Minimise the loss of <i>Rutidosia heterogama</i> (Heath Wrinklewort)</p> <p>d) Carry out additional detailed surveys and identification work for development of any land within the WTC. The additional information is to describe the exact nature, values and distribution of trees, and identify measures for their maintenance and protection.</p> <p>e) Submit a tree survey plan with all subdivision applications. The tree survey plan is to identify the location, type and condition of all existing trees, and trees proposed to be removed and retained. Where trees are to be maintained, details of protection methods, during and after construction, are also required.</p> <p>f) Where earthworks necessitate the removal of existing trees, applicants are required to comply with section 8.8 of this DCP.</p> <p>g) Plant a range of endemic tree and shrub species throughout the WTC, in accordance with the landscape specification.</p>	<p>The proposed development is considered to be consistent with these controls, refer to the State Significant Site Study Ecological Investigations included at Appendix R.</p>	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p><i>h) Native vegetation (canopy level) shall be provided, where possible, within neighbourhood parks, riparian corridors and street verges to create a 'stepping-stone corridor' for terrestrial biodiversity. Details of any planting shall be provided within a detailed Landscape Plan submitted at DA stage.</i></p> <p><i>i) Submit a weed management plan (if required by the consent authority), for subdivision applications which:</i></p> <ul style="list-style-type: none"> <i>identifies weed control measures during and after development,</i> <i>requires land to be revegetated after disturbance or construction activities to reduce the likelihood of weed species growing on the WTC, and</i> <i>requires topsoils brought onto the WTC to be certified free of weeds before use.</i> 		
8.5 Bushfire Hazard management	<p>Objectives</p> <ul style="list-style-type: none"> <i>To prevent the loss of life and property due to bushfires, by discouraging the establishment of incompatible uses on bushfire prone land.</i> <i>To encourage sound management of bushfire prone land.</i> <i>To implement fire management activities that reduce threats to life and property.</i> <i>To ensure ecological thresholds are not exceeded.</i> 	The proposed development is considered to be consistent with the bushfire hazard management objectives within the WTC.	√
	<p>Controls</p> <p>a) Asset Protection Zones (APZs):</p> <ul style="list-style-type: none"> <i>are to be located wholly within a development site;</i> <i>may incorporate roads;</i> <i>are to be located wholly outside of a Core Riparian Zone</i> 	The proposed development is considered to be consistent with the bushfire and hazard management controls, refer to the State Significant Site Study Bushfire Investigations included at Appendix P .	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p>(CRZ), and outside the Heath Wrinklewort Reserve;</p> <ul style="list-style-type: none"> • may be located within the CRZ buffer but must not compromise the tree canopy; • may be used for open space and recreation subject to appropriate fuel management; • are to be established and maintained in accordance with the Planning for Bushfire Protection 2006; • may incorporate private residential land, but only within the building setback (no dwellings are to be located within the APZ), and • are to be generally bounded by a perimeter fire trail/road that is linked to the public road system at regular intervals in accordance with Planning for Bushfire Protection 2006. <p>b) DAs for the WTC, and residential development or Special Fire Protection Purpose developments are subject to s100B of the Rural Fires Act 1997, and s 79BA of the EP&A Act 1979.</p> <p>c) DAs are to address the requirements of Planning for Bushfire Protection 2006.</p> <p>d) Meet the standards of Planning for Bushfire Protection 2006 for reticulated water. Water supply is to be via a ring main system, engineered to the requirements of Australian Standard 2419.1-1994 Fire Hydrant Installations.</p> <p>e) Bushfire Hazard Management measures are to be incorporated into Council's Plans of Management for public domain and open space.</p> <p>f) Where an allotment fronts and partially incorporates an APZ, it shall have an appropriate depth to accommodate a dwelling with private open space and the minimum required APZ. The APZ will be identified through a Section 88B Instrument (Conveyancing Act</p>		


WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p>1919, as amended).</p> <p>g) Temporary APZs, identified through a Section 88B Instrument, will be required where development is proposed on allotments next to undeveloped land. The temporary APZ will not be required, and shall cease upon, development of the adjacent stage.</p> <p>h) School buildings fronting bushland areas shall be setback 35 metres from the bushland boundary.</p>		
8.6 Contamination Management	<p>Objectives</p> <ul style="list-style-type: none"> To ensure that changes to land use do not increase the risk to public health or the biophysical environment. To avoid inappropriate restrictions on land use. To provide advice to support decision making and inform the community. To consider the likelihood of land contamination as early as possible in the planning process. To link decisions about the development of the land with the information available about contamination possibilities. 	The proposed development is considered to be consistent with the contamination management objectives within the WTC.	√
	<p>Controls</p> <p>a) DAs for development on land identified in Figure 8.4 need to be accompanied by a preliminary investigation in accordance with the contaminated land planning guidelines (under s145C of the AP&A Act).</p>	The site of the proposed development has been identified in Figure 8.4, refer to Stages 1 and 2 Contamination Reports included at Appendix H .	√
	<p>b) In considering a DA, the consent authority must be satisfied that land, where it is contaminated, is suitable in its contaminated state, or will be suitable after remediation, for the purpose for which the development is proposed to be carried out.</p>	The proposed development is considered to be consistent with these controls, refer to the Stages 1 and 2 Contamination Reports included at Appendix H .	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p>c) If land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, the consent authority must be satisfied that a site will be remediated before the land is used for that purpose.</p> <p>d) Comply with a maximum 1 in 3 grade for embankments.</p> <p>e) Submit a geotechnical assessment to the consent authority with a DA for development on land indicated in Figure 8.5.</p> <p>f) If, under extraordinary circumstances, approval is given by the consent authority for cut and fill to exceed 1m in height:</p> <ul style="list-style-type: none"> • a report is required from a qualified geotechnical engineer certifying the stability of the resulting slope and adequacy of retention therein; • all details regarding proposed lot reshaping shall be shown on engineering plans submitted for approval including, but not limited to the following: <ul style="list-style-type: none"> i.) the proposed finished and existing surface levels of each lot. Lots shall be graded in accordance with the consent authority's requirements for drainage. ii.) the location and type of all proposed retaining structures in accordance with the consent authority's requirements for methods for retaining fill. iii.) where existing trees cannot be retained, comply with the consent authority's requirements. iv.) batters generally in accordance with the consent authority's requirements for the retention and extent of fill. v.) all longitudinal sections (sewer and inter-allotment 		


WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p>drainage longitudinal sections) within terraced developments must reflect the proposed finished surface levels and be designed accordingly.</p> <p>vi.) the proposed earthworks for preparation prior to cut and fill, fill material, compaction and testing of material, topsoiling, stabilising and revegetation, must comply with the above requirements.</p>		
	<p>g) Where earthworks necessitate the removal of existing trees, the site is required to be replanted with a minimum of six advanced saplings of suitable species. Planting is to be clear of the likely building location, a minimum of 2m from side or rear boundaries, and shall not be commenced until the earthworks have been completed and topsoiled.</p>		
	 <p>FIGURE 8.4 LAND REQUIRING CONTAMINATION INVESTIGATION</p>		
8.7 Retaining Walls and	Objectives	The proposed development is considered to be	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
Earthworks	<ul style="list-style-type: none"> To provide a consistent treatment for the provision of retaining walls. To accommodate proposed development on site without the need for excessive cut and fill or construction of high retaining walls. To encourage designs conforming to natural land forms. To ensure that building design is appropriate. 	consistent with the retaining walls and earthworks objectives within the WTC.	
	Controls a) Construct retaining walls in consistent, visually recessive materials and colours.	The proposed development is considered to be consistent with these controls, refer to the State significant Site Study Geotechnical Investigation included at Appendix N .	√
	b) Encourage landscaped embankments in preference to retaining walls and similar garden wall		
8.8 Soils	Objectives <ul style="list-style-type: none"> To implement measures as part of development to prevent any degradation of the existing soil and groundwater environment. To minimise erosion and sediment loss during and after construction. To minimise water pollution from erosion siltation and sedimentation. To ensure that development does not contribute to environmental damage of water-courses and vegetation on the WTC and beyond. To minimise air and water pollution due to soil loss either through erosion or poor site practices 	The proposed development is considered to be consistent with the soils objectives within the WTC.	√
	Controls a) Development should be designed and constructed to effectively integrate with the natural topography of the site, minimising the	The proposed development is considered to be consistent with these controls, refer to the State significant Site Study Geotechnical Investigation	√

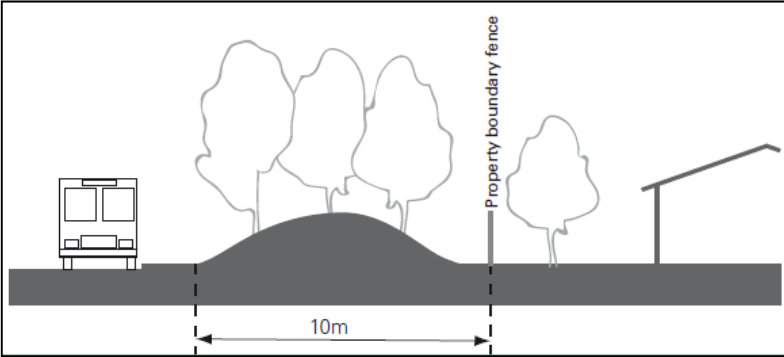
WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p><i>need for excessive sediment disturbance.</i></p>  <p>FIGURE 8.5 LAND REQUIRING FURTHER GEOTECHNICAL INVESTIGATION</p> <p><i>b) Soil loss from a development site should be prevented through the installation and maintenance of effective site management practices.</i></p> <p><i>c) An erosion and sediment control plan (ESC Plan) is required to be submitted with all DAs (including complying development) where the proposal involves site disturbance, excavation or filling (other than for minor building modifications) including:</i></p> <ul style="list-style-type: none"> • <i>demolition</i> • <i>excavation</i> • <i>trenching</i> • <i>building</i> 	<p>included at Appendix N.</p>	

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p>d) The ESC Plan must make reference to the entire construction and post construction period. All devices must be installed prior to commencement of any other demolition or construction works on-site</p> <p>e) The ESC Plan is to be prepared according to the requirements of the NSW Department of Housing, Managing Urban Storm water: Soils and Construction, 2004, and Council's Policy E1: Erosion and Sediment Control from Building Sites.</p> <p>f) For large scale developments (greater than 5000sq m), more extensive controls will be required according to the requirements of the NSW Department of Housing's controls referred to in (e) above.</p> <p>g) Suspended solid concentrations in storm-water leaving the site shall not exceed more than 50mg/l.</p> <p>h) All controls are to be maintained through the life of the works and shall be inspected and repaired at the end of each working day.</p> <p>i) Dust control measures should be applied to reduce surface or airborne movement of sediment from exposed areas of the site.</p> <p>j) All DAs for land identified in Figure 8.5 require the submission of a geotechnical study to the consent authority.</p>		
8.9 Acoustics	<p>Objectives</p> <ul style="list-style-type: none"> To minimise noise and vibration impacts from the railway corridor and Sparks Road. To establish appropriate built forms to mitigate noise and vibration impacts. To minimise noise impacts on residential uses, places of public 	The proposed development is considered to be consistent with the acoustic objectives the WTC.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p><i>worship, hospitals, educational establishments and other noise sensitive buildings in proximity to the railway corridor.</i></p> <p>Controls</p> <p>a) <i>Provide noise mitigation measures to minimise noise from the railway corridor and Sparks Road. A landscaped acoustic buffer is to be provided between building boundary fences and the nearest road kerb along Sparks Road (refer to Figure 8.6).</i></p>  <p>FIGURE 8.6 NOISE MITIGATION MEASURES IN NOISE AFFECTED AREAS.</p> <p>b) <i>Provide all practicable mitigation measures for rail noise and vibration as per the Rail Infrastructure Corporation and State Rail Authority Interim Guidelines for Councils: Consideration of Rail Noise and Vibration in the Planning Process, 2003, for development on land within 60m of the north-south rail corridor.</i></p> <p>c) <i>Reduce road noise impacts in accordance with the Roads and Traffic Authority Environmental Noise Management Manual, 2001.</i></p> <p>d) <i>The environmental noise goal for new dwellings shall be 60dB(A) L10 18 hours at 1 metre from the facade of future</i></p>	<p>The proposed development is considered to be consistent with these controls, refer to the State significant Site Study Noise and Vibration Investigation included at Appendix Q.</p>	<p>√</p>

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT	TPG COMMENT	COMPLIES
<p><i>dwelling or 45dB(A) L10 18 hours within those dwellings when tested in accordance with the Environmental Protection Authority's Environmental Criteria for Road Traffic Noise, May 1999. The consent authority may consider a variation of the external noise goal, based on an applicant's sound economic and technical considerations and evidence that the internal noise standard specified in AS/NZS 2107-2000 can be reasonably achieved for all affected new dwellings.</i></p> <p><i>e) Submit a noise study prepared by an appropriately qualified acoustic consultant with DAs for properties fronting Sparks Road and in the vicinity of access roads. The noise study is required to identify appropriate noise amelioration measures including dwelling design and acoustic buffer design. The design noise level shall be based upon estimated traffic flows, speeds and percentage of heavy goods vehicles expected in the next ten years (this information will be supplied by Council)</i></p> <p><i>f) A landscaped acoustic buffer is to be provided along the southern boundary of the school on Sparks Road</i></p> <p><i>g) Noise amelioration mounds should be treated with stepped construction of subgrade to enable better keying of top soil to the sub-grade mounds. Top soil depth should be 200mm minimum and no slope should have a batter greater than 1:3. Mounds should be constructed with tree planting within batter grass treatments. Grasses should only be planted as a temporary measure so that tree establishment is not hindered by competition with grassing.</i></p> <p><i>h) Any noise mitigation measures are to be located outside the Heath Wrinklewort Reserve.</i></p> <p><i>i) Adopt other mitigation measures, where relevant in consultation with the consent authority.</i></p>		

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<i>j) Mitigate noise impacts on residential areas from non-residential uses by imposing operating hours and other operational measures, as appropriate.</i>		
8.10 Reflectivity	Objective <ul style="list-style-type: none"> <i>To restrict sunlight reflection from buildings to surrounding areas and other buildings.</i> <i>To ensure amenity and safety for pedestrians and motorists.</i> 	The proposed development is considered to be consistent with the reflectivity objectives within the WTC.	√
	Controls <p><i>a) New buildings and facades should not result in glare that causes discomfort or threatens safety of pedestrians or drivers.</i></p>	The materials and finishes of the proposed development will be considered at the construction phase of the development, the proponent will take this control into consideration.	√
	<i>b) New buildings and facades should not result in glare that causes discomfort or reduces amenity in adjacent residential areas or public domain.</i>	The materials and finishes of the proposed development will be considered at the construction phase of the development, the proponent will take this control into consideration.	√
	<i>c) Visible light reflectivity from building materials used on new building facades should not exceed 20%.</i>	The materials and finishes of the proposed development will be considered at the construction phase of the development, the proponent will take this control into consideration.	√
	<i>d) A reflectivity report analysing the impacts of potential solar glare on pedestrians and motorists may be required - subject to a proposal's extent and nature of glazing and reflective materials.</i>	The materials and finishes of the proposed development will be considered at the construction phase of the development, the proponent will take this control into consideration.	√
8.11 Waste and Recycling	Objectives <ul style="list-style-type: none"> <i>To minimise waste generation and disposal to landfill by careful source separation, reuse and recycling.</i> <i>To avoid waste generation through design, material selection</i> 	The proposed development is considered to be consistent with the waste and recycling objectives within the WTC.	√

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p><i>and building practices.</i></p> <ul style="list-style-type: none"> <i>• To plan for the types, amount and disposal of waste generation during demolition, excavation and construction of developments.</i> <i>• To ensure the efficient storage and collection of waste, and the quality design of facilities.</i> 		
	<p>Controls</p> <p>Non-residential development</p> <p><i>a) DAs/PAs for all non-residential development must be accompanied by a waste management plan that addresses:</i></p> <ul style="list-style-type: none"> <i>• best practice recycling and reuse of construction and demolition materials,</i> <i>• use of sustainable building materials that can be reused or recycled at the end of their lives,</i> <i>• handling methods and waste storage area locations such that handling and storage has no negative impact on the streetscape, building presentation or, amenity of occupants and pedestrians</i> <i>• procedures for the on-going sustainable management of green and putrescible waste, garbage, glass, containers and paper including, estimated volumes, required bin capacity and on-site storage requirements</i> <p><i>The waste management plan is to be prepared by a specialist waste consultant and is subject to approval by the consent authority.</i></p>	<p>The proposed development is considered to be consistent with this control, refer to the Waste Management and Minimisation Plan included at Appendix L.</p>	
	<p>Residential development</p> <p><i>a) In developments not exceeding four dwellings, individual waste storage facilities may be permitted</i></p>	<p>The proposed development does not include residential uses therefore these controls are not applicable.</p>	N/A

WARNERVALE TOWN CENTRE DEVELOPMENT CONTROL PLAN 2008 – COMPLIANCE TABLE

REQUIREMENT		TPG COMMENT	COMPLIES
	<p><i>b) In development of more than six dwellings or, where the topography or distance to the street collection point makes access difficult for individual occupants, a collection and storage area is required. The storage area must be located in a position which is:</i></p> <ul style="list-style-type: none"> <i>• not visible from the street,</i> <i>• easily accessible to dwelling occupants,</i> <i>• accessible by collection vehicles or adequately managed by the owners' corporation to permit removal of bins to an approved collection point,</i> <i>• has water and drainage facilities for cleaning and maintenance; and does not immediately adjoin private open space, windows or clothes drying areas.</i> 		
	<p><i>c) Subject to Council's collection policy, common, garbage storage areas must be sized to accommodate either, the number of individual bins required or, a sufficient number of larger bins of minimum dimensions as required by Council.</i></p>		
	<p><i>d) The size and number of the waste bins shall be determined having regard to the need for either, on-site access by collection vehicles or, the requirement for bins to be wheeled to the street for collection by a contractor. If transferred to the street for collection, the owners' corporation or, a caretaker must be responsible for the movement of bins to the collection point.</i></p>		